

Development Plan

Adelaide (City)

Consolidated – 30 April 2020

Please refer to the Adelaide (City) page at www.sa.gov.au/developmentplans to see any amendments not consolidated.



Government of South Australia
Department of Planning,
Transport and Infrastructure

The following table is a record of authorised amendments and their consolidation dates for the Adelaide (City) Development Plan since the inception of the electronic Development Plan on 12 December 1996 for Metropolitan Adelaide Development Plans. Further information on authorised amendments prior to this date may be researched through the relevant Council, Department of Planning, Transport and Infrastructure or by viewing Gazette records.

CONSOLIDATED	AMENDMENT – [Gazetted date]
12 December 1996	Section 29(2) Amendment (<i>Metropolitan Adelaide EDP</i>) – [12 December 1996]
21 August 1998	Section 29(2) Amendment – [21 August 1998]
11 February 1999	Removal of 427-429 Pulteney Street from Register of Local Heritage Items PAR – [11 February 1999]
30 September 1999	Waste Disposal (Landfill) PAR (<i>Ministerial</i>) – [19 August 1999]
27 July 2000	Section 27(5) Amendment - Waste Disposal (Landfill) PAR (<i>Ministerial</i>) – [9 March 2000] General Development Plan Review PAR – [20 July 2000] Local Heritage Amendments PAR – [27 July 2000]
Not consolidated	Telecommunications Facilities State-wide Policy Framework PAR (Interim) (<i>Ministerial</i>) – [31 August 2000]
7 September 2000	Section 29(2)(a) Amendment – [7 September 2000]
8 March 2001	Metropolitan Adelaide Significant Tree Control PAR (<i>Ministerial</i>) – [21 December 2000]
1 November 2001	Telecommunications Facilities State-wide Policy Framework PAR (<i>Ministerial</i>) – [30 August 2001] Local Heritage Amendments PAR – [1 November 2001] Plot Ratio Controls for Residential Apartment/Hotel Development in the Central Activities and Frame District PAR – [1 November 2001] Section 29(2)(a) Amendment – [1 November 2001]
13 December 2001	Section 29(2)(b) Amendment – [6 December 2001] Section 29(2)(a) Amendment – [13 December 2001]
20 June 2002	Significant Trees PAR (Interim) – [20 June 2002]
3 October 2002	Adult Premises PAR (Interim) – [3 October 2002] Section 29(2)(a) Amendment – [3 October 2002]
23 January 2003	Stormwater in Urban Areas PAR (<i>Ministerial</i>) – [12 November 2002] Built Form Policy Review in Key Precincts PAR – [23 January 2003]
27 March 2003	Adult Premises PAR – [27 March 2003]
12 June 2003	Significant Trees PAR – [12 June 2003]
2 October 2003	Wind Farms PAR – [24 July 2003]
6 November 2003	Editorial Correction – [6 November 2003]
24 June 2004	Brown Hill and Keswick Creeks Floodplain PAR (Interim) (<i>Ministerial</i>) – [11 June 2004]
10 March 2005	Termination of Interim Operation of the 'Brown Hill and Keswick Creeks Flood Plain PAR' (<i>Ministerial</i>) and its removal from the Adelaide (City) Development Plan – [24 February 2005]
24 November 2005	Central West Precinct Strategic Urban Renewal PAR – [17 November 2005]
12 January 2006	General and Park Lands PAR – [5 January 2006]
30 March 2006	Heritage and Character North Adelaide PAR – Part 1 of 2 Parts – [30 March 2006]
17 May 2007	Heritage and Character North Adelaide PAR – Part 2 of 2 Parts – [10 May 2007]
30 August 2007	Section 29 (2) (b) (ii) Amendment – [30 August 2007]

CONSOLIDATED	AMENDMENT – [Gazetted date]
21 May 2009	Royal Adelaide Hospital DPA (<i>Ministerial</i>) – [14 May 2009]
7 January 2010	Section 29(2)(b)(ii) Amendment – [23 December 2009] Section 27(5)(a) Amendment - Royal Adelaide Hospital DPA – [23 December 2009]
25 February 2010	City Heritage & Character Residential & Main Street (Hutt) Zones – Part 1 DPA (Interim) – [25 February 2010]
24 February 2011	City Heritage and Character Residential and Main Street (Hutt) Zones – Part 1 DPA – [24 February 2011]
23 June 2011	Section 29(4) Amendment – [23 June 2011]
5 April 2012	Section 29(2)(b)(ii) Amendment – [7 July 2011] Regulated Trees DPA (Interim) (<i>Ministerial</i>) – [17 November 2011] Capital City DPA (Interim) (<i>Ministerial</i>) – [28 March 2012] City Centre Heritage DPA (Interim) – [28 March 2012] Section 29(2)(b)(ii) Amendment – [5 April 2012]
31 May 2012	Section 29(2)(b)(ii) Amendment – [31 May 2012] Editorial Correction to Table Adel/2 Local Heritage Places
5 July 2012	Bowden Urban Village & Environs DPA (<i>Ministerial</i>) – [5 July 2012]
25 October 2012	Capital City DPA (<i>Ministerial</i>) – [25 October 2012]
24 January 2013	Section 29(2)(b)(ii) Amendment – [1 November 2012] Regulated Trees DPA (<i>Ministerial</i>) – [15 November 2012] Adelaide Oval Footbridge DPA (Interim) (<i>Ministerial</i>) – [24 January 2013]
4 April 2013	City Centre Heritage DPA – [27 March 2013] Section 29(2)(b)(ii) – [4 April 2013]
18 July 2013	Adelaide Oval Footbridge DPA (<i>Ministerial</i>) – [18 July 2013]
26 September 2013	Institutional (St Andrew's) Zone DPA (Interim) (<i>Ministerial</i>) – [26 September 2013]
17 October 2013	Riverbank Health and Entertainment Areas DPA (<i>Ministerial</i>) – [11 October 2013]
30 January 2014	27 Vincent Place DPA – [30 January 2014]
31 July 2014	Institutional (St Andrew's) Zone DPA (<i>Ministerial</i>) – [31 July 2014] Editorial correction to Table Adel/1 – State Heritage Register
30 October 2014	Residential and Main Street DPA (Part 1) – [30 October 2014]
2 April 2015	Section 29(2)(b)(i) Amendment – [20 November 2014] Section 29(3)(a) Amendment – [19 March 2015] Section 29(2)(b)(ii) Amendment – [26 March 2015] Section 29(2)(a), 29(2)(b)(i), 29(2)(b)(ii), 29(3)(a) and 29(3)(c)(i) Amendments – [2 April 2015]
3 September 2015	Editorial correction to Table Adel/7 - On-site Car Parking Provisions
24 September 2015	Park Lands Zone DPA (<i>Ministerial</i>) – [17 September 2015]
30 May 2017	Section 29(2)(3)(a) and 29(2)(b)(ii) Amendments – [31 March 2016] Capital City Policy Review (Design Quality) DPA (<i>Ministerial</i>) – [30 May 2017] Heritage Places (Institutions and Colleges) North Adelaide DPA (Interim) – [30 May 2017] North Adelaide Former Channel 9 Site DPA – [30 May 2017] North Adelaide Large Colleges and Institutions DPA – [30 May 2017]
20 June 2017	Section 29 (2)(b)(ii) Amendment – [20 June 2017]

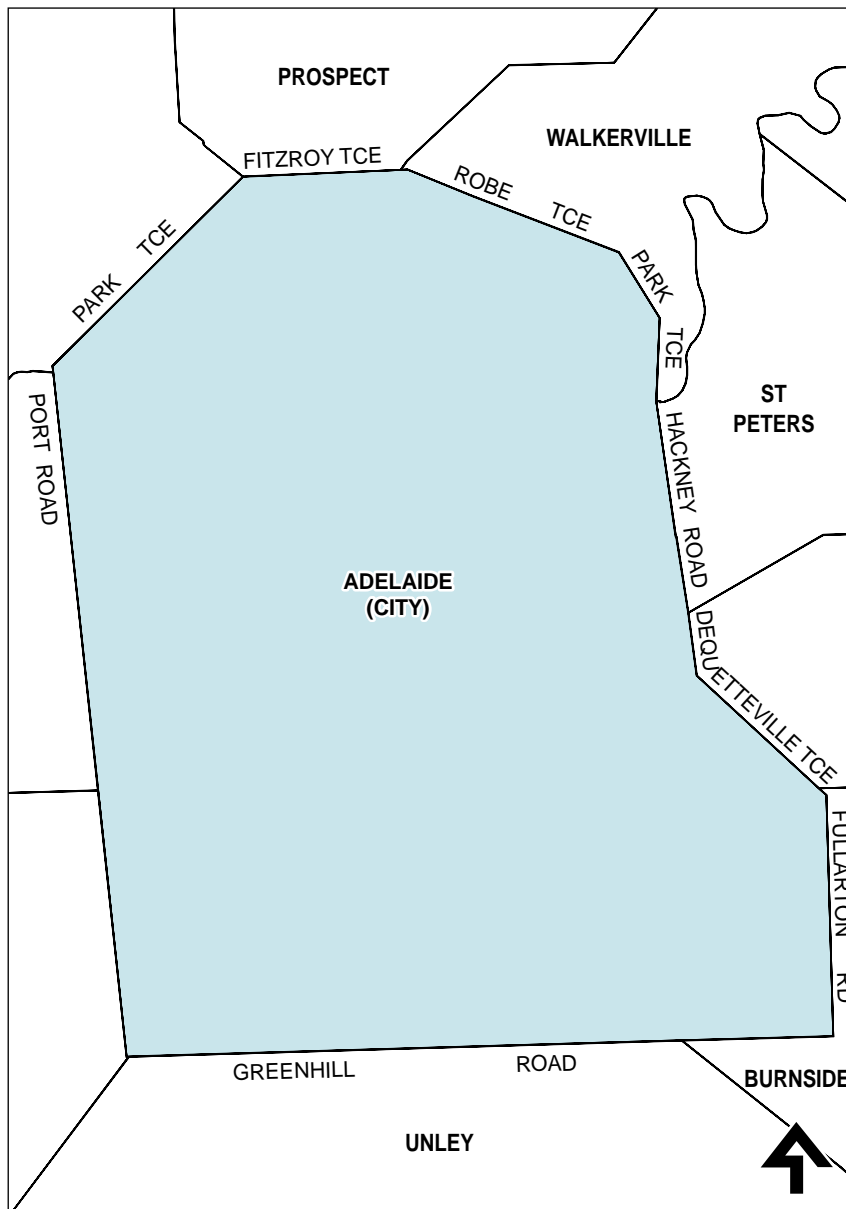
CONSOLIDATED	AMENDMENT – [Gazetted date]
31 May 2018	Section 29 (2)(b)(ii) Amendment – [4 July 2017] Section 29(2)(b)(ii) Amendment – [19 December 2017] Cessation of Interim Operation of the 'Heritage Places (Institutions and Colleges) North Adelaide DPA' and its removal from the Adelaide (City) Development Plan – [31 May 2018]
7 June 2018	Editorial correction to Figure HS/1
25 July 2019	City of Adelaide Minor Amendments DPA (<i>Ministerial</i>) (Interim) – [25 July 2019]
17 October 2019	Section 29(2)(a), 29(2)(b)(i) and 29(2)(b)(ii) Amendments – [26 September 2019]
16 January 2020	City of Adelaide Minor Amendments DPA (<i>Ministerial</i>) – [16 January 2020]
30 April 2020	Lot Fourteen (Old Royal Adelaide Hospital) Innovation Area DPA (<i>Ministerial</i>) – [30 April 2020]

Consolidated: The date of which an authorised amendment to a Development Plan was consolidated (incorporated into the published Development Plan) pursuant to section 31 of the *Development Act 1993*.

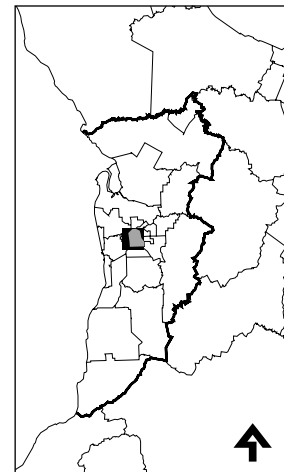
Gazetted: The date of which an authorised amendment was authorised through the publication of a notice in the Government Gazette pursuant to Part 3 of the *Development Act 1993*.

Preface

The objectives and principles of development control that follow apply within the area of the ADELAIDE (CITY) Development Plan as shown on Map Adel/1



Enlargement Map



Location Map

PREFACE

The City of Adelaide comprises Zones with distinctive purposes, namely the Central Business Area, Mixed Use, Main Street, Institutional, Residential, North Adelaide Historic (Conservation) and Park Lands Zones. Each Zone and Policy Area has a unique desired character.

Interpretation

The Council Wide Objectives and Principles of Development Control apply throughout the City unless otherwise stated. The Zone and Policy Area provisions apply to specific parts of the City and each set out the desired character for that relevant part of the City. In the assessment of development against the Development Plan, greatest weight is to be applied to the expressed desired character and development achieving and being consistent with such.

The Development Plan provides a basis for managing change from the existing situation to the desired future situation. This important desired future situation is expressed in desired character statements in each Zone and Policy Area, which are underpinned by Principles of Development Control for each Zone and Policy Area. The Council Wide Objectives and Principles of Development Control reinforce that development should satisfy, achieve and be consistent with the desired character as expressed in the relevant Zone and Policy Area.

Design Techniques are sometimes provided as specific methods that may satisfy the requirements of a particular Principle of Development Control. While a Design Technique represents a carefully considered option, it is not the only option of satisfying the associated Principle of Development Control. If a solution other than that reflected in the Design Technique is utilised, the standards or measures contained in the Design Technique are intended to guide the level, quality or outcomes to be achieved. In such cases, alternative solutions should provide an outcome as good as or better than the Design Technique in order to satisfy the associated Principle of Development Control.

In some cases, using design solutions not conforming to the relevant Design Technique may involve an acceptable or beneficial trade-off against other relevant provisions of the Development Plan, or may be warranted due to the nature, condition, shape, dimensions or orientation of the subject site. Alternatively, satisfying a Design Technique may result in the associated Principle of Development Control not being satisfied due to the particular nature and location of the proposed development relative to its locality. In all cases, emphasis should therefore be placed on satisfying the relevant Principle of Development Control.

In addition to terms defined within the *Development Act 1993* and *Development Regulations 2008*, Schedule 1 of this Development Plan provides definitions for particular terms used within this Development Plan.

Vision

Adelaide is one of the great small cities of the world. It is the economic and cultural powerhouse of the State where a large percentage of the population choose to live, work, invest and spend time.

The City is bustling and energetic and its cultural diversity welcomes people from all backgrounds and stages of life. Adelaide is world-renowned for its festivals, cultural life and sporting events.

Enhanced infrastructure and continuing housing developments reinforce the City's enviable reputation as an accessible, healthy, affordable and vibrant place. Trams loop the central business district and provide a link to the adjoining inner-city suburbs. The pedestrian-friendly streets can be walked along safely any time, day and night.

The internationally renowned Park Lands are cherished for their support of an extraordinary range of recreational pursuits, environmental value, cultural heritage and social connections.

The City's Squares, terraces and laneways are alive with people of all ages. Public art and live music enliven the streets, side by side with an exciting array of outdoor dining venues and small bars.

The City offers an advanced and diversified economy, stimulating job options, educational opportunities and career pathways that enhance and underpin our distinctive lifestyle.

Adelaide is where creativity and imagination are nurtured and where a sense of belonging is an inherent part of its identity. It provides home-grown opportunities for talented young people. Leading-edge businesses and entrepreneurs are drawn to, and sustained by, our thriving 24-hour economy.

The City is the heart of the State's civic, cultural and commercial life. It is a place where the best of South Australia is showcased to the rest of the nation and the world.

The City's vibrancy and competitiveness will be strengthened by:

- fostering a competitive, innovative and productive business environment
- supporting a culturally rich and diverse community
- facilitating the community's ability to access a broad range of convenient and affordable accommodation, services, employment and social opportunities
- developing a legible, highly identifiable and welcoming City form of great streets and places that are safe day and night
- supporting increased sustainable travel around the City
- embracing the city's historic origins and valued historic places and character while at the same time encouraging the development of innovative and creative contemporary buildings and places
- reinforcing the City's credentials for biodiversity protection, energy and water conservation and waste minimisation
- supporting the growth of welcoming and intimate minor streets and laneways within business areas, populated with venues providing for hospitality, leisure, dining, shopping and business services.

City Form

Adelaide's identity is shaped by its unique grid pattern and hierarchy of streets. Its rectangular geometry contrasts with the natural setting provided by the Park Lands and views to the Adelaide Hills. The pattern of Squares, with Victoria Square at the centre, further reinforces the City's geometry and provides relief from the built environment.

This legacy of Colonel Light's visionary layout of Adelaide and its Park Lands was recognised through its National Heritage listing in 2008. It is a legacy upon which the expanding needs of Greater Adelaide continue to grow in ways that promote liveability, competitiveness and sustainability.

This Development Plan reinforces the City's structure:

- The Capital City Zone will be the focus of high-rise development in the City and includes significant employment, cultural, education, entertainment and retail land uses, supported by an increase in City residents. Development will be predominantly mixed use, well-designed and contemporary. Adaptive reuse of heritage buildings and contextually responsive contemporary buildings will complement each other and provide new settings for a vibrant and dynamic street life.
- Institutional areas along North Terrace will be enhanced with additional cultural, health, educational and tourism facilities. Connections around the City will be greatly improved and will reconnect the City with the River Torrens.

- Established destinations will be reinforced, such as Rundle Mall, Rundle Street, Gouger Street and the Central Market. Main street areas such as O'Connell, Hutt and Melbourne, will also grow; while new main streets such as Sturt-Halifax will be fostered. These areas have both a day and evening economy, while Hindley Street east will continue diverse day/evening economy and its late night economy. Main streets will provide a comfortable pedestrian environment and create a sense of intimacy within the street.
- The City Frame Zone will accommodate more residents and foster greater use of the Park Lands and Squares. The Zone will encourage medium to high scale residential development facing the Park Lands and Squares with cafes, restaurants and shops at the ground floor.
- Residential areas will have a range of well-designed housing choices, supported by a range of community services. Development will capitalise on the role of heritage places in creating a sense of place and identity through techniques such as adaptive re-use and contextual design.
- The Park Lands will be enhanced to increase the range of their uses; their natural, cultural and recreational values; and to better connect to the City's urban areas as well as to the inner suburbs.

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COUNCIL WIDE

Introduction

The following Council Wide Objectives and Principles of Development Control apply across the area within the boundary of the Adelaide (City) Development Plan, as shown on [Map Adel/1](#), unless otherwise stated. To determine all of the policies relevant to any kind of development, reference should be made to the Council Wide Objectives and Principles of Development Control as well as the Desired Character, Objectives and Principles of Development Control for the relevant Zone and Policy Area/s.

Living Culture

OBJECTIVES

- Objective 1:** The City of Adelaide as the prime meeting place and cultural focus for the people of metropolitan Adelaide and the State.
- Objective 2:** The City of Adelaide as a major focus for tourism, conventions, leisure, entertainment, sport and recreation, education, cultural development and the arts.
- Objective 3:** Development that enhances the public environment and provides interest at street level.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development should, where appropriate, integrate public art into the design of new or refurbished building sites in a manner which is integrated with and commensurate in scale with, the new or refurbished buildings. For the purpose of enhancing the public environment, public art should:
 - (a) demonstrate artistic excellence and innovation in design;
 - (b) be made of high quality materials;
 - (c) enhance the setting of new development;
 - (d) be integrated into the design of the building and the surrounding environment;
 - (e) consider any existing public art works; and
 - (f) not hinder sight lines or create entrapment spots.

Design Techniques (these are ONE WAY of meeting the above Principle)

1.1 Design solutions may include:

- (a) *treating the building as a piece of art in itself;*
- (b) *locating art in publicly accessible locations such as near main entrances, lobbies and street frontages;*
- (c) *using water as a landscaping element including animating spaces with fountains, pools and waterfalls, for which the re-use of stormwater is encouraged;*
- (d) *designing paving so it becomes a piece of art in itself;*
- (e) *using lighting to enhance the architectural characteristics of a building; or*
- (f) *providing spaces within the development for accommodating temporary or outdoor gallery opportunities.*

Community Facilities

OBJECTIVES

- Objective 4:** Community and social facilities and services that promote greater equity, are located for convenient access by residents, workers and visitors and that form a focus for residential development.
- Objective 5:** Location of appropriate community facilities (e.g. schools, hospitals and other institutions) where they are conveniently accessible to the population they serve.

PRINCIPLES OF DEVELOPMENT CONTROL

- 2** Community facilities should:
- (a) be located conveniently in relation to the population they serve;
 - (b) be designed for multi-purpose use where possible;
 - (c) meet the demonstrated needs of the various communities who will use them;
 - (d) be safe and easy to reach on foot, by bicycle and by public transport;
 - (e) be situated in suitable locations; and
 - (f) not unreasonably impact on the amenity of the surrounding locality through excessive traffic generation.
- 3** The redevelopment, alteration or change of use of community facilities should ensure the adequate provision of such facilities.
- 4** Childcare facilities should be incorporated into large scale employment, commercial, shopping, higher education, tourism, entertainment, health and leisure development.

City Living

Housing Choice

OBJECTIVES

- Objective 6:** A variety of housing options which supplement existing types of housing and suit the widely differing social, cultural and economic needs of all existing and future residents.
- Objective 7:** A range of long and short term residential opportunities to increase the number and range of dwellings available whilst protecting identified areas of special character and improving the quality of the residential environment.
- Objective 8:** A broad range of accommodation to meet the needs of low income, disadvantaged and groups with complex needs whilst ensuring integration with existing residential communities.

PRINCIPLES OF DEVELOPMENT CONTROL

- 5** Development should comprise of a range of housing types, tenures and cost, to meet the widely differing social and economic needs of residents.

- 6 Development should provide a variety of accommodation to meet the needs of low income people, student housing, social housing, housing for single people, large and small families, people with disabilities and people with other complex needs. These forms of housing should be distributed throughout the Council area to avoid over-concentration of similar types of housing in a particular area and should be of a scale and appearance that reinforces and achieves the desired character of the locality, as expressed in the relevant Zone and Policy Area.
- 7 Residential development should be designed to be adaptable to meet people's needs throughout their lifespan to ensure that changes associated with old age, special access and mobility can be accommodated.

Design Technique (this is ONE WAY of meeting the above Principle)

7.1 Buildings constructed in accordance with the requirements set out in Australian Standard AS 4299: 'Adaptable Housing'.

- 8 Residential development for older people and people with disabilities should be:
 - (a) located within easy walking distance to essential facilities such as convenience shops, health and community services and public transport;
 - (b) located where on-site movement of residents is not unduly restricted by the slope of the land;
 - (c) located and designed to promote interaction with other sections of the community, without compromising privacy;
 - (d) of a scale and appearance that reinforces the desired character of the locality; and
 - (e) provided with access to public and private open space and landscaping to meet the needs of residents.
- 9 The City Living Zone, Adelaide Historic (Conservation) Zone and North Adelaide Historic (Conservation) Zone should develop as follows:
 - (a) Residential areas should comprise a wide range of housing alongside a diversity of community facilities, with many heritage places conserved. Residential amenity should be enhanced and attractive townscape qualities reinforced.
 - (b) Adelaide was once a predominantly residential City. The character in the south east corner continues to reflect this historical pattern with distinctive dwelling types and early shops from the mid to late 19th century. This historic importance is identified by the Adelaide Historic (Conservation) Zone within which development should complement and protect the historic character. In the south east and south west corners, groups of mid to late 19th housing remain amidst development from the 20th century. This early housing is identified within Historic (Conservation) Areas where development should complement and protect the historic character.
 - (c) North Adelaide is associated with the foundation of the City of Adelaide. It retains many buildings and sites of State and Local Heritage value and provides strong cultural and historic evidence of the creation of the colony, the establishment of early settlement and the development of the capital city over time. North Adelaide contains excellent examples of a diverse range of residential architecture from all periods of the City's development, which individually and as groups, reflect the periods of economic prosperity of the City and the social composition of the colonial population. The remaining historic housing is an essential and defining element of North Adelaide's cultural value and is a microcosm of housing styles and periods in the State as a whole. The historic value of the residential parts is such that they are identified as the North Adelaide Historic (Conservation) Zone within which development should complement and protect the historic character.

- (d) The City Living Zone fronting South Terrace, and between Whitmore and Hurtle Squares, is suited to medium density mixed use development, accompanied by community and commercial activities. East Terrace is suited to medium rise housing.
- (e) The interface between established non-residential uses with neighbouring residential properties should be effectively managed, recognising the legitimate rights of commercial and community activities whilst protecting the amenity of residents.
- (f) Small scale, small size, ancillary businesses and activities which provide a local service to residents may be appropriate provided compatible with the desired character of the locality, does not result in the net loss of residential floor space and do not threaten the envisaged development of non-residential zones.

Student Accommodation

OBJECTIVE

Objective 9: High-quality student accommodation that creates an affordable, safe, healthy and comfortable living environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 10** Residential development specifically designed for the short-term occupation of students may provide reduced internal floor areas, car parking, storage areas and/or areas of private open space provided that:
 - (a) residents have access to common or shared facilities that enable a more efficient use of space (such as cooking, laundry, common rooms or communal open space);
 - (b) every living room has a window that provides an external outlook and maximises access to natural light;
 - (c) the development is designed to enable easy adaptation or reconfiguration to accommodate an alternative use;
 - (d) the development is designed to maximise opportunities to access natural ventilation and natural light;
 - (e) private open space is provided in the form of balconies and/or substituted with communal open space (including rooftop gardens, common rooms or the like) that is accessible to all occupants of the building; and
 - (f) the internal layout and facilities provide sufficient space and amenity for the requirements of student life and promote social interaction.
- 11** Internal common areas should be capable of being used in a variety of ways to meet the study, social and cultural needs of students.
- 12** Development should provide secure long-term storage space in both communal and private areas.
- 13** Student accommodation with shared living areas should ensure bedrooms are of a suitable size to accommodate a single bed, book shelves, a desk and workspace, and a cupboard/wardrobe.

Land Division

OBJECTIVE

Objective 10: Land in appropriate localities divided into allotments in an orderly, economic and environmentally sustainable manner that meets the needs of the community and is consistent with the desired character of the Zone and Policy Areas.

PRINCIPLES OF DEVELOPMENT CONTROL

- 14** Land division should create allotments that allow for the provision of built form which reinforces the desired character of the locality and accords with Council Wide provisions and Zone and Policy Area provisions.
- 15** The size, shape, orientation and layout of allotments in any land division (or development creating sites likely to be divided into allotments) should:
 - (a) enable land to be efficiently and effectively used for its intended use;
 - (b) allow development that reinforces and achieves the desired character of the locality, as expressed in the relevant Zone and Policy Area;
 - (c) enable development that is energy efficient; and
 - (d) where the land abuts a side or rear laneway, be designed to facilitate vehicle access to allotments from the laneway rather than the main street frontage.
- 16** Residential allotments should be of varying size to encourage housing diversity and should provide adequate area and dimension to accommodate:
 - (a) the siting and construction of a dwelling that reinforces the desired character of the locality;
 - (b) the provision of private open space; and
 - (c) safe and convenient vehicle access and parking.

Low Scale Residential

Building Appearance and Neighbourhood Character

OBJECTIVES

Objective 11: Low scale residential development designed to be attractive, visually compatible with surrounding development and consistent with the desired character of the Zone and Policy Area.

Objective 12: Development that enhances the public environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 17** Low scale residential development should:
 - (a) protect existing site features, including vegetation and items or features of heritage value;
 - (b) provide sufficient open space for the planting of trees to:
 - (i) complement and enhance the existing landscape character;
 - (ii) provide amenity for residents; and
 - (iii) screen storage, service and parking areas.
 - (c) protect remaining trees from damage to their root systems; and
 - (d) incorporate building footing designs that allow root growth of existing trees.

- 18** Low scale residential development should be compatible with the desired character of the locality, as expressed in the Zone and Policy Area in terms of:
- (a) building height;
 - (b) building mass and proportion;
 - (c) external materials, patterns, textures, colours and decorative elements;
 - (d) ground floor height above natural ground level;
 - (e) roof form and pitch;
 - (f) facade articulation and detailing, and window and door proportions;
 - (g) verandahs, eaves, parapets and window sun screens; and
 - (h) driveway crossovers, fence style and alignment.
- 19** Low scale residential development abutting streets, access ways or driveways should include fenestration and well lit and easily identifiable doorways facing towards the street, access way or driveway so that buildings provide an easily identifiable entrance and facilitate passive surveillance of the street, accessway or driveway.
- 20** The visual bulk of low scale residential development adjacent to street frontages and private open space should be minimised through colour, building materials, detailing, setback, articulation and fenestration.
- 21** Low scale residential development should incorporate attractive and pleasant communal spaces, access ways and driveways through:
- (a) landscaping and paving creating variety and visual interest; and
 - (b) built form fronting communal spaces, access ways and driveways incorporating variety in appearance, such as through variation in colour, materials, setbacks and form.

Communal spaces, access ways and driveways which are lengthy and contain no variety in appearance should be avoided.

Dwelling Set-backs

OBJECTIVE

Objective 13: Building set-backs that complement the prevailing set-backs in the street.

PRINCIPLES OF DEVELOPMENT CONTROL

- 22** To reinforce the pattern and character of individual streets, set-backs of low scale residential development should be consistent with the prevailing set-back in the locality in relation to:
- (a) street frontages; and
 - (b) side and rear boundaries.

Design Techniques (these are ONE WAY of meeting the above Principle)

- 22.1** In relation to 22(a), in instances where set-backs vary, development (excluding open porches, etc) should be set back:

- (a) *the same distance as one or the other of the adjoining buildings, provided the difference between the set-backs of the two adjoining buildings is less than or equal to 2 metres; or*
- (b) *not less than the average of the set-backs of the adjoining buildings, if the difference between the set-backs of the adjoining buildings is greater than 2 metres.*

Building Siting

OBJECTIVE

Objective 14: Low scale residential development sited to:

- (a) protect and maintain the desired character of the relevant Zone or Policy Area;
- (b) ensure adequate daylight to dwellings and sunlight to private open space; and
- (c) protect neighbouring amenity.

PRINCIPLES OF DEVELOPMENT CONTROL

- 23** The set-back of low scale residential development from side and rear boundaries should progressively increase as the height of the development increases and side boundary walls should be located and limited in length and height to:
- (a) minimise the visual impact on adjoining properties;
 - (b) minimise the overshadowing of adjoining properties;
 - (c) reduce the risk of damage to significant trees on adjoining properties taking into account potential damage to root systems; and
 - (d) maximise energy efficiency.
- 24** External noise intrusion and vehicle headlight glare to bedrooms should be minimised by separating or shielding bedroom windows from shared driveways and car parking areas.

Design Techniques (these are ONE WAY of meeting the above Principle)

- 24.1** *Bedroom windows set back from common driveways and parking areas a minimum of 2 metres;*
- 24.2** *Provision of an intervening solid fence at least 1.8 metres above the level of the driveway and/or parking area; and/or*
- 24.3** *Provision of a window sill height at least 1.5 metres above the level of the parking area and/or driveway.*

Daylight and Sunlight

OBJECTIVE

Objective 15: The protection of access to daylight and sunlight and the amenity of neighbouring residential premises.

PRINCIPLES OF DEVELOPMENT CONTROL

- 25** Low scale residential development should ensure an adequate level of sunlight to:
- (a) ground level private or communal open space of adjacent residential development;

- (b) upper level balconies which provide the primary private open space area for any adjacent residential development;
- (c) communal open space which provides the primary private open space for any adjacent residential development; and
- (d) habitable room windows of adjacent residential development.

Design Technique (*this is ONE WAY of meeting part of the above Principle*)

25.1 *In relation to Principle 26(d), habitable rooms have windows with a horizontal distance between any facing building, measured perpendicular to the face of the window, of 0.9 metres minimum which is clear to the sky (i.e. 0.9 metres between fascias/gutters).*

- 26** Low scale residential development should be designed to ensure habitable rooms, private open space and communal open space, where such communal open space provides the primary area private open space, are the main recipients of sunlight.
- 27** Development within or adjoining the City Living Zone, the Adelaide Historic (Conservation) Zone or the North Adelaide Historic (Conservation) Zone should maintain at least two hours of direct sunlight between 9.00am and 3.00pm solar time on 22 June to either the northern facade or at least one ground floor habitable room window (excluding bathroom, toilet, laundry or storage room windows), of any neighbouring residential property and to at least 20 percent of that property's private open space, private landscaped open space or communal open space, where such communal open space provides the primary private open space for any adjacent residential development. Where the existing period of direct sunlight is less than two hours per day or covers less than 20 percent of open space, development should not further reduce it.
- 28** Within the City Living Zone, the Adelaide Historic (Conservation) Zone or the North Adelaide Historic (Conservation) Zone, sunlight to solar panels should be maintained for a minimum of 2 consecutive hours between 9.00am and 3.00pm solar time on 22 June provided it does not restrict the reasonable development of adjoining sites.

Private Open Space

OBJECTIVE

Objective 16: Private open space to meet the requirements of occupants of low scale residential development for outdoor activities.

PRINCIPLES OF DEVELOPMENT CONTROL

- 29** Low scale residential development should provide private open space for each dwelling.
- 30** Private open space should be directly accessible from a living room and in the form of:
 - (a) ground level courtyard or other private open space screened from adjacent properties and public areas (e.g. public roads, public open space); or
 - (b) balconies, terraces, roof gardens, decks or other elevated outdoor areas provided the amenity and visual privacy of adjacent properties is protected.
- 31** Low scale residential development should provide private open space of sufficient area, dimension and shape and be appropriately located to be functional for the occupants' needs and should satisfy the following:
 - (a) residential dwellings with ground level habitable rooms to include private open space which satisfies the following table:

Site Area per Dwelling (square metres)	Minimum Area of Private Open Space
Greater than 250	<ul style="list-style-type: none"> (a) 20 percent of site area; (b) minimum dimension of 2.5 metres; (c) balconies and roof patios etc can comprise part of this area provided the area of each balcony, roof patio, etc is 10 square metres or greater; and (d) one part of the space is directly accessible from a living room, has a maximum gradient of 1 in 10, an area equal to or greater than 10 percent of the site area and a minimum dimension of 3.5 metres (minimum dimension of 5 metres in the North Adelaide Historic (Conservation) Zone).
250 or less	<ul style="list-style-type: none"> (a) 16 square metres, except for: <ul style="list-style-type: none"> (i) 35 square metres in the North Adelaide Historic (Conservation) Zone; (ii) 25 square metres east of Hutt Street and located in the: <ul style="list-style-type: none"> A. Adelaide Historic (Conservation) Zone; or B. City Living Zone (iii) 13 square metres in areas (other than i and ii above) where the relevant Zone or Policy Area envisages single storey frontages to the street; (b) minimum dimension of 2.5 metres; (c) balconies and roof patios, etc. can comprise part of this area provided the area is 8 square metres or greater; and (d) one part of the space is directly accessible from a living room, has a maximum gradient of 1 in 10, and an area of 13 square metres with a minimum dimension of: <ul style="list-style-type: none"> (i) 2.5 metres for ground level or roof garden space or 2.0 metres for upper level balconies or terraces; (ii) 4 metres in the North Adelaide Historic (Conservation) Zone.

- (b) residential dwellings with no ground level habitable rooms to include private open space in the form of balconies, terraces, roof gardens, decks or other elevated outdoor areas directly accessible from a habitable room which satisfies the following table:

Site Area per Dwelling (square metres)	Private Open Space for Above Ground Dwellings - Minimum Area (square metres)	Private Open Space for Above Ground Dwellings - Minimum Dimension (metres)
Greater than 250	10	2
250 or less	8	2

32 Private open space should be located:

- (a) to take advantage of natural features of the land;
- (b) to minimise overlooking from adjacent buildings;
- (c) away from bedroom windows on adjoining land to minimise acoustic impacts; and

(d) provide for the retention of existing significant vegetation.

33 Private open space should, where possible:

- (a) achieve comfortable year-round use by having a northerly aspect;
- (b) not be significantly shaded by the associated dwelling or adjacent development during winter; and
- (c) be shaded in summer.

34 A proportion of ground level private open space should be open to the sky to provide amenity, opportunities for landscaping, a reduction in stormwater runoff and enable stormwater infiltration.

***Design Technique** (this is ONE WAY of meeting the above Principle)*

34.1 At least 70 percent of ground level private open space is not covered by roof overhangs, verandahs or impermeable structures.

Visual and Acoustic Privacy

OBJECTIVE

Objective 17: Low scale residential development sited and designed to protect visual and acoustic privacy for the occupants of the dwellings and nearby residents.

PRINCIPLES OF DEVELOPMENT CONTROL

35 Low scale residential development should be sited and designed to avoid the need for screening devices to protect the privacy of the occupants of adjacent dwellings and to enable internal spaces of proposed dwellings to be as pleasant and as usable as possible.

36 In the event that direct overlooking occurs from proposed upper level habitable room windows, external balconies, terraces, decks and roof gardens to habitable room windows and primary areas of private open space of adjacent dwellings, such direct overlooking should be minimised by:

- (a) setting buildings back from boundaries;
- (b) screening devices such as:
 - (i) canopy projections above windows to minimise viewing down into rooms;
 - (ii) horizontal projecting sills to restrict downward overlooking; or
 - (iii) side window or balcony screens to restrict sideways/oblique overlooking;.
- (c) orientating windows to avoid direct views; and
- (d) landscaping.

***Design Techniques** (these are ONE WAY of meeting the above Principle)*

36.1 Direct views from upper level habitable room windows to the habitable room windows or useable private open space* of an adjacent residential development restricted (assuming a viewing height of up to 1.6 metres above floor level) by:

*Useable private open space comprises:

(a) any private open space with a minimum dimension of 2.5 metres; or
 (b) a balcony of minimum dimension of 2 metres connected to a living area.

- (a) permanently fixed translucent glazing in the part of the window below 1.6 metres above floor level for non-habitable rooms such as bathrooms, laundries or storage areas;
- (b) window sill heights of 1.6 metres above the finished floor level;
- (c) screening devices such as lattice screens to balconies, permanently fixed external perforated panels or trellises which have a maximum of 25 percent openings; and/or
- (d) staggering windows which face one another so viewing is oblique rather than direct (refer to Figure 36.1 and 36.2).

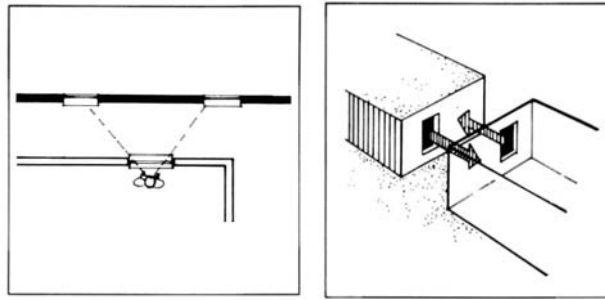


Figure 36.1 - staggering windows for oblique rather than direct vision.

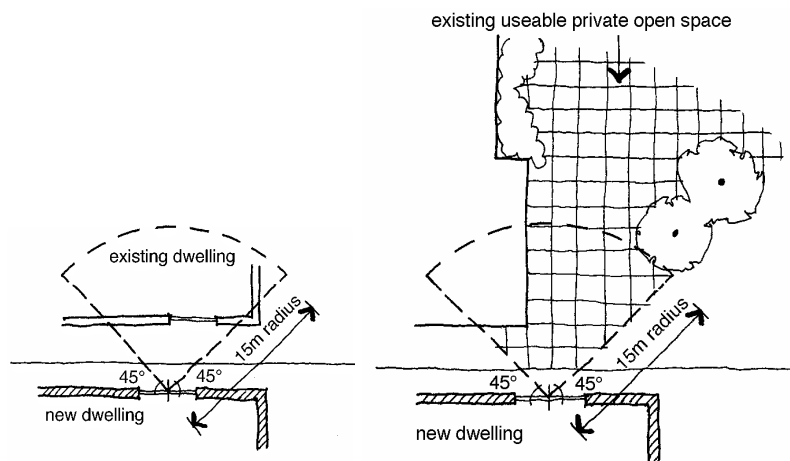


Figure 36.2 - direct view occurs if windows or outdoor areas overlooked are located within a horizontal distance of 15 metres from the vertical centre line of the overlooking window and beyond a 45° angle from the plane of the wall containing the overlooking window.

36.2 Direct views from external upper level balconies, terraces or decks to the habitable room windows or useable area of private open space of an adjacent residential development restricted by permanently fixed external screens, including (refer to Figure 36.3):

- (a) wing walls for the length of the balcony, terrace or deck;
- (b) solid or translucent panels; and/or
- (c) perforated panel or trellises which have a maximum of 25 percent openings;
- (d) below 1.6 metres above ground level.

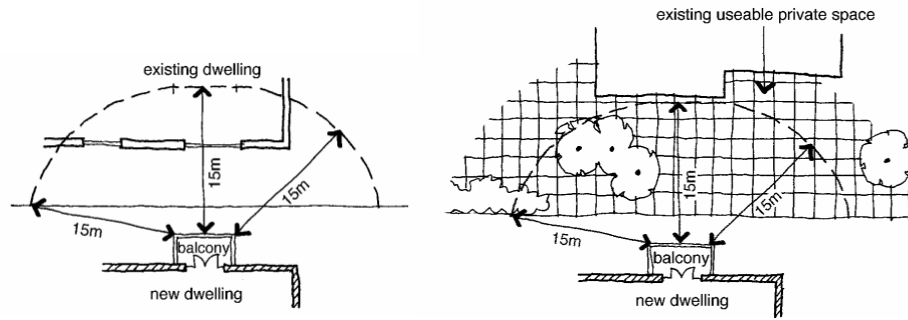


Figure 36.3 - direct view occurs if windows or outdoor areas overlooked are located within a horizontal distance of 15 metres from any point of the balcony or deck.

- 36.3** Windows and balconies within an upper level habitable room designed to prevent overlooking (assuming a viewing height of up to 1.6 metres above floor level) of more than 50 percent of the useable private open space of a lower-level dwelling within the building (refer to Figure 36.4).

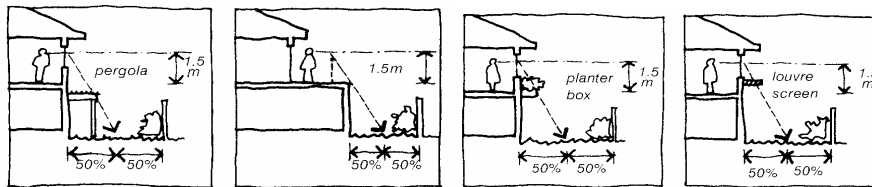


Figure 36.4 - screening devices to prevent downward overlooking.

- 37** Permanently fixed external screening devices should be designed and coloured to blend with the predominant associated building materials.
- 38** Low scale residential development should provide each dwelling with adequate insulation from external noise sources including noise generated by neighbouring dwellings, nearby existing noise sources such as major roads, established places of entertainment and centres of activity.

Adaptability

- 39** Low scale residential development should be designed to be adaptable to accommodate:
- (a) a range of activities and privacy levels between spaces;
 - (b) flexible room sizes and proportions; and
 - (c) efficient circulation to maximise floorspace within rooms.

Carports, Garages and Fencing

OBJECTIVES

- Objective 18:** Car accommodation and fencing that enhances pedestrian amenity and the desired character and appearance of the streetscape.
- Objective 19:** Car accommodation that does not dominate views of the associated dwelling from the street.

PRINCIPLES OF DEVELOPMENT CONTROL

- 40** Where there is a side or rear laneway abutting land, access to the parking area should be from the laneway, rather than along the main street frontage.

41 Garages and carports should:

- (a) be compatible with the building design, adjacent development and desired character of the streetscape in terms of height, roof form and pitch, scale, building materials, colours and detailing;
- (b) be set back behind the building frontage (excluding verandahs and balconies) to preserve the existing street pattern;
- (c) not diminish the streetscape attractiveness by visually dominating the street elevation of the associated dwelling in terms of width, size, design and location; and
- (d) have a width no greater than 50 percent of the allotment width on a public street frontage or on a laneway that functions as the dwellings primary frontage.

Design Techniques (these are ONE WAY of meeting parts of the above Principle)

41.1 *In relation to Principle 41(b), set-backs of garages and carports from the main face of the dwelling not less than 0.5 metres behind the main face of the associated dwelling.*

41.2 *In relation to Principle 41(c):*

- (a) *crossovers and the width of the driveway no greater than 3 metres wide;*
- (b) *where an enclosed double carport or garage is set back less than 6 metres from the street:*
 - (i) *two separate doors provided with a distance of not less than 300 millimetres between them; or*
 - (ii) *double tilt-up doors provided with moulded door panels having a maximum width of 5 metres.*

42 Garages and carports located on side boundaries should be limited in length and height to:

- (a) minimise the visual impact of buildings from adjacent properties;
- (b) minimise the overshadowing of adjoining properties; and
- (c) maintain an adequate level of daylight to existing and future adjacent residential development and private open space.

43 Fences and walls abutting streets (excluding service lanes) should:

- (a) be articulated and detailed to provide visual interest;
- (b) be compatible with the associated development and with any existing attractive fences and walls in the locality;
- (c) enable visibility of buildings from and to the street to enhance safety and allow surveillance;
- (d) assist development to address the street; and
- (e) be no more than 1.2 metres high if solid (forward of the building line). This height may be increased to 2 metres if the fence has openings which make it more than 50 percent transparent.

On-Site Car Parking and Access

OBJECTIVE

Objective 20: Accessible on-site parking provided to meet the needs of residents and visitors.

PRINCIPLES OF DEVELOPMENT CONTROL

- 44** On-site car parking should be provided for low scale residential development in accordance with the car parking requirements set out in [Table Adel/7](#) (disregarding infrequent, high-visitation events, such as parties, garage sales or auctions), taking account of:
- (a) the number and size of proposed dwellings;
 - (b) availability of employment and centre facilities within walking distance;
 - (c) the anticipated mobility characteristics of the likely occupants; and
 - (d) availability of public transport and on-street car parking in proximity to the development.
- 45** Car parking areas, driveways and access ways servicing more than one dwelling within a low scale residential development should be located and dimensioned to:
- (a) efficiently, conveniently and safely serve users, including pedestrians, cyclists and motorists;
 - (b) provide adequate space for vehicles to manoeuvre between the street and the parking area; and
 - (c) reinforce or contribute to attractive streetscapes.

***Design Techniques** (these are ONE WAY of meeting the above Principle)*

45.1 *Car parking spaces, access ways and driveways located and dimensioned in accordance with Australian Standard 2890.1: 'Parking Facilities - Off-Street Car Parking'.*

Site Facilities and Storage

OBJECTIVE

Objective 21: Low scale residential development that provides sufficient on-site storage facilities and makes adequate provision for the storage and collection of refuse.

PRINCIPLES OF DEVELOPMENT CONTROL

- 46** Low scale residential development that does not provide ground level private open space or has less than 50 square metres of private open space should incorporate adequate areas for the storage of goods and chattels other than food and clothing either:
- (a) in the dwelling (but not including a habitable room);
 - (b) in a garage, carport or outbuilding; or
 - (c) within an on-site communal facility.

***Design Technique** (this is ONE WAY of meeting the above Principle)*

46.1 *A covered secure storage area of not less than 8 cubic metres in one of the above mentioned locations provided for each dwelling.*

47 Domestic outbuildings should:

- (a) be located to the rear of dwellings;
- (b) be constructed with materials that are of low light reflective nature;
- (c) not result in an area of private open space or private landscaped open space less than that required by the relevant Council Wide, Zone or Policy Area provisions;
- (d) not result in unreasonable overshadowing or visual impact on habitable room windows of adjacent residential development;
- (e) not be of a size, scale or in a location which results in visual dominance of the dwelling or locality; and
- (f) be screened from public view so as not to detract from the appearance of public spaces.

Medium to High Scale Residential/Service Apartment**OBJECTIVE**

Objective 22: Medium to high scale residential (including student accommodation) or serviced apartment development that:

- (a) has a high standard of amenity and environmental performance;
- (b) comprises functional internal layouts;
- (c) is adaptable to meet a variety of accommodation and living needs; and
- (d) includes well-designed and functional recreation and storage areas.

PRINCIPLES OF DEVELOPMENT CONTROL**Building Entrances****48** Entrances to medium to high scale residential or serviced apartment development should:

- (a) be oriented towards the street;
- (b) be visible and easily identifiable from the street; and
- (c) provide shelter, a sense of personal address and transitional space around the entry.

49 Entrances to individual dwellings or apartments within medium to high scale residential or serviced apartment development should:

- (a) be located as close as practical to the lift and/or lobby access and minimise the need for long access corridors;
- (b) be clearly identifiable; and

avoid the creation of potential areas for entrapment.

Daylight, Sunlight and Ventilation**50** Medium to high scale residential or serviced apartment development should be designed to maximise opportunities to facilitate natural ventilation and capitalise on natural daylight and minimise the need for artificial lighting during daylight hours.

Design Technique (this is ONE WAY of meeting the above Principle)

50.1 Design solutions may include:

(a) corner dwelling/apartment

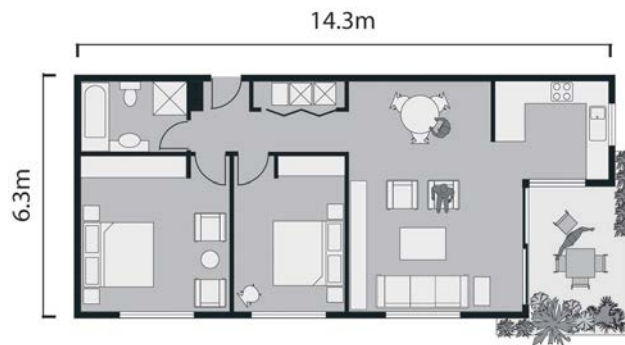


Figure 50.1 - two bedroom corner dwelling.

(b) double aspect dwelling/apartment.

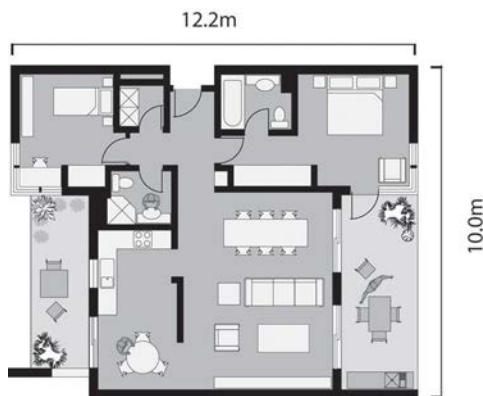


Figure 50.2 - two bedroom double aspect dwelling/apartment.

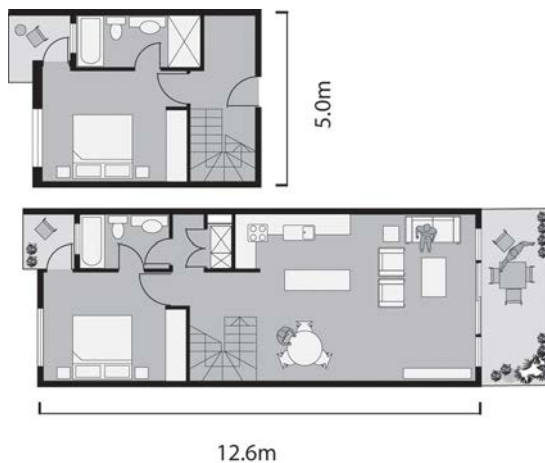


Figure 50.3 - two bedroom double aspect dwelling/apartment.

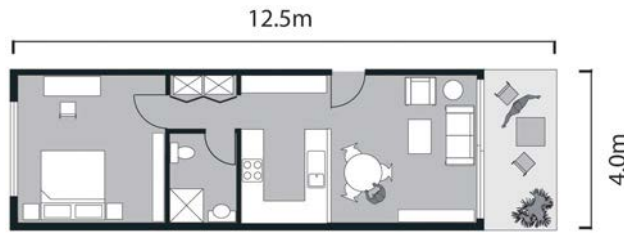


Figure 50.4 - one bedroom double aspect dwelling/apartment.

(c) split level dwelling/apartment.

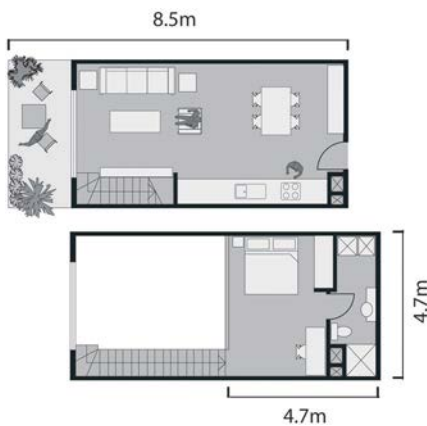


Figure 50.5 - one bedroom split level dwelling/apartment.

(d) shallow, single aspect dwelling/apartment limited in depth to 8 metres from a window

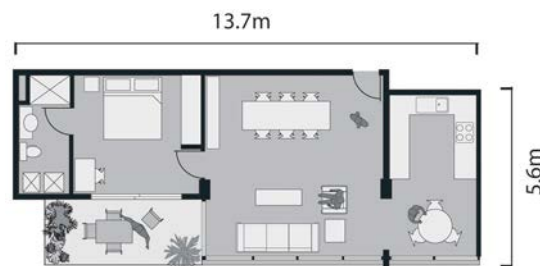


Figure 50.6 - one bedroom single aspect dwelling/apartment.

Note: If over 15 metres deep, the width of the dwelling/apartment should be 4 metres or greater to ensure sufficient natural daylight.

- 51 Medium to high scale residential or serviced apartment development should be designed and located to maximise solar access to dwellings and communal open space on the norther facade.
- 52 Ceiling heights that promote the use of taller windows, highlight windows, fan lights and light shelves should be utilised to facilitate access to natural light, improve daylight distribution and enhance air circulation, particularly in dwellings with limited light access and deep interiors.

Design Technique (this is ONE WAY of meeting the above Principle)

52.1 Design solutions may include:

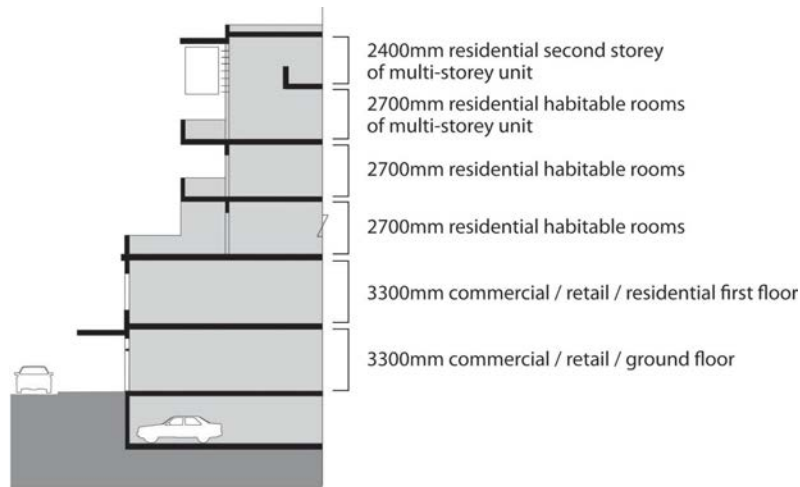


Figure 52.1 - appropriate ceiling heights for mixed use buildings.

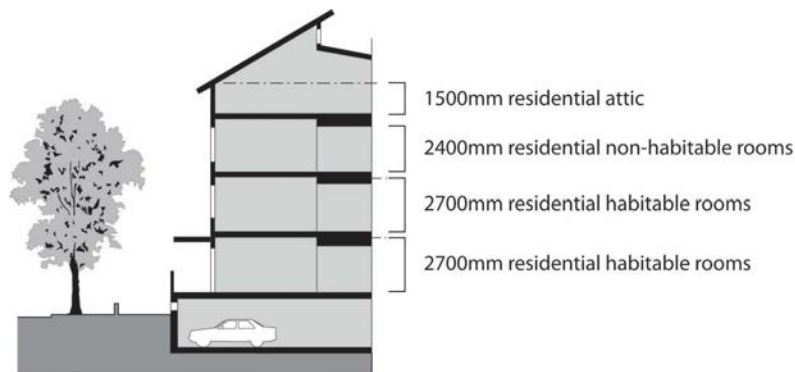


Figure 52.2 - appropriate ceiling heights for medium to high scale residential or serviced apartment development.

- 53** All new medium to high scale residential or serviced apartment development should have direct ventilation and natural light.
- 54** The maximum distance of a habitable room such as a living, dining, bedroom or kitchen from a window providing natural light and ventilation to that room is 8 metres.
- 55** Light wells should not be used as the primary source of daylight for living rooms to ensure a sufficient level of outlook and daylight.
- 56** Medium to high scale residential or serviced apartment development should be designed to ensure living areas, private open space or communal open space, where such communal open space provides the primary area of private open space, are the main recipients of sunlight.
- 57** Medium to high scale residential or serviced apartment development should locate living areas, private open space and communal open space, where such communal open space provides the primary area of private open space, where they will receive sunlight and, where possible, should maintain at least two hours of direct sunlight solar time on 22 June to:
 - (a) at least one habitable room window (excluding bathroom, toilet, laundry or storage room windows);
 - (b) to at least 20 percent of the private open space; and
 - (c) communal open space, where such communal open space provides the primary private open space for any adjacent residential development.

58 Natural cross ventilation of habitable rooms should be achieved by the following methods:

- (a) positioning window and door openings in different directions to encourage cross ventilation from cooling summer breezes;
- (b) installing small low level windows on the windward side and larger raised openings on the leeward side to maximise airspeed in the room;
- (c) installing higher level casement or sash windows, clerestory windows or operable fanlight windows to facilitate convective currents;
- (d) selecting windows which the occupants can reconfigure to funnel breezes such as vertical louvred, casement windows and externally opening doors;
- (e) ensuring the internal layout minimises interruptions to airflow;
- (f) limiting building depth to allow for ease of cross ventilation; and/or
- (g) draught proofing doors, windows and other openings.

Design Techniques (these are ONE WAY of meeting the above Principle)

58.1 In relation to Principle of Development Control 58(e):

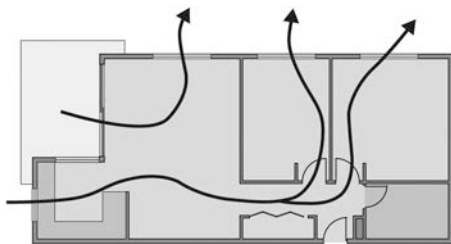


Figure 58.1 - effective layout for an upper level corner dwelling/apartment.



Figure 58.2 - optimal layout allowing air flow directly from one side of a dwelling/apartment to the other.

Private Open Space

59 Medium to high scale residential development and serviced apartments should provide the following private open space:

- (a) studio (where there is no separate bedroom): no minimum requirement but some provision is desirable.
- (b) 1 bedroom dwelling/apartment: 8 square metres.
- (c) 2 bedroom dwelling/apartment: 11 square metres.
- (d) 3+ bedroom dwelling/apartment: 15 square metres.

A lesser amount of private open space may be considered appropriate in circumstances where the equivalent amount of open space is provided in a communal open space accessible to all occupants of the development.

Private open space for 2 or more bedroom dwellings/apartments may be divided into different areas whilst private open space for studios or 1 bedroom dwelling/apartments should be in a single area.

Areas used for parking of motor vehicles are not included as private open space.

Note: In the City Living, Main Street and Institutional Zones, specific landscaped open space and private landscaped open space provisions apply.

- 60** Medium to high scale residential (other than student accommodation) or serviced apartment development should ensure direct access from living areas to private open space areas, which may take the form of balconies, terraces, decks or other elevated outdoor areas provided the amenity and visual privacy of adjacent properties is protected.
- 61** Other than for student accommodation, private open space should have a minimum dimension of 2 metres and should be well proportioned to be functional and promote indoor/outdoor living.

Design Techniques (these are ONE WAY of meeting the above Principle)

61.1 Design solutions for balconies may include:

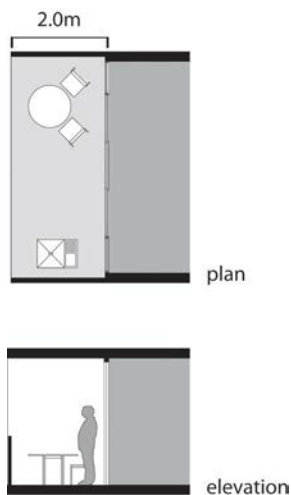


Figure 61.1 - a minimum depth of 2 metres

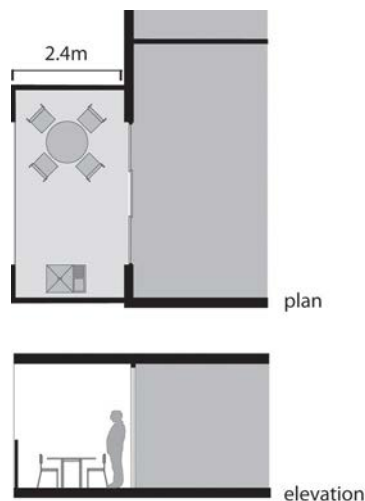


Figure 61.2 - a 2.4 metre deep balcony is needed for a table and four chairs.

- 62** Balconies should be integrated into the overall architectural form and detail of the development and should:
- (a) utilise sun screens, pergolas, shutters and openable walls to control sunlight and wind;
 - (b) be cantilevered, partially cantilevered and/or recessed in response to daylight, wind, acoustic and visual privacy;
 - (c) be of a depth that ensures sunlight can enter the dwelling below; and
 - (d) allow views and casual surveillance of the street while providing for safety and visual privacy.
- 63** Secondary balconies, including Juliet balconies or operable walls with balustrades should be considered, subject to overlooking and privacy, for additional amenity and choice.
- 64** For clothes drying, balconies off laundries or bathrooms and roof top areas should be screened from public view.
- 65** The incorporation of roof top gardens is encouraged providing it does not result in unreasonable overlooking or loss of privacy.

Visual Privacy

- 66** Medium to high scale residential or serviced apartment development should be designed and sited to minimise the potential overlooking of habitable rooms such as bedrooms and living areas of adjacent development.
- 67** A habitable room window, balcony, roof garden, terrace or deck should be set-back from boundaries with adjacent sites at least three metres to provide an adequate level of amenity and privacy and to not restrict the reasonable development of adjacent sites.

Noise and Internal Layout

- 68** Medium to high scale residential or serviced apartment development close to high noise sources (e.g. major roads, established places of entertainment and centres of activity) should be designed to locate noise sensitive rooms and private open space away from noise sources, or be protected by appropriate shielding techniques.
- 69** Attached or abutting dwellings/apartments should be designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.

Minimum Unit Sizes

- 70** Medium to high scale residential or serviced apartment development should provide a high quality living environment by ensuring the following minimum internal floor areas:
- (a) studio (where there is no separate bedroom): 35 square metres.
 - (b) 1 bedroom dwelling/apartment: 50 square metres
 - (c) 2 bedroom dwelling/apartment: 65 square metres
 - (d) 3+ bedroom dwelling/apartment: 80 square metres plus an additional 15 square metres for every additional bedroom over 3 bedrooms.

Note: Dwelling/apartment "unit size" includes internal storage areas but does not include balconies or car parking as part of the calculation.

- 71** Internal structural columns should correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.

Adaptability

72 Within medium to high scale residential or serviced apartment development, dwelling/apartment layouts should be adaptable to accommodate:

- (a) a range of activities and privacy levels between different spaces;
- (b) flexible room sizes and proportions;
- (c) efficient circulation to optimise the functionality of floor space within rooms; and
- (d) the future reuse of student accommodation as residential apartments through a design and layout that allows individual apartments to be reconfigured into a larger dwelling or other alternative use.

Design Technique (*this is ONE WAY of meeting the above Principle*)

72.1 Design solutions may include:

- (a) windows in all habitable rooms and to the maximum number of non-habitable rooms;
- (b) adequate room sizes or open plan dwellings which provide a range of furniture layout options; and/or
- (c) dual master bedrooms that can support two independent adults living together or a live/work situation.

Outlook

73 All medium to high scale residential or serviced apartment development should be designed to ensure the living rooms have a satisfactory external outlook. Living rooms that do not have an outlook or the only source of outlook is through high level windows or a skylight are not considered to provide an appropriate level of amenity for the occupiers.

Note: Outlook is a short range prospect and is distinct from a view which is more extensive and long range to particular objects or geographic features.

74 Light wells may be used as a source of daylight, ventilation, outlook and sunlight for medium to high scale residential or serviced apartment development provided that:

- (a) living rooms do not have lightwells as their only source of outlook;
- (b) lightwells up to 18 metres in height have a minimum horizontal dimension of 3 metres or 6 metres if overlooked by bedrooms; and
- (c) lightwells higher than 18 metres in height have a minimum horizontal dimension of 6 metres or 9 metres if overlooked by bedrooms.

On-Site Parking and Fencing

OBJECTIVE

Objective 23: Safe and convenient on-site car parking for resident and visitor vehicles.

PRINCIPLES OF DEVELOPMENT CONTROL

75 To ensure an adequate provision of on-site parking, car parking should be provided for medium to high scale residential (other than student accommodation) or serviced apartment development in accordance with [Table Adel/7](#).

- 76** Garages and parking structures associated with medium to high scale residential or serviced apartment development should be located so that they do not visually dominate the street frontage.
- 77** Car parking areas should be designed and located to:
- (a) be close and convenient to dwellings/apartments;
 - (b) be lit at night;
 - (c) be well ventilated if enclosed;
 - (d) avoid headlight glare into windows; and
 - (e) clearly define visitor parking.
- 78** Where garages are located within a basement or undercroft:
- (a) the width of access driveways should be kept to a minimum and should not detract from the streetscape;
 - (b) driveways should be designed to ensure safe and convenient access and egress;
 - (c) access should be restricted to one driveway or one point of access and egress;
 - (d) vehicles should be able to safely exit in a forward direction and should not compromise pedestrian safety or cause conflict with other vehicles; and
 - (e) the height of the car park ceiling should not exceed one metre above the finished ground floor level to ensure minimal impact on the streetscape.
- 79** Fencing and walls should:
- (a) be articulated and detailed to provide visual interest;
 - (b) assist the development to address the street;
 - (c) assist in the provision of safety and surveillance;
 - (d) assist in highlighting entrances; and
 - (e) enable visibility of buildings from and to the street.

Storage Areas

- 80** Site facilities should be readily accessible to each dwelling/serviced apartment, complement the development and relevant desired character and should include:
- (a) a common mail box structure located close to the main pedestrian entrance;
 - (b) areas for the storage and collection of goods, materials, refuse and waste including facilities to enable the separation of recyclable materials as appropriate to the size and nature of the development and screened from public view; and
 - (c) external clothes drying areas for residential dwellings that do not incorporate ground level open space.
- 81** Medium to high scale residential (other than student accommodation) or serviced apartment development should provide adequate and accessible storage facilities for the occupants at the following minimum rates:

- (a) studio: 6 cubic metres
- (b) 1 bedroom dwelling/apartment: 8 cubic metres
- (c) 2 bedroom dwelling/apartment: 10 cubic metres
- (d) 3+ bedroom dwelling/apartment: 12 cubic metres

50 percent of the storage space should be provided within the dwelling/apartment with the remainder provided in the basement or other communal areas.

Environmental

Crime Prevention Through Urban Design

OBJECTIVES

Objective 24: A safe and secure, crime resistant environment that:

- (a) ensures that land uses are integrated and designed to facilitate natural surveillance;
- (b) promotes building and site security; and
- (c) promotes visibility through the incorporation of clear lines of sight and appropriate lighting.

PRINCIPLES OF DEVELOPMENT CONTROL

82 Development should promote the safety and security of the community in the public realm and within development. Development should:

- (a) promote natural surveillance of the public realm, including open space, car parks, pedestrian routes, service lanes, public transport stops and residential areas, through the design and location of physical features, electrical and mechanical devices, activities and people to maximise visibility by:
 - (i) orientating windows, doors and building entrances towards the street, open spaces, car parks, pedestrian routes and public transport stops;
 - (ii) avoiding high walls, blank facades, carports and landscaping that obscures direct views to public areas;
 - (iii) arranging living areas, windows, pedestrian paths and balconies to overlook recreation areas, entrances and car parks;
 - (iv) positioning recreational and public space areas so they are bound by roads on at least two road frontages or overlooked by development;
 - (v) creating a complementary mix of day and night-time activities, such as residential, commercial, recreational and community uses, that extend the duration and level of intensity of public activity;
 - (vi) locating public toilets, telephones and other public facilities with direct access and good visibility from well-trafficked public spaces;
 - (vii) ensuring that rear service areas and access lanes are either secured or exposed to surveillance; and

- (viii) ensuring the surveillance of isolated locations through the use of audio monitors, emergency telephones or alarms, video cameras or staff eg by surveillance of lift and toilet areas within car parks.
- (b) provide access control by facilitating communication, escape and path finding within development through legible design by:
 - (i) incorporating clear directional devices;
 - (ii) avoiding opportunities for concealment near well travelled routes;
 - (iii) closing off or locking areas during off-peak hours, such as stairwells, to concentrate access/exit points to a particular route;
 - (iv) use of devices such as stainless steel mirrors where a passage has a bend;
 - (v) locating main entrances and exits at the front of a site and in view of a street;
 - (vi) providing open space and pedestrian routes which are clearly defined and have clear and direct sightlines for the users; and
 - (vii) locating elevators and stairwells where they can be viewed by a maximum number of people, near the edge of buildings where there is a glass wall at the entrance.
- (c) promote territoriality or sense of ownership through physical features that express ownership and control over the environment and provide a clear delineation of public and private space by:
 - (i) clear delineation of boundaries marking public, private and semi-private space, such as by paving, lighting, walls and planting;
 - (ii) dividing large development sites into territorial zones to create a sense of ownership of common space by smaller groups of dwellings; and
 - (iii) locating main entrances and exits at the front of a site and in view of a street.
- (d) provide awareness through design of what is around and what is ahead so that legitimate users and observers can make an accurate assessment of the safety of a locality and site and plan their behaviour accordingly by:
 - (i) avoiding blind sharp corners, pillars, tall solid fences and a sudden change in grade of pathways, stairs or corridors so that movement can be predicted;
 - (ii) using devices such as convex security mirrors or reflective surfaces where lines of sight are impeded;
 - (iii) ensuring barriers along pathways such as landscaping, fencing and walls are permeable;
 - (iv) planting shrubs that have a mature height less than one metre and trees with a canopy that begins at two metres;
 - (v) adequate and consistent lighting of open spaces, building entrances, parking and pedestrian areas to avoid the creation of shadowed areas; and
 - (vi) use of robust and durable design features to discourage vandalism.

83 Residential development should be designed to overlook streets, public and communal open space to allow casual surveillance.

Design Technique (this is ONE WAY of meeting the above Principle)

83.1 Residential development adjacent to public or communal open space or streets having at least one habitable room window facing such areas with a sill height no greater than 1.5 metres.

- 84** To maximise security and safety, buildings should be designed to minimise access between roofs, balconies and windows of adjacent buildings.
- 85** Security features should be incorporated within the design of shop fronts to complement the design of the frontage and allow window shopping out of hours. If security grilles are provided, these should:
- (a) be transparent and illuminated to complement the appearance of the frontage;
 - (b) provide for window shopping; and
 - (c) allow for the spill of light from the shop front onto the street.

Solid shutters with less than 75 percent permeability are not acceptable.

- 86** Public toilets should be designed and located to:
- (a) promote the visibility of people entering and exiting the facility by avoiding recessed entrances and dense shrubbery which obstructs passive surveillance;
 - (b) limit opportunities for vandalism through the use of vandal proof lighting on the public toilet buildings and nearby;
 - (c) avoid features which facilitate loitering, such as seating or telephones immediately adjacent the structure; and
 - (d) maximise surveillance through location near public transport links, pedestrian and cyclist networks.

Operating Hours and Associated Activities of Licensed Premises

OBJECTIVE

Objective 25: Operating hours of licensed premises or licensed entertainment premises, together with associated activities of such premises, established and operated so as to reinforce the desired character of the locality and appropriate behavioural activities.

PRINCIPLES OF DEVELOPMENT CONTROL

- 87** Licensed premises and licensed entertainment premises or similar should:
- (a) be located, designed and operated in order to reinforce the desired character of a locality, as expressed in the relevant Zone or Policy Area;
 - (b) be located, designed and operated so as to not negatively impact on peoples orderly use and enjoyment of a locality, such as through disorderly behavioural activities and/or disorderly behavioural movement to and from such land uses; and
 - (c) incorporate best practice measures to effectively manage the behaviour of users moving to and from such land uses.
- 88** Licensed premises and licensed entertainment premises or similar should operate with operating hours to reinforce the desired character of the locality.

Noise Emissions

OBJECTIVES

Objective 26: Development that does not unreasonably interfere with the desired character of the locality by generating unduly annoying or disturbing noise.

Objective 27: Noise sensitive development designed to protect its occupants from existing noise sources and from noise sources contemplated within the relevant Zone or Policy Area and that does not unreasonably interfere with the operation of non-residential uses contemplated within the relevant Zone or Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Noise Sources

- 89** Development with potential to emit significant noise (including licensed entertainment premises and licensed premises) should incorporate appropriate noise attenuation measures in to their design to prevent noise from causing unreasonable interference with the amenity and desired character of the locality, as contemplated in the relevant Zone and Policy Area.
- 90** Development of licensed premises or licensed entertainment premises or similar in or adjacent to a City Living Zone, the Adelaide Historic (Conservation) Zone or the North Adelaide Historic (Conservation) Zone should include noise attenuation measures to achieve the following when assessed at the nearest existing or envisaged future noise sensitive development:
- (a) the music noise ($L_{10, 15 \text{ min}}$) is:
 - (i) less than 8 dB above the level of background noise₂ ($L_{90, 15 \text{ min}}$) in any octave band of the sound spectrum; and
 - (ii) less than 5 dB(A) above the level of background noise ($L_{A 90, 15 \text{ min}}$) for the overall (sum of all octave bands) A-weighted level.
- 91** Development of licensed premises or licensed entertainment premises or similar in the Capital City, Main Street, Mixed Use and City Frame Zones should include noise attenuation measures to achieve the following when assessed at:
- (a) the nearest existing noise sensitive location in or adjacent to that Zone:
 - (i) music noise ($L_{10, 15 \text{ min}}$) less than 8 dB above the level of background noise ($L_{90, 15 \text{ min}}$) in any octave band of the sound spectrum; and
 - (ii) music noise ($L_{A 10, 15 \text{ min}}$) less than 5 dB(A) above the level of background noise ($L_{A 90, 15 \text{ min}}$) for the overall (sum of all octave bands) A-weighted levels; or
 - (b) the nearest envisaged future noise sensitive location in or adjacent to that Zone:
 - (i) music noise ($L_{10, 15 \text{ min}}$) less than 8dB above the level of background noise ($L_{90, 15 \text{ min}}$) in any octave band of the sound spectrum and music noise ($L_{10, 15 \text{ min}}$) less than 5dB(A) above the level of background noise ($L_{A 90, 15 \text{ min}}$) for the overall (sum of all octave bands) A-weighted levels; or
 - (ii) music noise ($L_{10, 15 \text{ min}}$) less than 60dB(Lin) in any octave band of the sound spectrum and the overall ($L_{A 10, 15 \text{ min}}$) noise level is less than 55 dB(A).

Note: A report regarding noise associated with licensed premises or licensed entertainment premises or similar prepared by an acoustic engineer at the planning application stage should specify the noise attenuation measures and address other typical noise sources to ensure those sources do not result in unreasonable interference. These noise attenuation measures might include:

- (a) *installation of an in-house music system which has a limiting device that monitors and controls the volume of the system so that the maximum internal noise level certified by the acoustic engineer is not exceeded;*

- (b) *treatment of openings, such as by airlocks and seals for doors, sealing of wall and roof vents and treatment of ventilation and air-conditioning paths;*
- (c) *acoustic treatment of building elements, such as sealing and double glazing of windows or upgrading roof construction;*
- (d) *no entertainment on or in any balcony or outdoor area;*
- (e) *no loud speakers placed on or in the fascia of the premises, balcony or any adjacent outdoor area or footpath;*
- (f) *external windows and doors are kept closed where relied upon for noise attenuation;*
- (g) *locating and designing entrances and fencing to assist in keeping patrons away from noise sensitive areas; or*
- (h) *locating car park, delivery and rubbish collection areas away from noise sensitive development and limiting times of activity to minimise noise impacts.*

92 Speakers should not be placed on the fascias of premises or on the pavement adjacent to the premises to ensure development does not diminish the enjoyment of other land in the locality.

93 Mechanical plant or equipment should be designed, sited and screened to minimise noise impact on adjacent premises or properties. The noise level associated with the combined operation of plant and equipment such as air conditioning, ventilation and refrigeration systems when assessed at the nearest existing or envisaged noise sensitive location in or adjacent to the site should not exceed

- (a) 55 dB(A) during daytime (7.00am to 10.00pm) and 45 dB(A) during night time (10.00pm to 7.00am) when measured and adjusted in accordance with the relevant environmental noise legislation except where it can be demonstrated that a high background noise exists.
- (b) 50 dB(A) during daytime (7.00am to 10.00pm) and 40 dB(A) during night time (10.00pm to 7.00am) in or adjacent to a City Living Zone, the Adelaide Historic (Conservation) Zone, the North Adelaide Historic (Conservation) Zone or the Park Lands Zone when measured and adjusted in accordance with the relevant environmental noise legislation except where it can be demonstrated that a high background noise exists.

94 To ensure minimal disturbance to residents:

- (a) ancillary activities such as deliveries, collection, movement of private waste bins, goods, empty bottles and the like should not occur:
 - (i) after 10.00pm; and
 - (ii) before 7.00am Monday to Saturday or before 9.00am on a Sunday or Public Holiday.
- (b) typical activity within any car park area including vehicles being started, doors closing and vehicles moving away from the premises should not result in sleep disturbance when proposed for use after 10.00pm as defined by the limits recommended by the World Health Organisation.

Noise Receivers

95 Noise sensitive development should incorporate adequate noise attenuation measures into their design and construction to provide occupants with reasonable amenity when exposed to noise sources such as major transport corridors (road, rail, tram and aircraft), commercial centres, entertainment premises and the like, and from activities and land uses contemplated in the relevant Zone and Policy Area provisions.

96 Noise sensitive development in mixed use areas should not unreasonably interfere with the operation of surrounding non-residential uses that generate noise levels that are commensurate with the envisaged amenity of the locality.

97 Noise sensitive development adjacent to noise sources should include noise attenuation measures to achieve the following:

- (a) satisfaction of the sleep disturbance criteria in the bedrooms or sleeping areas of the development as defined by the limits recommended by the World Health Organisation;
- (b) the maximum satisfactory levels in any habitable room for development near major roads, as provided in the Australian/New Zealand Standard AS/NZS 2107:2000 - 'Acoustics - Recommended Design Sound Levels and Reverberation Times for Building Interiors'; and
- (c) noise level in any bedroom, when exposed to music noise (L_{10}) from existing entertainment premises, being:
 - (i) less than 8 dB above the level of background noise ($L_{90,15 \text{ min}}$) in any octave band of the sound spectrum; and
 - (ii) less than 5 dB(A) above the level of background noise ($L_{A90,15 \text{ min}}$) for the overall (sum of all octave bands) A-weighted levels.

Background noise within the habitable room can be taken to be that expected in a typical residential/apartment development of the type proposed, that is inclusive of internal noise sources such as air conditioning systems, refrigerators and the like as deemed appropriate.

Unless otherwise demonstrated, the minimum background noise to be used will be:

Octave Band Centre Frequency (Hz)	Minimum Background Noise Level ($L_{A90, 15}$) dB (A)
63	10
125	12
250	14
500	14
1000	12
2000	10
4000	8
Overall Sum	21

on the basis of the windows being closed for the noise sensitive development and any existing entertainment premises complying with the relevant legislation relating to noise emission.

Note: The report prepared by a suitably qualified acoustic engineer at the planning application submission stage should identify existing noise sources, identify the appropriate level of sound attenuation required and specify the noise attenuation measures that will be applied to the proposal. The noise attenuation measures might include:

- (a) siting and orientating the building away from the noise source and/or providing an external area that limits noise levels to World Health Organisation recommendations for residential areas;
- (b) sensitive internal layout of rooms, by locating noise sensitive rooms such as bedrooms and secluded private open space areas away from the noise source;
- (c) locating and designing entrances to be sealed and to provide air lock entries to sensitive rooms;
- (d) window location and design through thicker glass or double glazing of windows in recognition of the noise source;
- (e) sloping of roof or flat roof/parapet design to assist in noise passing overhead rather than penetrating through the roof of the dwelling;
- (f) selecting appropriate construction materials, such as sound absorbing materials and materials that reduce sound transmission;
- (g) installing door seals;
- (h) creation of hybrid buildings that serve as a buffer between different uses, eg the location of offices between residential and entertainment uses, can be vertically or horizontally applied;
- (i) adequate separation between residential and noise generating uses;
- (j) acoustic separation of ducts, fans etc;
- (k) constructing shared walls and floors between dwellings/apartments in a way which minimises the transmission of noise; or
- (l) separating openings of adjacent dwellings/apartments by a distance of a least three metres.

- 98** Attached dwellings/serviced apartments should be designed to minimise the transmission of sound between dwellings/serviced apartments and should particularly protect bedrooms from possible noise intrusion.

Design Techniques (these are ONE WAY of meeting the above Principle)

- 98.1** *Appropriate stacking and horizontal location of rooms, eg bedrooms over bedrooms and bedrooms next to bedrooms.*
- 98.2** *Bedrooms of any dwelling/serviced apartment:*
- (a) not sharing a wall with a living room* or a garage of another dwelling; and*
 - (b) not located above or below a living room* of another abutting dwelling.*

- 99** The number of dwellings/serviced apartments within a development sharing a common entry should be minimised to limit noise generation in internal access ways.

Design Techniques (these are ONE WAY of meeting the above Principle)

- 99.1** *Common entries servicing a maximum of 10 dwellings/serviced apartments on each floor level.*
- 99.2** *Incorporation of acoustic core filled doors with airtight rubber seals for all entry doors into common access ways.*

- 100** Development on land affected by aircraft noise exceeding 20 ANEF, as shown on [Map/1 \(Overlay 6\)](#), should be designed, constructed and insulated to minimise the impact of aircraft noise by being built in accordance with the Australian Standard AS2021-2000: 'Acoustics - Aircraft Noise Intrusion - Building Siting and Construction'.

Waste Management

OBJECTIVE

- Objective 28:** Development which supports high local environmental quality, promotes waste minimisation, re-use and recycling, encourages waste water, grey water and stormwater re-use and does not generate unacceptable levels of air, liquid or solid pollution.

PRINCIPLES OF DEVELOPMENT CONTROL

- 101** A dedicated area for on-site collection and sorting of recyclable materials and refuse should be provided within all new development.
- 102** A dedicated area for the collection and sorting of construction waste and the recycling of building materials during construction as appropriate to the size and nature of the development should be provided and screened from public view.
- 103** Development greater than 2 000 square metres of total floor area should manage waste by:
- (a) containing a dedicated area for the collection and sorting of construction waste and recyclable building materials;
 - (b) on-site storage and management of waste;
 - (c) disposal of non-recyclable waste; and

* Living room means a room used for social interaction, relaxation or dining, including a living room, lounge room or open eating area linked to a kitchen, but does not include a bedroom.

- (d) incorporating waste water and stormwater re-use including the treatment and re-use of grey water.

104 Development should not result in emission of atmospheric, liquid or other pollutants, or cause unacceptable levels of smell and odour which would detrimentally affect the amenity of adjacent properties or its locality. Land uses such as restaurants, shops, cafés or other uses that generate smell and odour should:

- (a) ensure extraction flues, ventilation and plant equipment are located in appropriate locations that will not detrimentally affect the amenity of adjacent occupiers in terms of noise, odours and the appearance of the equipment;
- (b) ensure ventilation and extraction equipment and ducting have the capacity to clean and filter the air before being released into the atmosphere; and
- (c) ensure the size of the ventilation and extraction equipment is suitable and has the capacity to adequately cater for the demand generated by the potential number of patrons.

Design Technique (this is ONE WAY of meeting the above Principle)

104.1 *Ventilation equipment built in accordance with Australian Standard 1668.2-2002: 'The Use of Ventilation and Airconditioning in Buildings - Ventilation Design for Indoor Air Contaminant Control'.*

Contaminated Sites

OBJECTIVE

Objective 29: A safe and healthy living and working environment.

PRINCIPLES OF DEVELOPMENT CONTROL

105 Where there is evidence of, or reasonable suspicion that land, buildings and/or water, including underground water, may have been contaminated, or there is evidence of past potentially contaminating activity/ies, development should only occur where it is demonstrated that the land, buildings and/or water can be made suitable for its intended use prior to commencement of that use.

Note: Information of the suitability of land for the proposed land use should be provided as part of the development application and should include:

- (a) *the provision of a report of the land use history and condition of the site;*
- (b) *where the report reveals that contamination is suspected or identified, a detailed site assessment report that determines whether site contamination poses an actual or potential risk to human health and the environment, either on or off the site, of sufficient magnitude to warrant remediation appropriate to the proposed land use;*
- (c) *where remediation is warranted, a remediation and/or management strategy prepared in consultation with an independent Environmental Auditor, Contaminated Land, endorsed by the EPA;*
- (d) *a site audit report, prepared by an independent Environmental Auditor, Contaminated Land, endorsed by the EPA, that states that in the opinion of the Auditor, the site is suitable for the intended uses(s), or for certain stated uses(s) and also states any conditions pertaining to the use(s).*

Energy Efficiency

OBJECTIVE

Objective 30: Development which is compatible with the long term sustainability of the environment, minimises consumption of non-renewable resources and utilises alternative energy generation systems.

PRINCIPLES OF DEVELOPMENT CONTROL

All Development

106 Buildings should provide adequate thermal comfort for occupants and minimise the need for energy use for heating, cooling and lighting by:

- (a) providing an internal day living area with a north-facing window, other than for minor additions*, by:
 - (i) arranging and concentrating main activity areas of a building to the north for solar penetration; and
 - (ii) placing buildings on east-west allotments against or close to the southern boundary to maximise northern solar access and separation to other buildings to the north.
- (b) efficient layout, such as zoning house layout to enable main living areas to be separately heated and cooled, other than for minor additions;
- (c) locating, sizing and shading windows to reduce summer heat loads and permit entry of winter sun;
- (d) allowing for natural cross ventilation to enable cooling breezes to reduce internal temperatures in summer;
- (e) including thermal insulation of roof, walls, floors and ceilings and by draught proofing doors, windows and openings;
- (f) ensuring light colours are applied to external surfaces that receive a high degree of sun exposure, but not to an extent that will cause glare which produces discomfort or danger to pedestrians, occupants of adjacent buildings and users of vehicles;
- (g) providing an external clothes line for residential development; and
- (h) use of landscaping.

Design Techniques (these are ONE WAY of meeting part of the above Principle)

106.1 In relation to Principle 106(a), facing the length of the development to the north to maximise solar access with day living areas incorporating a window that faces between 20° west and 30° east of true north; or

106.2 In relation to Principle 106(b):

- (a) grouping rooms with similar uses and heating and cooling needs;
- (b) incorporating doors between living areas and other rooms and corridors; and
- (c) placing utility areas such as bathrooms, toilets and laundries as buffer zones to the west.

106.3 In relation to Principle 106(c):

- (a) dwellings and additions (other than minor additions) having a total window area (including glass doors) of less than 30 percent of the total wall area of the dwelling;
- (b) dwellings and additions (other than minor additions) having a total window area facing east and west not exceeding 50 percent of the total window area of the dwelling to avoid heat gain during the summer months and reduce heat loss during the winter months;

* Minor additions have a floor area less than 50 percent of the existing dwelling and do not include a day living area.

- (c) *shading of north facing windows to allow winter sun access but providing complete shading during summer, such as by eaves overhang, awnings, adjustable louvres, pergola's, shutters or planting of deciduous trees and vines;*
- (d) *external shading is provided to west facing windows; and*
- (e) *designing skylights and high level windows with adjustable louvres, double glazing and shading to minimise heat gain or loss.*

106.4 *In relation to Principle 106(d):*

- (a) *positioning windows and doors to encourage cross ventilation for summer cooling as illustrated below.*

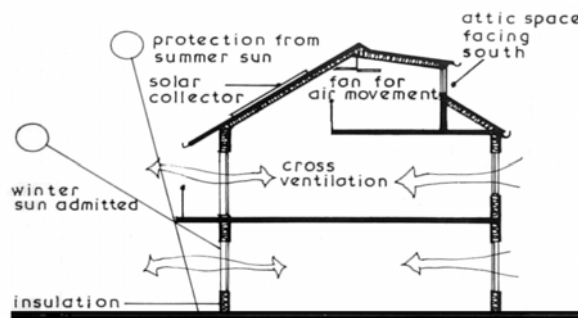


Figure 106.1 - appropriate orientation and design for residential development

106.5 *In relation to Principle 106(h):*

- (a) *using appropriate landscaping to assist in microclimatic management of a site by:*
 - (i) *planting of evergreen trees along the eastern and western boundaries to protect from eastern and western sun providing it poses no undue risk of damage to footings; or*
 - (ii) *incorporating low shrubs, lawns, ponds and pools to cool summer breezes.*

107 All development should be designed to promote naturally ventilated and day lit buildings to minimise the need for mechanical ventilation and lighting systems.

108 Energy reductions should, where possible, be achieved by the following:

- (a) appropriate orientation of the building by:
 - (i) maximising north/south facing facades;
 - (ii) designing and locating the building so the north facade receives good direct solar radiation;
 - (iii) minimising east/west facades to protect the building from summer sun and winter winds;
 - (iv) narrow floor plates to maximise the amount of floor area receiving good daylight; and/or
 - (v) minimising the ratio of wall surface to floor area.
- (b) window orientation and shading;
- (c) adequate thermal mass including night time purging to cool thermal mass;

- (d) appropriate insulation by:
 - (i) insulating windows, walls, floors and roofs; and
 - (ii) sealing of external openings to minimise infiltration.
- (e) maximising natural ventilation including the provision of openable windows;
- (f) appropriate selection of materials, colours and finishes; and
- (g) introduction of efficient energy use technologies such as geo-exchange and embedded, distributed energy generation systems such as cogeneration*, wind power, fuel cells and solar photovoltaic panels that supplement the energy needs of the building and in some cases, export surplus energy to the electricity grid.

Design Techniques (these are ONE WAY of meeting part of the above Principle)

108.1 In relation to Principle 108(b) (refer Figure 108.1):

- (a) shading for all windows except for south facing elevation against summer sun penetration, by means such as vegetation, external louvres, external blinds, structural overhangs, low emittance glazing, spectrally-selective glazing and/or window films;
- (b) maximising natural daylight while limiting glare through the incorporation of narrow floor plates, light shelves, shaded skylights, light shafts and/or atriums with daylight sensing control of electric lighting;

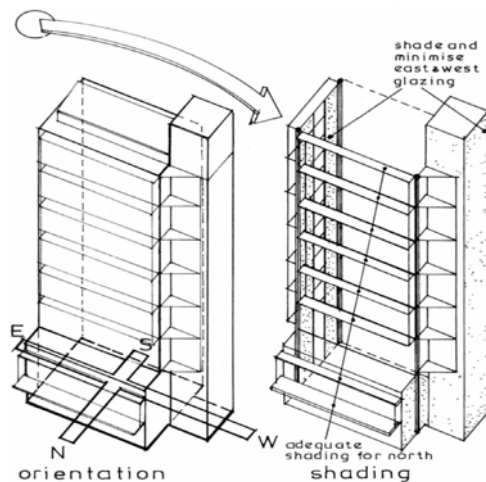


Figure 108.1 - appropriate orientation and shading for commercial buildings.

- (c) integration of solar shading with solar energy collection technology such as solar heat pumps and photovoltaic cells; and/or
- (d) use of high performance glazing.

108.2 In relation to Principle 108(c):

- (a) night purging and fan assisted thermal chimneys to remove heat stored in the building during the day and the recirculation of warm air during winter; and
- (b) adjustable air flow rates for high, but variable, occupancy rates (ie office and conference areas).

108.3 *In relation to Principle 108(f):*

- (a) *use of materials and light colours that reflect rather than absorb solar radiation, whilst ensuring reflective material avoids transferring heat and glare to adjoining properties and/or the pedestrian environment;*
- (b) *use of well insulated materials; and*
- (c) *light coloured internal walls and ceilings to assist with effective distribution of daylight.*

108.4 *In relation to Principle 108(g), geexchange heating and cooling systems including closed loop and open loop systems.*

109 Orientation and pitch of the roof should facilitate the efficient use of solar collectors and photovoltaic cells.

Design Techniques *(these are ONE WAY of meeting the above Principle)***109.1** *A roof incorporating an area of at least 10 square metres which:*

- (a) *faces between 30° east and 20° west of north respectively; and*
- (b) *has a pitch of greater than 18°.*

110 Buildings, where practical, should be refurbished, adapted and reused to ensure an efficient use of resources.

111 New buildings should be readily adaptable to future alternative uses.

Design Techniques *(these are ONE WAY of meeting part of the above Principle)***111.1** *Design solutions may include:*

- (a) *a structural grid which accommodates car parking dimensions, retail, commercial and residential uses vertically throughout the building;*
- (b) *the alignment of structural walls, columns and service cores between floor levels;*
- (c) *minimisation of internal structural walls;*
- (d) *higher floor to floor dimensions on the ground and first floor;*
- (e) *knock-out panels between dwellings to allow two adjacent dwellings to be amalgamated;*
- (f) *design for disassembly by selecting systems/materials that can be deconstructed at the end of the projects useful life; and/or*
- (g) *the use of products with high post-consumer recyclable content.*

112 Selection of internal materials for all buildings should be made with regard to internal air quality and ensure low toxic emissions, particularly with respect to paint and joinery products.

Design Techniques *(these are ONE WAY of meeting part of the above Principle)***112.1** *The use of:*

- (a) *oil based floor sealers; and/or*
- (b) *natural materials for floor linings such as plywood flooring, linoleum and wool carpet.*

Residential Development

- 113** New residential development and residential extensions should be designed to minimise energy consumption and limit greenhouse gas emissions.
- 114** Development is encouraged to avoid heat loss by incorporating treatments, such as double glazing of windows along the southern elevation, or by minimizing the extent of windows facing south.

Office Development

- 115** The following principles of sustainable design and construction are required for new office development, and additions and refurbishments to existing office development, to minimise energy consumption and limit greenhouse gas emissions:
- (a) passive solar consideration in the design, planning and placement of buildings;
 - (b) re-using and/or improving existing structures or buildings;
 - (c) designing for the life-cycle of the development to allow for future adaptation;
 - (d) considering low levels of embodied energy in the selection and use of materials;
 - (e) developing energy efficiency solutions including passive designs using natural light, solar control, air movement and thermal mass. Systems should be zoned to minimise use of energy;
 - (f) using low carbon and renewable energy sources, such as Combined Heat and Power (CHP) systems and photovoltaics; and
 - (g) preserving and enhancing local biodiversity, such as by incorporating roof top gardens.

Design Techniques (this is ONE WAY of meeting part of the above Principle)

115.1 In relation to Principle 115(d):

- (a) *re-using materials and recycled building materials such as:*
 - (i) *recycled and/or plantation timbers;*
 - (ii) *recycled content in steel reinforcing;*
 - (iii) *60 percent or more recycled aggregate in concrete; and*
 - (iv) *recycled cork and/or rubber flooring;*
- (b) *materials derived from renewable resources; and*
- (c) *durable and low-maintenance materials to minimise replacement intervals and maintenance requirements.*

115.2 In relation to Principle 115(e):

- (a) *lighting management systems that employ both motion and lighting level sensors that can be updated;*
- (b) *mixed mode or hybrid comfort control systems (natural and mechanical ventilation systems) which comprise both manually operable openings and automatically controlled openings, utilising temperature sensors and zoned heating areas;*
- (c) *energy efficient fittings;*

- (d) *closed or open loop geexchange systems providing space cooling, space heating and domestic hot water.*

Renewable Energy

OBJECTIVES

- Objective 31:** The development of renewable energy facilities, such as wind and biomass energy facilities, in appropriate locations.
- Objective 32:** Renewable energy facilities located, sited, designed and operated to avoid or minimise adverse impacts and maximise positive impacts on the environment, local community and the State.

PRINCIPLES OF DEVELOPMENT CONTROL

- 116** Renewable energy facilities, including wind farms, should be located, sited, designed and operated in a manner which avoids or minimises adverse impacts and maximises positive impacts on the environment, local community and the State.
- 117** Renewable energy facilities, including wind farms, and ancillary developments should be located in areas that maximise efficient generation and supply of electricity.
- 118** Renewable energy facilities, including wind farms, and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) should be located, sited, designed and operated in a manner which:
- (a) avoids or minimises detracting from the character, landscape quality, visual significance or amenity of the area;
 - (b) utilises elements of the landscape, materials and finishes to minimise visual impact;
 - (c) avoids or minimises adverse impact on areas of native vegetation, conservation, environmental, geological, tourism or built or natural heritage value;
 - (d) does not impact on the safety of water or air transport and the operation of ports, airfields and designated landing strips;
 - (e) avoids or minimises nuisance or hazard to nearby property owners/occupiers, road users and wildlife by way of:
 - (i) shadowing, flickering, reflection and blade glint impacts;
 - (ii) noise;
 - (iii) interference to television and radio signals;
 - (iv) modification to vegetation, soils and habitats; and
 - (v) bird and bat strike.

Micro-climate and Sunlight

OBJECTIVES

- Objective 33:** Buildings which are designed and sited to be energy efficient and to minimise micro-climatic and solar access impacts on land or other buildings.
- Objective 34:** Protection from rain, wind and sun without causing detriment to heritage places, street trees or the integrity of the streetscape.

PRINCIPLES OF DEVELOPMENT CONTROL

- 119** Development should be designed and sited to minimise micro-climatic and solar access impact on adjacent land or buildings, including effects of patterns of wind, temperature, daylight, sunlight, glare and shadow.
- 120** Development should be designed and sited to ensure an adequate level of daylight, minimise overshadowing of buildings, and public and private outdoor spaces, particularly during the lunch time hours.
- 121** Development should not significantly reduce daylight to private open space, communal open space, where such communal open space provides the primary private open space, and habitable rooms in adjacent City Living Zone, Adelaide Historic (Conservation) Zone and North Adelaide Historic (Conservation) Zone.
- 122** Glazing on building facades should not result in glare which produces discomfort or danger to pedestrians, occupants of adjacent buildings and users of vehicles.

***Design Techniques** (these are ONE WAY of meeting the above Principle)*

***122.1** Design solutions may include:*

- (a) reducing the quantity of glass used by having a higher proportion of masonry or other non-reflective materials in the building exterior;*
- (b) recessing glass into the building;*
- (c) shading or angling the glass;*
- (d) selecting glass that has a low level of reflection; and/or*
- (e) avoiding the use of large expanses of highly reflective materials.*

- 123** Buildings within the Core and Primary Pedestrian Areas identified in [Map Adel/1 \(Overlays 2, 2A and 3\)](#), unless specified otherwise within the relevant Zone or Policy Area, should be designed to provide weather protection for pedestrians against rain, wind and sun. The design of canopies, verandahs and awnings should be compatible with the style and character of the building and adjoining buildings, as well as the desired character, both in scale and detail.
- 124** Weather protection should not be introduced where it would interfere with the integrity or heritage value of heritage places or unduly affect street trees.
- 125** Development that is over 21 metres in building height and is to be built at or on the street frontage should minimise wind tunnel effect.

***Design Techniques** (these are ONE WAY of meeting the above Principle)*

***125.1** Methods to reduce the potential for a wind tunnel effect may include:*

- (a) a podium built at the base of a tall tower and aligned with the street to deflect wind away from the street;*
- (b) substantial verandahs around a building to deflect downward travelling wind flows; and/or*
- (c) placing one building windward of another building.*

Stormwater Management

OBJECTIVES

Objective 35: Development which maximises the use of stormwater.

Objective 36: Development designed and located to protect stormwater from pollution sources.

Surface water (inland, marine, estuarine) and ground water has the potential to be detrimentally affected by water run-off from development containing solid and liquid wastes. Minimising and possibly eliminating sources of pollution will reduce the potential for degrading water quality and enable increased use of stormwater for a range of applications with environmental, economic and social benefits.

Objective 37: Development designed and located to protect or enhance the environmental values of receiving waters.

Objective 38: Development designed and located to prevent erosion.

Development involving soil disturbance may result in erosion and subsequently sedimentation and pollutants entering receiving waters. Design techniques should be incorporated during both the construction and operation phases of development to minimise the transportation of sediment and pollutants off-site.

Objective 39: Development designed and located to prevent or minimise the risk of downstream flooding.

PRINCIPLES OF DEVELOPMENT CONTROL

126 Development of stormwater management systems should be designed and located to improve the quality of stormwater, minimise pollutant transfer to receiving waters, and protect downstream receiving waters from high levels of flow.

Design Techniques (these are ONE WAY of meeting the above Principle)

126.1 *The integrated use of open space for appropriate recreation and stormwater management through the installation of water treatment devices such as wetlands, aquifer storage and recovery, detention and retention basins, gross pollutant traps, trash racks; or*

126.2 *The reservation, through land division, of drainage channels, drainage easements, watercourses and land within the 1 in 100 year flood event.*

127 Development affecting existing stormwater management systems should be designed and located to improve the quality of stormwater, minimise pollutant transfer to receiving waters, and protect downstream receiving waters from high levels of flow.

Design Techniques (these are ONE WAY of meeting the above Principle)

127.1 *The retention of natural watercourses through:*

(a) *the control of development and activities within the 1 in 100 year flood event, including the placement of fill, excavation, building work, the placement of structures and fences, the storage of materials, the keeping of animals, the piping of watercourses; and*

(b) *the planting of local native flora along watercourses and the replacement of exotic plants.*

127.2 *The restoration of lined watercourses.*

127.3 *The maximisation of road frontage onto open space areas in subdivision design.*

- 128** Development should incorporate appropriate measures to minimise any concentrated stormwater discharge from the site.

Design Techniques (these are ONE WAY of meeting the above Principle)

128.1 For residential and non-residential development, rainfall run-off should be retained and used as much as possible through the application of an appropriate range of the following techniques:

- (a) collection and use of roof run-off in rain saver gutters and rainwater tanks for irrigation (a 500 litre rainwater tank to irrigate 25 square metres of garden), and internal purposes (drinking when considered safe to do so, flushing toilets, washing, and bathing);
- (b) use of on-site detention tank/s with an appropriately sized orifice;
- (c) directing rainfall run-off onto landscaped areas;
- (d) installing appropriate soakage devices (soakage trenches or wells) having regard to the availability of unbuilt upon or unsealed areas, the ability of soils to absorb and drain water, the potential impact on building foundations and footings on or adjacent to the site, and the ability to safely direct surplus flows to a public street without causing nuisance to adjoining properties; and
- (e) use of permeable forms of paving for public and private parking areas, open storage, display, work areas, driveways, vehicle and pedestrian carriageways.

- 129** Development should incorporate appropriate measures to minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria and litter and other contaminants to the stormwater system and may incorporate systems for treatment or use on site.

Design Techniques (these are ONE WAY of meeting the above Principle)

129.1 For residential and non-residential development:

- (a) rainfall run-off from the roof of any building, where not retained on site, discharged directly to the street water table or to the council stormwater system and not mixed with rainfall run-off originating from surfaces such as car parks, outdoor storage areas and display areas; and
- (b) rainfall run-off from ground surfaces directed to a stormwater treatment system capable of removing litter, sediment, grease, oil and other substances capable of contaminating stormwater. Also, a high flow bypass provided to enable water from extreme rainfall events to discharge direct to stormwater swales or to council stormwater systems. The stormwater treatment system is to discharge on site to storage; grassed swales; stone filled trenches; small infiltration basins; a constructed water feature; bores approved for aquifer recharge; or off site to the council stormwater system.

129.2 Wastewater from air conditioning units, cooling towers and compressors prevented from discharging into any stormwater drainage system.

129.3 Housing and other building layouts which minimise sewage and water piping with potential for leakage.

- 130** Development should not cause deleterious affect on the quality or hydrology of groundwater.

- 131** Development should manage stormwater to ensure that the design capacity of existing or planned downstream systems are not exceeded, and other property or environments are not adversely affected as a result of any concentrated stormwater discharge from the site.

Infrastructure

OBJECTIVES

Objective 40: Minimisation of the visual impact of infrastructure facilities.

Objective 41: Provision of services and infrastructure that are appropriate for the intended development and the desired character of the Zone or Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

132 Provision should be made for utility services to the site of a development, including provision for the supply of water, gas and electricity and for the satisfactory disposal and potential re-use of sewage and waste water, drainage and storm water from the site of the development.

133 Service structures, plant and equipment within a site should be designed to be an integral part of the development and should be suitably screened from public spaces or streets.

134 Infrastructure and utility services, including provision for the supply of water, gas and electricity should be put in common trenches or conduits.

135 Development should only occur where it has access to adequate utilities and services, including:

- (a) electricity supply;
- (b) water supply;
- (c) drainage and stormwater systems;
- (d) effluent disposal systems;
- (e) formed all-weather public roads;
- (f) telecommunications services; and
- (g) gas services.

Heritage and Conservation

OBJECTIVES

Objective 42: Acknowledge the diversity of Adelaide's cultural heritage from pre-European occupation to current time through the conservation of heritage places and retention of their heritage value.

Objective 43: Development that retains the heritage value and setting of a heritage place and its built form contribution to the locality.

Objective 44: Continued use or adaptive reuse of the land, buildings and structures comprising a heritage place.

Objective 45: Recognition of Aboriginal sites, items and areas which are of social, archaeological, cultural, mythological or anthropological significance.

PRINCIPLES OF DEVELOPMENT CONTROL

General

136 Development of a heritage place should conserve the elements of heritage value as identified in the relevant Tables.

137 Development affecting a State heritage place ([Table Adel/1](#)), Local heritage place ([Table Adel/2](#)), Local heritage place (Townscape) ([Table Adel/3](#)) or Local heritage place (City Significance) ([Table Adel/4](#)), including:

- (a) adaptation to a new use;
- (b) additional construction;
- (c) part demolition;
- (d) alterations; or
- (e) conservation works;

should facilitate its continued or adaptive use, and utilise materials, finishes, setbacks, scale and other built form qualities that are complementary to the heritage place.

138 A local heritage place (as identified in [Tables Adel/2, 3 or 4](#)) or the Elements of Heritage Value (as identified in [Table Adel/2](#)) should not be demolished unless it can be demonstrated that the place, or those Elements of Heritage Value that are proposed to be demolished, have become so distressed in condition or diminished in integrity that the remaining fabric is no longer capable of adequately representing its heritage value as a local heritage place.

139 Development of Local Heritage Places (Townscape) should occur behind retention depths (as established from the street facade of the heritage place) of 6 metres in non-residential Zones and Policy Areas, and 4 metres in the City Living Zone or the Adelaide Historic (Conservation) Zone or as otherwise indicated in the heritage Tables in respect of frontages and side wall returns.

140 Development on land adjacent to a heritage place in non-residential Zones or Policy Areas should incorporate design elements, including where it comprises an innovative contemporary design, that:

- (a) utilise materials, finishes, and other built form qualities that complement the adjacent heritage place; and
- (b) is located no closer to the primary street frontage than the adjacent heritage place.

141 Development in the City Living Zone or the Adelaide Historic (Conservation) Zone on land adjacent to a heritage place should incorporate design elements that complement the heritage place with regard to the following:

- (a) the wall height and silhouette of the heritage place as well as the scale of elements comprising the principal facades;
- (b) the frontage of land containing the heritage place, boundary setbacks to the sides and street face(s) of the place and the nature of vehicular and pedestrian egress;
- (c) the nature of fencing, walling and gates to boundaries;
- (d) the materials and finishes; and
- (e) location of alterations (other than the conservation of heritage fabric) and additional construction behind the street face(s) of the heritage place, without necessarily replicating historical detailing.

142 Development that abuts the built form/fabric of a heritage place should be carefully integrated, generally being located behind or at the side of the heritage place and without necessarily replicating historic detailing, so as to retain the heritage value of the heritage place.

143 The division of land adjacent to, or containing, a heritage place should only occur where it would:

- (a) create allotments of a size, dimension and pattern that can accommodate new development likely to maintain the built form and setting of the heritage place, and not result in forms of development likely to impair views of the place from a public street, while also achieving the the Desired Character expressed in the relevant Zone and Policy Area provisions;
- (b) retain options for the use, access to, or servicing of the land, structures and buildings that comprise a heritage place; and
- (c) result in development compatible with the interiors of a State heritage place, Local heritage place (City significance) or Local heritage place as identified in the relevant Tables.

Advertising

144 Advertisements or signs on the site of a heritage place should be located to complement, rather than dominate or conceal, the appearance and detailing of the heritage place by being:

- (a) integrated with architectural elements of the heritage place, including within parapets or wall panels, and at canopy level or within fascias, end panels or windows; and
- (b) below the silhouette of the heritage place.

Fencing and Site Features

145 Fencing to the street boundary, and returning along the side boundaries to the alignment of the building front of a heritage place, should be compatible with the heritage value of the heritage place and any existing fencing.

146 Development should seek to protect architectural and natural site features that are valued for the contribution they make to the character and amenity of the area.

Aboriginal Heritage

147 Development should recognise historical and cultural relationships associated with the past, prior and current use of a place which is of significance to Aboriginal people.

148 Development of, adjacent to, or in close proximity to a place which is of significance to Aboriginal people should respect the historical significance of the area or time and reflect the significance of the item within the locality.

Heritage and Conservation – North Adelaide

Note: The principles under the heading “Heritage and Conservation – North Adelaide” are additional to the Council Wide Heritage and Conservation Objectives and Principles of Development Control and in cases of apparent conflict, take precedence over the Council Wide Heritage and Conservation Objectives and Principles of Development Control.

General

149 Development of a Heritage Place, identified in the relevant Zone or Policy Area, should:

- (a) retain and conserve those elements contributing to its heritage value;
- (b) have regard to the heritage value, physical material and setting of the Heritage Place;
- (c) provide for the retention of views and vistas to the Heritage Place from public roads as well as between any elements of identified heritage value;
- (d) where possible, provide for the reinstatement of views and vistas to the Heritage Place from public roads by removing unsympathetic fencing, building additions or alterations; and

- (e) integrate improvements and additions at the rear or side of the Heritage Place and not in front of elements of identified heritage value, and may be of contemporary design provided it is of compatible:
 - (i) scale, bulk and setbacks;
 - (ii) proportion and composition of design elements;
 - (iii) form and visual interest (as determined by play of light and shade, treatments of openings and depths of reveals, roofline and silhouette, colour and texture of materials, details, landscaping and fencing); and
 - (iv) materials such as stone, brick, render, galvanised steel, slate, terracotta and the like which are characteristic of North Adelaide.
- 150** Sympathetically designed second storey components that utilise or extend roof space to the rear of a Heritage Place may be appropriate subject to scale, views from the street, overshadowing and privacy considerations.
- 151** Alterations or additions at the rear of a Heritage Place should neither dominate nor compete with the elements of heritage value of the Place in its design, siting, scale, form and detail. Rear development should not be readily viewed from the street above a Heritage Place.
- 152** Development of an interior of a State heritage place or a local heritage place (where the interior of the local heritage place is identified as an element of heritage value in the relevant Table), should retain significant fabric (including fixtures and fittings) and spatial arrangements where these elements contribute to the heritage value of the place.
- 153** Uses on land containing a Heritage Place or the use of a Heritage Place should support the conservation of the identified elements of heritage value.
- 154** Where adaptation of a Heritage Place involves additional construction, part demolition or alterations to the Place, development should not diminish its heritage value and where possible, should involve conservation works to reinforce its heritage value.
- 155** Development should facilitate the conservation of dilapidated Heritage Places.

Demolition

- 156** A State heritage place should not be demolished or removed, in whole or in part, unless:
 - (a) that portion of the place to be demolished or removed does not diminish the heritage value of the place; and
 - (b) a heritage impact statement has been prepared that reviews the heritage values of the place and includes an assessment of the impacts on those values by the proposed development.
- 157** A local heritage place should not be demolished or removed, in whole or in part, unless:
 - (a) the portion of the place to be demolished or removed does not diminish the heritage value of the local heritage place; or
 - (b) the structural condition of the place is seriously unsound and cannot be rehabilitated.

Fencing, Garages, Carports and Outbuildings

- 158** Fencing to the street boundary (including any secondary street frontage) and returning along the side boundaries to the alignment of the main face of a Heritage Place should:
 - (a) be of a design and incorporate materials compatible with the place and any existing fencing identified as an element of heritage value; and

- (b) be of a height that complements any existing fencing identified as an element of heritage value or otherwise not compromise existing views of a Heritage Place from the primary street frontage.

159 Development of carports, garages or other outbuildings on land containing a Heritage Place should, without necessarily replicating the historic detailing of the Heritage Place:

- (a) maintain or provide vehicle access conditions in keeping with the character of the Heritage Place;
- (b) be located behind the main face of the Heritage Place and may be freestanding;
- (c) be designed to ensure garage doors do not visually dominate the primary street frontage of the Heritage Place;
- (d) not extend design elements of the Heritage Place such as verandahs, roof forms or historic detailing at the same alignment as the main face of the Heritage Place;
- (e) not incorporate undercroft parking, (unless specifically expressed in the relevant Zone or Policy Area as a possible development option in a particular street) or other parking or access arrangements that are not in keeping with the heritage value and character of the locality; and
- (f) be of a design, materials and character compatible with the heritage value of the Heritage Place.

Land Division

160 The division of land containing a Heritage Place should only occur where:

- (a) it will maintain a compatible setting around the Heritage Place, as defined in the Zone or Policy Area;
- (b) the division results in allotment(s) of a size and dimensions that will accommodate new development that will reinforce and complement the elements of heritage value of the Heritage Place and is compatible with the desired character of the Zone or Policy Area;
- (c) additional allotment(s) are of a size and dimensions that will provide a building envelope for the siting and setback of new buildings from allotment boundaries so that new development does not dominate, encroach upon, overshadow or otherwise impact on the setting of the Heritage Place and vistas to the place;
- (d) it will provide an area for landscaping on each allotment of a size and dimensions that complements the Heritage Place and is consistent with the desired character of the Zone or Policy Area; and
- (e) the balance of land associated with the Heritage Place is sufficient to accommodate landscaped open space, private open space and on-site car parking in a manner that complements the elements of heritage value of the Heritage Place and is compatible with the desired character of the Zone or Policy Area.

161 Land division within a building (e.g. community title) identified as a Heritage Place should not materially affect the elements of heritage value of the Heritage Place, as defined in the relevant Zone or Policy Area.

Development on Land Adjacent to a Heritage Place

162 Development on land adjacent to land containing a Heritage Place should demonstrate design consideration of the relationship with the Heritage Place (without necessarily replicating its historic detailing) by establishing compatible:

- (a) scale, bulk and setbacks;
 - (b) proportion and composition of design elements;
 - (c) form and visual interest (as determined by play of light and shade, treatments of openings and depths of reveals, roofline and silhouette, colour and texture of materials and details, landscaping and fencing);
 - (d) width of frontage and boundary set-back patterns; and
 - (e) vehicle access and carparking arrangements.
- 163** Development on land adjacent to a Heritage Place and sited in prominent locations, such as corners or at the termination of vistas where a strong presence is desirable, should have a scale and detail equal to that of the Heritage Place.
- 164** In a locality where single-storey Heritage Places prevail at or close to the primary street frontage, single storey development and a consistent building set-back should be maintained. Sympathetically designed second storey components that utilise or extend roof space to the rear of a building may be appropriate subject to scale, views from the street, overshadowing and privacy considerations.
- 165** Development that is visible from the street should match the building levels and storey heights of adjacent Heritage Places.
- 166** The division of land adjacent to a Heritage Place should:
- (a) create allotment(s) of a size and dimensions to accommodate new development that will complement adjacent Heritage Place(s) and reinforce the desired character of the streetscape;
 - (b) be of a size and dimensions that will provide for the siting and setback of new buildings from property boundaries so that new development does not overshadow, dominate, encroach on or otherwise impact on the setting of adjacent Heritage Place(s); and
 - (c) provide areas for landscaping of a size and dimensions that complement the landscape setting of adjacent Heritage Place(s) and is consistent with the desired character of the Zone or Policy Area.

Built Form and Townscape

OBJECTIVES

Objective 46: Reinforcement of the city's grid pattern of streets through:

- (a) high rise development framing city boulevards, the Squares and Park Lands
- (b) vibrant main streets of a more intimate scale that help bring the city to life
- (c) unique and interesting laneways that provide a sense of enclosure and intimacy.

Objective 47: Buildings should be designed to:

- (a) reinforce the desired character of the area as contemplated by the minimum and maximum building heights in the Zone and Policy Area provisions;
- (b) maintain a sense of openness to the sky and daylight to public spaces, open space areas and existing buildings;
- (c) contribute to pedestrian safety and comfort; and

- (d) provide for a transition of building heights between Zone and Policy Areas where building height guidelines differ.

Objective 48: Development which incorporates a high level of design excellence in terms of scale, bulk, massing, materials, finishes, colours and architectural treatment.

PRINCIPLES OF DEVELOPMENT CONTROL

167 Where development significantly exceeds quantitative policy provisions, it should demonstrate a significantly higher standard of design outcome in relation to qualitative policy provisions including pedestrian and cyclist amenity, activation, sustainability and public realm and streetscape contribution.

Height, Bulk and Scale

PRINCIPLES OF DEVELOPMENT CONTROL

168 Development should be of a high standard of design and should reinforce the grid layout and distinctive urban character of the City by maintaining a clear distinction between the following:

- (a) the intense urban development and built-form of the town acres in the Capital City, Main Street, Mixed Use, City Frame and City Living Zones;
- (b) the less intense and more informal groupings of buildings set within the landscaped environment of the Institutional Zones;
- (c) the historic character of the Adelaide and North Adelaide Historic (Conservation) Zones and groups of historic housing within the City Living Zone; and
- (d) the open landscape of the Park Lands Zone.

169 The height and scale of development and the type of land use should reflect and respond to the role of the street it fronts as illustrated on [Map Adel/1 \(Overlay 1\)](#).

170 The height, scale and massing of buildings should reinforce:

- (a) the desired character, built form, public environment and scale of the streetscape as contemplated within the Zone and Policy Area, and have regard to:
 - (i) maintaining consistent parapet lines, floor levels, height and massing with existing buildings consistent with the areas desired character;
 - (ii) reflecting the prevailing pattern of visual sub-division of neighbouring building frontages where frontages display a character pattern of vertical and horizontal sub-divisions; and
 - (iii) avoiding massive unbroken facades.
- (b) a comfortable proportion of human scale at street level by:
 - (i) building ground level to the street frontage where zero set-backs prevail;
 - (ii) breaking up the building facade into distinct elements;
 - (iii) incorporating art work and wall and window detailing; and
 - (iv) including attractive planting, seating and pedestrian shelter.

171 Where possible, large sites should incorporate pedestrian links and combine them with publicly accessible open space.

- 172** Buildings and structures should not adversely affect by way of their height and location the long-term operational, safety and commercial requirements of Adelaide International Airport. Buildings and structures which exceed the heights shown in [Map Adel/1 \(Overlay 5\)](#) and which penetrate the Obstacle Limitation Surfaces (OLS) should be designed, marked or lit to ensure the safe operation of aircraft within the airspace around the Adelaide International Airport.
- 173** Development in a non-residential Zone that abuts land in a City Living Zone, the Adelaide Historic (Conservation) Zone or the North Adelaide Historic (Conservation) Zone, should provide a transition between high intensity development and the lower intensity development in the adjacent Zone by focussing taller elements away from the common Zone boundary.
- 174** Development in a non-residential Zone that is adjacent to land in the City Living Zone, Adelaide Historic (Conservation) Zone or North Adelaide Historic (Conservation) Zone should minimise overshadowing on sensitive uses by ensuring:
- (a) north-facing windows to habitable rooms of existing dwellings in the City Living Zone, Adelaide Historic (Conservation) Zone or North Adelaide Historic (Conservation) Zone receive at least 3 hours of direct sunlight over a portion of their surface between 9.00am and 3.00pm on 21 June;
 - (b) ground level open space of existing residential buildings in the City Living Zone, Adelaide Historic (Conservation) Zone or North Adelaide Historic (Conservation) Zone receive direct sunlight for a minimum of 2 hours between 9.00am and 3.00pm on 21 June to at least the smaller of the following:
 - (i) half of the existing ground level open space;
 - (ii) 35 square metres of the existing ground level open space (with at least one of the area's dimensions measuring 2.5 metres).

Plot Ratio

- 175** Plot ratios have been established for the City Living Zone, Adelaide Historic (Conservation) Zone and North Adelaide Historic (Conservation) Zone for the purpose of ensuring that intensity of development on land is consistent with the desired character. The amount of building floor area that may be permitted on the allotment(s) on which any development is situated should not exceed the area calculated by multiplying the area of the allotment(s) on which the development is situated by the plot ratio applicable to the allotment(s).

Maximum Dwelling Density and Floor Space

- 176** In the City Living Zone (other than in relation to sites greater than 1500 square metres in area), the Adelaide Historic (Conservation) Zone and the North Adelaide Historic (Conservation) Zone, the number of dwellings which will be appropriate on a site should not exceed the site area divided by the dwelling unit factor as set out in relevant Zone, and any fractions of the number so calculated should be disregarded.

Landscaped Open Space

- 177** Landscaped open space should be provided on the site of a development to at least the extent specified in the Principles of Development Control for the relevant Zone or Policy Area for siting, amenity and screening purposes. Where the existing amount of landscaped open space provided is less than the amount specified in the relevant Zone or Policy Area, development should not further reduce this amount. Where landscaped open space is not required, the provision of landscaped pedestrian spaces, planter boxes and in-ground planting is appropriate.

Building Set-backs

- 178** In the City Living Zone, the Adelaide Historic (Conservation) Zone and the North Adelaide Historic (Conservation) Zone, buildings should maintain the prevailing set-back established by adjoining buildings, provided the resultant character reinforces the desired character for the locality.

Design Techniques (these are ONE WAY of meeting the above Principle)

178.1 Design solutions may include:

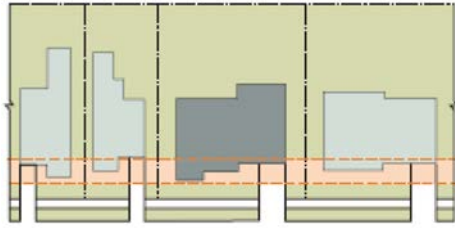


Figure 178.1 - street setbacks located within a range defined by existing building setbacks.

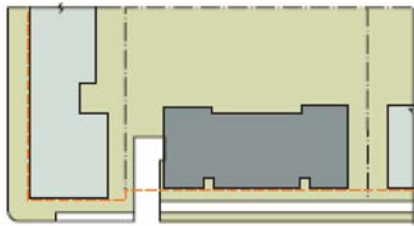


Figure 178.2 - street setbacks consistent with the existing established building alignments.



Figure 178.3 - street setbacks modulated to break up long building facades.

179 Buildings within the Capital City Zone should be built to the street edge to reinforce the grid pattern, create a continuity of frontage and provide definition and enclosure to the public realm whilst contributing to the interest, vitality and security of the pedestrian environment.

Composition and Proportion

180 Development should respect the composition and proportion of architectural elements of building facades that form an important pattern which contributes to the streetscape's distinctive character in a manner consistent with the desired character of a locality by:

- (a) establishing visual links with neighbouring buildings by reflecting and reinforcing the prevailing pattern of visual sub-division in building facades where a pattern of vertical and/or horizontal sub-divisions is evident and desirable, for example, there may be strong horizontal lines of verandahs, masonry courses, podia or openings, or there may be vertical proportions in the divisions of facades or windows; and
- (b) clearly defining ground, middle and roof top levels.

181 Where there is little or no established building pattern, new buildings should create new features which contribute to an areas desired character and the way the urban environment is understood by:

- (a) frontages creating clearly defined edges;
- (b) generating new compositions and points of interest;
- (c) introducing elements for future neighbouring buildings; and

- (d) emphasising the importance of the building according to the street hierarchy.

Articulation and Modelling

182 Building facades fronting street frontages, access ways, driveways or public spaces should be composed with an appropriate scale, rhythm and proportion which responds to the use of the building, the desired character of the locality and the modelling and proportions of adjacent buildings.

Design Techniques (these are ONE WAY of meeting the above Principle)

182.1 Design solutions may include:

- (a) defining a base, middle and top related to the overall proportion of the building;
- (b) expressing key horizontal lines within the townscape by using cornices, a change in materials or building setback;
- (c) expressing the internal layout of the building by using for example, vertical bays or its structure, such as party wall divisions;
- (d) expressing the variation in floor to floor height, particularly at the lower levels;
- (e) articulating building entries with awnings, porticos, recesses, blade walls and projecting bays;
- (f) using a variety of window types to create a rhythm or express the use of the building;
- (g) incorporating architectural features which give human scale to the design of the building at street level such as entrance porches, awnings and colonnades;
- (h) designing facades to reflect the orientation of the site using elements such as sun shading, light shelves and bay windows as environmental controls;
- (i) expressing important corners by giving visual prominence to parts of the facade, for example, a change of building articulation, material or colour, roof expression or increased height;
- (j) using a variation of contrasting surface finishes, textures, colours or patterns; or
- (k) avoiding unbroken building elevations of more than 15 metres on a vertical plan;
- (l) using recessed balconies and deep windows to create articulation and define shadows thereby adding visual depth to the facade;

183 Balconies should be designed to give shelter to the street or public space at first floor levels.

184 Balconies should:

- (a) respond to the street context and building orientation; and
- (b) incorporate balustrade detailing to reflect the balcony type and location and the materials and detail of the building facade.

185 No part of any fully enclosed building should extend over property boundaries, including streets and public spaces, whether above a balcony at a lower level or not.

186 Building services such as drainage pipes together with security grills/screens, ventilation louvres and car park entry doors, should be coordinated and integrated with the overall facade design.

Materials, Colours and Finishes

- 187** The design, external materials, colours and finishes of buildings should have regard to their surrounding townscape context, built form and public environment, consistent with the desired character of the relevant Zone and Policy Area.
- 188** Development should be finished with materials that are sympathetic to the design and setting of the new building and which incorporate recycled or low embodied energy materials. The form, colour, texture and quality of materials should be of high quality, durable and contribute to the desired character of the locality. Materials, colours and finishes should not necessarily imitate materials and colours of an existing streetscape
- 189** Materials and finishes that are easily maintained and do not readily stain, discolour or deteriorate should be utilised.
- 190** Development should avoid the use of large expanses of highly reflective materials and large areas of monotonous, sheer materials (such as polished granite and curtained wall glazing).

Corner Sites

- 191** New development on major corner sites should define and reinforce the townscape importance of these sites with appropriately scaled buildings that:
- (a) establish an architectural form on the corner;
 - (b) abut the street frontage; and
 - (c) address all street frontages.

Design Technique (these are ONE WAY of meeting part of the above Principle)

191.1 In relation to Principle 191(a):

- (a) corporation of corner elements such as pediments, turrets, verandahs, balconies and other articulation and modelling into the design of the building;
- (b) incorporation of prominent entrances and/or windows at the apex;
- (c) increasing roof expression or building height at the corner to emphasise the importance of the street corner;
- (d) rotating the building line to create a chamfered edge;
- (e) projecting corner elements forward; and/or
- (f) in a change of building articulation, material or colour.

Sky and Roof Lines

OBJECTIVE

Objective 49: Innovative and interesting skylines which contribute to the overall design and performance of the building.

PRINCIPLES OF DEVELOPMENT CONTROL

- 192** Where a prevailing pattern of roof form assists in establishing the desired character of the locality, new roof forms should be complementary to the shape, pitch, angle and materials of adjacent building roofs.

193 Buildings should be designed to incorporate well designed roof tops that:

- (a) reinforce the desired character of the locality, as expressed in the relevant Zone or Policy Area;
- (b) enhance the skyline and local views;
- (c) contribute to the architectural quality of the building;
- (d) provide a compositional relationship between the upper-most levels and the lower portions of the building;
- (e) provide an expression of identity;
- (f) articulate the roof, breaking down its massing on large buildings to minimise apparent bulk;
- (g) respond to the orientation of the site; and
- (h) create minimal glare.

Design Techniques (these are ONE WAY of meeting the above Principle)

193.1 Design solutions may include:

- (a) articulating form and surface by large, simple features that can be recognised from a distant view point;
- (b) tapering towers by stepping back floor plates;
- (c) integrating plant and fixtures within the roof top design; and/or
- (d) incorporating an architectural roof feature within the design of the building by:
 - (i) creating a feature that forms part of its overall architectural form and composition;
 - (ii) ensuring visual compatibility with nearby towers and other structures whilst maintaining architectural distinction;
 - (iii) providing sky line features capable of being viewed over great distances;
 - (iv) including modelled parapets;
 - (v) ensuring compatibility of podia height at street alignment; and/or
 - (vi) incorporating roof top gardens and terraces.

194 Roof top plant and ancillary equipment that projects above the ceiling of the top storey should:

- (a) be designed to minimise the visual impact; and
- (b) be screened from view, including the potential view looking down or across from existing or possible higher buildings, or be included in a decorative roof form that is integrated into the design of the building.

195 Roof design should facilitate future use for sustainable functions such as:

- (a) rainwater tanks for water conservation;
- (b) roof surfaces orientated, angled and of suitable material for photovoltaic applications; and/or

- (c) “green” roofs (ie roof top gardens structurally capable of supporting vegetation) or water features.

Active Street Frontages

OBJECTIVES

Objective 50: Development that enhances the public environment and, where appropriate provides activity and interest at street level, reinforcing a locality’s desired character.

Objective 51: Development designed to promote pedestrian activity and provide a high quality experience for City residents, workers and visitors by:

- (a) enlivening building edges;
- (b) creating welcoming, safe and vibrant spaces;
- (c) improving perceptions of public safety through passive surveillance; and
- (d) creating interesting and lively pedestrian environments.

PRINCIPLES OF DEVELOPMENT CONTROL

196 Development should be designed to create active street frontages that provide activity and interest to passing pedestrians and contribute to the liveliness, vitality and security of the public realm.

Design Techniques (these are ONE WAY of meeting the above Principle)

196.1 Design solutions may include:

- (a) Well designed and legible entrances, lobbies and commercial uses at ground level.
- (b) Window displays of merchandise or open shopfronts, well lit panel displays, corporate identity and/or artworks.
- (c) Avoiding vast expanses of blank walls presenting flat surfaces without detailing, openings or activity.
- (d) Orientating active parts of a building to the street frontage.
- (e) Incorporating uses such as retailing, food and drink outlets, counter services and cafés/restaurants particularly with outdoor seating areas.

197 Retail frontages should be designed to provide interest to passing pedestrians at street level and relief to building mass.

Design Techniques (these are ONE WAY of meeting the above Principle)

197.1 Design solutions may include:

- (a) Providing views into and out of buildings.
- (b) Providing interesting and active window displays.
- (c) Providing external light fittings, particularly where street lighting is blocked eg under verandahs.
- (d) Using transparent glass, open mesh or transparent security shutters that allow views into and out of the building.

- (e) *Illuminating shop windows until 12.00pm.*
- (f) *Incorporating detailed architectural facade treatment.*

198 Commercial buildings should be designed to ensure that ground floor facades are rich in detail so they are exciting to walk by, interesting to look at and to stand beside.

Design Techniques (these are ONE WAY of meeting the above Principle)

198.1 *Design solutions may include:*

- (a) *Providing well designed legible entrances and lobbies that address the street.*
- (b) *Creating richness and detail at street level through methods such as artwork (including animating spaces with water), use of high quality materials and variation in materials, wall and window detailing and decoration.*
- (c) *Locating lively interior activities along street frontages so they are visible from outside e.g. employee canteens or reception areas oriented towards the street;*
- (d) *Cafés and restaurants utilising footpath space; and/or*
- (e) *Providing designs which incorporate places for people to sit and watch.*

199 Residential development should be designed to create interesting pedestrian environments and resident surveillance of any street, accessway and driveway.

Design Techniques (these are ONE WAY of meeting the above Principle)

199.1 *Design solutions may include:*

- (a) *Using transparent glass along street frontages.*
- (b) *Maximising the number of windows and doors.*
- (c) *Enlivening building edges with balconies, bays, porches, awnings or other projections.*
- (d) *Designing interesting and innovative fencing and walls.*
- (e) *Incorporating transparent fencing and walls that enable presentation of the building to the street eg use of mesh fencing rather than blank solid walls.*
- (f) *Avoiding blank high walls and elevations unbroken by architectural detail which prevents community interaction and resident surveillance of the street.*
- (g) *Avoiding car parking in front of buildings.*
- (h) *Addressing housing on corner sites to both street frontages by establishing prominent entrances and/or windows at the apex of buildings.*
- (i) *Incorporating compatible non-residential uses such as home offices, art/craft workshops and galleries at ground floor level.*

Outdoor Dining

OBJECTIVE

Objective 52: Development that contributes to the vibrancy, activity and desired character of a locality.

PRINCIPLES OF DEVELOPMENT CONTROL

200 Outdoor dining should:

- (a) be located outside the associated premises;
- (b) provide sufficient set-backs, such as from kerbs and property boundaries, and clearances, such as from buildings;
- (c) be located in an area safe for patrons where the security of the building is not compromised;
- (d) ensure the dining area is set back from the building line at street intersections;
- (e) ensure unimpeded pedestrian flow through free and uninterrupted pedestrian paths; and
- (f) ensure wheelchair access to pedestrian ramps is not compromised.

201 Structures should:

- (a) be of high quality design and form an integral part of the streetscape;
- (b) not restrict public access;
- (c) not detract or restrict views of significant sightlines, buildings and landmarks;

202 Signage that identifies the business name or logo, or advertises goods sold on the premises is only appropriate on glass and canvas screens and umbrellas and should meet the following:

- (a) signage and advertisements should be designed to improve and complement the amenity of the premises, be of an appropriate design and consistent with the desired character of the locality;
- (b) advertisements on outdoor dining items such as umbrellas and canvas screens should not exceed a portion that covers 10 percent of the total available space on each outdoor dining item, up to half of which may be commercial advertisements in the form of product logos used or sold by the premises;
- (c) advertisements should not be illuminated or animated; and
- (d) third party advertising on outdoor dining items is inappropriate.

Demolition

OBJECTIVE

Objective 53: Where demolition of an existing building is proposed, the replacement building is designed and sited to achieve the purposes of the relevant Zone and Policy Area and to provide for quality urban design.

PRINCIPLES OF DEVELOPMENT CONTROL

203 The demolition of any building should not occur unless Development Approval for a replacement development has been granted. Exceptions may only be granted:

- (a) for documented reasons of public health or safety agreed by the planning authority or alternatively agreed by a statutory order; or
- (b) where located within the Park Lands Zone.

Should the replacement development not commence within 12 months of the granting of Development Approval, then landscaping of the site should be undertaken.

Vacant Sites and Buildings

OBJECTIVE

Objective 54: The temporary use of vacant or underdeveloped land which is not likely to be the subject of long term development in the short term.

PRINCIPLES OF DEVELOPMENT CONTROL

204 Vacant and underdeveloped land and buildings should be brought into use as soon as possible.

205 Where there is no immediate prospect of a long term use, a temporary use for up to 24 months (excluding temporary car parks) is encouraged. Temporary uses of vacant or underdeveloped land should be landscaped, screened and/or treated so that negative impacts to the public realm are minimised.

206 Temporary storage of Council equipment may be appropriate provided measures are incorporated for:

- (a) dust control;
- (b) appropriate screening including landscaping;
- (c) containment of litter and waste; and
- (d) appropriate securing of the site.

Landscaping

OBJECTIVE

Objective 55: Water conserving landscaping that enhances the local landscape character and creates a pleasant, safe and attractive living environment.

PRINCIPLES OF DEVELOPMENT CONTROL

207 Landscaping should:

- (a) be selected and designed for water conservation;
- (b) form an integral part of the design of development; and
- (c) be used to foster human scale, define spaces, reinforce paths and edges, screen utility areas and enhance the visual amenity of the area.

208 Landscaping should incorporate local indigenous species suited to the site and development, provided such landscaping is consistent with the desired character of the locality and any heritage place.

209 Landscaping should be provided to all areas of communal space, driveways and shared car parking areas.

210 Landscaping between the road and dwellings should be provided to screen and protect the dwellings from dust and visual impacts of the road.

Advertising

OBJECTIVE

Objective 56: Outdoor advertisements that are designed and located to:

- (a) reinforce the desired character and amenity of the locality within which it is located and rectify existing unsatisfactory situations;
- (b) be concise and efficient in communicating with the public, avoiding a proliferation of confusing and cluttered displays or a large number of advertisements; and
- (c) not create a hazard.

PRINCIPLES OF DEVELOPMENT CONTROL

211 Advertisements should be designed to respect and enhance the desired character and amenity of the locality by the means listed below:

- (a) the scale, type, design, location, materials, colour, style and illumination of any advertisements should be compatible with the design and character of the buildings and land to which it is related, and should be in accordance with provisions for the Zone and Policy Area in which it is situated and any relevant adjacent Zones or Policy Areas;
- (b) advertisements should be integrated with the architectural form, style and colour of buildings and wherever possible, requirements for advertisements should be considered in the design of new buildings;
- (c) advertisements should be artistically interesting in terms of graphics and construction with intricacy and individuality in design encouraged while maintaining consistency in design and style where co-ordinated advertisements are appropriate;
- (d) structural supports should be concealed from public view or of minimal visual impact;
- (e) advertisements on individual premises should be co-ordinated in terms of type and design and should be limited in number to minimize visual clutter;
- (f) advertisements should be displayed on fascia signs or located below canopy level;
- (g) advertisements on buildings or sites occupied by a number of tenants should be co-ordinated, complementary and the number kept to a minimum; and
- (h) advertisements on or adjacent to a heritage place should be designed and located to respect the heritage value of the heritage place.

212 Advertisements are inappropriate on premises used for a dwelling. This does not include business plates associated with a home activity which does not exceed 0.2 square metres.

213 In the City Living Zone, the Adelaide Historic (Conservation) Zone or the North Adelaide Historic (Conservation) Zone, advertisements should not detrimentally affect residential amenity and advertisements at roof level where the building forms the backdrop (i.e. plant room) are inappropriate.

214 Product advertisements illustrating products sold on the premises in conjunction with the business name should not exceed 25 percent of the area of any advertisement.

215 Development of vending machines, automatic teller machines and fast food outlets should:

- (a) be consistent with the relevant Zone and Policy Area provisions;
- (b) maintain the character and continuity of activity along street frontages;

- (c) maintain good visibility from the street or public places for security; and
- (d) not impede pedestrian movement.

216 Advertisements relating to vending machines and automatic teller machines should be restrained in size and style.

217 Advertisements should not endanger public safety or detrimentally affect the amenity of adjacent premises by reason of their location, position, construction or design and should:

- (a) not emit excessive glare or reflection from internal or external illumination;
- (b) not obscure road users' and pedestrians' views of vehicles, pedestrians or potentially hazardous road features;
- (c) not cause confusion with, or reduce the effectiveness of traffic control devices;
- (d) have a clearance between the footpath and base or underside of projecting signage of at least 2.5 metres for permanent advertisements and 2.3 metres for temporary advertisements, and between the kerb face and outside edge of the sign of at least 600 millimetres; and
- (e) permit safe and convenient pedestrian movement.

218 Temporary advertisement hoardings or shrouds required for the screening of construction sites or for creating visual interest should occur only where they are:

- (a) of a high standard of design;
- (b) displayed only during the period of construction;
- (c) comprised of high quality opaque, solid and non-reflective material that is durable, low maintenance and appropriate to the City context;
- (d) required to conceal wiring and conduits; and
- (e) do not create undue risk to public or private safety.

Squares and Public Spaces*

OBJECTIVES

Objective 57: High quality, readily accessible external and internal open spaces in appropriate locations that form an integral part of the public domain, provide sanctuary, visual pleasure and a range of recreational and leisure opportunities and contribute to the City's pedestrian and bicycle network.

Objective 58: Development that conserves and enhances the City's squares, improves their visual amenity, increases their range of uses, and maximises pedestrian accessibility to their landscaped areas.

Objective 59: A distinctive Adelaide streetscape identity through the use of street furniture, graphics, public art, signs, lighting and landscaping, recognising existing visually significant buildings and trees.

* Public spaces includes streets, lanes, squares, parks, gardens, building forecourts and atria internal to a building.

PRINCIPLES OF DEVELOPMENT CONTROL

219 The Squares should be for the relaxation, enjoyment and leisure of the City's workers, residents, students and visitors. The landscaped area of the Squares should where possible, be enlarged to improve visual and functional amenity. Development should:

- (a) maximise pedestrian convenience, safety and access to the landscaped area of the Squares and reduce conflict between pedestrians and vehicles;
- (b) contribute to the amenity of the City through the provision of tall trees and other suitable drought tolerant planting;
- (c) provide facilities such as seating, rest areas, and weather protection to enhance cultural, social and outdoor recreational activity;
- (d) maintain a high quality of lighting for security and amenity;
- (e) minimise buildings, structures, utilities and service facilities; and
- (f) maintain a high quality of design.

220 Development fronting public spaces should be of a high standard of design and should reinforce the distinctive urban character of the City by:

- (a) defining and enclosing the City Squares with a continuous edge of peripheral buildings which:
 - (i) are of relatively consistent height and scale as appropriate to the desired character surrounding each of the Squares;
 - (ii) are designed to maintain the continuity of the streetscape;
 - (iii) are situated close to or abutting the Square frontages;
 - (iv) provide ground floor activities that support the public use of the space; and
 - (v) are designed and sited to minimise overshadowing of the Square's garden areas.
- (b) enhancing interest, use, safety and a range of activities by ensuring:
 - (i) facades abutting public spaces provide visual interest; and
 - (ii) appropriate elements of public art;
- (c) defining the major streets as important linear public spaces which display a formal townscape character by:
 - (i) ensuring that buildings in the Capital City Zone maintain or re-establish, a continuous edge of built-form abutting or situated close to major street frontages;
 - (ii) emphasising the townscape importance of development at the intersections of major streets, and intersections of major streets with City Squares, with corner buildings of a scale and form appropriate to their location and situated close to or abutting both street frontages;
 - (iii) ensuring that buildings fronting on to such streets are of a shape and orientation which relate to and reinforce the rectilinear grid pattern of the City; and
 - (iv) requiring that any substantial set-back, open space or plaza be behind a built-form or landscape element which maintains or reinforces the continuity and line of the street frontage;

- (d) maintaining the existing pattern and structure of streets and laneways;
- (e) restricting building over minor streets and laneways to avoid over-shadowing and preserve the built-form pattern established by traditional land sub-division in the City; and
- (f) allowing for ease of pedestrian circulation and through access where possible.

Design Techniques (these are ONE WAY of meeting parts of the above Principle)

220.1 In relation to Principle 220(a), minimising set-back distances from the perimeter of the space to increase the ability of the building to interact with the public realm.

220.2 In relation to Principle 220(b), incorporating uses such as home offices, artist studios, galleries, cafés and restaurants where encouraged by the Policy Areas provisions.

221 Development on, over, encroaching upon, or opening on to public spaces should not endanger public safety or cause undue inconvenience to either pedestrians, including persons with disabilities, or users of vehicles, and should ensure adequate alignment of building levels to surface levels.

222 Cornices, sunscreens and hoods should:

- (a) have a minimum height of 3 metres above the level of the footway or 5 metres above a carriageway;
- (b) have a maximum projection of 1.2 metres over a public space which exceeds 10 metres in width and a maximum of 600 millimetres over a public space which is 10 metres or less in width; and
- (c) be constructed to prevent water dripping or running into a public place.

223 Public spaces should allow good visibility into and across the space to promote security and safety and should provide opportunities for citizens to meet and socialise.

Transport and Access

Access and Movement

OBJECTIVE

Objective 60: Access to and movement within the City that is easy, safe, comfortable and convenient with priority given to pedestrian and cyclist safety and access.

PRINCIPLES OF DEVELOPMENT CONTROL

224 Development should provide safe, convenient and comfortable access and movement.

225 Vehicle access points along primary and secondary city access roads and local connector roads, as shown on [Map Adel/1 \(Overlay 1\)](#) should be restricted.

Pedestrian Access

OBJECTIVES

Objective 61: Development that promotes the comfort, enjoyment and security of pedestrians by providing shelter and reducing conflict with motor vehicles.

Objective 62: Development that contributes to the quality of the public realm as a safe, secure and attractive environment for pedestrian movement and social interaction.

Objective 63: Safe and convenient design of and access to buildings and public spaces, particularly for people with disabilities.

PRINCIPLES OF DEVELOPMENT CONTROL

- 226** Development should reflect the significance of the paths and increase the permeability of the pedestrian network identified within [Map Adel/1 \(Overlay 2\)](#) by ensuring:
- (a) pedestrians are not disrupted or inconvenienced by badly designed or located vehicle access ramps in footpaths or streets; and
 - (b) vehicle and service entry points are kept to a minimum to avoid adverse impact on pedestrian amenity.
- 227** Within the Core, Primary and Secondary Pedestrian Areas identified within [Map Adel/1 \(Overlays 2, 2A and 3\)](#), development should be designed to support the establishment and maintenance of continuous footpaths so that pedestrian flow is free and uninterrupted. Pedestrian access should be provided at ground level mid-block between all streets.
- 228** Development should provide and maintain pedestrian shelter, access and through-site links in accordance with the walking routes identified within [Map Adel/1 \(Overlays 2, 2A and 3\)](#) and the provisions of the Zone or Policy Area in which it is located. Such facilities should be appropriately designed and detailed to enhance the pedestrian environment, have regard to the mobility needs of people with disabilities, and be safe, suitable and accessible.
- 229** Corner buildings in the Central Business Policy Area of the Capital City Zone, buildings adjacent to street intersections and buildings along a high concentration public transport route or along public transport pedestrian routes identified within [Map Adel/1 \(Overlay 4\)](#) should provide weather protection for pedestrians in the form of verandahs, awnings or canopies. Where verandahs or awnings are provided which block street lighting, they should include additional lighting beneath the canopy.
- 230** Permanent structures over a footpath should have a minimum clearance of 3.0 metres above the existing footpath level, except for advertisements which should have a minimum clearance of 2.5 metres and temporary structures and retractable canopies which should have a minimum clearance of 2.3 metres above the existing footpath level.
- 231** Where posts are required to support permanent structures, they should be located at least 600 millimetres from the kerb line.
- 232** Access for people with disabilities should be provided to and within all buildings to which members of the public have access in accordance with the relevant Australian Standards. Such access should be provided through the principal entrance, subject to heritage considerations and for exemptions under the relevant legislation.

Bicycle Access

OBJECTIVES

Objective 64: Greater use of bicycles for travel to and within the City and the improvement of conditions, safety and facilities for cyclists.

Objective 65: Adequate supply of secure, short stay and long stay bicycle parking to support desired growth in City activities.

PRINCIPLES OF DEVELOPMENT CONTROL

- 233** Development should have regard to the bicycle routes identified within [Map Adel/1 \(Overlay 3\)](#) by:
- (a) limiting vehicular access points; and

- (b) ensuring that vehicles can enter and leave the site in a forward direction, thereby avoiding reverse manoeuvres.

234 An adequate supply of on-site secure bicycle parking should be provided to meet the demand generated by the development within the site area of the development. Bicycle parking should be provided in accordance with the requirements set out in [Table Adel/6](#).

235 Onsite secure bicycle parking facilities for residents and employees (long stay) should be:

- (a) located in a prominent place;
- (b) located at ground floor level;
- (c) located undercover;
- (d) located where passive surveillance is possible, or covered by CCTV;
- (e) well lit and well signed;
- (f) close to well used entrances;
- (g) accessible by cycling along a safe, well lit route;
- (h) take the form of a secure cage with locking rails inside or individual bicycle lockers; and
- (i) in the case of a cage have an access key/pass common to the building access key/pass.

236 Onsite secure bicycle parking facilities for short stay users (i.e. bicycle rails) should be:

- (a) directly associated with the main entrance;
- (b) located at ground floor level;
- (c) located undercover;
- (d) well lit and well signed;
- (e) located where passive surveillance is possible, or covered by CCTV; and
- (f) accessible by cycling along a safe, well lit route.

237 Access to bicycle parking should be designed to:

- (a) minimise conflict with motor vehicles and pedestrians;
- (b) ensure the route is well signed and well lit including the use of road markings such as a bicycle logo if appropriate to help guide cyclists; and
- (c) ensure the route is unhindered by low roof heights.

Design Technique (this is ONE WAY of meeting the above Principle)

237.1 In relation to Principle 237(a):

- (a) avoid unnecessary vehicular crossing points, particularly with potential reversing movements from motor vehicles; and
- (b) utilise the shortest, most direct route for cycles to reach the destination bicycle parking

237.2 In relation to Principle 237(c), a minimum clearance of 2 metres for new, permanent structures.

- 238** To facilitate and encourage the use of bicycles and walking as a means of travel to and from the place of work, commercial and institutional development should provide on-site shower and changing facilities.

Public Transport

OBJECTIVES

- Objective 66:** Development that promotes the use of sustainable transport consistent with State Government objectives and initiatives.
- Objective 67:** Accessible public transport for all metropolitan residents and visitors and safe and attractive facilities for public transport users.

PRINCIPLES OF DEVELOPMENT CONTROL

- 239** Development along a high concentration public transport route should be designed to ensure that activity and interest for public transport passengers is maximised through the incorporation of active street frontages.
- 240** Development along high concentration public transport routes identified in [Map Adel/1 \(Overlay 4\)](#) should:
- (a) ensure there are pedestrian links through the site if needed to provide access to public transport;
 - (b) provide shelter (e.g. verandahs) for pedestrians against wind, sun and rain;
 - (c) provide interest and activity at street level; and
 - (d) where possible, avoid vehicle access across high concentration public transport routes identified in [Map Adel/1 \(Overlay 4\)](#). Where unavoidable, vehicle access should be integrated into the design of the development whilst retaining active street frontages.

Traffic and Vehicle Access

OBJECTIVES

- Objective 68:** Development that supports a shift toward active and sustainable transport modes (i.e. public transport, cycling and walking).
- Objective 69:** An enhanced City environment and the maintenance of an appropriate hierarchy of roads to distribute traffic into the City to serve development in preference to through traffic.
- Objective 70:** Adequate off-street facilities for loading and unloading of courier, delivery and service vehicles and access for emergency vehicles.

PRINCIPLES OF DEVELOPMENT CONTROL

- 241** Development should be designed so that vehicle access points for parking, servicing or deliveries, and pedestrian access to a site, are located to minimise traffic hazards and vehicle queuing on public roads. Access should be safe, convenient and suitable for the development on the site, and should be obtained from minor streets and lanes unless otherwise stated in the provisions for the relevant Zone or Policy Area and provided residential amenity is not unreasonably affected.

- 242** Facilities for the loading and unloading of courier, delivery and service vehicles and access for emergency vehicles should be provided on-site as appropriate to the size and nature of the development. Such facilities should be screened from public view and designed, where possible, so that vehicles may enter and leave in a forward direction.

Design Technique (this is ONE WAY of meeting the above Principle)

242.1 *Commercial vehicle facilities in compliance with the requirements recommended in Australian Standard AS 2890:2: Off-Street Parking - Part 2: Commercial Vehicle Facilities.*

- 243** Where practicable, development sites should contain sufficient space for the location of construction equipment during the course of building construction, so that development does not rely on the use of Council road reserves to locate such equipment.
- 244** Vehicular access to development located within the Core and Primary Pedestrian Areas identified in [Map Adel/1 \(Overlay 2A\)](#) should be limited and designed to minimise interruption to street frontages.
- 245** Where vehicular access to a development is gained by an existing crossing in the Core Pedestrian Area identified in [Map Adel/1 \(Overlay 2A\)](#), there should be no increase in the number of parking spaces served by the crossing, nor any increase in the number of existing crossings serving that development.
- 246** There is no minimum setback required from a rear access way where the access way is wider than 6.5 metres. Where the access way is less than 6.5 metres in width, a setback distance equal to the additional width required to make the access way 6.5 metres or more, is required to provide adequate manoeuvrability for vehicles.
- 247** The number of access points on primary city access roads identified in [Map Adel/1 \(Overlay 1\)](#) should be limited to minimise traffic and pedestrian inconvenience, interference with public transport facilities and adverse effects on the environment.
- 248** Buildings located along primary and secondary access roads should be sited to avoid the need for vehicles to reverse on to the road (unless the dimensions of the site make this impractical).
- 249** Access roads within residential development should:
- (a) provide convenient access for emergency vehicles, visitors and residents;
 - (b) enable vehicles to enter and leave a site in a forward direction;
 - (c) provide a comfortable and safe pedestrian environment; and
 - (d) be well lit.
- 250** Access roads within residential development for older people and people with disabilities should:
- (a) include platforms across roadways at pedestrian crossing points;
 - (b) not have steep gradients; and
 - (c) have level surface passenger loading areas.

Car Parking

OBJECTIVES

Objective 71: To meet community expectation for parking supply while supporting a shift toward active and sustainable transport modes.

Objective 72: An adequate supply of short-stay and long-stay parking to support desired growth in City activities without detrimental affect on traffic and pedestrian flows.

PRINCIPLES OF DEVELOPMENT CONTROL

251 Car parking areas should be located and designed to:

- (a) ensure safe and convenient pedestrian movement and traffic circulation through and within the car parking area;
- (b) include adequate provision for manoeuvring and individually accessible car standing areas;
- (c) enable, where practical, vehicles to enter and leave the site in a forward direction;
- (d) minimise interruption to the pattern of built form along street frontages;
- (e) provide for access off minor streets and for the screening from public view of such car parking areas by buildings on the site wherever possible;
- (f) minimise adverse impacts on adjoining residential properties in relation to noise and access and egress;
- (g) minimise loss of existing on-street parking spaces arising through crossovers and access;
- (h) incorporate secure bicycle parking spaces and facilitate convenient, safe and comfortable access to these spaces by cyclists; and
- (i) provide landscaping, such as semi-mature trees, to shade parked vehicles and reduce the visual impact of the car parking area while maintaining direct sight lines and informal visual surveillance.

Design Technique (this is ONE WAY of meeting the above Principle)

251.1 Car parking in compliance with the requirements recommended in Australian Standard AS 2890.1: 'Parking Facilities - Off-street Car Parking' and Australian Standard AS 2890.2: Off-Street Parking - Part 2: Commercial Vehicle Facilities.

252 All development should provide car parking spaces for people with disabilities in accordance with the requirements in the Building Code of Australia (BCA). For classes of buildings not covered by the requirements of the BCA, the number of spaces should be provided in accordance with [Table Adel/7](#) and such car parking spaces should comply with Australian Standard 2890.1: 'Parking Facilities - Off-street Car Parking'.

253 Within the City Living Zone, Adelaide Historic (Conservation) Zone, North Adelaide Historic (Conservation) Zone, Main Street, Mixed Use and Institutional Zones:

- (a) adequate car parking should be provided within the site area of the development to meet the demand generated by the development;
- (b) car parking should be provided in accordance with [Table Adel/7](#); and
- (c) car parking rates lower than the minimum in Table Adel/7 may be appropriate where there is readily accessible and frequent public transport in the locality or it can be demonstrated that a lower provision is warranted, such as for the following reasons:
 - (i) the nature of development;
 - (ii) existing heritage places on or adjacent to the development site which dictates the development of the site in a manner which hampers the provision of on-site parking;
 - (iii) the opportunity to exploit shared car parking areas between uses based upon compatible hours of peak operation;

- (iv) use of a car share scheme; or
- (v) suitable arrangements for any parking shortfall to be met elsewhere or by other means.

254 Off-street parking should:

- (a) be controlled in accordance with the provisions for the relevant Policy Area;
- (b) be located away from street frontages or designed as an integral part of buildings on the site. Provision of parking at basement level is encouraged; and
- (c) not include separate garages or carports in front of buildings within front set-backs.

255 Garaging and parking structures (including the width of any support structure) provided on a public street frontage or on a laneway that functions as the dwellings primary frontage should be of a width less than 50 percent of the allotment width on that frontage.

256 Undercroft parking is not appropriate within the City Living Zone, Adelaide Historic (Conservation) Zone, North Adelaide Historic (Conservation) Zone, Mixed Use Zones or Main Street Zones.

257 Undercroft parking should project no higher than 1 metre above ground level and should be screened from public view and designed to add interest and creativity to the street frontage.

258 Off-street parking in the Core Pedestrian Area identified in [Map Adel/1 \(Overlay 2A\)](#) will only be appropriate where:

- (a) parking is ancillary to another activity carried out on the land;
- (b) it can be provided without loss of pedestrian amenity; and
- (c) it is not separately created on a strata title or community title basis (unless in association with another title held on the site).

259 Multi-level car parks or non-ancillary car parking use of an existing building should only be established where it can be demonstrated that there is a need which is not adequately satisfied by other parking facilities in the locality.

260 Multi-level car parks and short stay public use of ancillary car parking spaces are discouraged at ground floor street frontages in the Primary Pedestrian Area identified in [Map Adel/1 \(Overlays 2, 2A and 3\)](#). Multi-level car parks, short stay public use of ancillary car parking spaces or non-ancillary car parking use of an existing building may be appropriate where it:

- (a) is located away from ground floor street frontages to major streets;
- (b) ensures vehicle access is from the road with less pedestrian activity in instances where a site has access to more than one road frontage;
- (c) has no more than one entry lane and one exit lane;
- (d) has a controlled exit at the property boundary to stop vehicles before travelling across the footpath;
- (e) has no more than one left in and one left out access point;
- (f) avoids access points along high concentration public transport routes identified in [Map Adel/1 \(Overlay 4\)](#); and
- (g) with respect to ancillary parking, is provided at basement level, or undercroft if located behind other uses which provide activity on the street frontage.

261 Multi-level car parks should be designed to:

- (a) provide active street frontages and land uses such as commercial, retail or other non-car park uses, along ground floor street frontages to maintain pedestrian interest and activity at street level;
- (b) be of a high quality design and complement the surrounding built form in terms of height, bulk and scale;
- (c) provide surveillance, lighting and direct sightlines along clearly defined and direct walkways, through and within car parking areas and to lift and toilet areas;
- (d) on a corner site with two major street frontages, be set back from the major street frontages, with commercial or other non-car park floor space in front of and screening the car parking building;
- (e) on a site with only one major street frontage, include screening so that any car parking is not visible from the public realm either day or night, and detailed to complement neighbouring buildings in a manner consistent with desired character in the relevant Zone and Policy Area;
- (f) incorporate treatments to manage the interface with adjacent housing, such as careful use of siting and use of materials and landscaping;
- (g) not have vehicle access points across major walking routes identified in [Map Adel/1 \(Overlay 2\)](#); and
- (h) provide safe and secure bicycle parking spaces in accordance with the requirements of [Table Adel/6](#).

262 The hours and methods of operation of multi-level and non-ancillary car parks should ensure overall traffic efficiency, minimum adverse impact on the environment, and levels of parking supply adequate to meet the economic and social needs of the City.**263** In areas outside the Core and Primary Pedestrian Areas identified in [Map Adel/1 \(Overlays 2, 2A and 3\)](#), car parking may be provided to serve a development within the site of the development or elsewhere. Where car parking is provided, it should be:

- (a) provided with vehicle access points that do not cross major walking routes identified in [Map Adel/1 \(Overlay 2\)](#); and
- (b) located away from frontages to major streets wherever possible.

264 On-site parking should be provided for development in those localities close to the City Living Zone, the Adelaide Historic (Conservation) Zone or the North Adelaide Historic (Conservation) Zone, unless suitable parking facilities exist within the vicinity of the development, the use of which does not adversely impact on amenity in the City Living Zone, Adelaide Historic (Conservation) Zone or the North Adelaide Historic (Conservation) Zone.**265** Car parking associated with development for older people and people with disabilities should:

- (a) be conveniently located on site within easy walking distance to resident units;
- (b) be adequate for residents, staff, service providers and visitors in accordance with the requirements set out in [Table Adel/7](#);
- (c) include separate and appropriately marked places for people with disabilities and spaces for small electrically powered vehicles;
- (d) have slip-resistant surfaces with low gradients;
- (e) allow ease of vehicle manoeuvrability;

- (f) be designed to allow the full opening of all vehicle doors; and
- (g) minimise the impact of car parking on adjacent residences due to visual intrusion, noise and emission of fumes.

Design Technique (*this is ONE WAY of meeting part of the above Principle*)

265.1 *In relation to Principle 264(d), the gradient of the car parking space not steeper than 1:20.*

Economic Growth and Land Use

OBJECTIVES

Objective 73: The role of the City enhanced as:

- (a) the community, civic and cultural heart of South Australia and as a driving force in the prosperity of the State;
- (b) the State centre for business, administration, services, employment, education, political and cultural activities, government and public administration;
- (c) a welcoming, secure, attractive and accessible meeting place for the people of metropolitan Adelaide and beyond for leisure, entertainment, civic and cultural activity, specialty shopping, personal and community services;
- (d) a centre for education and research built on key academic strengths and on the excellent learning environment and student accommodation available in the City;
- (e) a supportive environment for the development of new enterprises drawing on the cultural, educational, research, commercial and information technology strengths of the City centre;
- (f) the gateway to the attractions of South Australia for international and interstate visitors by developing a wide range of visitor accommodation, facilities and attractions, particularly attractions which showcase the particular strengths of South Australia; and
- (g) a great place to live, with a growing diversity of accommodation for different incomes and lifestyles.

Objective 74: A business environment which encourages investment from domestic and foreign sources, business development and employment.

Objective 75: Development which reinforces clusters and nodes of activity and distinctive local character.

Objective 76: A diverse mix of commercial, community, civic and residential activities to meet the future needs of the Capital City of South Australia.

PRINCIPLES OF DEVELOPMENT CONTROL

266 Development, particularly within the Capital City and Institutional Zones, is encouraged to:

- (a) provide a range of shopping facilities in locations that are readily accessible;
- (b) provide for the growth in economic activities that sustain and enhance the variety and mix of land uses and the character and function of the City;
- (c) maximise opportunities for co-location, multiple use and sharing of facilities;

- (d) be accessible to all modes of transport (particularly public transport) and safe pedestrian and cycling routes; and
- (e) have minimal impact on the amenity of residential areas.

267 The Institutional Zones should develop:

- (a) with a function and quality in providing leisure, transport, cultural, government, educational and health facilities in an “Institutional” setting on land in public ownership;
- (b) by being characterised by a transition of fine public buildings in a landscaped setting between the intense built form marking the edge of the Capital City Zone on the southern side of North Terrace to the Torrens Valley in the Park Lands Zone;
- (c) with commercial activities being ancillary to the cultural and institutional functions of the Zones; and
- (d) with improved pedestrian movement and integration across North Terrace.

268 Development is encouraged to develop and expand upon the existing or create new tourism activities to maximise employment and the long-term economic, social and cultural benefits of developing the City as a competitive domestic and international tourist destination.

269 Tourist facilities should be compatible with the prevailing character of the area, within close proximity to public transport facilities and well designed and sited.

270 Development located either abutting, straddling or within 20 metres of a Zone or Policy Area boundary should provide for a transition and reasonable gradation from the character desired from one to the other.

271 Development should not unreasonably restrict the development potential of adjacent sites, and should have regard to possible future impacts such as loss of daylight/sunlight access, privacy and outlook.

Centres and Main Streets

OBJECTIVES

Objective 77: A Capital City that provides the highest order and greatest range of goods and facilities and serves as the principal focus for the economic, social and political life of metropolitan Adelaide, and the State.

Objective 78: Main Street Zones along O’Connell, Melbourne, Hutt, Halifax and Sturt Streets:

- (a) developed with a retail, community and commercial function, providing local services for surrounding residential communities, and accommodating a range of visitor facilities and commercial activity, arising from their centrality and high accessibility by walking, public transport, cycling and car.
- (b) developed with an increased component of residential accommodation and with enhanced vitality and character while effectively managing their impact in order to protect the amenity of adjacent residential areas.
- (c) with restricted potential for further expansion or intensification of commercial activity due to car parking demands and the need to protect the amenity of neighbouring residential areas.

Objective 79: Local community facilities that provide shopping and local facilities to serve day to day needs of the local community.

PRINCIPLES OF DEVELOPMENT CONTROL

272 Development should:

- (a) cater for the existing and future shopping needs of the population and community;
- (b) provide a degree of choice;
- (c) result in the expansion of the total range of retail goods and services presently available to the community;
- (d) result in the maintenance of retail employment in the area;
- (e) be safely and readily accessible to the population they will serve;
- (f) have minimal adverse impact on surrounding residential uses;
- (g) have minimal adverse impact on traffic movement;
- (h) be compatible with adjoining areas in terms of the location of access ways, buffer strips and transitional use areas;
- (i) not demonstrably lead to the physical deterioration of any designated centre; and
- (j) incorporate carefully located advertisements that are in scale with the desired character. Illumination from signs or floodlights should not spill over to adjacent areas.

273 Provision for the movement of people and goods should comply with the following:

- (a) development should not cause inconvenient and unsafe traffic and pedestrian movements or result in the need for significant expenditure on transport and traffic works, or facilities within, or outside the locality;
- (b) development should be concentrated for pedestrian convenience;
- (c) access to car parking areas should be designed not to cause congestion or detract from the safety of traffic on abutting roads;
- (d) development should include adequate and convenient provision for service vehicles and the storage and removal of recyclables, waste goods and materials;
- (e) parking areas should be consolidated and coordinated into convenient groups, rather than located individually, and access points should be minimised;
- (f) car parks should be orientated to facilitate direct and convenient access of pedestrians between them and the facilities they serve; and
- (g) retail showrooms should provide appropriate manoeuvring and circulation areas on the site to accommodate trucks and trailer movements for the carriage of bulky products.

Telecommunications Facilities

OBJECTIVES

Objective 82: Telecommunications facilities provided to meet the needs of the community;

Objective 83: Telecommunications facilities located and designed to:

- (a) minimise visual impact on the amenity of the local environment; and

- (b) take into account the precautionary principle in relation to sensitive land uses.

Objective 84: The location and co-location of telecommunication facilities primarily in the Capital City and Main Street Zones.

PRINCIPLES OF DEVELOPMENT CONTROL

274 Telecommunications facilities should be located:

- (a) to meet the communication needs of the community;
- (b) primarily in Capital City and Main Street Zones; and
- (c) to take into account sensitive land uses such as child care centres, schools, aged care centres, hospitals and regional icons.

275 Telecommunications facilities, whether co-located or singular, should be sited and designed to minimise the visual impact on the character and amenity of the local environment, particularly in visually prominent areas, areas of high visitation, and main focal points or significant vistas. Facilities should:

- (a) take into account existing size, scale, context and characteristics of existing structures, land forms and vegetation so as to complement the local environment;
- (b) ensure equipment buildings are constructed of materials that contribute to the character and amenity of the locality; and
- (c) use innovative design concepts, such as sculpture and art, to integrate the facility into the existing character of the area.

Design Techniques (these are ONE WAY of meeting the above Principle)

275.1 Design solutions may include:

- (a) incorporate landscaping to screen the development, in particular, equipment shelters and huts;
- (b) utilise existing land forms, buildings and topographical features for screening;
- (c) incorporate a landscape buffer (where facility has frontage to a public road) that has a minimum width of 3 metres, contributes to the streetscape and includes appropriate shrubs and trees;
- (d) integrate the facility within an existing structure which may serve another purpose (where technically feasible);
- (e) utilise non-reflective materials and finishes that minimise visual impact;
- (f) have antennae located as close as practical to the support structure; and
- (g) use concealed cables where practicable and appropriate.

276 Co-location of telecommunications facilities are encouraged where technical, health and amenity objectives can be achieved.

Design Techniques (these are ONE WAY of meeting the above Principle)

276.1 Design solutions may include:

- (a) the development demonstrates compliance with the ACA regulations regarding maximum human exposure limits for radiofrequency fields;

- (b) general public access to RF Hazard areas is restricted by a secure barrier; and*
- (c) the co-located facility is sited:*
 - (i) a minimum of 200 metres from another telecommunications tower or monopole; and*
 - (ii) a minimum of 100 metres from the City Living Zone, Adelaide Historic (Conservation) Zone or North Adelaide Historic (Conservation) Zone.*

277 Telecommunications facilities should not detrimentally affect the character or amenity of heritage places.

278 Telecommunications facilities should:

- (a) be sited, designed and built in a manner that reinforces and enhances the character of the locality;
- (b) incorporate design elements such as roof-form, materials, colours, fences and landscape settings, which are compatible with heritage places or their detailing;
- (c) maintain front, side and rear boundary set-backs;
- (d) be of a colour that does not detract from the historic character of an area or place; and
- (e) ensure that equipment shelters have a:
 - (i) total building height that does not exceed a maximum of 2.4 metres unless additional height is required to complement adjoining structures in the immediate locality; and
 - (ii) maximum base area of 7.5 square metres.

279 The site on which telecommunications infrastructure has been developed should be restored following construction.

280 Telecommunications infrastructure should be removed when it is redundant or no longer being used for transmission.

Park Lands

OBJECTIVES

Objective 85: Protect and enhance the Adelaide Park Lands as:

- (a) a unique open space system which creates a distinctive image for the City and supports the economic and social life of Adelaide and South Australia, and recognizes the entry of the City of Adelaide Historic Layout in the Register of the National Estate; and
- (b) an important component of the Metropolitan Open Space System (MOSS).

Objective 86: Establish pedestrian and cycle paths that are sympathetic to the Park Lands desired character to link the paths across Policy Area boundaries and with regional networks in adjacent local government areas as a comprehensive and integrated system.

Objective 87: Protection and enhancement of vegetation of local provenance wherever possible, particularly in locations specified for predominantly natural landscapes.

Objective 88: Protect and restore Park Lands waterways and improve water quality.

- Objective 89:** Enhance the Park Lands through the reduction in building floor areas, fenced and hard paved areas.
- Objective 90:** Progressively return alienated land within the Park Lands for open space and public recreational use.
- Objective 91:** Conserve biodiversity and natural habitat areas, including areas of local native vegetation.
- Objective 92:** Encourage accessibility to the Park Lands through improved public transport and bicycle and pedestrian links.
- Objective 93:** Reduce the visual, spatial and environmental impact of permanent car parks and other associated infrastructure for recreational facilities within the Park Lands.
- Objective 94:** Encourage alternatives to on-site or near-site parking for Special Events located within the Park Lands.
- Objective 95:** Promote and encourage recreational and sporting uses within appropriate areas.
- Objective 96:** Encourage the long term consolidation of sports areas.
- Objective 97:** Enhance the Park Lands to provide a diversity of opportunities for children's play.
- Objective 98:** Provide for exotic plantings and formal gardens with high quality visitor facilities incorporating well designed landscape features and interpretation in areas of predominantly cultural landscapes.
- Objective 99:** Provide sensitively designed adequate base infrastructure including areas for occasional special event car parking, bicycle parking and emergency services, for community, cultural and sporting events within the Park Lands.
- Objective 100:** Encourage the utilisation of non Park Land car park sites in the City or adjoining Council areas supported by expanded public transport and event services.
- Objective 101:** Establish lighting within the Park Lands to provide for safety, security and amenity.
- Objective 102:** Protect, enhance and provide interpretation to areas and items of indigenous and post colonial cultural significance.

PRINCIPLES OF DEVELOPMENT CONTROL

- 281** Development should ensure that the desired character and environment of the Park Lands Zone is enhanced and reinforced by:
- (a) the maintenance of a diversity of landscape with recognition of predominant natural or cultural landscapes identified in [Map Adel/1 \(Overlay 9\)](#) and the desired character of the particular Policy Area;
 - (b) the establishment and maintenance of a continuity of landscape character within and across Policy Area boundaries where similar characteristics exist;
 - (c) the protection and enhancement of the role of the River Torrens/Karrawirra Parri, its valley and tributaries, as a habitat for native fauna and especially native water fowl, associated with the re-establishment of vegetation of local provenance wherever possible;
 - (d) the enhancement of natural creek channels as a major landscape feature and their enhancement through integration into surrounding areas of Park Lands whilst implementing best practice stormwater management where appropriate;

- (e) management of the Park Lands watercourses through the laying back of creek banks, the creation of natural retention basins where appropriate and the implementation of best practice riparian and urban storm water management whilst maintaining the natural Park Land character;
 - (f) a reduction in building floor areas, fenced and hard paved areas;
 - (g) a high quality of buildings, structures, utilities, roads, artificial land surfaces and service facilities in nominated areas or sites;
 - (h) the maintenance of the delineation and visual distinction between the predominantly open landscape character of the Park Lands Zone and the built-form character of the adjacent Zones;
 - (i) the maintenance of the maximum possible area of the Park Lands as a natural land surface, by restricting the amount of enclosed artificial or paved land surface;
 - (j) adopting best practice water conservation principles;
 - (k) returning alienated land within the Park Lands for open space and public recreational use consistent with [Map Adel/1 \(Overlay 10\)](#);
 - (l) the consolidation of sports areas into locations shown in [Map Adel/1 \(Overlay 11\)](#);
 - (m) ensuring Special Events are contained within the areas shown in [Map Adel/1 \(Overlay 12\)](#);
 - (n) ensuring lighting is consistent with the framework shown in [Map Adel/1 \(Overlay 13\)](#); and
 - (o) protecting and enhancing areas and items of indigenous and post colonial cultural significance shown in [Map Adel/1 \(Overlay 14\)](#).
- 282** The use of land or buildings in the Park Lands to house machinery equipment and materials necessary for City and Park Lands' maintenance and management should be minimised.
- 283** Utility and supply services, holding tanks, sub-stations, power lines and other utility facilities should be as unobtrusive as possible, and where practicable placed underground.
- 284** Development should have regard to and recognise the need for the conservation of those areas of special landscape character.
- 285** Development should be sensitive to native biodiversity and where possible incorporate ways to protect and improve biodiversity in its design.
- 286** Development should not:
- (a) result in noise emissions which adversely affect the amenity of neighbouring premises or other Park Land users, or the emission of atmospheric or liquid pollutants; or
 - (b) introduce, expand or intensify any activity which may detrimentally affect the amenity of premises within any adjacent Zone or adjoining municipality.
- 287** Development should not further restrict public access to land within the Park Lands, including access for people with disabilities.
- 288** A comprehensive bicycle and pedestrian path network shown in [Map Adel/1 \(Overlay 8\)](#) should be provided within the Park Lands to increase the safety, convenience and enjoyment of the Park Lands for the City's workers, residents and visitors.
- 289** Car parking in the Park Lands Zone should be limited and only serve activities within the Park Lands unless specifically permitted in the relevant Policy Area.

290 Development should be limited to ensure that car parking sufficient to serve the needs of permanent activities in the Park Lands can be provided on roads through and around the Park Lands unless otherwise described in the relevant Policy Area.

291 Car parking areas should be located and designed to:

- (a) ensure safe and convenient pedestrian movement and traffic circulation through and within car parking areas; and
- (b) minimise their visual impact through the incorporation of swales and permeable surfaces.

MOSS (Metropolitan Open Space System)

OBJECTIVES

Objective 103: A clearly defined and linked Metropolitan Open Space System (MOSS) of public and privately owned land of an open or natural character in and around metropolitan Adelaide which will:

- (a) provide a visual and scenic contrast to the built urban environment;
- (b) assist in the conservation of natural or semi-natural habitats and sites of scientific or heritage value and re-vegetation;
- (c) provide corridors for movement of wildlife;
- (d) accommodate a range of active recreation and sporting facilities of regional or State significance, including facilities which may be used for national and international events;
- (e) accommodate a range of passive recreation and leisure areas; and
- (f) provide for the integration of stormwater management in association with recreation, aquifer recharge and water quality management.

Objective 104: The development of public land within the MOSS for active and passive recreation, sporting facilities and conservation with emphasis on retaining the open, natural or rural character with wide landscaped buffers around the perimeter of areas where appropriate, areas of conservation significance retained in their natural state and buildings located and designed in such a way as to minimise their impact.

Objective 105: The development of open space recreation reserves through land purchases, contributions of open space, and exchanges of land.

PRINCIPLES OF DEVELOPMENT CONTROL

292 Development should preserve and enhance the character and amenity of land within the MOSS as shown on [Map Adel/1 \(Overlay 7\)](#).

293 Publicly owned land within the MOSS should also be used to conserve wildlife habitats and areas of natural vegetation, to allow for movement of wildlife, to conserve sites of scientific, cultural or heritage interest and for re-vegetation.

294 Buildings and structures erected on land within the MOSS should be designed, located and screened so as to be unobtrusive and not detract from the open natural or landscaped character of these areas.

295 The width of reserves abutting watercourses within the MOSS should be sufficient to allow for flood control, stormwater management, retention of the riverine ecosystem and to provide areas of open space which can be used to accommodate a range of recreational and sporting facilities.

Regulated Trees

OBJECTIVES

Objective 106: The conservation of regulated trees that provide important aesthetic and environmental benefit.

Objective 107: Development in balance with preserving regulated trees that demonstrate one or more of the following attributes:

- (a) significantly contributes to the character or visual amenity of the local area
- (b) indigenous to the local area
- (c) a rare or endangered species
- (d) an important habitat for native fauna.

PRINCIPLES OF DEVELOPMENT CONTROL

296 Development should have minimum adverse effects on regulated trees.

297 A regulated tree should not be removed or damaged other than where it can be demonstrated that one or more of the following apply:

- (a) the tree is diseased and its life expectancy is short;
- (b) the tree represents a material risk to public or private safety;
- (c) the tree is causing damage to a building;
- (d) development that is reasonable and expected would not otherwise be possible;
- (e) the work is required for the removal of dead wood, treatment of disease, or is in the general interests of the health of the tree.

298 Tree damaging activity other than removal should seek to maintain the aesthetic appearance and structural integrity of the tree.

Significant Trees

OBJECTIVE

Objective 108: The conservation of significant trees which provide important aesthetic and environmental benefit to Metropolitan Adelaide.

PRINCIPLES OF DEVELOPMENT CONTROL

299 Development should be designed and sited to retain:

- (a) any existing tree of substantial size and merit; and
 - (b) existing street-trees,
- and accommodating and protecting their normal growth pattern.

300 Where a significant tree or group of trees:

- (a) makes an important contribution to the character or amenity of the local area; or

- (b) is indigenous to the local area and its species is listed under the National Parks and Wildlife Act as a rare or endangered native species; or
- (c) represents an important habitat for native fauna; or
- (d) is part of a wildlife corridor of a remnant area of native vegetation; or
- (e) is important to the maintenance of biodiversity in the local environment; or
- (f) forms a notable visual element to the landscape of the local area;

development should preserve these attributes.

Note: Trees or groups of trees are declared as significant in [Table Adel/5](#). A tree not listed or identified in [Table Adel/5](#) may also be significant if it falls within the class of trees declared to be significant by the Development Regulations 2008.

301 Development should be undertaken with the minimum adverse affect on the health of a significant tree.

302 Significant trees should be preserved and tree-damaging activity should not be undertaken unless:

- (a) in the case of tree removal;
 - (1) (i) the tree is diseased and its life expectancy is short; or
 - (ii) the tree represents an unacceptable risk to public or private safety; or
 - (iii) the tree is shown to be causing or threatening to cause substantial damage to a substantial building or structure of value; or
 - (iv) the tree is known to cause health problems; and

all other reasonable remedial treatments and measures have been determined to be ineffective; or

 - (2) it is demonstrated that all reasonable alternative development options and design solutions have been considered to prevent substantial tree-damaging activity occurring.
- (b) in any other case;
 - (i) the work is required for the removal of dead wood, treatment of disease, or is in the general interests of the health of the tree; or
 - (ii) the work is required due to unacceptable risk to public or private safety; or
 - (iii) the tree is shown to be causing, or threatening to cause damage to a substantial building or structure of value; or
 - (iv) the aesthetic appearance and structural integrity of the tree is maintained; or
 - (v) it is demonstrated that all reasonable alternative development options and design solutions have been considered to prevent substantial tree-damaging activities occurring.

303 Where a significant tree is proposed for removal, such tree should be replaced on the same site within three months of Development Approval, subject to the season, by:

- (a) a mature tree of appropriate species and sufficient size when fully grown; or
- (b) landscaping of equivalent landscape value in accordance with a comprehensive landscaping plan for the site and the desired character for the locality.

- 304** Development involving ground work activities such as excavation, filling, and sealing of surrounding surfaces (whether such work takes place on the site of a significant tree or otherwise) should only be undertaken where the aesthetic appearance, health and integrity of a significant tree, including its root system, will not be adversely affected.
- 305** Where development is to take place in close proximity to a significant tree, that tree should be protected by appropriate measures during the course of the development. In particular, the area in which the tree's branches and roots are located should be protected by the erection of a secure fence prior to commencement of any work on site to prevent any disturbance to such area, for example by compaction, excavation, filling or contact causing damage to branches, trunks, or root systems.
- 306** Fencing erected for the protection of a tree designated as a significant tree should:
- (a) consist of a 2.0 metre high solid, chain mesh, steel or similar fabrication with posts at 3 metre intervals;
 - (b) incorporate on all sides a clearly legible sign displaying the words "Tree Protection Area"; and
 - (c) not be erected closer to the tree than a distance equal to half of the height of the tree or the full width of the branch spread (whichever is lesser).
- 307** Land should not be divided or developed where the division or development would be likely to result in a substantial tree-damaging activity occurring to a significant tree.

OVERLAYS

Overlay 1 – Affordable Housing

The following Objectives and Principles of Development Control apply to the designated areas marked on [Map Adel/1 \(Overlays 15a, 15b and 15c\)](#). They are additional to those expressed for the whole of the Council area and those expressed for the relevant Zone and, if applicable, Policy Area.

INTERPRETATION

Where the Objectives and/or Principles of Development Control that apply in relation to this Overlay are in conflict with the relevant Council wide, Zone or Policy Area Objectives and/or Principles of Development Control in the Development Plan, the Overlay will prevail.

OBJECTIVES

- Objective 1:** Affordable housing that is integrated with residential and mixed use development.
- Objective 2:** Development that comprises a range of affordable dwelling types that cater for a variety of household structures.
- Objective 3:** Affordable housing that deliver whole-of-life cost savings to the occupants.
- Objective 4:** Affordable housing that is provided in a wide range of locations and integrated into the City.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development comprising 20 or more dwellings should include a minimum of 15 percent affordable housing.
- 2** Where development includes affordable housing, then the quantitative provisions in respect to the following elements are not applicable to the affordable housing component provided the qualitative outcomes can be achieved:
 - (a) allotment area and dimensions;
 - (b) building height;
 - (c) site area and dimensions;
 - (d) site coverage;
 - (e) front, side and rear setbacks to boundaries;
 - (f) area and dimensions of private open space;
 - (g) minimum unit sizes;
 - (h) minimum storage areas;
 - (i) plot ratio;
 - (j) dwelling unit factor; and
 - (k) landscaped open space.

Overlay 2 – Noise and Air Emissions

The following Objectives and principles of Development Control apply to the ‘designated area’ marked on [Map Adel/1 \(Overlay 16\)](#). They are additional to those expressed for the whole of the Council area and those expressed for the relevant Zone and, if applicable, Policy Area.

INTERPRETATION

Where the Objectives and/or Principles of Development Control that apply in relation to this Overlay are in conflict with the relevant Council wide, Zone or Policy Area Objectives and/or Principles of Development Control in the Development Plan, the Overlay will prevail.

OBJECTIVES

Objective 1: Protect community health and amenity from adverse impacts of noise and air emissions.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Noise and air quality sensitive development located adjacent to high noise and/or air pollution sources should:
 - (a) shield sensitive uses and areas through one or more of the following measures:
 - (i) placing buildings containing less sensitive uses between the emission source and sensitive land uses and areas
 - (ii) within individual buildings, place rooms more sensitive to air quality and noise impacts (e.g. bedrooms) further away from the emission source
 - (iii) erecting noise attenuation barriers provided the requirements for safety, urban design and access can be met
 - (b) use building design elements such as varying building heights, widths, articulation, setbacks and shapes to increase wind turbulence and the dispersion of air pollutants provided wind impacts on pedestrian amenity are acceptable
 - (c) locate ground level private open space, communal open space and outdoor play areas within educational establishments (including childcare centres) away from the emission source.

NORTH ADELAIDE HISTORIC (CONSERVATION) ZONE

Introduction

The desired character, objective and principles of development control that follow apply to the North Adelaide Historic (Conservation) Zone shown on [Maps Adel/6 to 15](#). They are additional to those expressed for the whole of Council area and in cases of apparent conflict, take precedence over the more general provisions.

Statement of Heritage Value

North Adelaide is part of the historic plan of the City of Adelaide. The historic character of North Adelaide provides strong cultural and historic evidence of the creation of the colony, the establishment and consolidation of early settlement and the subsequent development of South Australia's capital city over time.

South Australia was established as a semi-commercial venture later taken over by the British government. North Adelaide formed a distinctive part of the plan for Adelaide drawn up in advance of settlement by Colonel William Light, who was appointed Surveyor-General by the South Australian Colonisation Commission. North Adelaide repeats the grid land division pattern created by Light's plan in South Adelaide, and comprises three small grids now described as Upper North Adelaide, Lower North Adelaide and the Cathedral area. The Town Acres were disposed in a regular grid layout around Wellington Square, the only public open space incorporated within the initial plan for North Adelaide other than the Park Lands belt. The location of the three distinct areas reflects Light's understanding of the local topography. The layout of one acre blocks with large frontages to unusually wide streets around the Square and Park Lands maximised views to the open spaces and the Adelaide Hills in the distance.

North Adelaide is essentially a group of three residential villages separated from the square mile of the City by the belt of Park Lands. It has developed in parallel with the southern part of the City but with a greater emphasis on residential growth and the provision of local services in each area for the immediate residents. Although the original Town Acres have been divided and further developed over time, Light's Plan has been preserved essentially as he conceived it.

Following survey and settlement, the natural landscape was converted to a cultural landscape which now reflects the divisions of wealth and influence in the early colony. The built form of North Adelaide is indicative of the social divisions and occupations of Adelaide society from early settlement. It retains many buildings and sites of State and local heritage value ranging from large mansions to simple row cottages, corner shops and hotels to major churches and institutional buildings that reflect the different periods of development. The diversity of scale and integrity of the remaining historic built form is a microcosm of development periods and traditional housing styles in the State as a whole.

North Adelaide also retains strong physical evidence of the historical stages of the development of the colony, most particularly the typical 1850s to 1880s village type settlement pattern, with shops and other services. These remain in Kermode Street, Melbourne Street and Tynte Street particularly, as these streets served as the local main streets for the three discrete sections of North Adelaide. As the colony grew, North Adelaide became the location for a number of major religious and institutional organisations and their buildings, and for the residences of many notable Adelaide community members.

North Adelaide has historically developed a role in the health and education sectors through established public and private organisations on large land holdings. Many of the organisations are on prominent sites and provide an important range of education, student accommodation, health and aged care services.

Upper North Adelaide, Lower North Adelaide and the Cathedral area each display unique characteristics that contribute to the understanding of the heritage value of the Zone, as follows:

Upper North Adelaide

This area contains Policy Areas 1 to 7 and is the largest of the three North Adelaide areas.

Tynte Street originally served as the local main street for Upper North Adelaide and major community buildings reflect its early function, including the school, post office, institute, fire station, Baptist church, and early shops. The introduction of the horse-drawn tramway along O'Connell Street in 1878 drew commercial development away from Tynte Street but also made the western Town Acres which were previously sparsely settled, more accessible and construction of substantial houses soon followed. Prior to this period the area of Upper North Adelaide west of Wellington Square was the least desirable place to live in the City. Several religious orders were able to afford to buy land here, such as St Lawrence's in Buxton Street in 1867 and St Dominic's Priory in Molesworth Street in 1893 (during an economic recession when land prices were low). These large institutions create a contrast to the more intense residential subdivisions and housing development around them. The 1883-4 City Land Investment Company subdivision of Town Acres along Barnard and Molesworth Streets resulted in a sequence of large residences which form an important part of the physical character of Upper North Adelaide. A number of these still remain as State Heritage Places between Hill Street and Wellington Square.

The elevated land adjacent the Park Lands, such as along Lefevre Terrace, Mills Terrace and Strangways Terrace, provided prestigious residential addresses. Narrower streets, such as Margaret and Curtis Streets retain characteristic small scale worker housing. A range of one and two storey villas characterises the most common built form throughout the rest of the area.

The advent of the electric tramways public transport system in 1909 established O'Connell Street as the main link to the northern suburbs and it became a major hub of activity, providing a commercial and services focus for residential development. The street retains examples of traditional commercial architecture of one and two storeys, attached rows and single shops, forming a linear shopping strip. Heritage Places have been identified in the Main Street Policy Area MS1, although the Policy Area is not within the North Adelaide Historic (Conservation) Zone.

Lower North Adelaide

This area contains Policy Areas 10–12. The Main Street Zones - Melbourne East and Melbourne West, service this area.

Lower North Adelaide sits at an oblique angle to the City, encompassing 86 Town Acres and surrounded by Park Lands. Its topography is characterised by the escarpment of the Torrens Valley, known as the North Adelaide scarp, a steep rise from Melbourne Street to Stanley Street, below which the area is relatively flat, towards the River Torrens.

The ridge of the scarp along Kingston Terrace/Stanley Street and the frontages to the Park Lands provided for prestigious residential addresses. The higher concentration of small cottages in the lower section below the scarp reflects the early subdivision of these Town Acres into estates providing workers housing following the establishment of local manufacturing industries such as the Lion Brewery. The creation of the road through Brougham Place in the 1860s and the introduction of horse drawn trams along Melbourne Street in 1878 gave this section of North Adelaide closer links with the rest of the City and made the area an attractive location for workers to live.

Melbourne Street was originally the village centre for the area, which included small shops, businesses and other uses such as St Cyprians Church interspersed with housing. The central node of the village was at the Melbourne Street/Jerningham Street intersection, where major two storey structures, including the Lion Hotel, brewery buildings and former ANZ bank remain.

The original character of Melbourne Street is still evident, although most of the original housing that remains has been converted to commercial use.

Cathedral Area

The Cathedral area sits immediately north of the City at an angle to Upper North Adelaide and contains Policy Areas 8 and 9. Comprised of 24 Town Acres on land sloping upward to the north and west, it is the smallest of the three areas and serves as an entry point to Upper North Adelaide.

St Peter's Cathedral, dating from 1869, is a major landmark and visually dominates this area which is characterised by large institutional buildings, with residential development located primarily to the west. St Mark's College, much of which is comprised of new buildings, is grouped around substantial early residences along Pennington Terrace.

Until 1856, Kermode Street was the 'High Street' of North Adelaide. The characteristic collection of shops, a police station, a church and hotel (the still trading Queens Head) were located along this street, and there are several pre 1850s buildings remaining in this area.

Small cottages and worker housing, such as in Brougham Court, provide a contrast with the more substantial villas with Park Lands frontage around Palmer Place and along Pennington Terrace and are indicative of the diverse social composition of the early resident population.

OBJECTIVES

Objective 1: Conservation of the heritage values and historic character of North Adelaide established by areas of intact and architecturally diverse historic townscapes in a series of wide streets and other roads laid out according to Colonel William Light's original 1837 town plan.

Objective 2: Development compatible with the heritage values and historic character of the Zone achieved by:

- (a) supporting and reinforcing the Statement of Heritage Value for North Adelaide and the desired character for each Policy Area;
- (b) maintaining a regular allotment pattern and orientation of buildings to public roads and incorporates high standards of design, building materials and landscaping to complement the:
 - (i) pattern of land division established by Heritage Places, particularly the width of frontage;
 - (ii) bulk and scale of residential Heritage Places;
 - (iii) front and side boundary building set-back patterns of adjacent Heritage Places in each Policy Area; and
 - (iv) established environmental quality of public and private landscaped open spaces and the adjacent Park Lands;
- (c) buildings interspersed with open space and landscaped front gardens forming a distinct edge to the majority of the perimeter of the Zone, visually defining the interface with the Park Lands;
- (d) a high degree of pedestrian amenity and safety achieved through landscaping, paving and streetscape works, with convenient access to the Park Lands, Wellington Square and the Main Street Policy Areas; and
- (e) managing vehicle access and parking to conserve and enhance the heritage value of North Adelaide.

Objective 3: A Zone where the existing housing stock is maintained through the retention of Heritage Places and the number of dwellings increased primarily through:

- (a) the replacement of buildings that are not identified Heritage Places;
- (b) the development of vacant or under-utilised sites that does not compromise the established residential amenity and the identified heritage value of the Zone and Heritage Places; and

- (c) a change in use of non-residential buildings for residential purposes.

Objective 4: A Zone which continues to support the development of the role of the long established health and education sectors whilst reinforcing the heritage value of the Zone and maintaining residential amenity.

PRINCIPLES OF DEVELOPMENT CONTROL

In the Zone and Policy Areas 1 to 12 inclusive, a reference to a:

- "major street" means a street with a road reserve 15 metres or greater in width;
- "minor street" means a street with a road reserve narrower than 15 metres in width.

1 Development should:

- (a) retain and conserve Heritage Places;
- (b) reflect the historic built form and its visual character through residential development of complementary design, form and density consistent with the desired character for each Policy Area; and
- (c) contribute to the landscape character of private and public open spaces and incorporate attractive landscaping to street frontages where building set-backs permit.

2 Development should increase the amount of residential accommodation in the Zone by:

- (a) a change in use of non-residential buildings to residential uses;
- (b) development of vacant and under-utilised sites that can be achieved without adverse impact on the established residential amenity and the historic character of the Zone or relevant Policy Area; and
- (c) the redevelopment of sites containing buildings that are not Heritage Places which are presently incompatible with the historic character of the Zone or the desired character of the Policy Area, particularly buildings that are visible from public roads.

3 Development of new buildings or building additions of innovative and contemporary design should demonstrate a compatible visual relationship with adjacent Heritage Places and other buildings prevailing in the Policy Area that reinforce the desired character by compatible:

- (a) bulk and scale;
- (b) width of frontage and the front and side boundary building set-back patterns;
- (c) proportions and vertical and/or horizontal emphasis, exhibiting vertical openings and a high solid to void ratio in the composition of the principal building facade and other elevations presenting to a public road; and
- (d) form and level of visual interest as determined by length and size of unbroken walling, articulated and modulated frontages, treatment of openings and depths of reveals, roofline and silhouette, colour and texture of materials used, as well as detailing (without excessive use or mimicry of decorative elements and ornamentation) and design elements such as porches, verandahs and balconies where appropriate.

4 New buildings should utilise stone, brick and/or brick render as the main external finish to walls to complement the historic built form in the Zone. Coated surfaces that are visible from the street should be finished in natural render, limewash, cement or mineral paints, not plastic coatings or renders. Buildings with brightly coloured or highly reflective surfaces should not be developed.

5 Development should achieve the minimum landscaped open space requirements prescribed for each Policy Area.

- 6 Development should not introduce building styles that are out of character with the desired character of the relevant Policy Area.
- 7 Development should not exceed the height prescribed for each Policy Area. The height of new buildings, including the floor to ceiling clearances of each level, should take reference from the prevailing building heights within the locality, with particular reference to adjacent Heritage Places.
- 8 In a locality where single storey development prevails or is desired in accordance with the relevant desired character, low profile solutions to two storey development that are located to the rear of an existing building, may be appropriate subject to no adverse impacts on the historic character of the streetscape and overshadowing and privacy impacts on neighbouring land.
- 9 Where consistent building set-backs from front, side and rear allotment boundaries prevail, new development should be consistent with these established setbacks. Where a consistent building set-back is not evident in a particular locality, new buildings should not project forward of Heritage Places adjacent the development site. Building to side boundaries (other than for party walls in semi-detached, row dwellings or residential flat buildings) or to a rear boundary is generally inappropriate, but may be considered where it is demonstrated that there will be no detrimental effect on residential amenity or adjacent Heritage Place(s).
- 10 Redevelopment of corner sites containing buildings that are not Heritage Places should provide facades to each street frontage and should only be sited on or close to the corner frontages where the development complements the siting of Heritage Places on adjacent corner sites.
- 11 Appropriately pitched roofs to visibly reinforce the prevailing character of historic roof forms in the Zone should be incorporated in development rather than mono-pitch or flat roof forms falling to the street frontage or asymmetrically to a side boundary.
- 12 Residential flat buildings or group dwellings should be designed to have the appearance of a detached dwelling as viewed from the primary street frontage.
- 13 Row dwellings should only be developed where vehicle access can be provided from laneways or minor streets. Row dwellings should not incorporate garaging for vehicles in the building elevation to the primary street frontage and should not be comprised of more than six attached dwellings in any one group.

Fencing

- 14 Fencing to a street frontage (including any secondary street frontage) and returning along the side boundaries to the alignment of the main face of the principal building on the land, should:
 - (a) be of traditional style and detailing that is compatible with the style of the building, or in the case of a new building, its design should reflect historically sympathetic fencing styles evident in the particular streetscape;
 - (b) on the primary street frontage, comprise low fencing or fencing with an open character combined with solid pillars and plinths or other similar fencing styles that allow views of the associated building, by their height and design;
 - (c) comprise materials compatible with traditional fencing materials such as stone and cast iron, brick, stone or rendered pillars and plinths or other traditional materials such as timber or well detailed masonry, but should not include metal sheeting; and
 - (d) not include solid masonry fences on the primary street frontage other than where it is required to be consistent with fencing of identified heritage value on the development site.
- 15 On corner sites, the front fence should return on the secondary street frontage at the same height up to the alignment of the main face of the building on the land. The remaining rear section of side fences on a secondary street frontage should be constructed of traditional materials such as brick, rendered masonry and timber and should not be higher than 1.8 metres above ground level.

- 16** Fences on rear and side property boundaries (behind the main face of the building), should not be higher than 2 metres above ground level and should be constructed of traditional materials, including corrugated metal sheeting. Side fences or walls above 1.2 metres are generally inappropriate forward of the main face of a building. Forward of the main face of the building, fences should be of a scale that allows oblique views of buildings.

Access and Car Parking

- 17** Vehicle access to land should be via minor streets, rear lanes and existing crossovers wherever possible. In a street where vehicle access does not prevail on the primary street frontage, new crossovers should be avoided.
- 18** New vehicle crossovers required for development should be:
- (a) of minimum width to preserve and enhance street character;
 - (b) designed to narrow the crossover width towards the road pavement and located to avoid the need to remove historic kerbing and significant trees;
 - (c) separated from each other and located so that as many on-street car parking spaces as possible are retained; and
 - (d) placed to avoid relocation of utility and infrastructure inspection points, poles and equipment.
- 19** Vehicle access points to development should be consolidated and located to minimise the impact on residential amenity from parking, loading and access.
- 20** Vehicle parking arrangements should not incorporate undercroft parking (unless specifically expressed in a Policy Area as a possible development option in a particular street) or other parking or access arrangements that are not in keeping with the heritage character of the Zone.
- 21** Other than low scale residential development, car parking should be provided at basement level to optimise the use of land and to limit the visual impact on the amenity and historic street character of the Zone.
- 22** Low scale residential development should provide on-site car parking and open car parks and buildings for parking vehicles that are:
- (a) located at the rear of sites wherever possible;
 - (b) designed and sited to ensure garage doors do not visually dominate the primary street frontage; and
 - (c) be located behind the main face of the associated building.
- 23** Driveways commencing from a primary street frontage and terminating at or near the rear of a site, such as in hammerhead allotments and shared driveways in group dwelling developments, should be located, landscaped and fenced to minimise detrimental impact on the streetscape appearance and the amenity of neighbouring residential properties.

Land Division

- 24** The division of land should take reference from the established allotment frontages in the relevant street and aim to create regularly proportioned allotments capable of containing dwelling types consistent with the desired character of development fronting the street.
- 25** The division of land in the form of a hammerhead allotment or similar allotment arrangement, such as a community title land division that includes a shared driveway, should:

- (a) have a frontage to a public road and a 'handle' width of not less than five metres and not more than six metres to enable the provision of landscaping on both sides of a driveway for its full length and a driveway pavement of not more than 3.5 metres in width;
- (b) locate allotment boundaries to provide a separation distance of 2 metres from the future driveway pavement and a bedroom window of a neighbouring dwelling;
- (c) ensure that on-site car parking can be accommodated on the site of an existing dwelling in a manner that is consistent with other principles of development control for the zone;
- (d) avoid the repetition of driveways immediately adjacent to each other; and
- (e) include fencing treatment along the length of the driveway that is consistent with other principles of development control for the zone.

Complying Development

26 The following kinds of development are complying:

- (a) Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:
 - (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing the site.

Non-complying Development

27 The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:
 - Adult entertainment premises
 - Adult products and services premises
 - Amusement machine centre
 - Art gallery except in Policy Areas 4 and 8
 - Auditorium
 - Backpackers hostel except:
 - (i) in Policy Areas 3, 4, 9 and 15
 - (ii) on King William Road frontages in Policy Area 8
 - Bank except:
 - (i) on Tynte Street frontages in Policy Area 4
 - (ii) on King William Road frontages in Policy Area 8
 - (iii) on Melbourne Street frontages in Policy Area 11
 - (iv) in Policy Area 15
 - Car park except where ancillary to an approved or existing use
 - Cinema
 - Clinic except:
 - (i) where directly associated with the Calvary Hospital site on [Fig HS/1](#)

- (ii) from an existing non-residential premises in Policy Area 5 and 15
- (iii) in Policy Area 9

Community centre except:

- (i) in Policy Area 4 and 15
- (ii) east of Jeffcott Street in Policy Area 5

Conference centre except in Policy Area 15

Consulting room except:

- (i) where directly associated with the Calvary Hospital site on [Fig HS/1](#)
- (ii) from an existing non-residential premises in Policy Area 5
- (iii) on King William Road frontages in Policy Area 8
- (iv) in Policy Area 9
- (v) on Melbourne Street frontages in Policy Area 11
- (vi) in Policy Area 15

Day care centre (other than a child care centre) except:

- (i) in Policy Areas 4, 7, 9 and 15
- (ii) east of Jeffcott Street in Policy Area 5
- (iii) where directly associated with the Helping Hand Aged Care site on [Fig HS/3](#)

Educational establishment except:

- (i) where directly associated with the St Dominic's Priory College site on [Fig HS/2](#)
- (ii) east of Jeffcott Street in Policy Area 5
- (iii) in Policy Areas 3, 4, 9 and 15
- (iv) on King William Road frontages in Policy Area 8
- (v) where directly associated with the Lincoln College site on [Fig LF/1](#)
- (vi) where directly associated with the St Ann's College site on [Fig SW/1](#)
- (vii) where directly associated with the St Mark's College site on [Fig C8/1](#)

Emergency shelter except:

- (i) east of Jeffcott Street in Policy Area 5
- (ii) in Policy Areas 4, 7, 9 and 15

Hospital except:

- (i) where directly associated with the Calvary Hospital site on [Fig HS/1](#)
- (ii) in Policy Areas 4, 9 and 15

Hotel except:

- (i) in Policy Areas 3, 4 and 9
- (ii) on King William Road frontages in Policy Area 8

Indoor recreation centre except:

- (i) on Tynte Street frontages in Policy Area 4
- (ii) in Policy Area 9 and 15

Industry

Leisure studio except:

- (i) on Tynte Street frontages in Policy Area 4
- (ii) in Policy Area 9 and 15

Licensed entertainment premises

Licensed premises except on Tynte Street frontages in Policy Area 4

Motel except:

- (i) in Policy Areas 3, 4, 9 and 15
- (ii) on King William Road frontages in Policy Area 8

Multiple dwelling except:

- (i) in Policy Areas 3, 5, 7, 8, 9 and 15
- (ii) on land identified as St Ann's Colleges on [Fig SW/1](#)

Museum except in Policy Areas 4, 8 and 15

Nursing home except:

- (i) on Archer Street frontages in Policy Area 4
- (ii) both north of Tynte Street and west of Mansfield Street in Policy Area 4
- (iii) east of Jeffcott Street in Policy Area 5
- (iv) in Policy Areas 7, 9 and 15
- (v) where directly associated with the Helping Hand Aged Care site on [FigHS/3](#)

Office except:

- (i) from an existing non-residential premises in Policy Area 5
- (ii) on King William Road frontages in Policy Area 8
- (iii) in Policy Area 9 and 15
- (iv) on Melbourne Street frontages in Policy Area 11
- (v) where directly associated with the Helping Hand Aged Care site on [FigHS/3](#)

Passenger terminal

Public library except in Policy Areas 4, 8 and 15

Research laboratory except:

- (i) where directly associated with the Calvary Hospital site on [Fig HS/1](#)
- (ii) on Archer Street frontages in Policy Area 4
- (iii) on King William Road frontages in Policy Area 8
- (iv) in Policy Area 9 and 15

Restaurant in Policy Area 4 except on Tynte Street

Road transport terminal

Service trade premises

Serviced apartment except:

- (i) in Policy Areas 3, 4, 9 and 15
- (ii) on King William Road frontages in Policy Area 8

Shop except:

- (i) on Tynte Street frontages in Policy Area 4
- (ii) the site of the North Adelaide Primitive Methodist Church located on Wellington Square in Policy Area 4
- (iii) on King William Road frontages in Policy Area 8
- (iv) on Melbourne Street frontages in Policy Area 11
- (v) on Kermode Street frontages in Policy Area 9

(vi) in Policy Area 15

(vii) where directly associated with the Calvary Hospital site on [Fig HS/1](#)

Theatre except in Policy Area 15

Transport depot

Warehouse

(b) Building work involving any of the following:

(i) Total demolition of a State Heritage Place, local heritage place or portion of a local heritage place being the frontage and side wall returns which are visible from the street, where the elements of heritage value of that place are so limited.

(c) Development which exceeds any applicable maximum plot ratio (as prescribed in each Policy Area) except:

(i) in Policy Area 4 both north of Tynte Street and west of Mansfield Street

(ii) in Policy Area 9, 10 and 15

(iii) on land identified as the Calvary Hospital site on [Fig HS/1](#)

(iv) on land identified as the St Dominic's Priory College site on [Fig HS/2](#)

(v) on land identified as the Helping Hand Aged Care site on [Fig HS/3](#)

(vi) on land identified as the Aquinas College site on [Fig C5/1](#)

(vii) on land identified as the Lincoln College site on [Fig LF/1](#)

(viii) on land identified as the St Marks College site on [Fig C8/1](#)

(ix) on land identified as the Kathleen Lumley College site on [Fig F/1](#).

(d) Development which exceeds both the building levels and maximum building height prescribed as follows:

(i) In Policy Area 1, development which exceeds both 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:

a. On land identified as the Calvary Hospital site on [Fig HS/1](#), development which exceeds both 5 building levels and locates a ceiling more than 15 metres above the median natural or finished ground level at any point or any part of a building.

b. On land identified as the St Dominic's Priory College site on [Fig HS/2](#), development which exceeds both 3 building levels and locates a ceiling more than 9 metres above the median natural or finished ground level at any point or part of a building.

(ii) In Policy Areas 2, 3 and 4, development which exceeds both 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:

a. In Policy Area 4 both north of Tynte Street and west of Mansfield Street (other than in the area defined by hatching on Concept Plan [Fig T/1](#))

(iii) In Policy Area 4, development on land both north of Tynte Street and west of Mansfield Street (other than in the area defined by hatching on Concept Plan [Fig T/1](#)) which exceeds 6 building levels above the natural or finished ground level at any point or any part of a building.

- (iv) In Policy Area 5, development which exceeds both 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:
 - a. On land identified as the Aquinas College site on [Fig C5/1](#), development which exceeds both 3 building levels and locates a ceiling more than 9 metres above the median natural or finished ground level at any point or any part of a building.
- (v) In Policy Area 6, development which exceeds both 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building.
- (vi) In Policy Area 7, development which exceeds both 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:
 - a. On land identified as the Lincoln College site on [Fig LF/1](#).
- (vii) In Policy Area 8, development which exceeds both 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except for:
 - a. Uses directly associated with the operations of St Mark's College, other than within Area A as shown on Concept Plan [Fig C8/1](#)
 - b. Within Area A as shown on Concept Plan [Fig C8/1](#), development which exceeds 3 building levels.
- (viii) In Policy Area 10, development which exceeds both 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:
 - a. On land identified as the St Ann's College site on [Fig SW/1](#), development which exceeds both 4 building levels storey's and locates a ceiling more than 12 metres above the median natural or finished ground level at any point or any part of a building;
 - b. On land fronting Development along Old Street (west of New Street) development which exceeds both 2 two building levels above one level of undercroft parking and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building;
 - c. On land fronting Jerningham Street, development which exceeds both one building level and locates a ceiling more than 3 metres above the median natural or finished ground level at any point or any part of a building.
- (ix) In Policy Area 11, development which exceeds both 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building.
- (x) In Policy Area 12, development which exceeds both 2 building levels and locates a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, except:
 - a. On land identified as the Kathleen Lumley College site on [Fig F/1](#), development which exceeds both 4 building levels and locates a ceiling more than 12 metres above the median natural or finished ground level at any point or any part of a building.

- (e) Advertisements involving any of the following:

Illuminated except in Policy Areas 1, 9 and 10

Animation

Third party advertising

Advertisements at roof level where the sky or another building forms the background when viewed from ground level.

Public Notification

28 For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

- (a) **Category 1**, public notification not required:

(i) advertisements (except those classified as non-complying);

(ii) development, which, in the opinion of the relevant authority, is of a minor nature and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.

- (b) **Category 2**, public notification required, third parties may, at the discretion of the relevant planning authority, appear before the relevant planning authority on the matter. Third parties do not have appeal rights:

(i) all development, other than development classified as non-complying or which falls within Part (a) of this provision.

Note: For Category 3 development, public notification is required. Third parties may make written representations, appear before the relevant planning authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

Hill Street Policy Area 1

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/37, 38, 42 and 43](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Hill Street Policy Area should remain one of the lowest density residential areas in Upper North Adelaide and should be protected and enhanced as one of the most historically intact residential areas in South Australia.

The variety of dwelling types should be retained by the conservation of Heritage Places characterised by nineteenth and early twentieth century elegant and finely detailed mansions and other large villas set on large allotments, together with low and medium density cottages, villas and terrace houses of one and two storeys.

Helping Hand Aged Care will be a valuable multi-functional aged care facility providing a variety of levels of care and accommodation for the elderly community. St Dominic's Priory College will continue to be associated with educational land uses. Calvary Hospital will provide hospital uses such as patient care, research, consulting rooms, visitor accommodation and ancillary services. Development of these long established institutions should meet the community needs and future requirements whilst reinforcing the heritage values and amenity of the Policy Area.

New development should respect the low scale, environmental quality character and historic value of the Policy Area, incorporating high standards of design, materials and landscaping.

The character of new residential development should be established by low density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

- (a) Mills Terrace and Strangways Terrace (west of Hill Street):
New residential buildings addressing the primary street frontage should comprise detached dwellings, group dwellings or residential flat buildings of one or two storeys that contribute to the imposing townscape character of these Park Lands frontages established by various styles of detached dwellings of identified heritage value. Built form character will be reinforced through new development incorporating articulation, bay windows, hip or hip- gable roof profiles, verandahs, balconies and porches, and set within landscaped grounds.
- (b) Gibbon Lane:
There should be little change in the townscape character established by primarily attached and detached two storey dwellings and a single storey detached dwelling of local heritage value. Future residential buildings addressing the primary street frontage should be detached dwellings. Roofs should be pitched or incorporated behind parapets and the design and composition of facades should reflect traditional proportions of Heritage Places in the locality.
- (c) Hill Street:
This attractive townscape is formed by the many one storey local heritage places and several two storey State Heritage Places comprising large detached and semi-detached dwellings, as well as other prominent corner sites containing St. Lawrence's Church and Calvary Hospital. New residential buildings should be detached or semi-detached dwellings with a frontage to and access from the street. The siting of buildings should continue the regular building set-back from the primary street frontage and the established regular pattern of siting of Heritage Places on individual allotments relevant to the particular section of the street.
- (d) Buxton Street:
The townscape character is established by several highly cohesive frontages of single storey detached dwellings of local heritage value and other one and two storey State heritage places, including examples of finely detailed Italianate villas with intact stone and cast-iron fencing.

A traditional corner shop which abuts the north-western corner of Buxton Street and Jeffcott Street frontages is an exception to the prevailing building set-back but complements the scale and character of the adjoining group of detached cottages on the northern frontage of Buxton Street.

The siting of new development at the Helping Hand Aged Care should complement the setback of Heritage Places and avoid unbroken frontages. The use of landscaped open space should be incorporated to break up building mass.

Additional residential accommodation should be located on under-utilised land to the side or behind existing buildings provided the value of Heritage Places is not compromised.

New residential buildings with frontage to the street should comprise single storey detached or group dwellings.

- (e) Molesworth Street:
The residential townscape east of Hill Street is almost exclusively Heritage Places comprising semi-detached dwellings of similar architectural design on the southern side, and detached Victorian Italianate houses and other detached dwellings of local heritage value on the northern side.

In other parts of the street development opportunities for additional residential accommodation should be limited to under-utilised land behind or adjacent existing buildings where the value of Heritage Places is not compromised.

All dwelling types should be considered within established institutional sites. Development adjacent the primary street frontage will reinstate or reinforce the building set-back and subdivision pattern established by Heritage Places.

The Church of Perpetual Adoration makes a valuable contribution to the historic character of the area. Development of St Dominic's Priory College should maintain the visual prominence of the Church of Perpetual Adoration by retaining views and vistas with suitable building setbacks from the side and street frontages of the Church. The use of landscaped open space should be incorporated to break up building mass.

(f) Barnard Street:

The residential townscape east of Hill Street is almost exclusively Heritage Places and will remain intact through the conservation of Heritage Places characterised by detached and semi-detached dwellings.

New buildings should complement and, where necessary, reinstate the generally consistent building set-back established by one and two storey Heritage Places.

The Calvary Hospital Chapel forms an important part of the character of Barnard Street. Development should be compatible with the Heritage Places and maintain the heritage value and prominence of the Chapel by retaining views and vistas to the Chapel.

(g) Jeffcott Street:

The diversity of traditional dwelling types and the generally consistent character of large dwellings should be conserved through the retention of Heritage Places. Buildings that are not identified Heritage Places may be replaced with new buildings that should not necessarily repeat distinctive historic elements (such as bay windows). Such replacement development should be large, single storey detached dwellings adjacent the primary street frontage, and should reinstate the prevailing building set-back established by Heritage Places relevant to the particular locality, which on corner sites may comprise buildings set on or close to the primary street frontage.

(h) Childers Street:

The historic townscape is established by primarily large, low density, single storey local heritage places comprising detached dwellings. Buildings that are not identified Heritage Places should be replaced by development that has the appearance of single storey detached dwellings adjacent the primary street frontage. Development should reinstate the prevailing building set-back established by Heritage Places relevant to the particular locality.

(i) Barton Terrace West:

The diversity of dwelling types and building set-backs has eroded the former heritage townscape. Development that replaces buildings that are not identified Heritage Places should comprise detached, semi-detached and group dwellings or residential flat buildings that reinstate the building set-back and orientation of the main face of dwellings to the Park Lands established by the remaining Heritage Places.

(j) Ward Street and Strangways Terrace (east of Hill Street)

The Calvary Hospital is a prominent corner site that contributes to the character of the area. The visual prominence of Calvary Hospital should be retained. New development should be compatible with the Heritage Places and should maintain the orientation and frontage of the hospital to Strangways Terrace. The use of landscaped open space should be incorporated to break up building mass. Car parking and access areas should be consolidated and landscaping established.

East of Calvary Hospital, the existing townscape along Ward Street is characterised by a number of single storey detached residences of consistent architectural style, form and siting.

OBJECTIVES

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

Objective 2: Development of the Policy Area for residential purposes at low density with landscaped setbacks to retain and reinforce the traditional character.

Objective 3: Development of the Policy Area that maintains residential amenity by limiting non-residential development to institutional uses within existing sites.

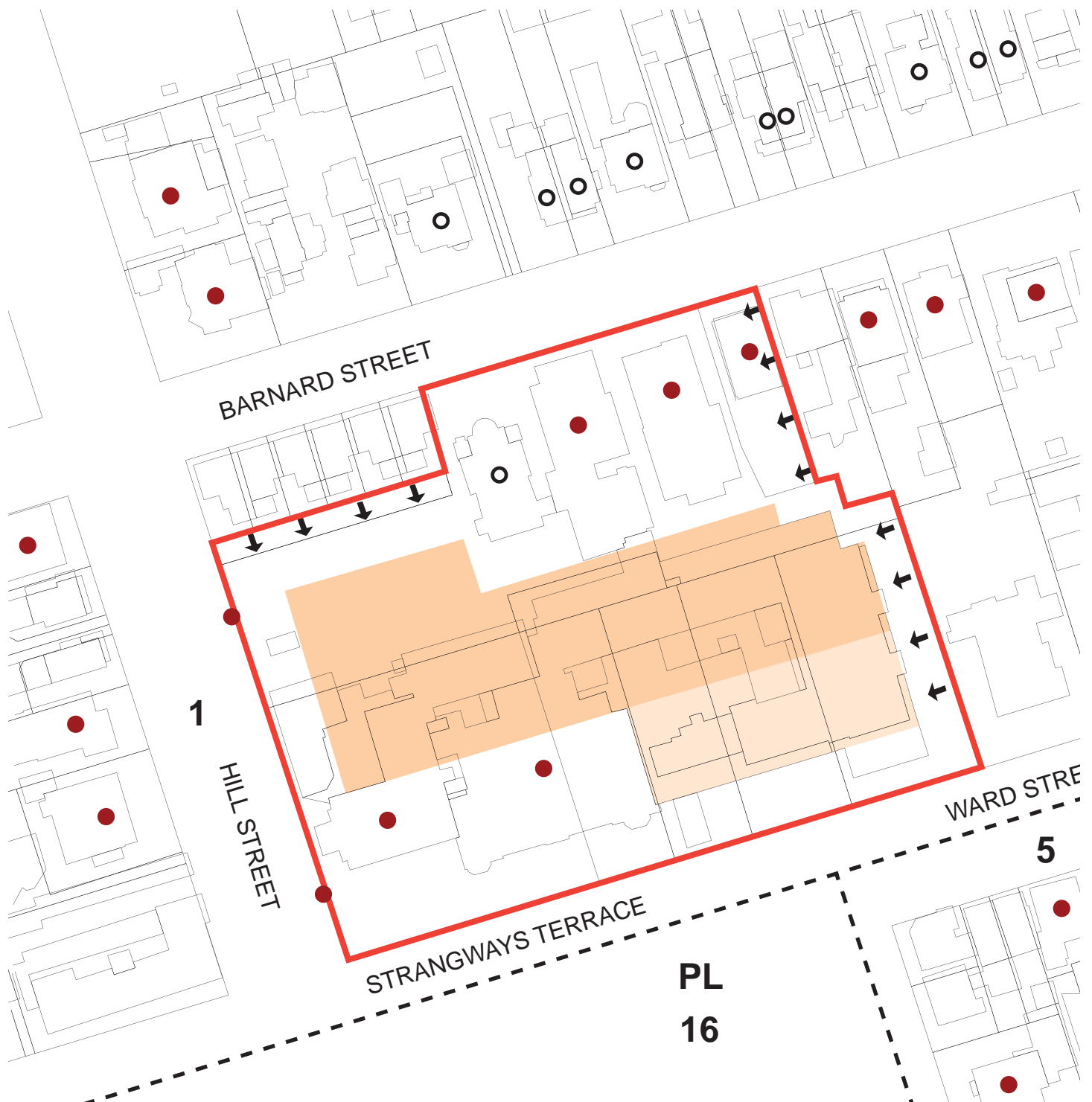
PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3 Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building (except for land identified as the Calvary Hospital site on [Fig HS/1](#), the St Dominic's Priory College site on [Fig HS/2](#) and the Helping Hand Aged Care site on [Fig HS/3](#)).
- 4 The bulk and density of development should satisfy the following:
 - (a) Basic and maximum plot ratio: 0.6 (except for land identified as the Calvary Hospital site on [Fig HS/1](#), the St Dominic's Priory College site on [Fig HS/2](#) and the Helping Hand Aged Care site on [Fig HS/3](#)).
 - (b) Dwelling Unit Factor:
 - (i) 600 square metres - detached dwelling and group dwelling;
 - (ii) 450 square metres - semi-detached dwelling;
 - (iii) 500 square metres - residential flat building not contained within an existing building;
 - (iv) 250 square metres - residential flat building contained within an existing building;
 - (v) 350 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (eg single storey detached dwellings) and only in the following circumstances:
 - (a) on land greater than 2000 square metres; or
 - (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
 - (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.
- 6 The land for a dwelling should have a primary street frontage to a public road not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):



- 1 Hill Street Policy Area
- 5 Carclew Policy Area
- 16 Golf Links Policy Area

- Calvary Hospital Site
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 5 building levels
- ➔ Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY) **CALVARY HOSPITAL** **CONCEPT PLAN** **Fig HS/1**

Consolidated - 30 April 2020



1 Hill Street Policy Area

16 Golf Links Policy Area

- St Dominic's Priory College Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 3 building levels
- ➔ Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY) **ST DOMINIC'S PRIORY COLLEGE** **CONCEPT PLAN** **Fig HS/2**

Consolidated - 30 April 2020



- 1 Hill Street Policy Area
- 2 Childers East Policy Area
- 3 Wellington Square Policy Area

- Helping Hand Aged Care Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 4 building levels
- ➔ Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY) **HELPING HAND AGED CARE** **CONCEPT PLAN** **Fig HS/3**

Consolidated - 30 April 2020

- (a) Detached dwelling: 14 metres;
 - (b) Semi-detached dwelling: 12 metres;
 - (c) Group dwelling or residential flat building: 18 metres.
- 7** A minimum of 50 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.

Non-residential Development

- 8** Non-residential development comprising new buildings should respect the generally lower scale of residential buildings and provide a transition of built form at site boundaries.
- 9** Development of Calvary Hospital should:
- (a) be in accordance with Concept Plan [Fig HS/1](#);
 - (b) not exceed a plot ratio of 1.5
 - (c) ensure new buildings up to a maximum of 5 building levels or 15 metres above the median natural or finished ground level at any or any part of a building are designed to:
 - (i) be located in central areas of the site and in areas identified as Taller Built Form;
 - (ii) ensure buildings up to 4 building levels are located along Hill Street and in areas identified as Taller Built Form;
 - (iii) ensure buildings up to 3 building levels are in areas identified as Low Scale Built Form;
 - (v) provide a compatible set back from the street, adjoining residential allotments and State and Local Heritage Places; and
 - (vi) minimise building mass at the interface from an adjoining boundary by siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods.
- 10** Development of St Dominic's Priory College should:
- (a) be in accordance with Concept Plan [Fig HS/2](#); and should:
 - (b) not exceed a plot ratio of 1.1;
 - (c) ensure new buildings up to a maximum of 3 building levels and 9 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - (i) be located in areas identified as Taller Built Form;
 - (ii) locate Low Scale Built Form up to 2 building levels/6 metres in height along the Barnard Street, Hill Street, Molesworth Street and Priory Lane frontages;

- (iii) provide a compatible set back from the street, adjoining residential allotments and State and Local Heritage Places; and
 - (iv) minimise building mass at the interface from an adjoining boundary by siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods.
- (d) minimise the impact of vehicular access and student pick up and drop off on residential amenity.

11 Development of Helping Hand Aged Care should:

- (a) be in accordance with the Concept Plan [Fig HS/3](#);
- (b) not exceed a plot ratio of 1.7 (North of Kermode Street) and 2.3 (South of Kermode Street);
- (d) ensure new buildings up to a maximum of 4 building levels or 12 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - (i) be located in areas identified as 'Taller Built Form';
 - (ii) locate Low Scale Built Form between 1 to 2 building levels along the Molesworth Street, Buxton Street and Childers Street;
 - (iii) provide a compatible set back from the street, adjoining residential allotments and State and Local Heritage Places;
 - (iv) minimise building mass at the interface from an adjoining boundary by siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods.
- (f) improve the pedestrian environment and access particularly across Buxton Street.

Advertising

- 12** The maximum size of advertisements should be 0.2 square metres.
- 13** Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate.
- 14** Advertisements which project from the wall of a building are inappropriate.

Childers East Policy Area 2

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/38 and 39](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Childers East Policy Area should remain one of the lowest density residential areas in Upper North Adelaide.

The variety of dwelling types should be retained by the conservation of Heritage Places characterised by nineteenth and early twentieth century elegant and finely detailed mansions, large villas set on large allotments and low and medium density detached and semi-detached residences of one and two storeys, such as the typical cottages and terrace houses on narrower frontages.

Development should complement the low scale and generally cohesive townscapes of the Policy Area. The character of new residential development should be established by low density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

(a) Childers Street:

There should be little change in the historic townscape established by primarily single storey local heritage places, including consistently sited single-storey row cottages, detached cottages and the occasional terrace houses with narrow frontages on the northern side and on the southern side detached and attached cottages with varying set-backs.

On the northern side, new residential buildings adjacent the primary street frontage should be single storey detached or semi-detached dwellings, and the continuity of parapets, verandahs and roof profiles may be reproduced in new development.

On the southern side new residential buildings adjacent the primary street frontage should be single storey detached or semi-detached dwellings that reinstate the character of detached and attached cottages.

(b) Gover Street:

The townscape is established by primarily single storey detached dwellings.

On the northern side, new residential buildings with frontage to the street should be single storey detached or semi-detached dwellings that reinstate the historic pattern of development, and should not result in built elements such as garages being developed on or close to the primary street frontage or forward of the main face of a dwelling.

On the southern side, west of Mansfield Street, development should comprise single storey detached dwellings that complement the more generous scale and siting patterns of Heritage Places.

On the southern side, east of Mansfield Street, development should comprise single storey detached dwellings.

(c) Jeffcott Street:

This street comprises a diversity of traditional dwelling types reflecting the different stages of early residential development. Existing development includes the low scale character of row cottages with a consistent and intensive built form edge to the eastern frontage north of Childers Street and elsewhere larger detached bay window and gable-fronted villas on individual sites.

North of Childers Street the townscape should remain largely unchanged, but where opportunities exist, new residential buildings should be single storey detached or semi-detached dwellings sited on or close to the primary street frontage and designed to complement the established continuity of roof and verandah profiles.

South of Childers Street new residential buildings should be single storey detached dwellings sited close to the primary street frontage.

(d) Barton Terrace West

The character of development fronting the Park Lands on Barton Terrace West has been highly modified over time and few development opportunities remain that will increase the number of dwellings.

New residential development should replace buildings that are not identified Heritage Places and should comprise one or two storey detached or semi-detached dwellings.

Development should reinstate a more cohesive edge along Barton Terrace West and remove non-contributory elements such as garages from the primary street frontage. Development should utilise existing vehicle access points where possible.

(e) Hack Street:

The intimate character of this narrow street, which is established by single storey cottages, should be maintained. Opportunities to develop additional dwellings should generally be limited to the eastern side of the street and buildings should be single storey detached dwellings with single width carparking where appropriate.

(f) Mansfield Street:

The character of this street, which is established by single storey cottages, should remain largely unchanged through the conservation of Heritage Places. Where opportunities for replacement development exist, buildings should be single storey detached dwellings.

(g) in other minor streets:

Where opportunities for replacement or infill development exist, buildings should be single storey detached dwellings.

The amenity and character of the Policy Area should be maintained and enhanced by street trees and high quality paving and other landscaping. Tall trees at the intersection of Barton Terrace West and Jeffcott Street should create an imposing 'gateway' to this major entrance to North Adelaide and should complement the character of existing street tree planting.

Vehicle movement should be managed predominantly for the movement of local traffic and pedestrian safety, with major flows limited to Jeffcott Street.

OBJECTIVES

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

Objective 2: Development of the Childers East Policy Area for residential purposes at low densities.

Objective 3: Residential amenity maintained by restricting the introduction, expansion or intensification of non-residential uses.

PRINCIPLES OF DEVELOPMENT CONTROL

1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.

2 Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.

3 Development should not exceed two building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building.

Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.

4 The bulk and density of development should satisfy the following:

- (a) Basic and maximum plot ratio: 0.8; and
- (b) Dwelling Unit Factor:
 - (i) 600 square metres – detached dwelling and group dwelling;
 - (ii) 450 square metres – semi-detached dwelling;
 - (iii) 500 square metres – residential flat building not contained within an existing building;
 - (iv) 250 square metres – residential flat building contained within an existing building;
 - (v) 350 square metres – residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (e.g. single storey detached dwellings) and only in the following circumstances:

- (a) on land greater than 2000 square metres; or
- (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
- (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.

6 The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):

- (a) Detached dwelling: 14 metres;
- (b) Semi-detached dwelling: 12 metres;
- (c) Group dwelling or residential flat building: 18 metres.

7 A minimum of 40 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

Advertising

- 8** The maximum size of advertisements should be 0.2 square metres and limited to one advertisement per premises.
- 9** Illumination of advertisements will only be considered where it will not detrimentally affect residential amenity.
- 10** Advertisements more than 3.0 metres above natural ground level or an abutting footpath or street are inappropriate.
- 11** Advertisements which project from the wall of a building are inappropriate.

Wellington Square Policy Area 3

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Map Adel/38](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

Wellington Square is one of the City's most important and historical public spaces and the Policy Area should be maintained as one of the most attractive residential areas in North Adelaide. The townscape is contiguous with and complementary to the townscape character of the major streets which lead into the Square.

Development should create a more cohesive built form edge to the Square through selective and sensitive infill development of buildings that are sited with particular regard to the prevailing setbacks of adjacent development. New buildings should complement the historic built form comprising large, single storey local heritage places and one or two storey State heritage places.

Development should preserve and enhance the Square's informal character and unity by appropriate landscaping, paving, planting, lighting and street furniture. Pedestrian paths and informal recreation areas should provide attractive and safe shelter and seating. Vehicle access to and through the Policy Area should be maintained together with a safe, pleasant pedestrian environment within Wellington Square and on the adjacent footpaths.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** The Wellington Square Policy Area developed for residential purposes at low densities and residential amenity maintained by development associated with existing non-residential uses contained within existing site boundaries.
- Objective 3:** The continued use of the Square as a relaxed and pleasant environment for passive recreation and an informal civic space for local activities and events.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2** Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3** Buildings should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building.

Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.

- 4** The bulk, density and height of buildings should not exceed the following:
 - (a) Basic and maximum plot ratio: 1.0; and
 - (b) Dwelling Unit Factor:

- (i) 600 square metres - detached dwelling and group dwelling;
- (ii) 450 square metres - semi-detached dwelling;
- (iii) 500 square metres - residential flat building not contained within an existing building;
- (iv) 250 square metres - residential flat building contained within an existing building;
- (v) 350 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (eg single storey detached dwellings) and only in the following circumstances:
 - (a) on land greater than 2000 square metres; or
 - (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
 - (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.
- 6 The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):
 - (a) Detached dwelling: 14 metres;
 - (b) Semi-detached dwelling: 12 metres;
 - (c) Group dwelling or residential flat building: 18 metres.
- 7 A minimum of 50 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.
- 8 Non-residential development comprising new buildings should respect the generally lower scale of residential buildings and provides a transition of built form at site boundaries.
- 9 Development should not result in additional vehicle access on the Wellington Square frontage.
- 10 Residential buildings addressing the Wellington Square frontage should be one or two storey detached or semi-detached dwellings that enclose the open space of the Square through the close siting of buildings to side boundaries.
- 11 Buildings should be sited close to the Square or other street frontage, whichever is applicable, provided it is not forward of any adjoining Heritage Place.

- 12 Proposed redevelopment of corner sites comprising buildings that are not identified Heritage Places should provide an attractive facade to each street frontage and emphasise the historic townscape of the junction of Square and street by their siting, scale and shape.
- 13 Balconies or verandahs should not be developed over the footpaths of Wellington Square.

Advertising

- 14 The maximum size of advertisements should be 0.2 square metres with the exception of the Wellington Square frontages of non-residential sites in the south eastern part of the Policy Area (sited between 2 and 38 Wellington Square, where larger advertisements may be appropriate.
- 15 Illumination of advertisements should be discreet and should not adversely affect residential amenity.
- 16 Advertisements more than 3.7 metres above natural ground level or an abutting footpath or street are inappropriate
- 17 Advertisements which project from the wall of a building are inappropriate.

Tynte Policy Area 4

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/38 and 39](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Tynte Policy Area should continue as an area for low and medium density residential development characterised by a range of dwelling types as well as providing community facilities for North Adelaide. The formal and dignified historic character of Tynte Street derived from its traditional community uses such as the post office, library, hotel, church and kindergarten, and its wide tree-lined streetscape should be conserved. Quality landscaping, paving and street furniture should complement its historic context, with the wide footpaths used for outdoor dining and cafes where appropriate.

The variety of dwelling types should be retained by the conservation of Heritage Places. An increase in the amount of residential accommodation should be achieved by redevelopment of buildings and sites that are not identified Heritage Places and may also be achieved by converting or redeveloping non-residential premises to either residential or mixed use residential and office uses.

Development in Archer Street should create a gradual transition from the more contemporary building forms and townscape character of the Main Street Policy Area (O'Connell Street) to the east. The attractive streetscape should be maintained and enhanced by landscaping of adjacent development.

Development on Tynte Street should reinforce the dignity and quality of the public buildings in the street.

Development off Tynte and Archer Streets should reflect the more intimate scale and siting of historic and established built form.

The site identified in Concept Plan [Fig T/1](#), formerly occupied by Channel 9, provides the opportunity for an integrated redevelopment with low to medium scale residential development which may be complemented by small restaurants and cafes that activate Tynte Street. Medium rise dwellings up to 6 building levels will be centrally located within the site to limit impacts to residential amenity and historic streetscapes. Medium rise dwellings will transition down in scale to provide a suitable built form interface to sensitive development including existing low scale dwellings and Heritage Places.



- 2 Childers East Policy Area
- 3 Wellington Square Policy Area
- 4 Tynte Street Policy Area

- Former Channel 9 Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 6 building levels
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY) FORMER CHANNEL 9 SITE CONCEPT PLAN Fig T/1

Development to the Mansfield Street frontage will be low-scale and create a cohesive streetscape that enhances the historic pattern of development. Development should retain and enhance the low scale historic built-form around the perimeter of Wellington Square.

The 1960s store building located within the hatched area on Concept Plan [Fig T/1](#) on Gover Street will be replaced with low scale dwellings. The built form of dwellings on this portion of the site will reinforce the character of the historic development pattern of detached dwellings and complement the more generous scale and siting patterns of Heritage Places within Gover Street.

The Policy Area should maintain a high level of pedestrian safety with convenient access to the Main Street (O'Connell) Zone to the east, particularly to the North Adelaide Village Centre, and should remain highly accessible for local vehicle access needs.

OBJECTIVE

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development of the Tynte Policy Area for residential purposes at low and medium densities and community facilities for North Adelaide that complement the established small scale traditional community uses in Tynte Street.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2** Residential development should be in the form of detached, semi-detached, row or group dwellings, residential flat buildings, or alterations and additions to existing buildings. Row dwellings should only occur where:
 - (a) vehicle access can be provided from laneways or minor streets;
 - (b) garaging is not incorporated into the principal street frontage of the building; and
 - (c) there is a maximum of six dwellings in any one group.
- 3** Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building (except as provided for by Principle 15).
- 4** Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.
- 5** Except on land both north of Tynte Street and west of Mansfield Street, the bulk and density of development should satisfy the following:
 - (a) Basic and maximum plot ratio: 1.0 and
 - (b) Dwelling Unit Factor:
 - (i) 450 square metres - detached dwelling, semi-detached dwelling and group dwelling;
 - (ii) 450 square metres - row dwelling;
 - (iii) 450 square metres - residential flat building not contained within an existing building;
 - (iv) 250 square metres - residential flat building contained within an existing building;

- (v) 300 square metres - residential redevelopment of a site occupied by an existing non-complying use.

In relation to Principle 5(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 5(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 6 Except on land both north of Tynte Street and west of Mansfield Street, the land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment, where the frontage to a public road should be no less than five metres):
 - (a) detached dwelling: 14 metres;
 - (b) semi-detached dwelling: 12 metres;
 - (c) row dwelling: 7 metres;
 - (d) group dwelling or residential flat building: 18 metres.
- 7 A minimum of 30 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 6, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.
- 8 There should be no expansion of retail activities, other than in accordance with the Desired Character.
- 9 Limited non-residential activities such as community facilities, small scale offices and consulting rooms are appropriate in Tynte Street provided they complement rather than duplicate existing non-residential uses that currently include a post office, library, hotel and child care centre.
- 10 In Tynte Street, verandahs or balconies should only be established across footpaths where street tree growth permits. Development should maintain the continuity of built form by ensuring that new buildings are two storeys in height, and abut or are sited close to the Tynte Street frontage.
- 11 Development should maintain existing views to the prominent landmark buildings in the adjacent Carclew Policy Area.
- 12 Through-site pedestrian links to the North Adelaide Village Centre should be incorporated in development where practicable.
- 13 Non-residential development comprising new buildings should respect the generally lower scale of residential buildings and provide a transition of built form at site boundaries.
- 14 Development on land both north of Tynte Street and west of Mansfield Street except in the hatched area on Concept Plan, [Fig T/1](#) should:
 - (a) be primarily for residential use;
 - (b) be in accordance with the Concept Plan, [Fig T/1](#) and the Desired Character;
 - (c) not exceed a plot ratio of 1.7;
 - (d) ensure new buildings or built form up to a maximum of 6 building levels are:
 - (i) located within the area identified as Taller Built Form in Concept Plan [Fig T/1](#); and

- (ii) designed to minimise building mass at the interface with adjoining low-scale residential development by siting buildings within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, unless a variation to the building envelope demonstrates minimal adverse impacts upon adjacent residential development in terms of massing and overshadowing through alternative design methods.
 - (e) locate low scale built form of up to 2 building levels along the Mansfield Street frontage;
 - (f) locate low scale built form of up to 2 building levels on the Tynte Street frontage with upper level buildings set back from the street in order to maintain the prominence of the former North Adelaide Primitive Methodist Church building and the streetscape pattern of Tynte Street.
 - (g) incorporate a number of individual buildings that are separated to break up building mass and avoid long sections of continuous buildings;
 - (h) ensure new vehicle access points on Mansfield Street are:
 - (i) located away from the northern boundary of the Former Channel 9 site identified on Concept Plan [Fig T/1](#) to provide adequate sight line distances to the north; and
 - (ii) located to avoid conflict with existing vehicle access points in the street
 - (i) provide an area along the northern boundary to accommodate landscaping to soften and relieve any large building mass at the interface with low scale residential premises.
- 15** Development on land in the hatched area on Concept Plan [Fig T/1](#) should:
- (a) be primarily for residential use;
 - (b) be in accordance with the Concept Plan [Fig T/1](#) and the Desired Character;
 - (c) not exceed a plot ratio of 0.8; and
 - (d) not exceed a maximum of 2 building levels or 6 metres above the median natural or finished ground level at any point or any part of a building.

Advertising

- 16** Advertisements should be restrained and discreet and relate principally to pedestrians.
- 17** Advertisements should be sensitively designed, located and scaled to provide an overall consistency within the townscape.
- 18** Illumination of advertisements will only be considered where it is discreet and does not affect the amenity of residential premises.
- 19** Advertisements more than 3.7 metres above natural ground level or an abutting footpath or street are inappropriate.

Carclew Policy Area 5

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/38, 39 and 43](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Carclew Policy Area should be conserved as one of the most attractive and historically significant residential areas in the City. The Policy Area is characterised by intact and generally cohesive townscapes of nineteenth and twentieth century detached houses set in landscaped grounds and imposing two-storey terrace houses.

Aquinas College will provide student accommodation, educational activities and associated support services. Development should meet the community needs and future requirements whilst reinforcing the heritage values of the Policy Area.

New development should respect the low scale, environmental quality, character and historic value of the Policy Area, incorporating high standards of design, materials and landscaping.

The character of new residential development should be established by low density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

(a) Montefiore Hill, Palmer Place and Brougham Place:

New development at Aquinas College should retain the prominence of the State Heritage Places by retaining the views and vistas of those places from Palmer Place and Montefiore Hill. The use of landscaped open space should be incorporated to break up building mass.

There should be little change to the unique historic townscapes derived from the setting of large mansions set in landscaped grounds. Heritage Places exhibit variations in architectural style but are generally articulated and modelled, and constructed of stone and brick with intricate detailing and ornamentation. Typical fencing defining property frontages is constructed of brick, stone or stone and cast-iron boundary walls and new fencing should unify the townscape through the use of traditional materials.

Development along these frontages should be subordinate to the prevailing and traditional built form and should be generously proportioned one or two storey detached or semi-detached dwellings or residential flat buildings set in landscaped grounds. However, infill development opportunities should be limited due to the need to conserve an appropriate landscape setting to Heritage Places.

Development of ancillary buildings associated with existing uses should be set back from the road frontage in order to be subordinate to Heritage Places. Development of similar height and building levels may be appropriate provided it does not detract from the heritage value of a place or adversely affect the high quality streetscapes and settings.

(b) Strangways Terrace:

The imposing townscape character is established by the large detached Victorian villas situated on the western part of the Terrace. With the exception of the conflict in scale and character created by 1960s flat development, a cohesion is derived from the pattern of detached houses, the consistency of masonry facades, vertically proportioned windows, pitched roofs, verandahs and porches.

Development within this townscape should reinforce the traditional character of detached and semi-detached dwellings set on large allotments and may accommodate more contemporary residential styles towards the southern part of Strangways Terrace.

Infill development opportunities should be very limited due to the need to conserve an appropriate landscape setting to Heritage Places.

(c) Jeffcott Street:

North of Ward Street the residential character is derived from the low scale and close grouping of small cottages and row dwellings sited close to the street frontage. South of Ward Street, the townscape character is derived from detached residences, institutional buildings and a large contemporary apartment building. Unifying elements include articulated masonry facades, gable frontages, pitched roofs, verandahs and cast iron decoration.

Development should be low density residential development in the form of detached and semi-detached dwellings with new buildings primarily limited to the replacement of non-contributory buildings of a height and form established by Heritage Places. Development should reinstate the character of residential buildings close to the street frontage where it is compatible with adjacent Heritage Places.

Redevelopment of the squash courts on Jeffcott Street, incorporating detached or semi-detached residential buildings of sympathetic design, proportions and building set-backs to adjacent Heritage Places is desired. Boundary fencing to Jeffcott Street is desirable and should utilise traditional materials.

(d) Ward Street (east of Jeffcott Street):

Development on Ward Street should be domestic in scale and should contribute to the creation of a cohesive townscape, comprising primarily detached and semi-detached dwellings and residential flat buildings that respect and interpret existing nineteenth century building forms in a sensitive, contemporary manner.

(e) Ward Street (west of Jeffcott Street):

The existing townscape along Ward Street is characterised by single-storey detached residences of consistent architectural style, form and siting. Development opportunities on the northern side should generally be limited to the replacement of buildings are not identified Heritage Places, in which case the building set-back established by Heritage Places addressing the street frontage should be reinstated.

On the southern frontage a more intimate development pattern should be maintained, derived from the close grouping of smaller detached cottages of local heritage value located on or near the street. The prominence of the early limestone walls and outbuildings should be maintained. New residential development should reinforce the plain or articulated gabled frontages with a high proportion of solid to void in the composition of facades of these existing dwellings.

(f) in minor streets:

Development should be primarily single storey.

Development should retain vistas to major landmark buildings, particularly in the vicinity of Bishops' Court, where a distinctive silhouette is created by the juxtaposition of steeply pitched roof profiles, gables and tall narrow chimneys, and on Montefiore Hill by the distinctive roof forms of the prominent mansion, Carclew.

Ward Street, east of Jeffcott Street, should continue to develop as a mixed use residential, office and consulting room area.

The Policy Area should maintain a safe, pleasant and attractive pedestrian environment, with complementary landscaping in public places to complement the character of Palmer Gardens and the Park Lands below Montefiore Hill south of the Policy Area.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development of the Carclew Policy Area for residential purposes at low densities that contributes positively to the diverse character of one of Adelaide's most historically significant residential areas located adjacent the Park Lands.
- Objective 3:** Non-residential development comprising institutional and community uses compatible with residential amenity.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3 Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building (except for land identified as Aquinas College on [Fig C5/1](#)).

Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.

- 4 The bulk and density should satisfy the following basic and maximum plot ratio:
 - (a) 0:8 – sites with a boundary with Palmer Place, Brougham Place, Montefiore Hill, Strangways Terrace;
 - (b) 1.0 – elsewhere (except for land identified as the Aquinas College site on [Fig C5/1](#)).
- 5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (e.g. single storey detached dwellings) and only in the following circumstances:
 - (a) on land greater than 2000 square metres; or
 - (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
 - (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.
- 6 The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):
 - (a) Detached dwelling: 14 metres;
 - (b) Semi-detached dwelling: 12 metres;
 - (c) Group dwelling or residential flat building: 18 metres.



- 5 Brougham & Palmer Gardens Policy Area
- 16 Golf Links Policy Area
- 25 Adelaide Oval Policy Area
- 26 Carclew Policy Area
- Aquinas College Site
- Taller Built Form up to 3 building levels
- ➔ Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary

ADELAIDE (CITY) **AQUINAS COLLEGE** **CONCEPT PLAN** **Fig C5/1**

Consolidated - 30 April 2020

- 7** A minimum of 50 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.

- 8** Development on the Palmer Place frontage should maintain the prominence of the Heritage Places and the visual integrity of the street.
- 9** Residential buildings addressing the street frontage should be generously proportioned detached or semi-detached dwellings or residential flat buildings up to two storeys set in landscaped grounds.
- 10** Development of ancillary buildings associated with existing residential uses should be well set back from the principal road frontage.
- 11** Institutional and community uses compatible with residential amenity should only be developed in Ward Street, east of Jeffcott Street.
- 12** Development of Aquinas College should:
- (a) be in accordance with the Concept Plan as [Fig C5/1](#);
 - (b) not exceed a plot ratio of 1.0;
 - (c) ensure new buildings up to a maximum of 3 building levels or 9 metres above the median natural or finished ground level at any point or any part of a building are located and designed to:
 - (i) be located in areas identified as 'Taller Built Form';
 - (ii) provide compatible setbacks with adjoining residential allotments and State and Local Heritage Places; and
 - (iii) minimise building mass at the interface from an adjoining boundary by siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing through alternative design methods.

Advertising

- 13** The maximum size of advertisements should be 0.2 square metres and advertising displays should be limited to one advertising display per premises.
- 14** Illumination of advertisements will only be considered where it is discreet and does not affect the amenity of residential premises.
- 15** Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate.

Margaret Street Policy Area 6

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Map Adel/39](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Margaret Street Policy Area should be conserved as one of the most historically intact residential areas in South Australia. Residential development should be in the form of low and medium density detached or semi-detached dwellings, residential flat buildings, or small groups of row dwellings or terrace housing where it should complement or reinstate a continuous built form edge in an historic streetscape.

The character of new residential development should be established by low and medium density detached dwellings, semi-detached and row dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing a primary street frontage, to reinforce the character of the historic built form as described below:

(a) Gover Street:

Medium density residential development of one and two storeys in Gover Street should continue the regular pattern of Heritage Places addressing the principal road frontage with a consistent building set-back from the street.

On the northern side development opportunities, other than alterations and additions to the rear of Heritage Places, should be limited to the replacement of buildings that are not identified Heritage Places as there are few allotments with under-utilised land that are suitable for the development of new buildings.

On the southern side, the majority of allotments contain Heritage Places addressing the street frontage. The development of existing allotments with under-utilised land at the rear should be appropriate subject to suitable access arrangements that do not require the creation of new crossovers on Gover Street. There are several vacant allotments that should be suitable for the development of new buildings. Residential development should be designed with the appearance of detached or semi-detached dwellings or residential flat buildings as viewed from the primary street frontage.

(b) Tynte Street:

Development along Tynte Street should respond to the areas of historic townscape which give it charm and distinction, and buildings may be larger in scale and frontage than that prevailing elsewhere in the Policy Area.

Development adjacent to the intersection of Tynte and Margaret Streets should be two-storey in height, abut the street frontage and be compatible with the corner shop and row dwelling form of existing historic buildings.

Development west of Margaret Street should comprise a mixture of dwelling types up to two-storeys in height, and be set close to the street frontage. East of Margaret Street development should conserve the mixture of dwelling types characterised by more generous landscaped grounds and deeper set-backs.

(c) Archer Street:

The distinctive townscape of Archer Street, which is characterised by a predominance of Victorian terrace housing, Victorian institutional buildings, a former traditional corner hotel and Victorian detached houses situated close to the street frontage, should be reinforced by one and two storey dwellings.

- (d) **Ward Street:**
The Ward Street townscape comprises mainly single-storey detached cottages. Development opportunities should generally be limited to the replacement of non-contributory buildings. New buildings should maintain the pattern of frontages established by individual dwellings set close to the street and establish a cohesive built form character by sympathetic interpretation of traditional residential forms.
- (e) **Ralston Street:**
The Ralston Street townscape comprising single-storey semi-detached dwellings should be conserved. Those on the eastern side provide a cohesive group of Edwardian historic houses of brick construction, while the western side provides a more varied townscape in terms of scale, siting and character. Development will preserve the single storey character of the street.
- (f) **Beviss Street:**
The Beviss Street townscape comprising consistently sited, detached and semi-detached single-storey cottages should be conserved.
- (g) **Curtis Street:**
Development along Curtis Street should complement the consistent townscape of detached and semi-detached nineteenth century houses built close to the street frontage. Given the number of local heritage places, opportunities for infill development will be limited primarily to the rear of existing allotments.
- (h) **Murray Street:**
The Victorian style row housing built in the form of closely sited semi-detached pairs should be conserved. The street is almost exclusively comprised of local heritage places, hence development opportunities will be limited to alterations and additions to the rear of Heritage Places. Consistent roof forms and verandahs contribute to a cohesive townscape which should be maintained and enhanced.
- (i) **Margaret Street:**
Local heritage places addressing this street are generally single storey detached or semi-detached buildings. Development opportunities should generally be limited to the replacement of buildings that are not identified Heritage Places and alterations and additions to the rear of Heritage Places. Single storey detached or semi-detached buildings addressing the Margaret Street frontage should be developed as part of any site redevelopment, with the provision of rear access where it can be accommodated within the existing street network.

Pedestrian amenity and shelter should continue to be provided by street trees and a consistently high standard of paving and other landscaping should be maintained. Vehicle access to and through the Policy Area should cater primarily for local and visitor needs.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development of the Margaret Street Policy Area for residential purposes at low and medium densities.
- Objective 3:** Residential amenity maintained by restricting the introduction, expansion or intensification of non-residential uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2** Residential development should be in the form of detached, semi-detached, group dwellings, residential flat buildings, or alterations and additions to existing buildings. Row dwellings should only occur where:

- (a) vehicle access can be provided from laneways or minor streets;
 - (b) garaging is not incorporated into the principal street frontage of the building; and
 - (c) there is a maximum of six dwellings in any one group.
- 3** Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building.
- Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.
- 4** The bulk and density of development should satisfy the following:
- (a) Basic and maximum plot ratio: 0.8.
 - (b) Dwelling Unit Factor:
 - (i) 350 square metres - detached dwelling, semi-detached dwelling and group dwelling;
 - (ii) 350 square metres - row dwelling;
 - (iii) 350 square metres - residential flat building not contained within an existing building;
 - (iv) 250 square metres - residential flat building contained within an existing building;
 - (v) 300 square metres - residential redevelopment of a site occupied by a non-complying use.
- In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.*
- In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.*
- 5** The site for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):
- (a) Detached dwelling: 12 metres;
 - (b) Semi-detached dwelling: 10 metres;
 - (c) Row dwelling: 7 metres;
 - (d) Group dwelling or residential flat building: 18 metres.
- 6** A minimum of 30 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.
- In relation to Principle 6, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.*
- 7** Verandahs or balconies should not be developed over footpaths, other than alterations to those on existing non-residential corner buildings.
- 8** Two storey development which abuts street frontages may be appropriate at corners of major streets and minor street junctions.

- 9 Non-residential development comprising new buildings should respect the generally lower scale of residential buildings and should provide a transition of built form at site boundaries.

Advertising

- 10 Advertisements should not exceed 0.2 square metres and should be limited to one advertising display per premises.
- 11 Illumination of advertisements will only be considered where it is discreet and does not affect the amenity of residential premises.
- 12 Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate.
- 13 Advertisements which project from the wall of a building are inappropriate.

Lefevre Policy Area 7

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Map Adel/39](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Lefevre Policy Area should maintain a prime residential frontage overlooking the Park Lands comprising large low density residential buildings designed in a grand manner and set in generous landscaped grounds.

The variety of dwelling types should be retained by the conservation of Heritage Places.

Lincoln College will provide student accommodation and educational activities. Development should meet the community needs and future requirements whilst reinforcing the heritage value of the Policy Area.

New development should respect the low scale, environmental quality, character and historic value of the Policy Area, incorporating high standards of design, materials and landscaping.

The character of new residential development should be established by low density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

(a) Lefevre Terrace:

The cohesive townscape character of Lefevre Terrace is established by the grand style and setting of nineteenth century terrace houses and Italianate villas, groupings of smaller early twentieth century villas and bungalows.

The terraces and Italianate villas exhibit a high degree of facade articulation and modelling, with richly detailed masonry and cast iron ornamentation. Associated stone and cast-iron boundary walling reinforces the built form qualities of these residences. In contrast, the architectural character and detailing of the adjacent twentieth century villas and bungalows is more restrained.

Development should comprise large detached and semi-detached dwellings or residential flat buildings set in generous landscaped grounds.

(b) Brougham Place:

The historical significance of Brougham Place requires that new development along these frontages should be subordinate to the prevailing character of the historic built form.

New buildings on the Brougham Place frontage are not desired other than where it should replace non-contributory buildings. Row or terrace housing is inappropriate. New development should comprise large detached and semi-detached dwellings or residential flat buildings that should complement the existing historic houses set in landscaped grounds.

New development at Lincoln College should retain the visual prominence of the State Heritage Places by retaining the views and vistas of the former houses from Brougham Place and the Park Lands.

(c) Barton Terrace East:

Along the Barton Terrace East frontage the townscape comprises late nineteenth and early twentieth century residences. The detached and semi-detached cottages and villas are typically constructed of stone and brick and are generally single storey.

The siting of new buildings should complement the regular pattern of detached dwellings fronting existing public roads with a building set-back complementing existing Heritage Places.

Development should maintain the present scale, heights, setbacks and low density character of the street.

(d) Ward Street

Ward Street comprises of historic single storey cottages and a mix of dwellings of varied architectural form and height.

Ward Street will be improved by the redevelopment of buildings which are incompatible with the historic streetscape. New development will be orientated to the street, enhance the pedestrian environment and provide a compatible and enhanced streetscape.

The siting of new development at Lincoln College along Ward Street should comprise a number of separate buildings to avoid long sections of unbroken buildings. The use of landscaped open space should be incorporated to break up building mass.

The Policy Area should maintain safe and attractive conditions for pedestrians and convenient access to the adjacent Park Lands with pedestrian shelter and amenity provided by trees and a high standard of paving and other landscaping.

Landscaping in public places along Lefevre Terrace, Barton Terrace East and Brougham Place should provide a transition between the Policy Area's built form and the informal planting of the Park Lands.

OBJECTIVES

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

Objective 2: Development of the Lefevre Policy Area for residential purposes at low densities that conserves and enhances the established character of historically significant buildings overlooking the Park Lands.

Objective 3: Residential amenity maintained by restricting the introduction, expansion or intensification of non-residential uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development should strengthen, achieve and be consistent with the desired character for the Policy Area.

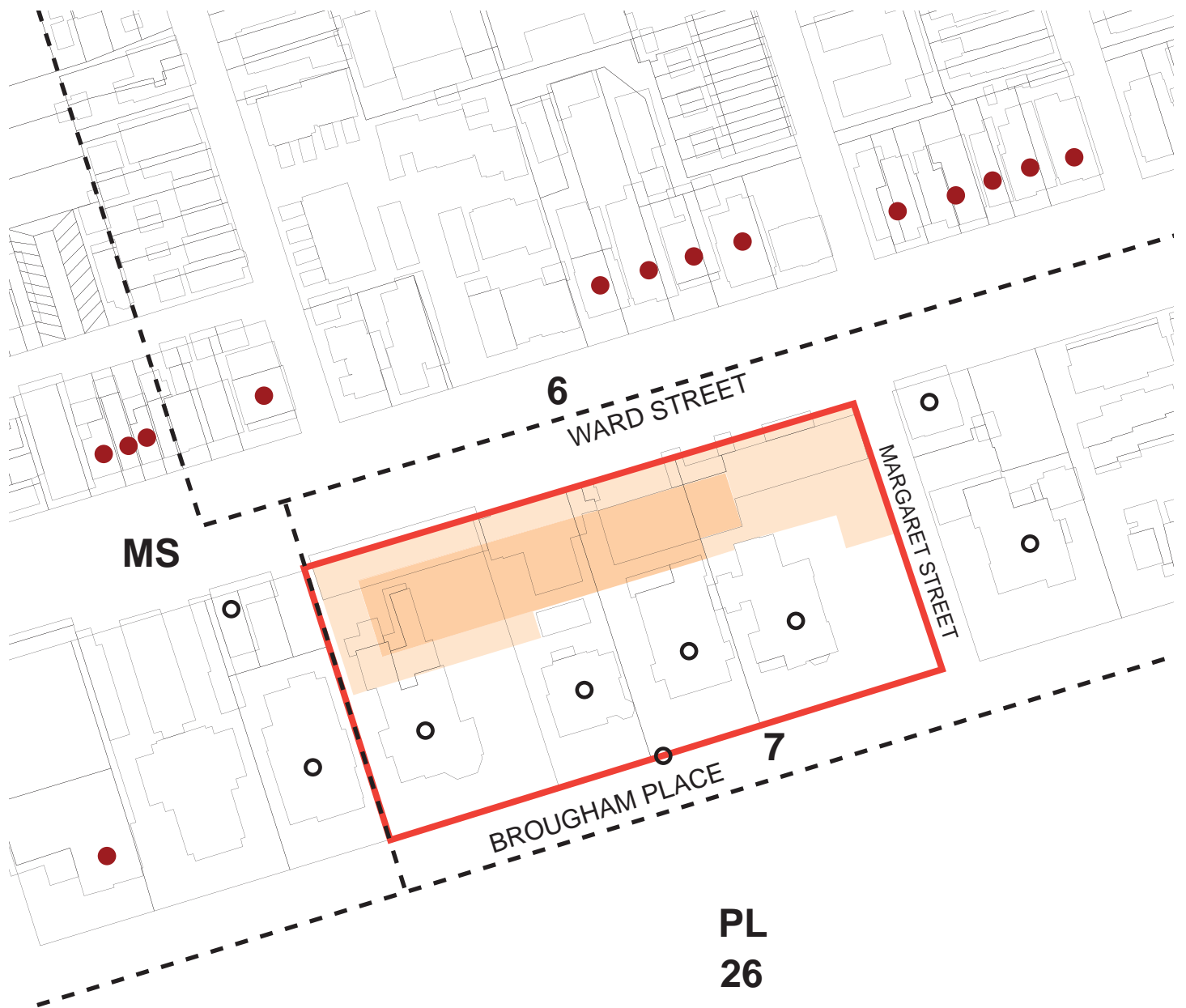
- 2 Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3 Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building (except on land identified as the Lincoln College site on [Fig LF/1](#)).
- 4 The bulk and density of development should satisfy the following:
 - (a) Basic and maximum plot ratio: 0.8 (except for land identified as the Lincoln College site on [Fig LF/1](#)); and
 - (b) Dwelling Unit Factor:
 - (i) 600 square metres - detached dwelling and group dwelling;
 - (ii) 450 square metres - semi-detached dwelling;
 - (iii) 500 square metres - residential flat building not contained within an existing building;
 - (iv) 250 square metres - residential flat building contained within an existing building;
 - (v) 350 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 5 Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (eg single storey detached dwellings) and only in the following circumstances:
 - (a) on land greater than 2000 square metres; or
 - (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
 - (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.
- 6 The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):
 - (a) Detached dwelling: 14 metres;
 - (b) Semi-detached dwelling: 12 metres;
 - (c) Group dwelling or residential flat building: 18 metres.
- 7 A minimum of 50 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.



- 6 Margaret Street Policy Area
- 7 Lefevre Street Policy Area
- MS Main Street (O'Connell) Zone
- 26 Brougham & Palmer Gardens Policy Area

- Lincoln College Site
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 6 building levels
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY) **LINCOLN COLLEGE** **CONCEPT PLAN** **Fig LF/1**

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8 Development of Lincoln College should:

- (a) be in accordance with the Concept Plan [Fig LF/1](#);
- (b) not exceed a plot ratio of 1.6;
- (c) ensure new buildings or additions up to a maximum of 6 building levels or 18 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - (i) be located in areas identified as Taller Built Form;
 - (ii) achieve an orderly transition in scale from the adjoining Main Street (O'Connell) Zone to the historic low scale built form;
 - (iii) locate Low Scale Built Form up to 3 building levels along Ward Street and Margaret Street; and
 - (iv) enhance the streetscapes with high quality visually interesting building frontages with a high level of fenestration, detailing and clear orientation to the streetscape;
- (d) improve passive surveillance of walk ways both internally and external to the College.

Advertising

- 9** The maximum size of advertisements should be 0.2 square metres and should be limited to one advertisement per premises.
- 10** Illumination of advertisements will be considered only where it is discreet and does not adversely affect residential amenity.
- 11** Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate
- 12** Advertisements which project from the wall of a building are inappropriate.

Cathedral Policy Area 8**Introduction**

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/39 and 44](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Cathedral Policy Area should be maintained as a predominantly residential area and its unique character which is established by its distinctive topography, diverse range of nineteenth century architecture and its extensive Park Lands frontages, should be conserved.

The variety of dwelling types should be retained by the conservation of Heritage Places. Cohesive lines of buildings set behind attractive landscaping should be maintained to visually define the perimeter of the Policy Area.

St Mark's College will provide student accommodation and educational activities. Development should meet the community needs and future requirements whilst reinforcing the heritage value of the Policy Area.

New development should respect the low scale, environmental quality, character and historic value of the Policy Area, incorporating high standards of design, materials and landscaping.

The character of new residential development should be established by low and medium density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

- (a) Brougham Place, Palmer Place:
The Brougham Place and Palmer Place frontages should retain a low scale, late nineteenth century detached housing character in contrast to the larger mansion buildings along the northern (opposite) edge of Brougham and Palmer Places in Upper North Adelaide.
- (b) Brougham Court:
Development along Brougham Court should complement the existing townscape, characterised almost exclusively by closely sited semi-detached and detached local heritage places, with consistent set-backs. The strong built form definition at the junction of Brougham Place and Brougham Court should be maintained to enclose Brougham Court.
- (c) Kermode Street:
The prevailing character west of Bagot Street is characterised by late nineteenth century detached residences on individual allotments, although there are examples of semi-detached buildings of local heritage value in the historic streetscape. The appearance of development as viewed from the primary street frontage should take the form of single storey detached or semi-detached buildings or residential flat buildings.

East of Bagot Street unsympathetic development has disrupted the traditional residential character of the townscape. On the northern side, development involving the replacement of buildings that are not identified Heritage Places should respectfully interpret the traditional residential forms and subdivision pattern of individual one or two storey dwellings addressing the public road.

To the south of Kermode Street, development at St Mark's College should retain the visual prominence of St Peter's Anglican Cathedral when viewed from the surrounding locality. Development should retain the visual prominence of the State Heritage Places and should conserve the open landscaped setting and curtilage to Pennington Terrace. Development should avoid long sections of unbroken buildings and maintain the existing pattern of development characterised by freestanding buildings within landscaped grounds.

- (d) Pennington Terrace:
There should be little change in this townscape which mostly consists of State heritage places (including those forming part of St Marks College) with considerable siting, set-back, scale and character variation.
- (e) Lakeman Street:
The intimate character and enclosure of this narrow street is derived from the small cottages and other single storey dwellings sited on the street frontage. The side boundary walling of larger residences with frontages to Pennington Terrace and Kermode Street should also remain a dominant feature. Development should maintain the low scale character of the townscape. Two-storey development should be set back so they are not readily visible from the street.
- (f) King William Road;
St Peters Cathedral and the grand, spacious character of the townscape and its environs should be conserved. No new buildings should be developed on this site.

Redevelopment of the shops at the corner of Kermode Street would restore continuity and architectural cohesion to the townscape while preserving the important view of the north-east elevation of the Cathedral. Shelter in the form of balconies or verandahs over footpaths to the south-west corner of King William Road and Kermode Street intersection may be developed.

On the eastern side of King William Road new buildings should acknowledge the scale, siting and character of the adjacent Cathedral Hotel and the Anglican Church Offices.

The Policy Area should retain major traffic flows on King William Road and Sir Edwin Smith Avenue and maintain high levels of pedestrian safety and accessibility to adjacent Park Lands and public gardens adjacent the existing public road network.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development of the Cathedral Policy Area for residential purposes at low and medium densities.
- Objective 3:** The maintenance of residential amenity through limiting non-residential development to existing sites.

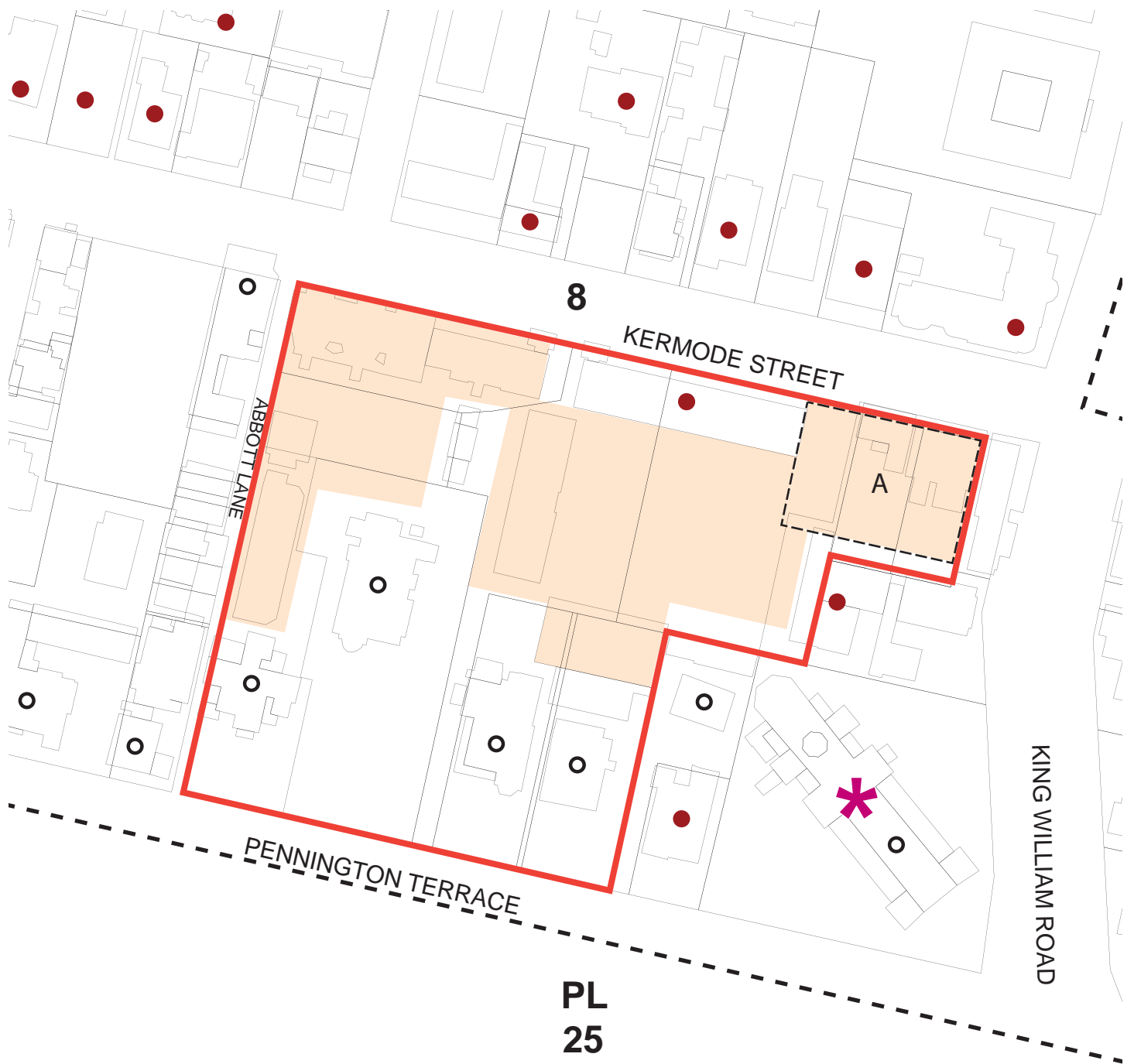
PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2** Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3** Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building, (except for land identified as the St Mark's College site indicated on [Fig C8/1](#)).
- 4** The bulk and density of development should satisfy the following:
 - (a) Basic and maximum plot ratio: 1.0; (except for land identified as the St Mark's College site indicated on [Fig C8/1](#)); and
 - (b) Dwelling Unit Factor:
 - (i) 450 square metres - detached dwelling, semi-detached dwelling and group dwelling;
 - (ii) 450 square metres - residential flat building not contained within an existing building;
 - (iii) 250 square metres - residential flat building contained within an existing building;
 - (iv) 300 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 5** Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (eg single storey detached dwellings) and only in the following circumstances:
 - (a) on land greater than 2000 square metres; or
 - (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and



8 Cathedral Policy Area
25 Adelaide Oval Policy Area

- St Mark's College Site
- Low Scale Built Form up to 3 building levels
- State Heritage Place
- Local Heritage Place
- ✱ Landmark Heritage Site
- Area A
- Policy Area Boundary



ADELAIDE (CITY) **ST MARK'S COLLEGE** **CONCEPT PLAN** **Fig C8/1**

Consolidated - 30 April 2020

- (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.
- 6** The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):
- (a) Detached dwelling: 12 metres;
 - (b) Semi-detached dwelling: 12 metres;
 - (c) Group dwelling or residential flat building: 18 metres.
- 7** A minimum of 50 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.
- In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.*
- 8** Along Brougham Court, Brougham Place west of Brougham Court, and Palmer Place north of Kermode Street, two-storey development should be confined to the rear of properties away from street frontages, subject to overshadowing and privacy constraints.
- 9** Shelter in the form of verandahs over footpaths should be confined to existing verandahs, and new balconies or verandahs to the south-west corner of King William Road and Kermode Street.
- 10** Non-residential development comprising new buildings should respect the generally lower scale of residential buildings and provide a transition of built form at site boundaries.
- 11** Development of St Mark's College should:
- (a) be in accordance with the Concept Plan [Fig C8/1](#);
 - (b) not exceed a plot ratio of 1.3;
 - (c) ensure new buildings up to a maximum of 3 building levels or 9 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - (i) ensure the height, scale and siting of any new building does not detract from the landmark significance of St Peters Cathedral; and
 - (ii) ensure Low Scale Built Form up to 2 building levels is located along Abbott Lane.
- 12** Development should not detract from the prominence of the following landmark Heritage Places:
- (a) St Peter's Anglican Cathedral;
 - (b) sandstone dwelling at the junction of Kermode Street and Palmer Place;
 - (c) bluestone terrace house at the junction of Kermode Street and Lakeman Street;
 - (d) former North Adelaide Church of Christ Chapel; and
 - (e) Queens Head Hotel.

Advertising

- 13** Advertisements should be restrained in size, number and illumination and should be carefully designed and sited so as not to detract from the residential amenity of the Zone.

- 14** Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate.

Women's and Children's Hospital Policy Area 9

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Map Adel/44](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Policy Area should be retained as a key institutional enclave. The State Heritage Places are representative of traditional institutional architecture the most significant historic townscape elements within the Policy Area. These Heritage Places complement the low scale townscape character of the adjacent Cathedral Policy Area.

The Policy Area is generally fully developed for uses associated with the Women's and Children's Hospital and the Memorial Hospital. Development associated with these health care facilities should include the replacement of buildings that are not identified Heritage Places. Development north of Kermode Street may expand the footprints of existing buildings to allow the upgrade of facilities. The scale of new development should reinforce the existing scale of development.

Development should improve the streetscape of Kermode Street by providing land uses and building facades that activate the street and contribute to a high quality public realm.

New development should conserve these individual historic elements as viewed from the public road frontages, although it is recognised that existing and future development within the central parts of the north and south sections of the Policy Area may include taller buildings.

Development should ensure the visual prominence of St Peter's Anglican Cathedral is maintained. Development should complement and not detract from the architectural quality of the locality, particularly when viewed from key vistas including the Riverbank and Park Lands.

Development incorporating buildings at the edges of the Policy Area should, where practicable, achieve a scale and character more compatible with the lower scale and historical residential character of Lower North Adelaide to the north-east.

Progressive enhancements of the landscape character and amenity by street tree planting and on-site landscaping to frontage of King William Street, Kermode Street, and Sir Edwin Smith Avenue. In particular, improvements to the frontage of the Memorial Hospital, and the outlook over the Park Lands on three sides of the Policy Area is desired.

The Policy Area should maintain a high degree of pedestrian amenity and shelter provided by street trees and on-site landscaping, with pedestrian safety and ease of access to the adjacent Park Lands maintained.

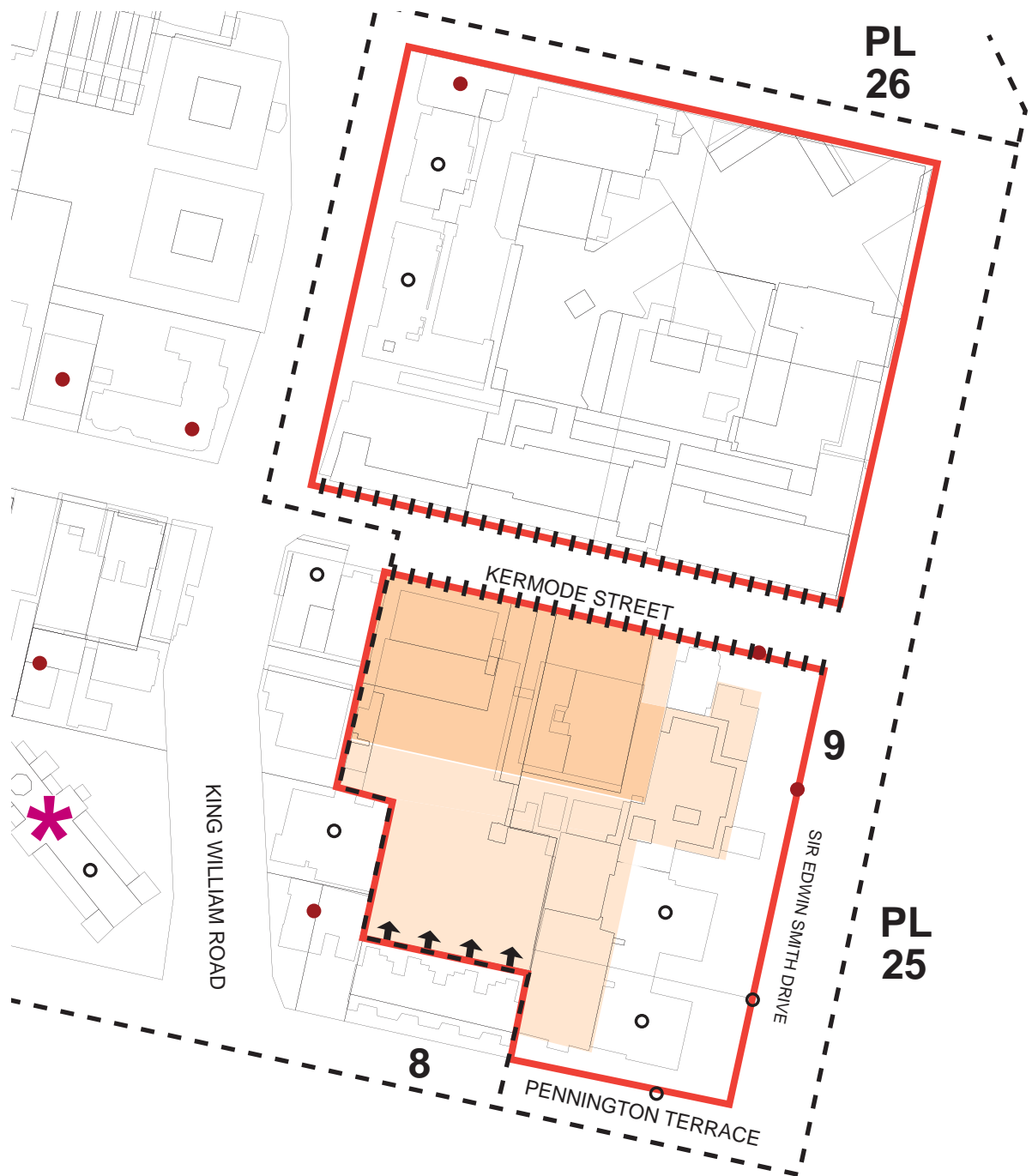
OBJECTIVE

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development should strengthen, achieve and be consistent with the desired character for the Policy Area.

- 2 Development north of Kermode Street should not exceed a height of 14 building levels or locate a ceiling more than 43 metres above the median natural or finished ground level at any point or any part of a building.
- 3 Development along King William Road (north of Kermode Street) should not exceed two buildings levels or locate a ceiling more than six metres above the median natural or finished ground level at any point or part of a building.
- 4 A minimum of 20 percent of the total site area should be provided for landscaped open space on the site of development.
- 5 Development should be complemented by landscaping to soften and relieve any large building mass and provide quality spaces.
- 6 Development south of Kermode Street should be in accordance with Concept Plan [Fig WC/1](#); and should:
 - (a) not exceed a plot ratio of 3.2;
 - (b) retain the set back and sense of address and open character to the Park Lands;
 - (c) ensure new buildings up to a maximum of 6 building levels or 18 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - (i) be located in areas identified as 'Taller Built Form';
 - (ii) locate Low Scale Built Form up to 4 building levels in areas identified as 'Low Scale Built Form' except where located on Sir Edwin Smith Avenue and Pennington Terrace where built form will be up to two storeys to be compatible with State Heritage Places;
 - (iii) ensure that long ranging views and vistas of St Peter's Anglican Cathedral are maintained;
 - (iv) complement and enhance the skyline which incorporates key land marks including St Peter's Anglican Cathedral and Adelaide Oval;
 - (v) minimise building mass at the interface from an adjoining boundary by locating Taller elements siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods;
 - (vi) ensure the building fronting Kermode Street has a high proportion of windows, fine grain appearance and a dynamic pedestrian environment;
 - (vii) ensure buildings are sited off of side and rear boundaries and avoid blank walls that will be visible from the surrounding locality;
 - (viii) incorporate the use of landscaped open space to break up building mass;
 - (ix) provide an activated building interface to Kermode Street;
 - (x) provide high quality spaces to the street; and
 - (xi) provide a visually interesting streetscape with buildings having a high level of fenestration, detailing and orientation towards the street; and
 - (d) remove the visual impact of existing car parking, vehicle access and egresses to the area by siting any new car parking away from the street frontages.



- 8 Cathedral Policy Area
- 9 Women's and Children's Hospital Policy Area
- 25 Adelaide Oval Policy Area
- 26 Carclew Policy Area

- Women's and Children's Hospital and Memorial Hospital Site
- Low Scale Built Form up to 4 building levels
- Taller Built Form up to 6 building levels
- ➔ Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- ✱ Landmark Heritage Site
- | | | Activated Street Frontages
- - - Policy Area Boundary

ADELAIDE (CITY) **MEMORIAL HOSPITAL &** **WOMEN'S & CHILDREN'S HOSPITAL** **CONCEPT PLAN** **Fig WC/1**

Consolidated - 30 April 2020

Transport and Movement

- 7 Development should facilitate the use of all modes of transport including cycling, walking, public transport, car share and vehicular access.

Advertising

- 8 Advertisements should be restrained, discreet and limited to those required for directional purposes.
- 9 The restrained illumination of advertisements may be appropriate but should not detrimentally affect the skyline, streetscape environment or residential amenity of this Policy Area or the adjacent Cathedral Policy Area.

Stanley West Policy Area 10

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/39, 40 and 44](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Stanley West Policy Area should remain one of the lowest density residential areas in Upper North Adelaide with a distinctive and cohesive character derived from its townscapes. These are established by large nineteenth and early twentieth century dwellings comprising more substantial Victorian, Edwardian and Georgian Revival villas, and other low density detached and semi-detached dwellings in a variety of forms and styles.

St Ann's College will provide student accommodation and education activities. Development should meet the community needs and future requirements whilst reinforcing the heritage value of the Policy Area.

New development should respect the low scale, environmental quality, character and historic value of the Policy Area, incorporating high standards of design, materials and landscaping.

The character of new residential development should be established by low density detached dwellings, semi-detached dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

- (a) Kingston Terrace;
The townscape character is established by large one and two storey detached residences on individual allotments set close to the street with a Park Lands frontage. Towards Lefevre Terrace, the townscape is dominated by the imposing rear elevations of two large mansions with frontages to Stanley Street.

New dwellings should complement existing residences, which are modelled and articulated, constructed of masonry, with a high proportion of solid to void in the composition of facades and often feature verandahs and balconies. Building set-backs from the Park Lands frontage should be consistent with the alignment of the main face of adjacent Heritage Places. Where a site is between two Heritage Places, the greater of the two set-backs should be applied to the new dwelling.

Development opportunities, other than alterations or additions to the rear of Heritage Places, are likely to be limited to the replacement of buildings that are not identified Heritage Places or the development of vacant land held in an existing Certificate of Title.

(b) Stanley Street (northern side):

The townscape features two large mansions set well back from the northern frontage on elevated ground above Stanley Street. The remainder of the townscape comprises large detached and semi-detached residences.

Development opportunities, other than alterations or additions to the rear of Heritage Places, are likely to be limited to the replacement of buildings that are not identified Heritage Places or the development of detached or semi-detached buildings on vacant land held in an existing Certificate of Title.

(c) Stanley Street (southern side) and Brougham Place (where it is a visual continuation of Stanley Street):

Because of the sloping topography two-storey residences on the southern frontage present a single-storey appearance to Stanley Street and Brougham Place. West of New Street the close subdivision pattern and consistent set-back of stone Victorian villas typified by rich detailing and cast-iron ornamentation, contribute to a distinctive and cohesive built form. This elegant character is reinforced by stone and cast iron boundary fencing along the street frontage.

Development opportunities, other than alterations or additions to the rear of Heritage Places, are likely to be limited to the replacement of buildings that are not identified Heritage Places. Replacement development should reinstate the traditional built form comprising detached or semi-detached dwellings presenting as single storey to the street frontage, with front and side boundary building set-backs consistent with those of adjoining Heritage Places.

(d) Brougham Place (western Policy Area boundary):

The townscape comprises the imposing and finely detailed Brougham Place Uniting Church with its dominant central tower, and the closely developed group of low scaled St Ann's College buildings which step down the Brougham Place frontage reflecting the topography of the locality and the Policy Area generally.

Development opportunities should be limited to the conservation of the Uniting Church, with the height and scale of new development at St Ann's College not detracting from the landmark significance of the Brougham Place Uniting.

New development at St Ann's College should be designed to address to the Park Lands, Brougham Place and Melbourne Street. Development should respect the topography, scale, massing, materials and colours of domestic architectural form in and near the Policy Area and avoid the use of brightly coloured, black or highly reflective surfaces.

New development at St Ann's College should take advantage of the landfall to provide semi-basement floors and views from the upper levels southwards over the City. High quality landscape open space should be incorporated to break up building mass.

The imposing residential built-form edge to Brougham Gardens and the Park Lands along the Brougham Place frontage should be preserved.

Views of the City from Stanley Street and Brougham Place properties should be protected. Buildings on Stanley Street, Kingston Terrace and Brougham Place may be constructed to take advantage of the landfall to provide semi-basement floors and views from upper levels southwards over the City, provided overlooking is adequately addressed through appropriate design.

Protection of the landscape qualities of public and private open space, including avenue and adjacent Park Lands planting and vistas to the Park Lands, Brougham Place and the eastern end of Stanley Street, should further distinguish the Policy Area's character.

Pedestrian amenity and shelter should be provided by street trees and other landscaping and a high standard of paving. Pedestrian safety and accessibility to the adjacent Park Lands and Brougham Gardens should be maintained.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development of the Stanley West Policy Area for residential purposes at low densities, compatible with the built form and landscape character of one of the City's most historically significant residential areas.
- Objective 3:** Residential amenity maintained by restricting the introduction, expansion or intensification of non-residential uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2** Residential development should be in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3** Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building except for:
 - (a) Jerningham Street, where development should not exceed 1 building level or locate a ceiling more than 3 metres above the median natural or finished ground level at any point or any part of a building;
 - (b) Old Street west of New Street, where development should not exceed two building levels built above one level of undercroft parking or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building; and
 - (c) land identified as the St Ann's College site on [Fig SW/1](#).
- 4** The bulk and density of development should satisfy the following:
 - (a) Basic and maximum plot ratio: 0.7, (except on land identified as the St Ann's College site in Fig SW/1 where); and
 - (b) Dwelling Unit Factor:
 - (i) 600 square metres - detached dwelling and group dwelling;
 - (ii) 450 square metres - semi-detached dwelling;
 - (iii) 500 square metres - residential flat building not contained within an existing building;
 - (iv) 250 square metres - residential flat building contained within an existing building;
 - (v) 120 square metres - any dwelling fronting Old Street;
 - (vi) 350 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 5** Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with desired character for the Policy Area or the street where prescribed (eg single storey detached dwellings) and only in the following circumstances:
- (a) on land greater than 2000 square metres; or
 - (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
 - (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.
- 6** The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):
- (a) Detached dwelling: 14 metres;
 - (b) Semi-detached dwelling: 12 metres;
 - (c) Group dwelling or residential flat building: 18 metres.
- 7** A minimum of 50 percent of the total site should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.

- 8** Development of St Ann's College should:
- (a) be in accordance with the Concept Plan [Fig SW/1](#);
 - (b) not exceed a plot ratio of 2.5;
 - (c) ensure new buildings up to a maximum of 4 building levels or 12 metres above the median natural or finished ground level at any point or any part of a building are designed to:
 - (i) be located in areas identified as 'Taller Built Form';
 - (ii) ensure that Low Scale Built Form up to 2 building levels is located near adjacent properties of Stanley Street;
 - (iii) retain the character of the natural landfall;
 - (iv) protect views of the City from Stanley Street and Brougham Place properties and protect views to Brougham Place Uniting Church;
 - (v) be set back 3.5 metres from Melbourne Street consistent with the setback of Melbourne Street (Mixed Use (Melbourne West) Zone);
 - (vi) provide a compatible setback with adjoining residential allotments and State and Local Heritage Places; and
 - (vii) minimise building mass at the interface from an adjoining residential boundary by siting built form within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods;



- 10 Stanley West Policy Area
- 12 Finnis Policy Area
- MU Mixed Use (Melbourne West) Zone
- 26 Brougham & Palmer Gardens Policy Area

- St Ann's College Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 4 building levels
- ➔ Interface from Adjoining Boundary
- ✱ Landmark Heritage Place
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary

ADELAIDE (CITY) **ST ANN'S COLLEGE** **CONCEPT PLAN** **Fig SW/1**

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(viii) ensure higher levels of activity are designed to protect residential amenity at the interface with of residential dwellings.

- 9 Buildings on Stanley Street, Kingston Terrace, Melbourne Street and Brougham Place may be constructed to take advantage of the landfall to provide semi-basement floors and views from upper levels southwards over the City, provided overlooking is adequately addressed through appropriate design.
- 10 On the southern frontages of Brougham Place and Stanley Street, west of New Street, the level of the top-most floor should not exceed that of existing adjacent development.
- 11 The height, scale and siting of any new building should not detract from the landmark significance of the Brougham Place Uniting Church.

Advertising

- 12 The maximum size of advertisements should be 0.2 square metres and should be limited to one advertisement for each premises.
- 13 Only discreet advertisements required to identify the location of premises may be appropriate.
- 14 Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate
- 15 Advertisements which project from the wall of a building are inappropriate.

Kentish Arms Policy Area 11

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/40 and 41](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The varied character of the Kentish Arms Policy Area should be conserved as a residential area reflecting the townscapes of large nineteenth and early twentieth century substantial Victorian and Edwardian villas, and other low density detached and semi-detached dwellings in a variety of forms and styles, row cottages, detached cottages and small attached cottages. There are a small number of two storey heritage places, although most of the buildings identified as Heritage Places are single storey.

The variety of dwelling types should be retained by the conservation of Heritage Places.

The character of new residential development should be established by low and medium density detached dwellings, semi-detached or row dwellings, group dwellings or residential flat buildings, all up to a maximum of two storeys, unless a particular dwelling type(s) and/or a lower building height is prescribed for development addressing the primary street frontage, to reinforce the character of the historic built form as described below:

- (a) Stanley Street (south side), East and West Pallant Streets:
These streets contain some of Adelaide's earliest residential buildings and are characterised by allotments containing closely sited single-storey buildings. New two-storey development should be set back behind single storey frontages and not readily visible from the street. The lowering of eaves may be necessary along these frontages to be consistent with adjoining buildings of heritage value.

(b) Stanley Street (north side):

This townscape consists of single-storey detached, semi-detached and row housing of the Victorian and Edwardian periods. Close siting of houses, verandahs along the street frontages and hipped roofs or parapets to front facades should be reflected in new buildings. Redevelopment of the North Adelaide School of Art should create a more sympathetic built form on the primary street frontage, with scale, siting and design which is consistent with the otherwise cohesive character of the northern side of Stanley Street established by closely sited detached and semi-detached dwellings. Development should retain or reinforce the essentially single storey historic character of the street.

(c) Sussex Street:

Sussex Street contains a wide variety of building types including early German settler cottages, Victorian row dwellings, blocks of flats and recent row dwellings, as well as commercial premises and sites used for car parking behind Melbourne Street frontages. As a result the townscape of Sussex Street is fragmented, but does contain sections at its eastern and western ends of small scale, closely sited and cohesive development which formerly characterised the entire street.

Early settler cottages on the northern side and Victorian row houses on the southern side, indicate the scale, character and rhythm of residential buildings which should be re-established by infill development of single storey detached dwellings on smaller frontages.

Two storey development may be appropriate if not readily seen from Sussex Street or other streets and if designed in a traditional form using traditional materials.

(d) Kingston Terrace:

The townscape from Jerningham Street to Francis Street (west) contains a mixture of single-storey row housing and detached and semi-detached houses of the late Victorian to Edwardian periods, with more recent detached houses and contemporary three storey row houses. Although the townscape contains a diversity of architectural styles and housing types, it still presents a cohesive townscape because of its relationship to the Park Lands, the predominance of traditional building stock and the absence of dominating structures. Between Fuller Street and Francis Street (west) residential buildings should continue to be single storey.

Elsewhere buildings should be one and two storey detached, semi-detached or residential flat buildings subject to their compatibility with adjoining development.

(e) Jerningham Street:

Jerningham Street provides the solitary major north-south axis in Lower North Adelaide. Its intersections with Stanley Street and Melbourne Street (outside of the Policy Area) are bounded by examples of commercial buildings which emphasise its early significance in the street pattern as the original major north-south route through the centre of Lower North Adelaide. Single storey nineteenth century detached and semi-detached dwellings predominate. All buildings are of heritage value and therefore development opportunities will generally be limited to alterations and additions to the rear of Heritage Places.

(f) MacKinnon Parade:

The townscape east of Dunn Street should remain largely unchanged as it contains numerous detached and semi-detached houses of similar scale and design that are of identified heritage value. Other than alterations and additions to the rear of existing Heritage Places, development opportunities should be limited to the replacement of buildings that are not identified Heritage Places. Development should reinforce the scale and siting established by the single storey Heritage Places and not take reference from buildings of two or more storeys that are seriously at conflict with the historic character.

West of Dunn Street, the several sites have been redeveloped and include a built form that has eroded the established cohesive streetscape pattern evident elsewhere on the Park Lands frontage. New development should comprise detached or semi-detached dwellings presenting to the primary street frontage replacing buildings that are not identified Heritage Places.

(g) Mann Terrace:

South of Melbourne Street the townscape comprises a group of identical villas, all of local heritage value. The articulated and gabled facades, pitched roof profiles and verandahs create a highly cohesive character. Development should conserve these buildings and, other than alterations and additions to the rear of Heritage Places, development opportunities should be limited to the replacement of buildings that are not identified Heritage Places.

North of Melbourne Street there is also a cohesive townscape established by closely developed detached and semi-detached dwellings most of which have local heritage value and a regular building set-back from the street. Development involving the replacement of buildings on the primary street frontage should continue the scale and siting established by these Heritage Places. Other than alterations and additions to the rear of Heritage Places, development opportunities should be limited to the replacement of buildings that are not identified Heritage Places.

(h) Hart Street:

Detached stone cottages of a consistent scale, built form character and siting comprise the townscape on both sides of Hart Street. The intensity of development, masonry construction, fenestration, pitched roofs and verandahs establish a cohesive built form and should be maintained through the conservation of Heritage Places and single storey dwellings to the rear of sites where opportunities permit.

(i) Bower Street/Provost Street:

Small detached cottages and row dwellings set on or close to the street characterise the townscape. Development should reinforce the character of the detached dwellings of local heritage value.

(j) Arthur Street:

Two storey development should be contained within the roof space or located at the rear of site away from the primary street frontage to retain the low scale character of these townscapes.

Development should conserve or reinstate a strong residential built-form edge to the Park Lands and Mann Terrace through the regular siting and pattern of buildings addressing the principal road frontage.

The landscape qualities of public and private open space and the adjacent Park Lands should continue to have an important and complementary role in contributing to the character and amenity of the Policy Area.

The Policy Area should maintain a high degree of pedestrian amenity and shelter provided by street trees, other landscaping and a high standard of paving, with pedestrian safety and ease of access to the Park Lands and Melbourne Street.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

Objective 2: Development of the Kentish Arms Policy Area for residential purposes at low and medium densities compatible with the distinctive but varied historic character and maintenance of residential amenity.

PRINCIPLES OF DEVELOPMENT CONTROL

1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.

2 Residential development should be in the form of detached, semi-detached, row or group dwellings, residential flat buildings, or alterations and additions to existing buildings. Row dwellings should only occur where:

(a) vehicle access can be provided from laneways or minor streets;

- (b) garaging is not incorporated into the principal street frontage of the building;
 - (c) there is a maximum of six dwellings in any one group; and
 - (d) they are not located overlooking the Park Lands or along the frontage of a major street.
- 3** Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building.
- Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.
- 4** The bulk and density of development should satisfy the following:
- (a) Basic and maximum plot ratio: 0.8; and
 - (b) Dwelling Unit Factor:
 - (i) 350 square metres – detached dwelling, semi-detached dwelling and group dwelling;
 - (ii) 350 square metres – row dwelling;
 - (iii) 350 square metres – residential flat building not contained within an existing building;
 - (iv) 250 square metres – residential flat building contained within an existing building;
 - (v) 300 square metres – residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 5** The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment where the frontage to a public road should be no less than five metres):
- (a) Detached dwelling: 12 metres;
 - (b) Semi-detached dwelling: 10 metres;
 - (c) Row dwelling: 7 metres;
 - (d) Group dwelling or residential flat building: 18 metres.
- 6** A minimum of 30 percent of the total site area should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 6, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.

- 7** Along Jerningham Street, Stanley Street, MacKinnon Parade, Sussex Street, Hart Street, Arthur Street and East and West Pallant Streets, two-storey development, including additions to existing buildings, should be located at the rear of the site away from the street frontage to retain the low scale single storey character of these townscapes. Two storey development should not be readily seen from the streets in the Policy Area.

- 8 Car parking should be located behind buildings on the frontages to Kingston Terrace, Mann Terrace, MacKinnon Parade, Melbourne Street and Sussex Street and behind or beside buildings on the Stanley Street and Jerningham Street frontages.

Advertising

- 9 Advertisements should not exceed 0.2 square metres and should be minimal in number.
- 10 Illumination of advertisements will only be appropriate where it is discreet and does not affect the amenity of residential premises.
- 11 Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate.
- 12 Advertisements which project from the wall of a building are inappropriate.

Finniss Policy Area 12

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/40, 44 and 45](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Finniss Policy Area creates a distinctive built form edge between the Park Lands and Lower North Adelaide. The predominantly low scale residential character of the Policy Area will be maintained by new residential development which complements the predominantly one and two storey buildings.

The heritage value of the area should be retained by the conservation of Heritage Places and sensitively designed infill development.

New development should respect the low scale, environmental quality, character and historic value of the Policy Area, incorporating high standards of design, materials and landscaping.

Kathleen Lumley College will provide student accommodation and educational activities. Development should meet the community needs and future requirements whilst reinforcing the heritage value of the Policy Area.

The landscape qualities of private open space, the adjacent Park Lands and the established avenue planting in Finniss Street and MacKinnon Parade should remain important elements in the Policy Area's character.

Pedestrian safety and accessibility within the Policy Area and to the adjacent Park Lands should be maintained.

- (a) Finniss Street (north side):
Development should contribute to the historic character of the Finniss Street townscape through conserving and complementing the consistent siting and scale of the Victorian and Edwardian villas and, towards the eastern part, the terraces and cottages.

New residential buildings should be single storey, detached and semi-detached dwellings. Verandahs facing the street, gable roofs, bay window frontages, open style fences or the simple facades of the early vernacular are appropriate in new development forms. Facades should be constructed with a high solid to void ratio.

The prominence of the British Hotel with its fine detailing and cantilevered balcony should be maintained by the careful design and set-back of adjacent development.

(b) Finnis Street (south side):

Development should comprise detached and semi-detached dwellings that present to the street as single storey buildings, complementing the scale and siting of the Victorian and Edwardian villas on the northern side of Finnis Street.

Development at Kathleen Lumley College should avoid long sections of unbroken buildings and unarticulated facades and incorporate the use of landscaped open space to break up building mass.

Development should retain the visual prominence of the State Heritage Place of Kathleen Lumley College.

(c) MacKinnon Parade:

New development should comprise contemporary residential buildings that reflect the shape and form of traditional buildings styles, with particular reference to roof pitch, verandahs, eaves, materials, setbacks and fencing. Facades should be constructed with a high solid to void ratio.

New residential buildings should comprise detached and semi-detached dwellings of one or two storeys, with the exception of existing large amalgamated sites of no heritage value, where the introduction of residential flat buildings may be appropriate provided such development is designed to reinforce the traditional siting pattern of individual detached dwellings.

Development adjacent the street frontage should not take references from buildings of two or more storeys that are seriously at conflict with the historic character of the Policy Area.

Development should retain the visual prominence of the State Heritage Place of Kathleen Lumley College.

(d) Brougham Place:

Additional dwellings on the Brougham Place frontage are not desired.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

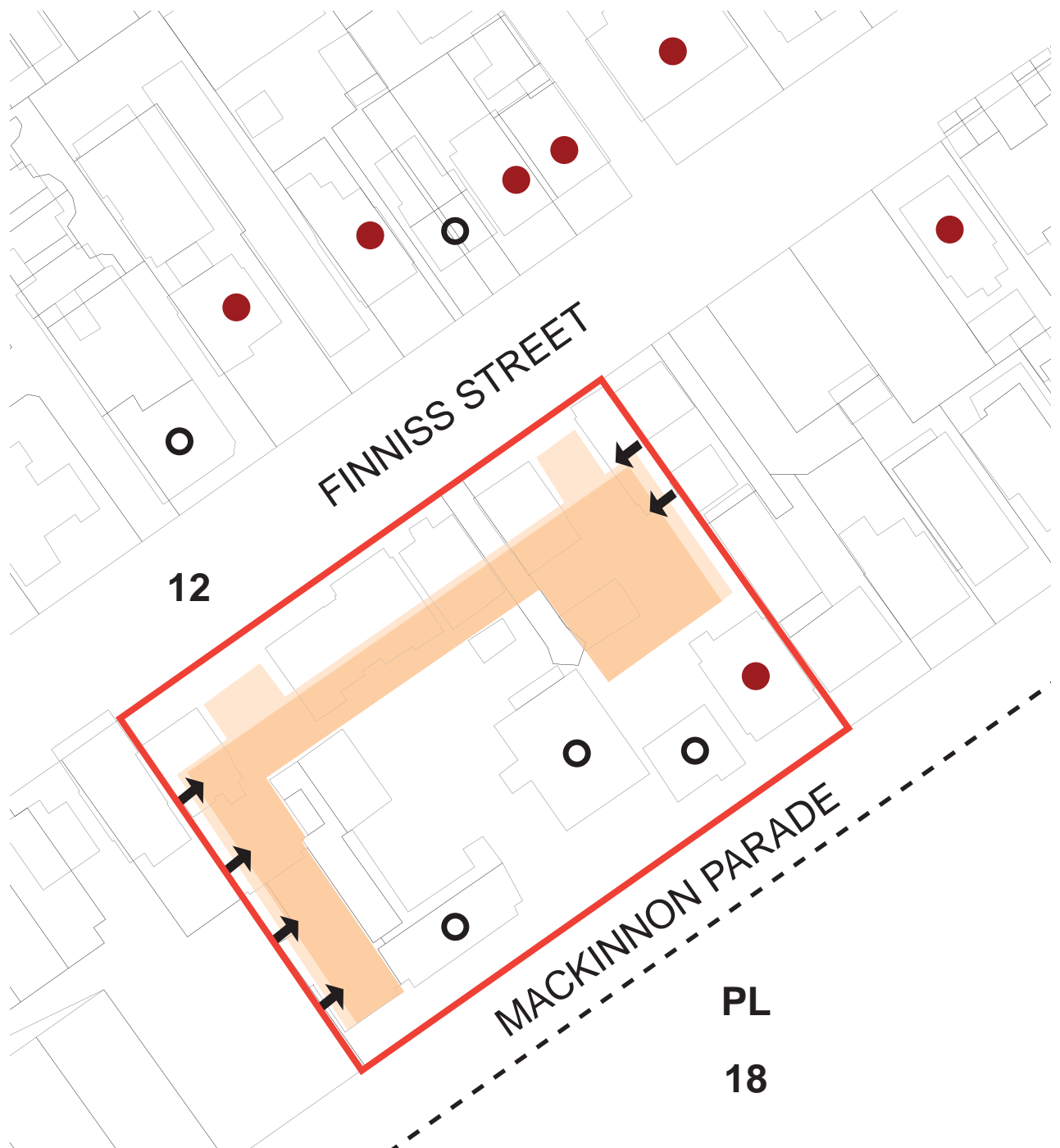
Objective 2: Development primarily for residential purposes at low densities providing a distinctively lower scale built form edge to the Park Lands frontages.

Objective 3: The maintenance of residential amenity by restricting the introduction, expansion or intensification of non-residential uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Residential development in the form of detached, semi-detached or group dwellings, residential flat buildings, or alterations and additions to existing buildings. New residential buildings in the form of row dwellings should not be developed.
- 3 Development should not exceed 2 building levels or locate a ceiling more than 6 metres above the median natural or finished ground level at any point or any part of a building (except for land identified as the Kathleen Lumley College site on [Fig F/1](#)).

Buildings may be allowed up to the maximum height or number of levels where such buildings are compatible with adjacent buildings and their settings in respect of their scale and siting, and where there is no adverse impact on established residential amenity.



- 12 Finnis Policy Area
18 River Torrens East Policy Area

- Kathleen Lumley College Site
- Low Scale Built Form up to 2 building levels
- Taller Built Form up to 4 building levels
- ➔ Interface from Adjoining Boundary
- State Heritage Place
- Local Heritage Place
- - - Policy Area Boundary



ADELAIDE (CITY) **KATHLEEN LUMLEY COLLEGE** **CONCEPT PLAN** **Fig F/1**

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- 4** The bulk and density of development should not exceed the following:
- (a) Basic and maximum plot ratio: 0.8 (except for land identified as the Kathleen Lumley College site on [Fig F/1](#)); and
 - (b) Dwelling Unit Factor:
 - (i) 600 square metres - detached dwelling and group dwelling;
 - (ii) 450 square metres - semi-detached dwelling;
 - (iii) 500 square metres - residential flat building not contained within an existing building;
 - (iv) 250 square metres - residential flat building contained within an existing building;
 - (v) 350 square metres - residential redevelopment of a site occupied by a non-complying use.

In relation to Principle 4(b), satisfying the minimum site area for a dwelling (described as the Dwelling Unit Factor) may not be sufficient to address heritage considerations relevant to a particular place or streetscape.

In relation to Principle 4(b), in the case of a hammerhead allotment or similar allotment design where the only public road frontage represents the proposed vehicle access, the area of the 'handle' or right of way is excluded from the site area when performing the calculation of Dwelling Unit Factor.

- 5** Residential development at a greater density than that prescribed for desired dwelling types should only occur where buildings which will be visible from the primary street frontage are consistent with the desired character for the Policy Area or the street where prescribed (eg single storey detached dwellings) and only in the following circumstances:
- (a) on land greater than 2000 square metres; or
 - (b) on land where the existing dwelling unit factor is 250 square metres or less and the development replaces a building that is not an identified Heritage Place; and
 - (c) in either case, the resultant Dwelling Unit Factor should not vary more than 20 percent from that required.
- 6** The land for a dwelling should have a primary street frontage not less than the following (other than in the case of a hammerhead allotment, where the frontage to a public road should be no less than five metres):
- (a) Detached dwelling: 14 metres;
 - (b) Semi-detached dwelling: 12 metres;
 - (c) Group dwelling or residential flat building: 18 metres.

- 7** A minimum of 40 percent of the total site should be provided for landscaped open space on the site of development. Each dwelling in a development should provide as part of the landscaped open space, a private open space area in accordance with the Council Wide principles of development control.

In relation to Principle 7, in the case of a hammerhead allotment, the area of the "handle" or right of way is excluded from the calculation of landscaped open space.

- 8** Additional buildings on the Brougham Place frontage should not be developed.
- 9** Development should preserve and, where possible, reinstate a strong residential built-form edge to the Park Lands through the regular siting and pattern of single storey buildings addressing the primary street frontage.

- 10** Non-residential development should only occur in Finnis Street and in Jerningham Street, north of Finnis Street. Non-residential development comprising new buildings should respect the generally lower scale of residential buildings and provide a transition of built form at site boundaries.
- 11** Development of Kathleen Lumley College should:
- (a) be in accordance with the Concept Plan [Fig F/1](#);
 - (b) not exceed a plot ratio of 1.0;
 - (c) ensure new buildings up to a maximum of 4 building levels or 12 metres above the median natural or finished ground level are designed to:
 - (i) be located in areas identified for Taller Built Form and set back from the Finnis Street frontage;
 - (ii) ensure that only Low Scale Built Form between 1 to 2 storeys is located along Finnis Street; and
 - (iii) minimise building mass at the interface with adjoining boundaries by locating Taller elements in the centre of the site and within a building envelope consisting of a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining residential allotment, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods.
- 12** Development of Kathleen Lumley College may involve sympathetically designed alterations of up to 4 building levels to the existing State Heritage place.

Advertising

- 13** Advertisements should not exceed 0.2 square metres and should be limited in number.
- 14** Illumination of advertisements will only be appropriate where it is discreet and does not adversely affect residential amenity.
- 15** Advertisements more than 3 metres above natural ground level or an abutting footpath or street are inappropriate.
- 16** Advertisements which project from the wall of a building are inappropriate.

Archer West Policy Area 15

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area shown in [Maps Adel/38 and 39](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Policy Area will be an attractive locality with a high level of amenity accommodating residential and community land uses.

A mix of residential uses including dwellings, student accommodation and-supported accommodation will be developed. The residential uses will include a variety of dwelling types and building forms that respond to their context.

East of Walter Street a greater mix of land uses will continue acknowledging the proximity to the Main Street (O'Connell) Zone. Non-residential land uses such as a place of worship, community centre, offices consulting rooms, library and museum are appropriate.

West of Walter Street, any expansion of non-residential land uses such as consulting rooms or offices will be of a scale that does not impact the core commercial role of the Mainstreet (O'Connell) Zone or detrimentally impact on the amenity of nearby residents. Retail land uses are not envisaged in order to maintain the primacy of the Mainstreet (O'Connell) Zone as the focus for shopping, commercial and entertainment activities in North Adelaide.

The Policy Area contains a number of large land parcels that will be progressively developed with contextually designed high quality developments.

Opportunities exist on large and consolidated land parcels for development that is greater in scale and intensity than its surrounding Policy Areas. Low scale streetscapes will be reinforced and taller built form is appropriate when located away from street frontages and sited to limit impacts to residential amenity. Size, proportions and orientation of new buildings will reinforce the historic grid pattern and smaller building footprints.

The amalgamation of small land parcels presents opportunities to further improve the fragmented character of the area and strengthen the overall historic character of the Policy Area and Zone.

Development will occur in a coordinated and orderly manner with design responses complementary to the areas historic context and contributing positively to the public realm and residential amenity.

Development within the Policy Area will be designed in context and will provide compatible visual relationships with the broader Zone by reinforcing the heritage values and character of the Zone and reinforcing the landmark Hebart Hall.

Development to the street frontages will be low scale create cohesive townscapes with buildings respecting the existing nineteenth and early twentieth century building forms in a responsive, sensitive and contemporary manner. New development should reinforce the character of the historic built form as described below:

- (a) Archer Street
Development will achieve a gradual transition from the contemporary building forms and townscape character of the Main Street (O'Connell) Zone to the low scale and historic built form surrounding Wellington Square. New buildings fronting the Square should continue the prevailing setbacks and be low scale so as to not exceed the existing height of buildings fronting the Square.
- (b) Jeffcott Street
This townscape comprises the Lutheran Seminary buildings and a number of detached single and two storey Heritage Places of consistent architectural style, form and siting. Development will maintain the historic character derived from the prominent historic buildings of Hebart Hall and nearby Bishops Court. Development opportunities are limited to alterations to these existing buildings that respect and interpret these in a sensitive, contemporary manner.
- (c) Ward Street
This townscape comprises the Lutheran Seminary buildings, a number of single storey detached and semi-detached dwellings and former dwellings as well more recent two and three storey buildings.

At the western end of Ward Street, development will maintain the historic character derived from the prominent historic buildings of Hebart Hall (former Whinham College) and nearby Bishops Court

At the eastern end of Ward Street there are opportunities to redevelop under-utilised land with contextually designed new buildings and additions.

(d) Walter Street

Walter Street will be enhanced by development that responds to the more intimate scale and siting of the historic and established built form.

Throughout the Policy Area, buildings will provide an interesting pedestrian environment and human scale. Buildings will have articulation and fenestration, frequent openings in building facades, verandahs, balconies, and other features to provide development that is complementary to the areas historic development pattern. Development will maintain residential amenity by providing a suitable built interface to sensitive development including existing low scale residential development and Local and State Heritage Places. Improved design of both public and private spaces will enhance amenity for residents and visitors, including pedestrians and cyclists.

Opportunities for shared car parking arrangements should be utilised to support development of the Policy Area. For redevelopment of larger consolidated parcels, new car parking should be at basement level to optimise the use of land and to limit the visual impact on the amenity of the area. Additional surface car parking and above ground car parking should be avoided except in the case of low scale residential development.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.
- Objective 2:** Development primarily for residential purposes at a variety of densities that respond to the site context.
- Objective 3:** Non-residential development will contribute to a liveable community with places of employment and community services whilst maintaining high residential amenity and not impacting the primary role of the Mainstreet (O'Connell) Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

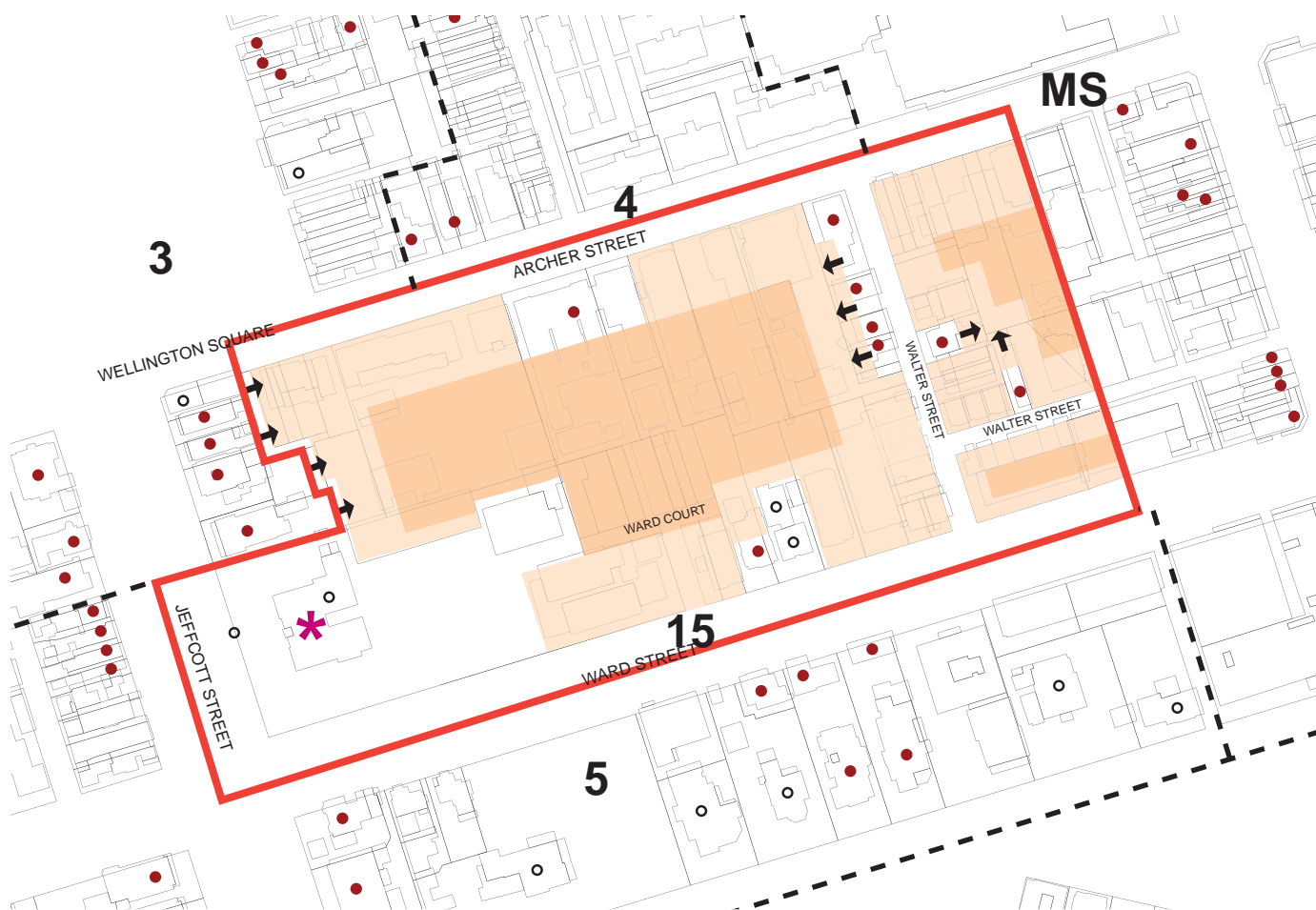
Land Use

- 1 Development should be consistent with the Desired Character for the Zone and Policy Area.
- 2 The following types of development or combinations thereof are envisaged:
 - Consulting Room
 - Community Centre
 - Dwelling
 - Dwelling addition
 - Library
 - Office
 - Museum
 - Nursing home
 - Place of worship
 - Residential flat building
 - Retirement living
 - Student Accommodation
- 3 Non-residential land-uses should be of small scale and intensity so as to not prejudice development of the Mainstreet (O'Connell) Zone and to be compatible with residential amenity.
- 4 Development should ensure a high quality living environment is achieved.
- 5 Where small scale shops are provided, they should:
 - (a) serve the users of the site only;
 - (b) be well integrated into the built form on the site;

- (c) be of a nature and scale consistent with the character of the locality;
- (d) not be of a type or scale likely to generate traffic volumes;
- (e) not detrimentally impact on the amenity of nearby residents; and
- (f) be located on Archer Street.

Form and Character

- 6** Development should be in accordance with the Concept Plan [Fig 15/1](#).
- 7** The bulk and density of development in the policy area should not exceed a plot ratio of 2.6. To ensure built form is compatible with the low scale streets and heritage places, lower plot ratios are envisaged in these areas.
- 8** Re-development of sites that are presently incompatible with the historic character of the Zone and Policy Area are encouraged.
- 9** A minimum of 40 percent landscaped open space should be provided on the site of any development.
- 10** Development fronting Ward Street, Jeffcott Street and Archer Street should complement the established low scale streetscape and should not exceed 2 building levels or the height of an existing building fronting the street, whichever is greater.
- 11** Development in Walter Street (North-South section) should be more intimate in scale and character and may incorporate two-storey elements away from the street frontage behind a single storey façade.
- 12** Development in Walter Street (East- West section) should be responsive to the existing Heritage Places and transition to the medium scale development of the adjoining Mainstreet (O'Connell) Zone.
- 13** Development should preserve the visual prominence and landscaped setting of Hebart Hall including the centre clock tower spire and cast iron and stone walling along the Jeffcott and Ward Street frontages.
- 14** Development around Hebart Hall should be set back and low scale to provide visual relief and maintain the setting of the Heritage Place.
- 15** Development should maintain views to Heritage Places.
- 16** Development up to a maximum of 6 building levels or 18 metres above the median natural or finished ground level at any point or any part of a building may be appropriate where buildings are designed to:
 - (a) taller built form is located on large and consolidated sites;
 - (b) be compatible to the zone context and heritage values and contribute positively to the public realm;
 - (c) incorporate appropriately sited and orientated forms to reflect the predominant historic grid pattern and reinforce the linear streetscape form;
 - (d) be sited away from existing street frontages to retain the low scale historic streetscape character and preserve the visual prominence of State and Local Heritage Places;



- 3 Wellington Square Policy Area
- 4 Tynte Street Policy Area
- 5 Carclew Policy Area
- 15 Archer West Policy Area
- MS Main Street (O'Connell) Zone

- Policy Area 15 Boundary
- Low Scale Built Form up to 3 building levels
- Taller Built Form up to 6 building levels
- ✱ Landmark Heritage Place
- State Heritage Place
- Local Heritage Place
- Policy Area Boundary
- ➔ Interface with low scale buildings



ADELAIDE (CITY) **ARCHER WEST POLICY AREA** **CONCEPT PLAN** **Fig 15/1**

Consolidated - 30 April 2020

- (e) comprise a series of smaller building footprints that are adequately separated by high quality landscaped open space to provide views through the built form to the sky beyond and non-contiguous shadows in adjoining areas and which optimise privacy, light and air ;
 - (f) incorporate well-proportioned architectural treatments and rhythm in the built form through modulation and articulation to create small components and elements in the appearance of buildings to reinforce the human scale and historic character of the streetscape;
 - (g) provide a high ratio of solid to void;
 - (h) be sited off side and rear boundaries and avoid blank walls; and
 - (i) occur in a coordinated manner.
- 17** Development should utilise stone, brick, render, galvanized steel and terracotta that are characteristic and complementary to the historic built form of the area.
- 18** Development should be consistent with the building envelope as shown in Figure 1, except where a variation to the building envelope demonstrates minimal adverse impacts upon adjacent low scale housing in terms of massing and overshadowing through alternative design methods:
- (a) to minimise building mass at the interface, buildings should be constructed within a building envelope provided by a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an adjoining low scale residential allotment as illustrated in *Figure 1*:

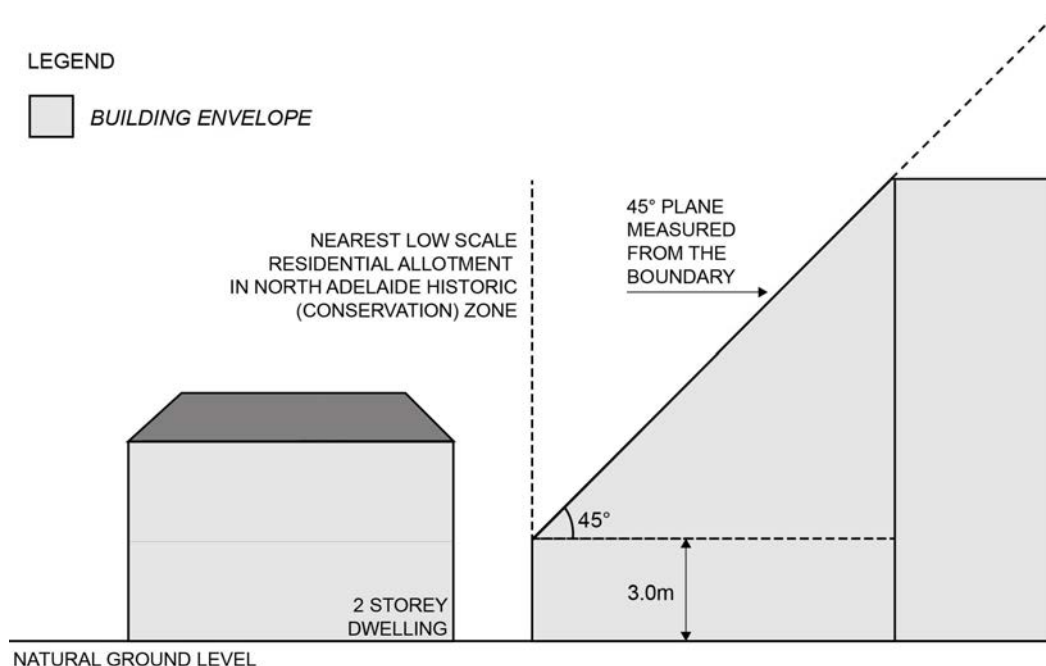


Figure 1

- 19** Buildings fronting internal streets and spaces should create an intimacy and enclosure of the spaces. Where possible, planting should be incorporated to reinforce the human scale of these spaces.
- 20** Development should be orientated to provide passive surveillance of walkways both internal and externally to sites and to the street environment.

Transport and Movement

- 21** Development should facilitate the use of all modes of transport including cycling, walking, public transport, car share and vehicular access.

- 22** Development should establish a clear hierarchy of movement corridors through large sites to create a legible and permeable street pattern.
- 23** Development should create new pedestrian linkages and a high degree of permeability through the Policy Area to improve connection with adjoining areas. A north – south connection should be established to facilitate ease of movement from Ward Street to Cambridge Street through to Tynte Street and to the Main Street (O'Connell) Zone.
- 24** Opportunities for shared parking should be utilised for the Policy Area.
- 25** Except for low scale buildings car parking should be located in the basement to provide for the maximum utilisation of land and limit the visual impact on the amenity and Historic character of the Policy Area.
- 26** Access points should:
- (a) be narrow and consolidated to minimise the impacts to pedestrian environments and maintain the residential scale and pattern of development;
 - (b) for parking, servicing or deliveries for development with high traffic volumes be from Ward Street to minimise traffic and vehicle queuing on Archer Street; and
 - (c) remove the visual impact of existing car parking, access and egresses to the area by siting any new car parking away from street frontages.

ADELAIDE HISTORIC (CONSERVATION) ZONE

Introduction

The desired character, objectives and principles of development control that follow apply to the Adelaide Historic (Conservation) Zone shown on [Maps Adel/25 and 26](#). They are additional to those expressed for the whole of Council area and in cases of apparent conflict, take precedence over the more general provisions.

Statement of Heritage Value

The historic character of the south-east corner of the City provides strong cultural and historic evidence of the creation of the colony and the consolidation of early settlement in Adelaide.

South Australia was established as a semi-commercial venture later taken over by the British government. The plan for Adelaide was drawn up in advance of settlement by Colonel William Light, who was appointed Surveyor-General by the South Australian Colonisation Commission.

Light's plan utilised a regular grid pattern, and although the original Town Acres within the south-east corner of the City have been divided and further developed, Light's Plan has been preserved essentially as he conceived it.

Adelaide was once predominantly a residential City. The existing late nineteenth century character of the south-east corner of the City continues to reflect this. The area retains a broad range of residential stock, from nearby grand villas on South and East Terraces overlooking the Park Lands to humble cottages lining the smaller streets, established during the course of successive subdivisions. The area also includes a collection of building types important for any community. These include St John's Anglican Church — first established in 1841, but rebuilt in its present form in 1887 — and hotels and retail premises nearby in Hutt Street.

The subdivision of town acres in the south-east into a network of streets and lanes lined with cottages occurred in distinct phases, most rapidly during the later 1870s and 1880s, although small cottages were built from the 1850s. These cottages were built on small allotments, on the smaller streets, and fronted directly onto the footpath.

The South Australian Company held title to many town acres, and until the 1860s leased them for grazing and hay-making. On 4 January 1870, the Register newspaper noted that, particularly in the south-eastern portion of the City, the company had released allotments for sale and that this 'led to the erection of numerous cottages, many if not most of which have been built and are owned by the occupants'. The surviving cottages built in those years are typically small-scale, low-set with high-pitched roofs, small casement windows, low ceilings, and built close to neighbours.

Killua Place (now Ada Street) forms part of the land originally comprising Town Acres 578 and 589 and illustrates several phases of development, typical of the area. One house was built in 1857, with all houses on the western side of Ada Street built between 1874 and 1884 and five houses built on the eastern side in 1907.

The more elaborate dwellings in the south-east corner of the City were erected for prosperous residents. Most of these grand residences were built during the economic boom period of the late 1870s and 1880s. Other substantial developments occurring during this period include row terraces and additional cross streets.

The main shopping centres in Adelaide were located further to the north and west, but a small retail precinct developed along the nearby Hutt Street, with corner shops in the residential streets serving local residents' needs.

The south-east corner of the City has remained devoid of industry and heavy trades which were concentrated in the western portion of the City. This has further served to preserve the residential and relatively uniform character in the south-east.

DESIRED CHARACTER

The Zone will provide good quality living environments, with a range of dwelling types, high level amenity and attractive streetscapes.

The Zone comprises historic and appealing residential areas located either side of Hutt Street in the heart of the City's south east corner. The Zone's historic character is established by the many cohesive groups of nineteenth century buildings many of which are individually of historic significance. Those buildings are to be conserved and the historic character supported and enhanced by the redevelopment and replacement of discordant buildings; the careful attention to the subdivision pattern, siting, form and composition of new and replacement dwellings, also of building alterations and additions.

Established commercial land uses will be progressively redeveloped for residential purposes, enhancing the living conditions, residential amenity, and historic character of the Zone.

A high quality public environment, with appropriate planting, will complement and contribute to the Zone's amenity. Traffic management will maintain accessibility for local traffic and visitors while emphasising pedestrian and cyclist safety and convenience.

In particular, the character of the following streets should be conserved and reinforced as follows:

- (a) **Ada Street**
A variety of dwellings, including row cottages, small semi-detached cottages and detached bay window cottages make up this historic townscape. A sense of intimacy and enclosure is derived from the narrowness of the street and the largely single-storey scale and close development pattern of residences. Consistent pitched roof profiles, verandahs, fenestration and materials establish a cohesive built form character which should be maintained.
- (b) **Carrington Street (east of Marion Street)**
This cohesive historic townscape comprises single-storey detached, semi-detached and row cottages, terrace houses and contemporary attached dwellings. Dwellings constructed of stone and brick with vertically proportioned openings, pitched roofs and verandahs comprise the streets character which is to be maintained and reinforced.
- (c) **Carrington Street (west of Marion Street)**
This residential townscape is contiguous with and complementary to the historic commercial character of the adjoining Hutt Street townscapes. It comprises closely sited single-storey cottages, row cottages, and terrace houses. The cohesive built form character established by the window proportions, pitched roof profiles, verandahs and materials is to be maintained and reinforced.
- (d) **Castle Street**
The established character comprises small semi-detached and detached cottages and the single terrace. Dwellings are closely sited to the street with narrow frontages, verandahs along the street and pitched roofs. These elements are to be reflected in any infill development.
- (e) **Corryton Street (north of Halifax Street)**
This townscape comprises single-storey semi-detached and detached cottages sited close to the street frontage. Development is to maintain the cohesive built form character established by the rhythm of narrow dwelling facades, fenestration, pitched roof profiles and verandahs.
- (f) **Corryton Street (south of Halifax Street)**
The distinctive townscape established by a long single-storey row of cottages, with a horizontal emphasis created by the common roof, verandah profiles and continuous picket fencing is to be maintained.
- (g) **Gilles Street**
The Gilles Street townscape comprises single storey attached and detached cottages in a close pattern of development. While residences exhibit a variety of architectural forms, the cohesive character established by consistent fenestration, pitched roof profiles and verandah styles is to be reinforced.

East of St John Street is a more open subdivision pattern of large detached residences set in landscaped grounds. This more open subdivision pattern creating a transition from the intimate cottage character of Gilles Street to the grand mansion character of the adjacent East Terrace Policy Area is to be maintained.

- (h) Gladstone Street
The intimacy and sense of enclosure derived from the low scale character and horizontal form of single-storey row and semi-detached cottages sited close to the street frontage is to be maintained.
- (i) Halifax Street (east of Hutt Street)
The Halifax Street townscape comprises single-storey detached and semi-detached cottages of a consistent built form character and the occasional terrace house. St John's Church is a prominent landmark. Dwellings are sited close to the street frontage with minimal side boundary set-backs. The consistency of window proportions, the high proportion of solid to void, pitched roof profiles and verandahs establishes a cohesive townscape character which is to be maintained. Infill development should present as single storey to the street.
- (j) Halifax Street (west of Hutt Street)
This townscape comprising single-storey attached and detached cottages, a large bay window residence and a two-storey Victorian former corner shop is to be maintained, with infill development interpreting and reinforcing the patterns and forms established by the elements of traditional character.
- (k) Kate Court
The townscape comprising single-storey semi-detached cottages, detached gable-fronted cottages and terrace house sited close to the street frontage, with consistent window proportions, roof forms and verandah styles, is to be maintained.
- (l) Marion Street
The townscape, established by the close grouping of 19th century small semi-detached and detached cottages and row cottages, is to be maintained. The low horizontal emphasis of this group is established by the front parapet line of the row cottages and by the consistent roof and verandah forms of other dwellings.
- (m) McLaren Street and Regent Street South
The intimacy and enclosure of these narrow streets, derived from the closely sited, single-storey scale cottages and row houses, is to be maintained. The prevailing subdivision pattern, vertically proportioned openings and the consistent form of pitched roofs and verandahs is to be reinforced in new buildings.
- (n) Royal Avenue
This distinctive townscape comprising single-storey cottages and villas in a close pattern of development is to be maintained.
- (o) St. John Street
The townscape in the north-east is dominated by the substantial scale and richly detailed character of St John's Church, Meeting Hall and Rectory. Along the western frontage by a group of consistently sited, gable-fronted villas, complemented by a small group of narrow fronted cottages on the eastern frontage. This character should be maintained and reinforced.
- (p) Tomsey Street
The historical townscape character of single-storey semi-detached and detached cottages is to be maintained.

OBJECTIVES

Objective 1: Conservation of the heritage values and historic character of the remaining intact residential districts of south-east Adelaide and its architecturally diverse historic townscapes.

Objective 2: Development compatible with the historic character of the Zone.

Objective 3: Development that contributes to the heritage value and desired character.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Development should be consistent with the desired character for the Zone.
- 2 The following types of development, or combinations thereof, are envisaged:
 - Affordable housing
 - Community Centre
 - Domestic outbuilding in association with a dwelling
 - Domestic structure
 - Dwelling
 - Dwelling addition
- 3 Development listed as non-complying is generally inappropriate.

Form and Character

- 4 Development should:
 - (a) retain and conserve heritage places;
 - (b) reflect the historic built form and its visual character through residential development of complementary design, form and density consistent with the desired character for the Zone; and
 - (c) contribute to the landscape character of private and public open spaces and incorporate attractive landscaping to street frontages where appropriate and available within building set-backs.
- 5 Development should increase the amount of residential accommodation in the Zone by:
 - (a) adapting or redeveloping non-residential buildings for residential purposes;
 - (b) developing vacant and under-utilised sites; and
 - (c) the redevelopment of sites containing buildings that are presently incompatible with the historic character of the Zone or the desired character, particularly buildings that are visible from public roads.

Design and Appearance

- 6 Development of new buildings or building additions including those of innovative and contemporary design should demonstrate a compatible visual relationship with adjacent heritage places and other buildings that reinforce the desired character in terms of its:
 - (a) bulk and scale;
 - (b) width of frontage and the front and side boundary building set-back patterns;
 - (c) proportions and vertical and/or horizontal emphasis, exhibiting vertical openings and a high solid to void ratio in the composition of the principal building facade and other elevations presenting to a public road; and
 - (d) form and level of visual interest as determined by length and size of unbroken walling, treatment of openings and depths of reveals, roofline and silhouette, colour and texture of materials used, as well as detailing (without excessive use or mimicry of decorative elements and ornamentation) and design elements such as porches, verandahs and balconies where appropriate; and

- (e) public and private landscaped open spaces.
- 7 New buildings should utilise stone, brick and/or brick render as the main external finish to walls to complement the historic built form in the Zone. Coated surfaces that are visible from the street should be finished in natural render, limewash, cement or mineral paints, not plastic coatings or acrylic renders. Buildings with brightly coloured or highly reflective surfaces should not be developed.
 - 8 Overhanging verandahs or balconies extending over the public road verge should only occur where development is sited on property boundaries to the major street frontages, and particularly on street corners.
 - 9 Development should complement the characteristic features and any distinctive, architectural elements and forms as described in the desired character and avoid discordant, foreign and uncharacteristic building styles.
 - 10 Where consistent building set-backs from front, side and rear allotment boundaries prevail, development should be consistent with these established setbacks. Where a consistent building set-back is not evident in a locality, buildings should not project forward of heritage places adjacent the development site. Building to side boundaries (other than for party walls in semi-detached, row dwellings or residential flat buildings) or to a rear boundary is generally inappropriate, but may be considered where it is demonstrated that there will be no detrimental effect on residential amenity or adjacent heritage place(s).
 - 11 Except for heritage places, corner sites should provide facades to each street frontage and should only be sited on or close to the corner frontages where the development complements the siting of heritage places.
 - 12 Appropriately pitched roofs which visibly reinforce the prevailing character of historic roof forms should be incorporated in development rather than mono-pitch or flat roof forms falling to the street frontage or asymmetrically to a side boundary.
 - 13 The height of new buildings, including the floor to ceiling clearances should take reference from the prevailing building heights within the locality, with particular reference to adjacent Heritage Places. Where single storey development prevails or is desired in accordance with the relevant desired character, low profile solutions to two storey development that are located to the rear of an existing building may be appropriate subject to no adverse impacts on the historic character of the streetscape and overshadowing, bulk and privacy impacts on neighbouring land.
 - 14 Buildings should not exceed 2 storeys or 8.5 metres in building height.
 - 15 The plot ratio of development should not exceed 0.8.
 - 16 The dwelling unit factor of development is:
 - (a) Carrington, Halifax and Gilles Streets: 200 square metres;
 - (b) Elsewhere: 120 square metres.
 - 17 Landscaped open space on the site of the development should be provided as follows:
 - (a) In areas where single storey development at the street frontage prevails – 15 percent;
 - (b) In other areas:
 - (i) East of Hutt Street – 25 percent;
 - (ii) West of Hutt Street – 20 percent.

- 18** Landscaped open space should be arranged and planted in a manner which will provide for the retention of existing significant vegetation and maintain and enhance the established predominant amenity and landscape character of the locality.
- 19** Residential flat buildings or group dwellings should be developed in a manner such that it presents to its visible street frontages in a manner consistent with the predominant dwelling and building forms found in the locality.
- 20** Row dwellings should only be developed where vehicle access can be provided from laneways or minor streets. Row dwellings should not incorporate garaging for vehicles in the building elevation to the primary street frontage and should not be comprised of more than six attached dwellings in any one group.

Fencing

- 21** Fencing to a street frontage (including any secondary street frontage) and returning along the side boundaries to the alignment of the main face of the principal building on the land, should:
 - (a) be of a traditional style and detailing that is compatible with the style of the building, or in the case of a new building, its design should reference and complement fencing styles historically associated in the particular streetscape;
 - (b) on the primary street frontage, comprise low fencing or fencing with an open character combined with solid pillars and plinths or other similar palisade fencing styles that allow views of the associated building, by their height and design;
 - (c) comprise materials compatible with traditional fencing materials such as stone and cast iron, brick, stone or rendered pillars and plinths or other traditional materials such as timber or well detailed masonry, but should not include metal sheeting; and
 - (d) not include solid masonry fences on the primary street frontage other than where it is required to be consistent with fencing of identified heritage value on the development site.
- 22** On corner sites, the front fence should return on the secondary street frontage at the same height up to the alignment of the main face of the building on the land. The remaining rear section of side fences on a secondary street frontage should be constructed of traditional materials such as brick, rendered masonry and timber and should not be higher than 1.8 metres above ground level.
- 23** Fences on rear and side property boundaries (behind the main face of the building and other than on a corner allotment), should not be higher than 2 metres above ground level and should be constructed of traditional materials, including corrugated metal sheeting. Side fences or walls above 1.2 metres are generally inappropriate forward of the main face of a building. Forward of the main face of the building, fences should be of a scale that allows oblique views of buildings.

Car Parking

- 24** Vehicle access should be via minor streets, side or rear lanes and existing crossovers wherever possible. In a street where vehicle access does not prevail on the primary street frontage, new crossovers should be avoided and on-site car parking is not required.
- 25** New vehicle crossovers required for development should be:
 - (a) kept to a minimum width necessary for safe and convenient access but so as to preserve and enhance street character;
 - (b) designed to narrow the crossover width towards the road pavement and located to avoid the need to remove historic kerbing and significant trees; and
 - (c) separated from each other to minimise visual impact on the street character.

- 26** Vehicle parking arrangements should not incorporate undercroft parking or other parking or access arrangements that are not in keeping with the Zone's historic character.
- 27** Development should provide on-site car parking and open car parks and buildings for parking vehicles that are:
- (a) located at the rear of sites wherever possible;
 - (b) designed and sited to ensure garage doors do not visually dominate the primary street frontage; and
 - (c) located behind the main face of the associated building.

Land Division

- 28** The division of land should conform with the established historic allotment pattern and in particular the allotment frontages of dwellings in the relevant street and achieve regularly proportioned allotments capable of containing dwelling types consistent with the desired character.
- 29** The division of land in the form of a hammerhead allotment or similar allotment should not be undertaken.

Complying Development

- 30** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

- 31** The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:

Adult entertainment premises
 Adult products and services premises
 Amusement machine centre
 Auditorium
 Car park except where ancillary to an approved or existing use
 Cinema
 Conference centre
 Hospital
 Industry
 Hotel
 Licensed Premises
 Licensed entertainment premises
 Restaurant
 Service trade premises not within a building
 Theatre
 Warehouse

- (b) A change of use to any of the following except:

- (i) within the site of a lawfully existing non-residential use
- (ii) within the site of a heritage place originally constructed for non-residential use:

Consulting room
 Office
 Shop

- (c) Total demolition of a Local Heritage Place or portion of a Local Heritage Place being the frontage and side wall returns which are visible from the street, where the elements of the heritage value of that place are so limited
- (d) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#))
- (e) Advertisements involving any of the following:
 - Animation
 - Third party advertising
 - Advertisements at roof level where the sky or another building forms the background when viewed from ground level.

Public Notification

32 For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

- (a) **Category 1**, public notification not required:
 - (i) The following forms of development:
 - Carport, domestic outbuilding, garage, pergola, shade sail (or the like) or verandah, in association with a dwelling
 - Domestic structure
 - Dwelling addition (single storey)
 - Dwelling (single storey)
 - Fence
 - (ii) Advertisements (except those classified as non-complying);
 - (iii) a kind of development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.
- (b) **Category 2**, public notification required, third parties may, at the discretion of the relevant planning authority, appear before the relevant planning authority on the matter. Third parties do not have appeal rights:
 - (i) all development, other than development classified as non-complying or which falls within Part (a) of this provision.

Note: For Category 3 development, public notification is required. Third parties may make written representations, appear before the relevant planning authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

CITY LIVING ZONE

Introduction

The objective and principles of development control that follow apply in the City Living Zone shown in [Maps Adel/20, 23 to 26 and 29 to 33](#). They are additional to those expressed for the whole of the Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Zone.

DESIRED CHARACTER

The Zone is spread across the southern half of Adelaide, flanked to the north by the City's central business area. Mixed use apartment and commercial corridors frame much of the southern and western margins of the Zone which is also bisected by the Hutt Street main street strip, and corridors of core business areas centred on the Squares and the City's main north-south axis roads, Morphett, King William and Pulteney Streets.

The Zone comprises Adelaide's main residential living districts which have developed with a range of stand-alone and paired cottages, terrace or row housing, and low to medium scale contemporary apartment buildings, and with remnant workshops, service trades, offices and mixed uses, particularly west of Hutt Street.

The City Living Zone will provide high amenity residential living environments along with related non-residential uses compatible with residential amenity, as articulated in the Policy Areas. Carefully executed high quality residential infill is envisaged and opportunities are presented for comprehensive redevelopment on larger, particularly non-residential sites, and also on catalyst sites fronting South Terrace and East Terrace. The desired increase in the City's resident population relies, in part, on realising infill housing opportunities with high regard to their context and achieving overall, higher dwelling densities in this Zone.

OBJECTIVES

- Objective 1:** A Zone comprising a range of dwelling types and tenures, including affordable housing.
- Objective 2:** Increased dwelling densities in appropriate locations.
- Objective 3:** Non-residential activities that support city living and amenity with minimal impact on the environmental quality or amenity of living conditions.
- Objective 4:** Development having regard to the potential impacts of building height and activities from land in the adjoining zones.

PRINCIPLES OF DEVELOPMENT CONTROL

Form of Development

- 1 Development should make a positive contribution to the desired character as expressed by its respective Policy Area.
- 2 The following types of development, or combinations thereof, are envisaged:

- Affordable housing
- Community Centre
- Domestic outbuilding in association with a dwelling
- Domestic structure
- Dwelling
- Dwelling addition
- Residential Flat Building

- 3 Non-residential land uses should be limited to land lawfully used for non-residential purposes and should comprise land uses more in conformity with the intended residential amenity, except where envisaged in the relevant Policy Area. Non-residential land uses should be of a scale and role to not prejudice the envisaged development of non-residential zones.
- 4 Development listed as non-complying is generally inappropriate.
- 5 The number of dwellings should be increased by:
 - (a) the redevelopment of poor quality and underutilised buildings or sites which are in discord with the desired character of the Policy Area, provided maintenance of residential amenity and the values of heritage places;
 - (b) the adaptation and conversion of non-residential buildings to residential uses; or
 - (c) development in upper levels of existing buildings, or by increasing the height of buildings or roof volumes, or on sites behind existing buildings.
- 6 Buildings or additions, including those of innovative and contemporary design, should reinforce the Policy Area and demonstrate a compatible visual relationship with adjacent heritage places or the Adelaide Historic (Conservation) Zone in terms of its:
 - (a) bulk, height and scale (i.e. the length and size of unbroken walling and the roof volume and form);
 - (b) width of frontage and the front and side boundary building set-back patterns;
 - (c) overall building proportions and massing (by maintaining the desired horizontal [and/or vertical] emphasis, exhibiting vertical openings and a high solid to void ratio);
 - (d) modelling and articulation of facades; and
 - (e) incorporation of key architectural elements and detailing where a particular construction era and building style prevails as expressed in the desired character (without excessive use or mimicry of decorative elements and ornamentation) i.e. with the inclusion of elements such as porches, verandahs, balconies and fences where appropriate.
- 7 Development should not exceed the height prescribed for each Policy Area. The height of new buildings, including the floor to ceiling clearances of each level, should take reference from the prevailing building heights within the locality, with particular reference to adjacent heritage places.
- 8 Where development proposes a building higher than the prevailing building heights that contribute to the desired character of a locality, the taller building elements should be setback from street frontages to avoid a detrimental impact on the prevailing character.
- 9 Where consistent building set-backs from front, side and rear allotment boundaries prevail in a locality, new development should be consistent with these setbacks.
- 10 The finished ground floor level of buildings should be at grade and/or level with the footpath to provide direct pedestrian access and street-level activation.

Car Parking

- 11 Access to parking and service areas should be located so as to minimise the interruption to built form on street frontages and to minimise conflict with pedestrians. Access, where possible, should be from minor streets, or side or rear lanes provided road width is suitable and the traffic generation does not unreasonably impact residential amenity.

Advertising

- 12 Internal illumination of advertisements should only occur in the major streets and limited to projecting advertising displays located beneath verandahs or awnings extending over the footpath. Otherwise only external illumination of advertisements will be appropriate. Illumination of advertisements should not detrimentally affect residential amenity.
- 13 Advertisements more than 3 metres above natural ground level or an abutting footpath or street should not occur.
- 14 Advertisements which project from a wall of a building should not occur in minor streets.

Complying Development

- 15 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following kinds of development are designated as **complying**:

- (a) Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:
 - (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing the site.

Non-complying Development

- 16 The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:
 - Adult entertainment premises
 - Adult products and services premises
 - Amusement machine centre
 - Auditorium
 - Car park except where ancillary to an approved or existing use
 - Cinema
 - Conference centre
 - Hospital
 - Industry
 - Hotel
 - Licensed Premises
 - Licensed entertainment premises
 - Service trade premises not within a building
 - Theatre
 - Warehouse
- (b) A change of use to any of the following except:
 - (i) within the site of a lawfully existing non-residential use
 - (ii) within the site of a heritage place originally constructed for non-residential use
 - (iii) in East Terrace Policy Area 29 or South Terrace Policy Area 30 on sites greater than 1500 square metres in area, which may include one or more allotment
 - (iv) in East Terrace Policy Area 29 fronting Wakefield Street

- (v) in South Terrace Policy Area 30
- (vi) in South East Policy Area 31 on a key development area on [Figure SE/1](#)
- (vii) in South Central Policy Area 32
- (viii) in South West Policy Area 33 fronting Sturt Street

Consulting Room
Office
Restaurant
Shop

- (c) Total demolition of a Local Heritage Place (City Significance) or of the frontage and side wall returns visible from the street of a Local Heritage Place (Townscape).
- (d) Total demolition of a Local Heritage Place, or that portion of a Local Heritage Place comprising its Elements to Heritage Value.
- (e) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#)).
- (f) Advertisements involving any of the following:
 - (i) Animation
 - (ii) Third party advertising
 - (iii) Advertisements at roof level where the sky or another building forms the background when viewed from ground level.

Public Notification

17 For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

- (a) **Category 1**, public notification not required:
 - (i) The following forms of development:
 - Carport, domestic outbuilding, garage, pergola, shade sail (or the like) or verandah, in association with a dwelling
 - Domestic structure
 - Dwelling addition (single storey)
 - Dwelling (single storey)
 - Fence
 - (ii) Advertisements (except those classified as non-complying)
 - (iii) a kind of development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.
- (b) **Category 2**, public notification required, third parties may, at the discretion of the relevant planning authority, appear before the relevant planning authority on the matter. Third parties do not have appeal rights:
 - (i) all development, other than development classified as non-complying or which falls within Part (a) of this provision.

Note: For Category 3 development, public notification is required. Third parties may make written representations, appear before the relevant planning authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

East Terrace Policy Area 29

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/51, 57 and 63](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Policy Area will be developed in a manner which reinforces the existing character of grand buildings set on attractive, landscaped grounds in a Park Lands edge setting. Development will continue to provide a high level of amenity and with a mix of residential dwelling types and styles, including the continued development of residential flat buildings which are complementary in design to the many State and Local Heritage Places. Wakefield Street will continue to provide a mix of uses, either wholly residential or non-residential land uses on lower levels with residential at upper levels.

Development will continue to provide for substantial, high quality landscaped open spaces in order to frame East Terrace and provide a distinct edge to the City. Private properties will be defined by formal fencing which allows for views to, and an appreciation of, the distinctive garden setting and spacious character at-ground underpinned by the rhythm of front and side boundary setbacks.

Buildings will be massed vertically or comprise narrow frontage elements with generous front and side setbacks with building façades that are well articulated with finer details that contribute positively to the public realm and residential character.

Vehicle movement will be primarily for local and visitor traffic, although East Terrace will continue to act as a strong pedestrian and cyclist link between the City and the Park Lands.

Catalyst sites provide opportunities for integrated developments on large sites that respond to the development's context and provide opportunities to increase the residential population of the City. Such sites will generally be developed for housing, but may include a small amount of non-residential development such as cafés, restaurants or small-scale shops that create a greater level of activity fronting the Park Lands. Non-residential developments that provide additional community services and facilities may also occur.

Developments on catalyst sites will exemplify quality contemporary design that is generally of greater intensity than their surroundings. However, development will be designed to carefully manage the interface with any residential development, particularly with regard to massing; proportions; overshadowing; and traffic and noise-related impacts.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The Policy Area will primarily comprise detached and semi-detached dwellings and residential flat buildings.
- 2 Non-residential development should only be developed fronting Wakefield Street or on a catalyst site, where non-residential development is appropriate at the ground and or first floor and residential development above.

Form and Character

- 3 Development should be consistent with the Desired Character for the Policy Area.

Design and Appearance

- 4 Development should maintain the traditional siting patterns of large buildings set in generous landscaped grounds with substantial front and side boundary set-backs.
- 5 A minimum of 30 percent landscaped open space should be provided on the site of any development.
- 6 Landscaped open space should be arranged and planted in a manner which will:
 - (a) provide for the retention of existing significant vegetation:
 - (b) reasonably maintain and enhance the established predominant amenity and landscape character of the locality; and
 - (c) respect the amenity of abutting residential allotments to the rear.
- 7 Except on sites greater than 1500 square metres in area (which may include one or more allotment), plot ratio should not exceed 1.8.
- 8 Development should not exceed 4 storeys or 14 metres building height except where one of the following applies:
 - (a) on sites greater than 1500 square metres in area (which may include one or more allotment); or
 - (b) within the areas indicates on policy area [Maps Adel/51, 57 and 63](#) where development should not exceed 2 storeys.
- 9 Except within the areas indicated on Policy Area [Maps Adel/51, 57 and 63](#), development should have a minimum building height of 3 storeys to provide optimal height and floor space yields that activate and frame the Park Lands.

Catalyst Sites

- 10 Development on catalyst sites (sites greater than 1500 square metres, which may include one or more allotment) should include medium to high scale residential development.
- 11 Small-scale shops, cafés or restaurants on catalyst sites should generally be integrated with residential development and located at ground or first floor level to increase street level activity facing the Park Lands.
- 12 Catalyst sites should be developed to manage the interface with residential development with regard to intensity of use, overshadowing, massing, building proportions and traffic to minimise impacts on residential amenity.
- 13 Parts of a development on a catalyst site that exceed the prescribed maximum building height that applies to non-catalyst sites in the Policy Area, and that are directly adjacent to the Adelaide Historic (Conservation) Zone boundary should be designed to minimise visual impacts on sensitive uses in the adjoining zones and to maintain the established or desired future character of the area. This may be achieved through a number of techniques such as additional setback, avoiding tall sheer walls, centrally locating taller elements, providing variation of light and shadow through articulation to provide a sense of depth and create visual interest, and the like.
- 14 The scale of development on a catalyst site should respond to its context, particularly the nature of the adjacent land uses and the interface treatments required to address impacts on sensitive uses.
- 15 Where there is an apparent conflict between the catalyst site principles and Zone, Policy Area or Council Wide objectives and principles (including the quantitative provisions) the catalyst site principles will take precedence.

South Terrace Policy Area 30

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/62 and 63](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Policy Area will primarily contain medium scale residential development that takes advantage of the frontage to the Park Lands. The lower levels of buildings may be developed for non-residential uses where they are of a type, nature and size that make a positive contribution to residential amenity and the street level interface with the Park Lands.

The location and scale of buildings will achieve high quality urban design outcomes with the highest built form along South Terrace facing the Park Lands. Development at the entrance to the City grid on the corner of Hutt Street will create landmark buildings.

Buildings will have minimal or no setback and provide tall walls when viewed from the main road frontage to achieve a consistent built form façade and a sense of address to the Park Lands. Landscaping and small variations in front setback will assist in softening the continuous edge of new built form and provide a higher amenity streetscape and pedestrian environment which is shaded by street trees and other mature vegetation.

Buildings will have a strong horizontal emphasis with clearly defined and segmented vertical elements. At street level, the use of solid materials will be appropriately balanced with glazed areas to provide visual interest and activity. Building façades will be well articulated with finer details that contribute positively to the public realm, including modelled façades, canopies, fenestration and balconies that make use of light and shade. An interesting pedestrian environment and human scale at ground level which integrates well with the Park Lands will be created.

Catalyst sites provide opportunities for integrated developments on large sites that respond to the development's context and provide opportunities to increase the residential population of the City. Such sites will generally be developed for housing, but may include a small amount of non-residential development such as cafés, restaurants or small-scale shops that create a greater level of activity fronting the Park Lands. Non-residential developments that provide community services and facilities may also occur.

Developments on catalyst sites will exemplify quality and contemporary design that is generally of greater intensity than their surroundings. However, development will be designed to carefully manage the interface with any residential development, particularly with regard to massing; proportions; overshadowing; and traffic and noise-related impacts.

OBJECTIVE

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The Policy Area will primarily comprise residential development or mixed use buildings where non-residential development is appropriate at the ground and or first floor.

Form and Character

- 2 Development should be consistent with the Desired Character for the Policy Area.

Design and Appearance

- 3 Except where located on a site greater than 1500 square metres (which may include one or more allotment, building height should not exceed 22 metres
- 4 Development should have a minimum building height of 4 storeys, except where adjacent to a heritage place, to provide optimal height and floor space yields that activate and frame the Park Lands.
- 5 Buildings (excluding verandahs, porticos and the like) should be built to the primary road frontage with landscaping to maintain and enhance the pattern of development in the locality.
- 6 The ground floors of buildings should have a minimum floor to ceiling height of 3.5 metres to allow for adaptation to a range of land uses including shops, cafés, restaurants or offices without the need for significant alterations to the building.
- 7 Buildings on sites with a frontage greater than 10 metres should be articulated through variations in forms, materials, openings and colours.
- 8 Development on land directly abutting the South East Policy Area should avoid tall, sheer walls at the interface by ensuring walls greater than 3 metres in height are set back at least 2 metres from the rear allotment boundary with further articulation at the upper levels.

Catalyst Sites

- 9 Development on catalyst sites (sites greater than 1500 square metres, which may include one or more allotment) should be comprised of medium to high scale residential.
- 10 Small-scale shops, cafés or restaurants on catalyst sites should generally be integrated with residential development and located at ground or first floor level to increase street level activity facing the Park Lands.
- 11 Catalyst sites should be developed to manage the interface with the residential development with regard to intensity of use, overshadowing, massing, building proportions and traffic to minimise impacts on residential amenity.
- 12 Parts of a development on a catalyst site that exceed the prescribed maximum building height that applies to non-catalyst sites should be designed to minimise visual impacts on sensitive uses in the adjoining zones and to maintain the established or desired future character of the area. This may be achieved through a number of techniques such as additional setback, avoiding tall sheer walls, centrally locating taller elements, providing variation of light and shadow through articulation to provide a sense of depth and create visual interest, and the like.
- 13 The scale of development on a catalyst site should respond to its context, particularly the nature of adjacent land uses and the interface treatments required to address impacts on sensitive uses.
- 14 Where there is an apparent conflict between the catalyst site principles and Zone, Policy Area or Council Wide objectives and principles (including the quantitative provisions) the catalyst site principles will take precedence.

South East Policy Area 31

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/56, 57, 62, 63](#) and [Figure SE/1](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Policy Area will be enhanced as an attractive residential locality with a high level of residential amenity. The Policy Area contains a large number of State and Local Heritage Places.

Development will comprise residential buildings that are consistent with the existing palette of primarily street-fronting dwellings (detached, semi-detached and row dwellings) and the prevailing building scale and character. Residential flat buildings may be appropriate where they are developed on larger sites to provide an increase in dwelling density. Further development of land for non-residential uses is limited to land and buildings in non-residential use.

Development will be designed to complement the existing streetscape comprising the more spacious settings on the main east-west streets, Carrington, Halifax and Gilles Streets, and the intimacy of the smaller streets and laneways.

Dwellings will be varied but will be consistent with the prevailing rhythm of buildings and spaces. Infill development will take particular reference from the siting, form and key elements of existing buildings to ensure a highly attractive and compatible streetscape. The predominant building scale and heritage places in the immediate locality will be referenced by new buildings/additions, particularly as they address public streets. Opportunities may be available for carefully composed and sited second and third building levels which are suitably removed from street view, and with limited impact on the low scale setting of such places.

The high quality of landscaping, of both public and private space will provide a high level of pedestrian and cyclist amenity. Vehicle movement will be primarily for local and visitor traffic, with an increasing facilitation of pedestrian and cycling links to both the inner City and Park Lands.

The key development area indicated on [Figure SE/1](#) afford significant opportunities for integrated developments which increase the residential population within the Policy Area. The area will generally be developed for housing, but may include a small amount of non-residential uses sited to support street activation and providing residential amenity is maintained. Development will exemplify quality contemporary design that is generally of greater intensity than its surrounding and will comprise a number of individual buildings in a spacious, well landscaped setting designed to carefully manage the interface with adjacent residential development, particularly with regard to massing, proportions, overshadowing, traffic and noise. High regard is to be had to reflecting each key development areas context, in particular with regard to state and local heritage places, subdivision pattern and movement.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The Policy Area will primarily comprise detached and semi-detached dwellings and residential flat buildings.

Form and Character

- 2 Development should be consistent with the Desired Character for the Policy Area.

Design and Appearance

- 3 The plot ratio should not exceed 0.8, except for the key development area indicated on [Figure SE/1](#).
- 4 The dwelling unit factor of development is 120 square metres, except for the key development area indicated on [Figure SE/1](#).



- Low scale built form to respond to residential context
- Taller built-form located away from street frontage
- Interface from boundary
- State Heritage Place
- Local Heritage Place
- Zone boundary
- Maximum height of 2 storeys

0 metres
50

ADELAIDE (CITY) CARRINGTON STREET (SOUTH) CONCEPT PLAN Fig SE/1

Consolidated - 30 April 2020

- 5 A minimum of 20 percent landscaped open space should be provided on the site of any development.
- 6 Development should not exceed 3 storeys or 11 metres building height except where one of the following applies:
 - (a) within the key development area indicated on [Figure SE/1](#); or
 - (b) within the areas indicated on Policy Area [Maps Adel/56, 57 and 63](#) where development should not exceed 2 storeys.
- 7 Development to a maximum building height of 3 storeys or 11 metres is appropriate where:
 - (a) the scale relationship of the proposed building with neighbouring buildings is satisfactory; and
 - (b) the amenity impacts on adjacent sites acceptable.

except where located on land within the areas indicated on Policy Area [Maps Adel/56, 57 and 63](#), where development up to 2 storeys is appropriate.

Key Development Area

- 8 Development on the key development area indicated on [Figure SE/1](#) should:
 - (a) comprise a wide variety of housing types and tenures. Small scale non-residential development sited to assist activating public realm spaces, in particular Regent Street North, may occur;
 - (b) maintain each key development areas existing role in provision of affordable housing;
 - (c) occur in a coordinated manner with innovative design responses complementary to each areas context and contributing positively to the public realm;
 - (d) be developed in a manner generally consistent with the built form, street character and interface relationships indicated on [Figure SE/1](#);
 - (e) comprise a variety of building forms in a number of separate buildings of between 2 and 8 storeys separated by landscaped open space areas for residents and visitors. The taller building forms are to be located in proximity to the Capital City Zone and City Frame Zone in order to provide an orderly transition from the generally lower scale residential context;
 - (f) incorporate appropriately sited, orientated, scaled and proportioned buildings to street frontages that reflect the historic pattern and rhythm of development in the locality; and
 - (g) contribute to a residential appearance to the street frontages by design treatments and by minimal and shared vehicle access points.

South Central Policy Area 32

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/55, 56, 61 and 62](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Policy Area will provide for medium scale residential development supported by a range of uses that provide valued local services, including shops, offices and consulting rooms, as well as community service and education, that maintain the area's residential amenity. Development will provide an increase in dwelling density in order to increase residential population.

Non-residential land uses such as shops, consulting rooms and offices are appropriate at the ground level of buildings. Education facilities will continue to be established. The Policy Area will gradually provide a shift in dwelling form from detached and semi-detached dwellings to moderately scaled residential flat buildings providing relief in scale from the adjoining Capital City, Main Street and City Frame Zones. Wholesale redevelopment of non-residential sites should be for ground level non-residential and with residential above.

Buildings will have a strong horizontal emphasis with clearly defined and segmented vertical elements. Façades will be well articulated with finer details that contribute positively to the public realm, including modelled façades, verandahs, fenestration and balconies that make use of light and shade.

At street level, visual interest and activity will be enhanced through considered design approaches, including buildings that contribute towards activating the street, by the careful treatment of driveways and access areas, and by avoiding blank walls at street level.

The high quality of landscaping, of both public and private space, will provide the Policy Area a high level of amenity. Vehicle movement within the Policy Area will be primarily for local and visitor traffic, with an increasing promotion of pedestrian and cycling links through the City.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The Policy Area will primarily comprise residential development or mixed use buildings where non-residential development is appropriate at the ground or first floor.

Form and Character

- 2 Development should be consistent with the Desired Character for the Policy Area.

Design and Appearance

- 3 The plot ratio of development should not exceed 2.0.
- 4 Development should not exceed 4 storeys or 14 metres building height except where located within the areas indicated on Policy Area [Maps Adel/56, 57, 61 and 63](#). Development within these areas should not exceed 2 storeys.
- 5 Buildings should have a minimum building height of 2 storeys except where located within the areas indicated on Policy Area [Maps Adel/56, 57, 61 and 63](#).
- 6 A minimum of 10 percent landscaped open space should be provided on the site of any development.

South West Policy Area 33

Introduction

The desired character, objectives and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/54, 55, 60 and 61](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

DESIRED CHARACTER

The Policy Area will continue as a primarily low scale residential environment with an eclectic mix of non-residential land uses interspersed that maintain the area's residential amenity. Development will comprise residential buildings that reinforce the current character, including detached, semi-detached and row dwellings. Residential flat buildings may be appropriate where they are developed on larger sites to provide an increase in dwelling density. Sturt Street will continue as the focus for non-residential activities which serve the needs of the local community.

The Policy Area contains a number of land parcels occupied by non-residential activities that provide the opportunity for integrated developments and opportunities to increase the residential population with contextual and exemplary contemporary design.

Residential development in the form of dwellings will maintain a low scale at street level and will be designed to complement the existing character established by the original, historic dwelling stock. Dwellings will be varied but will be consistent with the prevailing rhythm of buildings and space. Infill development will take particular reference from the siting, form and key elements of existing buildings to ensure a highly attractive and compatible streetscape.

Improved landscaping of both public and private space will enhance amenity for residents and visitors, and also pedestrians and cyclists. Vehicle movement within the Policy Area will be primarily for local and visitor traffic, with an increasing promotion of pedestrian and cycling links to both the inner City and Park Lands.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Development should comprise primarily residential buildings.
- 2 Non-residential development should only be developed where it has a frontage to Sturt Street or is on the site of an existing lawfully established non-residential land use

Form and Character

- 3 Development should be consistent with the Desired Character for the Policy Area.

Design and Appearance

- 4 Development to a maximum building height of 3 storeys or 11 metres is appropriate where:
 - (a) the scale relationship of the proposed building with neighbouring buildings is satisfactory; and
 - (b) the amenity impacts on adjacent sites acceptable

except where located on land within the areas indicated on Policy Area [Maps Adel/56, 57 and 63](#), where development up to 2 storeys is appropriate.

- 5 The plot ratio should not exceed 1.0.
- 6 The dwelling unit factor of development is 100 square metres.
- 7 A minimum of 20 percent landscaped open space should be provided on the site of any development.

CAPITAL CITY ZONE

Introduction

The Desired Character, Objectives and Principles of Development Control that follow apply in the whole of the Capital City Zone shown on [Maps Adel/17 to 20, 23 to 26 and 29 to 31](#). They are additional to those expressed for the whole of the Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desired Character for the Zone.

DESIRED CHARACTER

This Zone is the economic and cultural focus of the State and includes a range of employment, community, educational, tourism and entertainment facilities. It is anticipated that an increased population within the Zone will complement the range of opportunities and experiences provided in the City and increase its vibrancy.

The Zone will be active during the day, evening and late night. Licensed entertainment premises, nightclubs and bars are encouraged throughout the Zone, particularly where they are located above or below ground floor level to maintain street level activation during the day and evening.

High-scale development is envisaged in the Zone with high street walls that frame the streets. However an interesting pedestrian environment and human scale will be created at ground floor levels through careful building articulation and fenestration, frequent openings in building façades, verandahs, balconies, awnings and other features that provide weather protection.

In important pedestrian areas, buildings will be set back at higher levels above the street wall to provide views to the sky and create a comfortable pedestrian environment. In narrow streets and laneways the street setback above the street wall may be relatively shallow or non-existent to create intimate spaces through a greater sense of enclosure. In the Central Business Policy Areas, upper level setbacks are not envisaged.

Non-residential land uses at ground floor level that generate high levels of pedestrian activity such as shops, cafés and restaurants will occur throughout the Zone. Within the Central Business Policy Area, residential land uses at ground level are discouraged. At ground level, development will continue to provide visual interest after hours by being well lit and having no external shutters. Non-residential and / or residential land uses will face the street at the first floor level to contribute to street vibrancy.

New development will achieve high design quality by being:

- (a) **Contextual** – so that it responds to its surroundings, recognises and carefully considers the adjacent built form, and positively contributes to the character of the immediate area.
- (b) **Durable** – by being fit for purpose, adaptable and long lasting, and carefully considers the existing development around it.
- (c) **Inclusive** – by integrating landscape design to optimize pedestrian and cyclist usability, privacy, and equitable access, and also promote the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimize security and safety both internally and into the public realm, for occupants and visitors alike.
- (d) **Sustainable** – by integrating sustainable systems into new buildings and the surrounding landscape design to improve environmental performance and minimise energy consumption.
- (e) **Amenable** – by providing natural light and ventilation to habitable spaces.

Contemporary juxtapositions will provide new settings for heritage places. Innovative design is expected in areas of identified street character with an emphasis on contemporary architecture that responds to site context and broader streetscape, while supporting optimal site development. The addition of height, bulk and massing of new form should be given due consideration in the wider context of the proposed development.

There will also be a rich display of art that is accessible to the public and contextually relevant.

Adelaide's pattern of streets and squares

The distinctive grid pattern of Adelaide will be reinforced through the creation of a series of attractive boulevards as shown on Concept Plan [Figures CC/1 and 2](#). These boulevards will provide a clear sense of arrival into the City and be characterised by buildings that are aligned to the street pattern, particularly at ground level.

Views to important civic landmarks, the Park Lands and the Adelaide Hills will be retained as an important part of the City's charm and character.

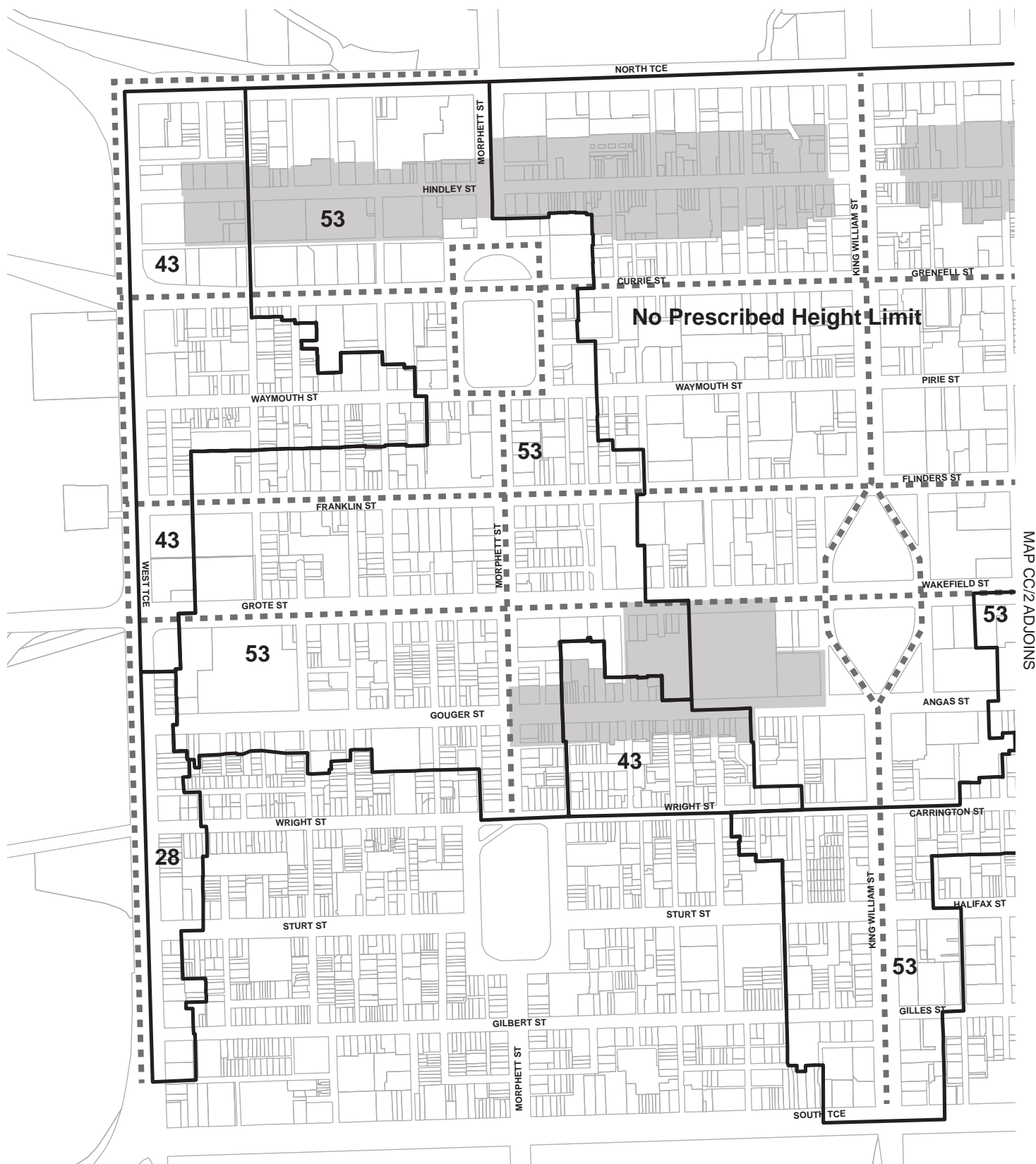
The City's boulevards, terraces and Squares will be developed as follows:

- (a) North Terrace will be reinforced as an important pedestrian promenade and cultural boulevard that provides an important northern edge to the City square mile.
- (b) King William Street will be enhanced as the City's principal north-south boulevard and will be reinforced as the City's commercial spine.
- (c) Grote Street-Wakefield Street will be enhanced as the City's principal east-west boulevard and will be developed to provide a strong frame that presents a sense of enclosure to the street.
- (d) East Terrace will be characterised by buildings that maximise views through to the Park Lands and provide a distinct City edge.
- (e) West Terrace will be reinforced as the western 'gateway' to the City centre and will form an imposing frontage to the western City edge. Buildings will be constructed to the front and side boundaries, and designed to maximise views through to the Park Lands. Corner sites at the junctions of West Terrace and the major east-west streets will be developed as strongly defined visual gateways to the City. This will provide an imposing frontage to the western edge of the City, which comprises a mixture of commercial, showroom and residential development.
- (f) Pulteney and Morphett streets are key north-south boulevards. A sense of activation and enclosure of these streets will be enhanced through mixed use development with a strong built form edge. Pulteney Street will include residential, office and institutional uses, and retail activities. These boulevards will become important tree-lined commercial corridors.
- (g) Currie, Grenfell, Franklin and Flinders streets, as wider east-west boulevards provide important entry points to the City. Currie and Grenfell streets will become a key focus for pedestrians, cycling and public transport. These streets also provide long views to the hills as their closing vistas and these view corridors should remain uncluttered.
- (h) Victoria, Hindmarsh and Light Squares will have a continuous edge of medium to high-scale development that frames the Squares and increases ground level activity.


The Zone also includes a number of Main Street areas, encompassing Rundle Mall, Rundle Street, Hindley Street and Gouger Street, which are envisaged to have a wide range of retail, commercial and community uses that generate high levels of activity. These areas will have an intimately scaled built form with narrow and frequent building frontages. These areas are shown on Concept Plan [Figures CC/1 and 2](#).

Development fronting North Terrace, King William Street, Wakefield Street, Grote Street, the Squares, and in the Main Street Policy Area, will reflect their importance through highly contextual design that reflects and responds to their setting and role.


Minor streets and laneways will have a sense of enclosure (a tall street wall compared to street width) and an intimate, welcoming and comfortable pedestrian environment with buildings sited and composed in a way that responds to the buildings' context. There will be a strong emphasis on ground level activation through frequent window openings, land uses that spill out onto the footpath, and control of wind impacts.



MAP CC/2 ADJOINS

 Maximum Building Height (metres)
within Capital City zoned land
Note: Airport Building Height Restrictions Apply.
Refer Map Adel/1 (Overlay 5).

 City Boulevards and Terraces

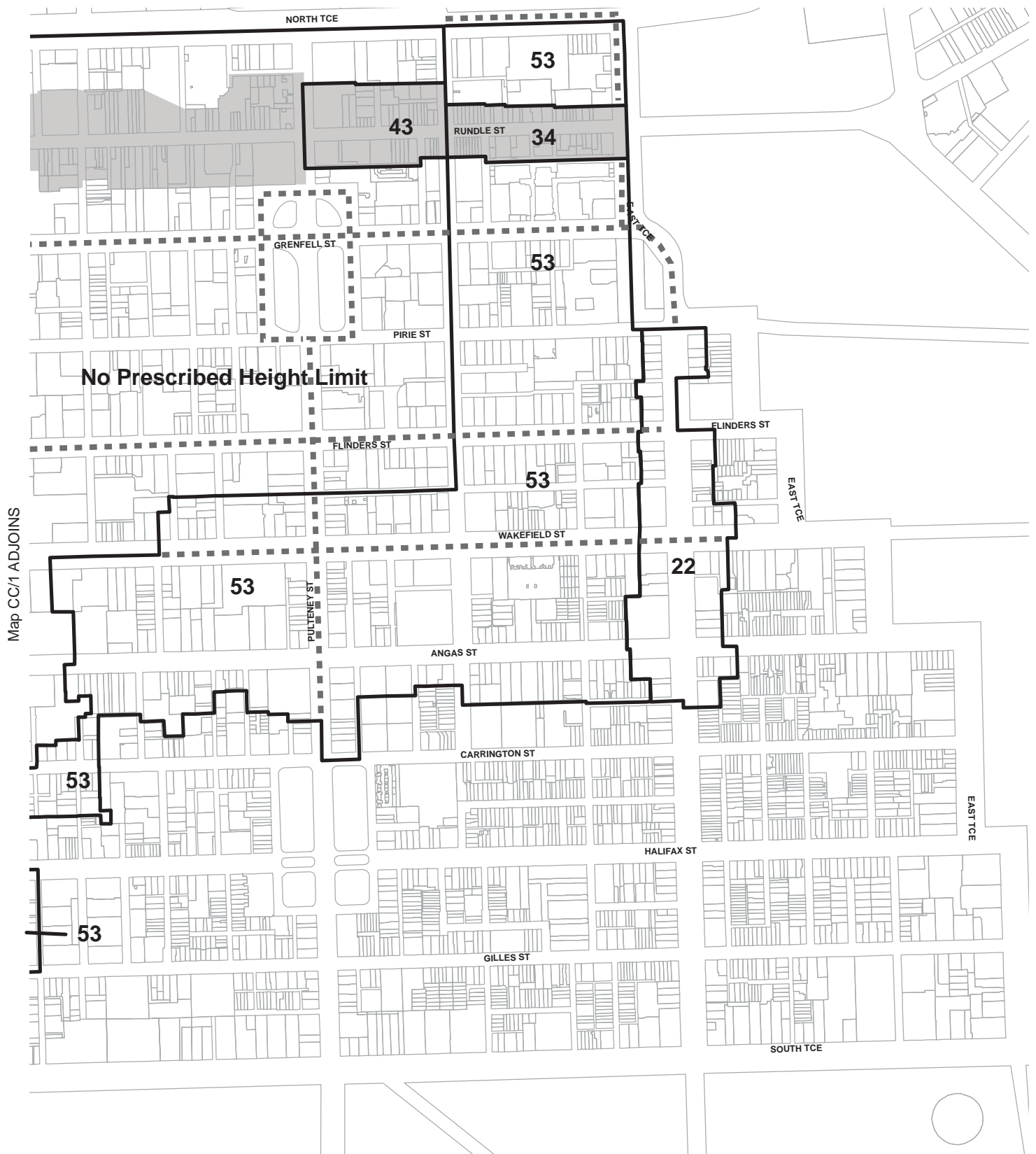
 Policy Areas of a 'Main Street' type




1:8000
0 120 240 360 480 600 metres

ADELAIDE (CITY) BUILDING HEIGHTS Concept Plan Figure CC/1


Consolidated - 30 April 2020



Map CC/1 ADJOINS

 Maximum Building Height (Metres)
within Capital City Zoned land
Note: Airport Building Height Restrictions Apply.
Refer Map Adel/1 (Overlay 5).

 City Boulevards and Terraces

 Policy Areas of a 'main Street' type



1:8000
0 120 240 360 480 600 metres

ADELAIDE (CITY) BUILDING HEIGHTS Concept Plan Figure CC/2

Consolidated - 30 April 2020

Development in minor streets and laneways with a high value character will respond to important character elements and provide a comfortable pedestrian environment, particularly in the following streets: Gray, Leigh, Union, Chesser, Coromandel, Tucker, Cardwell, Kenton, Market, Ruthven, Cannon, Tatham, Bentham streets, Murrays Lane and Wright Court.

A comprehensive, safe and convenient movement network throughout the City will develop, focusing on the provision of linkages on both public and private land between important destinations and public transport. A high quality system of bicycle or shared pedestrian and bicycle routes will be established within the Zone.

OBJECTIVES

General

- Objective 1:** The principal focus for the economic, social and political life of metropolitan Adelaide and the State.
- Objective 2:** A vibrant mix of commercial, retail, professional services, hospitality, entertainment, educational facilities, and medium and high density living.
- Objective 3:** Design and management of City living to ensure the compatibility of residential amenity with the essential commercial and leisure functions of the Zone.
- Objective 4:** City streets that provide a comfortable pedestrian environment.
- Objective 5:** Innovative design approaches and contemporary architecture that respond to a building's context.
- Objective 6:** Buildings that reinforce the gridded layout of Adelaide's streets and respond to the underlying built-form framework of the City.
- Objective 7:** Large sites developed to their full potential while ensuring a cohesive scale of development and responding to a building's context.
- Objective 8:** Development that contributes to the Desired Character of the Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following types of development, or combinations thereof, are envisaged:

- Affordable housing
- Aged persons accommodation
- Community centre
- Consulting room
- Convention centre
- Dwelling
- Educational establishment
- Emergency services facility
- Hospital
- Hotel
- Indoor recreation centre
- Licensed entertainment premises
- Library
- Motel
- Office
- Pre-school
- Personal service establishment
- Place of worship
- Serviced apartment
- Restaurant

Residential flat building
 Student accommodation
 Shop or group of shops
 Tourist accommodation

- 2 Land uses that are typically closed during the day should be designed to maximise daytime and evening activation at street level and be compatible with surrounding land uses, in particular residential development.
- 3 Low impact industries should be located outside the Central Business Policy Area and have minimal off-site impacts with respect to noise, air, water and waste emissions, traffic generation and movement.
- 4 Development listed as non-complying is generally inappropriate.

Form and Character

- 5 Development should be consistent with the Desired Character for the Zone.

Design and Appearance

- 6 Development should be of a high standard of architectural design and finish which is appropriate to the City's role and image as the capital of the State.
- 7 Buildings should achieve a high standard of external appearance by:
 - (a) the use of high quality materials and finishes. This may be achieved through the use of materials such as masonry, natural stone, prefinished materials that minimise staining, discolouring or deterioration, and avoiding painted surfaces particularly above ground level;
 - (b) providing a high degree of visual interest through articulation, avoiding any large blank facades, and incorporating design features within blank walls on side boundaries which have the potential to be built out;
 - (c) ensuring lower levels are well integrated with, and contribute to a vibrant public realm; and
 - (d) ensuring any ground and first floor level car parking elements are sleeved by residential or non-residential land uses (such as shops, offices and consulting rooms) to ensure an activated street frontage.
- 8 Buildings should present an attractive pedestrian-oriented frontage that adds interest and vitality to City streets and laneways.
- 9 The finished ground floor level of buildings should be at grade and/or level with the footpath to provide direct pedestrian access and street level activation.
- 10 Providing footpath widths and street tree growth permit, development should contribute to the comfort of pedestrians through the incorporation of verandahs, balconies, awnings and/or canopies that provide pedestrian shelter.
- 11 Buildings should be positioned regularly on the site and built to the street frontage, except where a setback is required to accommodate outdoor dining or provide a contextual response to a heritage place.
- 12 Buildings should be designed to include a podium/street wall height and upper level setback (in the order of 3-6 metres) that:
 - (a) relates to the scale and context of adjoining built form;
 - (b) provides a human scale at street level;
 - (c) creates a well-defined and continuity of frontage;

- (d) gives emphasis and definition to street corners to clearly define the street grid;
 - (e) contributes to the interest, vitality and security of the pedestrian environment;
 - (f) maintains a sense of openness to the sky for pedestrians and brings daylight to the street;
and
 - (g) achieves pedestrian comfort by minimising micro climatic impacts (particularly shade/shelter, wind tunnelling and downward drafts);
- other than (h) or (i):
- (h) in the Central Business Policy Area;
 - (i) where a lesser (or zero) upper level setback and/or podium height is warranted to correspond with and complement the form of adjacent development, in which case alternative design solutions should be included to achieve a cohesive streetscape, provided parts (b) to (g) are still achieved.

- 13** Buildings north of Rundle Mall, Rundle Street, Hindley Street and Gouger Street should have a built form that incorporates slender tower elements, spaces between buildings or other design techniques that enable sunlight access to the southern footpath.
- 14** Buildings, advertisements, site landscaping, street planting and paving should have an integrated, coordinated appearance and should enhance the urban environment.
- 15** Building façades should be strongly modelled, incorporate a vertical composition which reflects the proportions of existing frontages, and ensure that architectural detailing is consistent around corners and along minor streets and laneways.
- 16** Development that exceeds the maximum building height shown in Concept Plan [Figures CC/1 and 2](#), and meets the relevant quantitative provisions should demonstrate a significantly higher standard of design outcome in relation to qualitative policy provisions including site configuration that acknowledges and responds to the desired future character of an area but that also responds to adjacent conditions (including any special qualities of a locality), pedestrian and cyclist amenity, activation, sustainability, and public realm and streetscape contribution.

The Squares (Victoria, Hindmarsh and Light)

- 17** Outdoor eating and drinking facilities associated with cafés and restaurants are appropriate ground floor uses and should contribute to the vitality of the Squares and create a focus for leisure.
- 18** Buildings fronting the Squares should:
 - (a) provide a comfortable pedestrian and recreation environment by enabling direct sunlight to a minimum of 75 percent of the landscaped part of each Square at the September equinox;
and
 - (b) reinforce the enclosure of the Squares with a continuous built-form with no upper level setbacks.

The Terraces (North, East and West)

- 19** Development along the terraces should contribute to a continuous built form to frame the City edge and activate the Park Lands.
- 20** Development along North Terrace should reinforce the predominant scale and 'City wall' character of the Terrace frontage.

Building Height

- 21** Development should not exceed the maximum building height shown in Concept Plan [Figures CC/1 and 2](#) unless notwithstanding its height, it positively responds to the context that forms the desired future character of the locality, achieves the desired outcomes of the Zone or Policy Area and the envisaged city form expressed in Concept Plan [Figures CC/1 and 2](#); and
- (a) if the development incorporates the retention, conservation and reuse of a building which is a listed heritage place such that it maintains its heritage values or an existing built form and fabric that contributes positively to the desired character of the local area; or
 - (b) only if:
 - (i) at least four of the following are provided:
 - (1) the development provides an orderly transition up to an existing taller building or prescribed maximum building height in an adjacent Zone, or Policy Area or building height area on Concept Plan [Figures CC/1 and 2](#);
 - (2) high quality open space that is universally accessible and is directly connected to, and well integrated with, public realm areas of the street;
 - (3) high quality, safe and secure, universally accessible pedestrian linkages that connect through the development site to the surrounding pedestrian network
 - (4) higher amenity through provision of private open space in excess of minimum requirements by 25 percent for at least 50 percent of dwellings
 - (5) no on-site carparking;
 - (6) active frontages are located on at least 75 percent of the ground floor street fronts of the building
 - (7) the building has frontage to a public road that abuts the Adelaide Park Lands;
 - (8) at least 15 percent of dwellings are affordable housing;
 - (9) the impact on adjacent properties is no greater than a building of the maximum height on Concept Plan [Figures CC/1 and 2](#) in relation to sunlight access and overlooking; and
 - (ii) the building is designed to provide measures that provides for a substantial additional gain in sustainability.
- 22** Development should have optimal height and floor space yields to take advantage of the premium City location and should have a building height no less than half the maximum shown on Concept Plan [Figures CC/1 and 2](#), or 28 metres in the Central Business Policy Area, except where one or more of the following applies:
- (a) a lower building height is necessary to achieve compliance with the Commonwealth Airports (Protection of Airspace) Regulations;
 - (b) the site is adjacent to the City Living Zone or the Adelaide Historic (Conservation) Zone and a lesser building height is required to manage the interface with low-rise residential development;
 - (c) the site is adjacent to a heritage place, or includes a heritage place;
 - (d) the development includes the construction of a building in the same, or substantially the same, position as a building which was demolished, as a result of significant damage caused by an event, within the previous 3 years where the new building has the same, or substantially the same, layout and external appearance as the previous building.

Interface

- 23** Development should manage the interface with the City Living Zone or the Adelaide Historic (Conservation) Zone in relation to building height, overshadowing, massing, building proportions and traffic impacts and should avoid land uses, or intensity of land uses, that adversely affect residential amenity.
- 24** Development on all sites on the southern side of Gouger Street - Angas Street and adjacent to a northern boundary of the City Living Zone or the Adelaide Historic (Conservation) Zone should not exceed 22 metres in building height unless the Council Wide overshadowing Principles of Development Control are met.
- 25** Parts of a development that exceed the prescribed maximum building height shown on Concept Plan [Figures CC/1 and 2](#) that are directly adjacent to the City Living, Main Street (Adelaide) or the Adelaide Historic (Conservation) Zone boundaries should be designed to minimise visual impacts on sensitive uses in the adjoining zones and to maintain the established or desired future character of the area. This may be achieved through a number of techniques such as additional setback, avoiding tall sheer walls, centrally locating taller elements, providing variation of light and shadow through articulation to provide a sense of depth and create visual interest, and the like

Movement

- 26** Pedestrian movement should be based on a network of pedestrian malls, arcades and lanes, linking the surrounding Zones and giving a variety of north-south and east-west links.
- 27** Development should provide pedestrian linkages for safe and convenient movement with arcades and lanes clearly designated and well-lit to encourage pedestrian access to public transport and areas of activity. Blank surfaces, shutters and solid infills lining such routes should be avoided.
- 28** Development should ensure existing through-site and on-street pedestrian links are maintained and new pedestrian links are developed in accordance with [Map Adel/1 \(Overlay 2A\)](#).
- 29** Car parking should be provided in accordance with [Table Adel/7](#).
- 30** Multi-level car parks should locate vehicle access points away from the primary street frontage wherever possible and should not be located:
 - (a) within any of the following areas:
 - (i) the Core Pedestrian Area identified in [Map Adel/1 \(Overlays 2, 2A and 3\)](#)
 - (ii) on frontages to North Terrace, East Terrace, Rundle Street, Hindley Street, Currie Street, Waymouth Street (east of Light Square), Victoria Square or King William Street;
 - (b) where they conflict with existing or projected pedestrian movement and/or activity;
 - (c) where they would cause undue disruption to traffic flow; and
 - (d) where it involves creating new crossovers in North Terrace, Rundle Street, Hindley Street, Currie Street and Waymouth Street (east of Light Square), Grenfell Street and Pirie Street (west of Pulteney Street), Victoria Square, Light Square, Hindmarsh Square, Gawler Place and King William Street or access across primary City access and secondary City access roads identified in [Map Adel/1 \(Overlay 1\)](#).
- 31** Multi-level, non-ancillary car parks are inappropriate within the Core Pedestrian Area as shown on [Map Adel/1 \(Overlays 2, 2A and 3\)](#).
- 32** Vehicle parking spaces and multi-level vehicle parking structures within buildings should:
 - (a) enhance active street frontages by providing land uses such as commercial, retail or other non-car park uses along ground floor street frontages;

- (b) complement the surrounding built form in terms of height, massing and scale; and
- (c) incorporate façade treatments along major street frontages that are sufficiently enclosed and detailed to complement neighbouring buildings consistent with the Desired Character of the locality.

Advertising

- 33** Other than signs along Hindley Street, advertisements should use simple graphics and be restrained in their size, design and colour.
- 34** In minor streets and laneways, a greater diversity of type, shape, numbers and design of advertisements are appropriate provided they are of a small-scale and located to present a consistent message band to pedestrians.
- 35** There should be an overall consistency achieved by advertisements along individual street frontages.
- 36** In Chesser Street, French Street and Coromandel Place advertisements should be small and preferably square and should not be located more than 3.7 metres above natural ground level or an abutting footpath or street. However, advertisements in these streets may be considered above 3.7 metres at locations near the intersections with major streets.
- 37** Advertisements on the Currie Street frontages between Topham Mall and Gilbert Place and its north-south prolongation should be of a size, shape and location complementary to the desired townscape character, with particular regard to the following:
 - (a) On the southern side of Currie Street, advertisements should be fixed with their underside at a common height, except where the architectural detailing of building façades precludes it. At this 'canopy' level advertisements should be of a uniform size and fixed without the support of guy wires. Where architectural detailing permits, advertisements may mark the major entrances to buildings along the southern side of Currie Street with vertical projecting advertisements 1.5 metres high by 1.2 metres wide at, or marginally above, the existing canopy level. Painted wall or window signs should be restrained.
 - (b) On the northern side of Currie Street, advertisements should be of a uniform fixing height and consistent dimensions to match those prevailing in the area.

PROCEDURAL MATTERS

Complying Development

- 38** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following forms of development are assigned as **complying**:

- (a) Other than in relation to a State heritage place, Local heritage place (City Significance), or Local heritage place, work undertaken within a building which does not involve a change of use or affect the external appearance of the building;
- (b) Temporary depot for Council for a period of no more than 3 months where it can be demonstrated that appropriate provision has been made for:
 - (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing of the site.

- (c) Change in the use of land from a non-residential use to an office, shop or consulting room (excluding any retail showroom, adult entertainment premises, adult products and services premises or licensed premises).

Non-complying Development

39 The following kinds of development are **non-complying**:

A change in use of land to any of the following:

Amusement machine centre

Advertisements involving any of the following:

- (a) third party advertising except on Hindley Street, Rundle Mall or on allotments at the intersection of Rundle Street and Pulteney Street, or temporary advertisements on construction sites;
- (b) advertisements located at roof level where the sky or another building forms the background when viewed from ground level;
- (c) advertisements in the area bounded by West Terrace, Grote Street, Franklin Street and Gray Street;
- (d) animation of advertisements along and adjacent to the North Terrace, King William Street and Victoria Square frontages.

Total demolition of a State Heritage Place (as identified in [Table Adel/1](#)).

Vehicle parking except:

- (a) where it is ancillary to an approved or existing use;
- (b) it is a multi-level car park located outside the Core Pedestrian Area as indicated on [Map Adel/1 \(Overlay 2, 2A and 3\)](#); or
- (c) it is within an existing building located outside the Core Pedestrian Area as indicated on [Map Adel/1 \(Overlay 2, 2A and 3\)](#).

Public Notification

40 Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

In addition, the following forms of development, or any combination of (except where the development is non-complying), are assigned:

- (a) **Category 1**, public notification not required:

All forms of development other than where it is assigned Category 2.

- (b) **Category 2**, public notification required. Third parties do not have any appeal rights.

Any development where the site of the development is adjacent land to land in the City Living Zone or Adelaide Historic (Conservation) Zone and it exceeds 22 metres in building height.

Note: For Category 3 development, public notification is required. Third parties may make written representations, appear before the relevant authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

Central Business Policy Area 13

Introduction

The Objectives and Principles of Development Control that follow apply to the Policy Area as shown on [Maps Adel/49, 50, 55 and 56](#). They are additional to those expressed for the Zone and, in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desired Character for the Policy Area.

DESIRED CHARACTER

The Central Business Policy Area is the pre-eminent economic, governance and cultural hub for the State. This role will be supported by educational, hospitality and entertainment activities and increased opportunities for residential, student and tourist accommodation.

Buildings will exhibit innovative design approaches and produce stylish and evocative architecture, including tall and imposing buildings that provide a hard edge to the street and are of the highest design quality. A wide variety of design outcomes of enduring appeal are expected. Complementary and harmonious buildings in individual streets will create localised character and legible differences between streets, founded on the existing activity focus, building and settlement patterns, and street widths.

OBJECTIVES

- Objective 1:** A concentration of employment, governance, entertainment and residential land uses that form the heart of the City and central place for the State.
- Objective 2:** Development of a high standard of design and external appearance that integrates with the public realm.
- Objective 3:** Development that contributes to the Desired Character of the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1** Development should contribute to the area's role and function as the State's premier business district, having the highest concentration of office, retail, mixed business, cultural, public administration, hospitality, educational and tourist activities.
- 2** Buildings should be of a height that ensures airport operational safety is not adversely affected.
- 3** To enable an activated street level, residential development or similar should be located above ground floor level.

Main Street Policy Area 14

Introduction

The Objectives and Principles of Development Control that follow apply to the Policy Area as shown on [Maps Adel/48, 49, 50, 51 and 55](#). They are additional to those expressed for the Zone and, in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desired Character for the Policy Area.

DESIRED CHARACTER

Main streets provide an important shopping, hospitality and gathering place that are a vital part of the City's identity and image.

An atmosphere of bustle, excitement and activity is created by a vibrant mixture of land uses that support a strong retail base and a continuing program of on-street arts and activities. Activities including retail, restaurants, cafés and licensed premises will contribute to the day and evening economies and be managed to ensure a positive contribution to the character of the precinct. Licensed entertainment premises, nightclubs and bars will contribute to activation during the day and evening by generally being small in scale and located above or below ground floor level.

Development will abut the footpath and continue the established width, rhythm and pattern of façades to generally support a variety of tenancies with narrow frontages. Horizontally massed buildings will be broken into smaller façade elements. Above street level fenestration, balconies, parapets, architectural detailing and ornamentation will be used to contribute to a rich visual texture.

Upper levels of buildings are to be recessed behind a moderately scaled building street wall to maintain a sense of spaciousness and openness to the sky. At lower levels, the continuity of verandahs and other canopies or pedestrian shelters, and ceiling heights is desired to maintain a sheltered, high amenity pedestrian environment at a human scale.

Rundle Street

Rundle Street is a main street characterised by generally consistent built form and heritage buildings that will be retained and where possible enhanced. Development will be consistent with the intimate scale and intricate and diverse architectural features of Rundle Street and will reinforce the existing two and three storey built scale. This is derived from buildings of relatively uniform height and scale, mostly built in the nineteenth and early twentieth century. Any new development will be carefully designed so that the historic main street character is retained and where possible enhanced.

Existing façades typically encompass a high proportion of solid to void and a high level of architectural detail (including ornamentation and fenestration and through a combination of materials).

Horizontal emphasis is achieved through the integration of masonry coursing, parapets, verandahs and balconies. The subtle variety of scale and massing adds texture to the streetscape.

Upper levels of buildings will be well-articulated and utilise architectural expressions that result in reduced visual mass, and carefully scaled to avoid overbearing height. Podium elements will be utilised to reconcile the scale relationships between the taller elements and the existing streetscape.

Rundle Mall

Rundle Mall will be enhanced as Adelaide's premier retail area incorporating a wide range of specialty and larger scale shops and mixed business. Rundle Mall will continue to grow and evolve in response to the needs of the retail and business sectors and the wider public, and enhance its iconic reputation as an important public space for a range of retail, business and cultural purposes. A range of activities will contribute to the day and evening economies.

Rundle Mall offers a strong and unique character and sense of place, established by a pedestrian space framed by a long enclosure of visual interest and vitality which is reached with a sense of arrival from King William Street and Pulteney Street and the adjoining minor streets, arcades and laneways.

Hindley Street

Hindley Street (east of Morphett Street) will be the City's focus for late night entertainment and will be carefully designed and managed to integrate effectively with day time and evening land use activities.

Hindley Street (west of Morphett Street) will comprise a range of mixed business, educational, cultural, hospitality and retail activities. Activities, including licensed premises, will contribute to the day and evening economies.

The refurbishment of nineteenth century buildings in Hindley Street will be complemented by sensitive new development and will provide a colourful and cohesive character and intimate, human scale.

Gouger Street

Gouger Street will be characterised by a mix of retail, restaurant, commercial and mixed business uses, including professional services, wholesaling and community activities. Activities including restaurants, cafés and licensed premises will contribute to the vibrancy of the street during the day and evening.

Gouger and Grote streets will continue to develop as a colourful and active restaurant and shopping precinct which complements the liveliness of the Central Market and supports the retail, community, cultural and legal functions in this part of the City. 'Chinatown' around Moonta Street will be reinforced, and opportunities for new precincts, such as in minor streets and lanes, established.

OBJECTIVES

- Objective 1:** Rundle Street enhanced as an important shopping, leisure and gathering place for metropolitan Adelaide.
- Objective 2:** Rundle Mall enhanced as the State's premier shopping destination around an attractive public space.
- Objective 3:** Hindley Street (east of Morphett Street) as the pre-eminent evening and late night entertainment hub for metropolitan Adelaide, with complementary shopping, hospitality and mixed business together with high density living.
- Objective 4:** Hindley Street (west of Morphett Street) reinforced as a main street with a mix of retail, educational, restaurant and business uses, together with high density living.
- Objective 5:** Gouger Street reinforced as a colourful, intimate and active restaurant and shopping street which complements the vibrancy of the Central Market and supports the retail, community and cultural functions of the area.
- Objective 6:** Development that contributes to the Desired Character of the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1** At ground level along any main street (including Rundle Mall) and in minor streets leading to them, development should provide active and vibrant frontages that contribute to continuous interest at street level.
- 2** Land uses that add to the vitality of the area and extend activities outside shop hours are envisaged, including restaurants; educational, community and cultural facilities; and visitor and residential accommodation.
- 3** To enable an activated street level, residential development or similar should be located above ground floor level.
- 4** Licensed entertainment premises, night clubs or bars should contribute to activation during the day and evening by generally being small in scale and located above or below ground floor level.

Design and Appearance

- 5** The ground level street frontage of buildings should be designed as activate street frontages, provide pedestrian interest, and maximise passive surveillance by:
 - (a) providing at least 70 percent of the frontage as a non-residential use; and
 - (b) 50 percent of the frontage as visually permeable, transparent or clear glazed and may include an entry/foyer or display window to a shop (including a café or restaurant).

Form and Character

- 6 Development should conserve, enhance and complement the colourful and visually rich and intimate character of the area.
- 7 Development should include a variety of architectural expression and finishes compatible with the many existing older buildings. Verandahs, balconies, awnings and parapets should be designed to complement those existing.
- 8 Development should strengthen the established character of narrow building frontage widths, vertical massing and above street level fenestrations, balconies, parapets, architectural detailing and ornamentation.
- 9 Buildings with frontage to Gouger Street, Hindley Street or Rundle Street, west of Frome Street, should be designed to:
 - (a) reinforce the prevailing datum heights and parapet levels of the street through design elements that provide a clear distinction between levels above and below the prevailing datum line; and
 - (b) include a maximum podium/street wall height in the order of six storeys, with an upper level setback, measured from the street wall in the order of 3 metres.
- 10 Buildings with frontage to Rundle Mall should have a maximum podium/street wall height of 6 storeys with upper building levels set back from the street in the order of 3 metres.
- 11 Buildings with frontage to Rundle Street, east of Frome Street should be designed to reinforce the prevailing datum heights and parapet levels of the street through:
 - (a) a maximum podium/street wall height that is consistent with one of the adjacent buildings facing the street and does not exceed 13 metres;
 - (b) an upper level setback, measured from the street wall, of at least 3 metres stepping up to a height of 6 storeys, then a further setback of at least 3 metres stepping up to the maximum overall height shown on Concept Plan [Figures CC/1 and 2](#); and
 - (c) design elements that create a clear distinction between the 13 metre and 22 metre datum lines.
- 12 Development of both internal and external spaces on Rundle Street should maintain an environment which is intimately scaled, intricate and diverse.

Movement

- 13 Additional vehicle cross-overs to provide access should be avoided in Hindley Street, Bank Street and Leigh Street. Access for on-site servicing and deliveries should be from minor streets and private lanes wherever possible, rather than from Rundle Mall.
- 14 Pedestrian movement should be based on a network of pedestrian malls, arcades and lanes, linking the surrounding areas and giving a variety of north to south routes to Rundle Mall and east to west links for people moving between buildings.

MIXED USE (INNOVATION) ZONE

Introduction

The desired character, objectives and principles of development control that follow apply in the whole of the Mixed Use (Innovation) Zone shown on [Maps Adel/14, 19, 45 and 50](#) and [Figure MU\(1\)/4](#). They are additional to those expressed for the whole of the Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desired Character for the Zone.

DESIRED CHARACTER

The Zone will develop as a mixed use precinct that demonstrates innovation, high quality contemporary buildings and public spaces and that provide significant social, environmental and economic benefits to the State. It will primarily accommodate a range of commercial, educational and research activities and cultural activities, together with small scale retail, entertainment and hospitality activities to support workers and visitors in an environment that is safe, attractive and accessible throughout the day and night.

The Zone will extend and strengthen the cultural boulevard of North Terrace and be respectful of the heritage buildings and park land setting in accordance with Concept Plan [Figure MU\(1\)/1](#). The built form will transition from the tallest buildings in the Innovation Centre and along Frome Road, and scale downwards to the Adelaide Park Lands and the Adelaide Botanic Garden, where smaller building footprints integrate with increased open space.

Buildings, open space and infrastructure will be integrated to deliver high standards of sustainability and management of natural resources. The zone will be pedestrian focused with strong connections throughout the site and to adjacent destinations.

OBJECTIVE

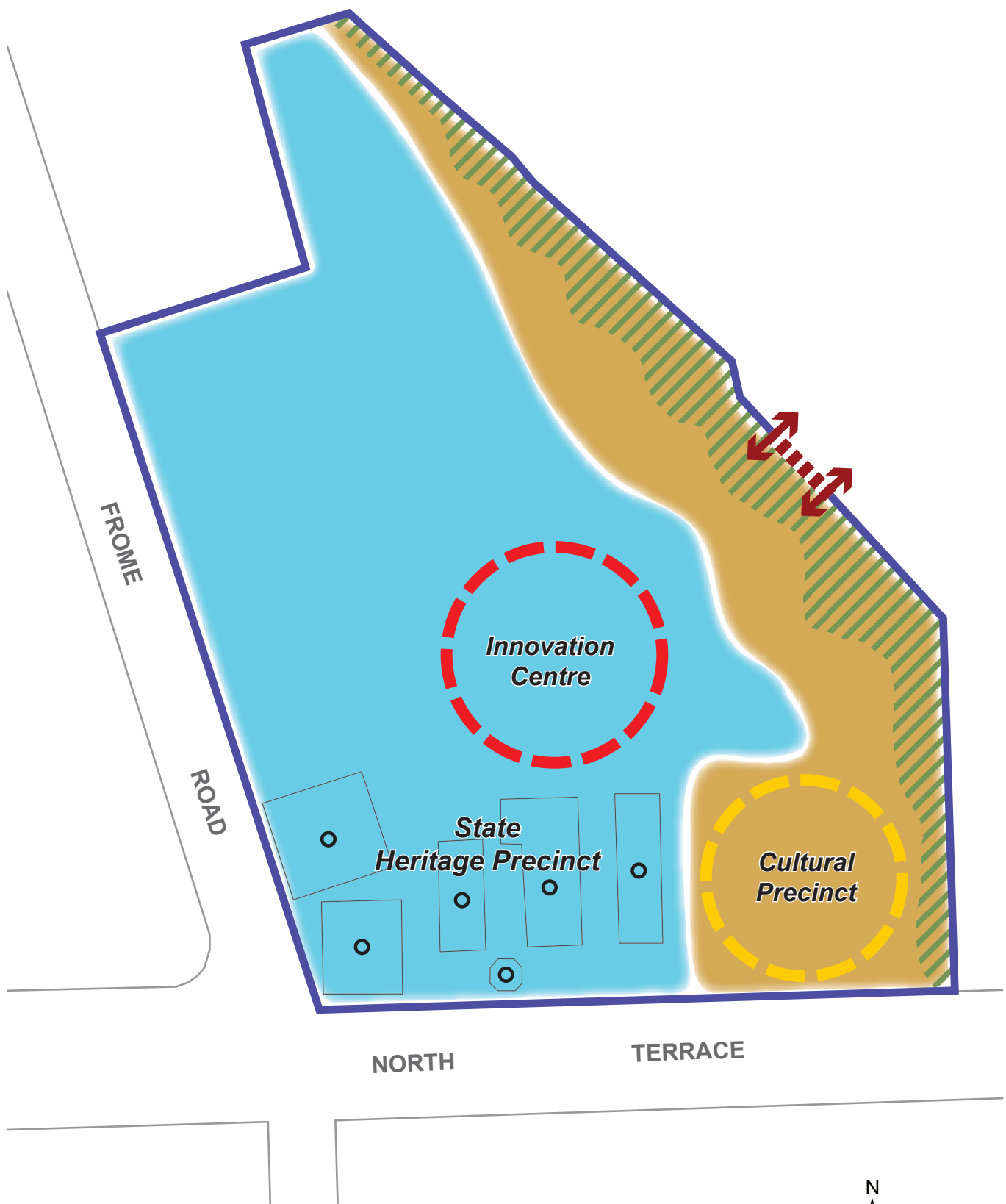
- Objective 1:** A mixed use precinct that demonstrates innovation, high quality contemporary buildings and public spaces and that provide significant social, environmental and economic benefits to the State.
- Objective 2:** A synergistic mix of innovative commercial, educational and research supported by compatible employment generating land uses.
- Objective 3:** A Zone that is characterised by extensive, high quality landscaping and large, diverse areas of publicly accessible open space that is complementary to the Adelaide Botanic Garden and setting of North Terrace.
- Objective 4:** A Zone permeated by a network of pedestrian and cycleways that link to adjoining precincts and destinations.
- Objective 5:** Development that contributes to the Desired Character of the Zone.







PRINCIPLES OF DEVELOPMENT CONTROL

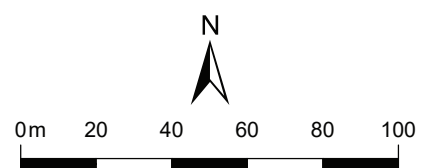
Form of Development

- 1 The following types of development, of combinations thereof, are envisaged:

- Child care
- Community centre
- Convention facilities
- Cultural facility, including museum and art gallery
- Educational establishment
- Hotel
- Indoor recreation centre
- Licensed entertainment premises



-  Concept Plan Boundary
-  Business and Innovation
-  Public Space
-  State Heritage Place
-  Adelaide Parklands Trail
-  Botanic Garden Gateway



ADELAIDE (CITY) **MIXED USE (INNOVATION) ZONE** **CONCEPT PLAN**

Fig MU(I)/1
 Consolidated - 30 April 2020

Library
Office
Personal service establishment
Restaurant
Shop or group of shops
Tourist accommodation.

- 2 Development listed as non-complying is generally inappropriate.

Form and Character

- 3 Development should be consistent with the Desired Character for the Zone.
- 4 Development should be undertaken in accordance with Concept Plan [Figure MU\(1\)/1](#) to ensure the delivery of desired outcomes in a coordinated and optimal format.

Development Intensity

- 5 Development of innovative commercial, education and research activities supported by a mix of compatible employment generating land uses.
- 6 Small scale retail development to meet the day to day needs of workers and visitors to the precinct.
- 7 Shops should not exceed 250 square metres total gross leasable floor area, except where ancillary to a primary land use.
- 8 A range of small to medium scale services and facilities serving the area such as child care facilities, personal service establishment, tourist accommodation and the like.
- 9 Child care facilities, hotels, licensed entertainment premises, personal services establishments and tourism accommodation may be established as secondary uses on the site where of a lesser scale and prominence.
- 10 Development should reinforce the grand boulevard character of North Terrace by reflecting the patterns of landscaped spaces and built form, building proportions and scale.
- 11 Development should be of a high standard of architectural design and provide an innovative response to the unique context of the site.
- 12 The layout and design of public open space should support a range of active and passive uses and incorporate deep-soil plantings and soft landscaping to provide significant areas of natural shade and permeable ground surfaces.
- 13 Development should contribute to the comfort of pedestrians through the incorporation of verandahs, balconies, awnings and/or canopies that provide pedestrian shelter.
- 14 Development should:
- (a) contribute to the activation of the public realm by presenting an attractive pedestrian-oriented frontage at ground level that adds interest and vibrancy;
 - (b) balance open space, built form and design to ensure access to sunlight in the public realm, particularly plaza areas during spring and autumn; and
 - (c) provide a clear sense of address to each building.
- 15 Outdoor eating and drinking facilities associated with cafés and restaurants are appropriate ground floor uses and should contribute to the vitality of the Zone.

- 16 Buildings in proximity to the Adelaide Botanic Garden or Park Lands should seek to create view corridors to and from the Botanic Garden.
- 17 Buildings in proximity to the Adelaide Botanic Garden or Park Lands should seek to minimise impacts on plant collections as a result of overshadowing, stormwater runoff, heat, light or wind direction.
- 18 The finished ground floor level of buildings should be at grade and/or level with the footpath to provide direct pedestrian access and street level activation.
- 19 Development should provide a safe night-time environment along streetscapes, pedestrian and cycle paths and building surrounds by the arrangement of buildings and active building frontages that enhance casual surveillance and provide appropriate lighting and clear lines of sight.

Building Height

- 20 Building heights should provide an orderly transition scaling down towards the Adelaide Botanic Garden and Park Lands and scaling up to reference buildings facing North Terrace and Frome Road.
- 21 Buildings should not exceed 15 buildings levels or 53 metres in height above natural ground level (excluding rooftop gardens and infrastructure services), except for a building located in the Innovation Centre (as identified on Concept Plan [Figure MU\(I\)/1](#)).
- 22 Buildings located in the Innovation Centre (as identified on Concept Plan [Figure MU\(I\)/1](#)) may exceed 15 building levels or 53 metres above natural ground level in height, only where:
 - (a) exemplary standards of architectural merit and environmental sustainability are met;
 - (b) the building positively contributes to the quality and function of the urban fabric of the precinct overall;
 - (c) overshadowing impacts on the Adelaide Botanic Garden are minimised;
 - (d) and at least four of the following are provided:
 - (i) high quality open space that is universally accessible and is directly connected to, and well integrated with, public realm areas of the street;
 - (ii) high quality, safe and secure, universally accessible pedestrian linkages that connect through the development site to the surrounding pedestrian network;
 - (iii) no on-site car parking;
 - (iv) active frontages are located on at least 75 percent of the ground floor street fronts of the building; or
 - (v) the building is designed to provide measures that provides for a substantial additional gain in sustainability.

Movement

- 23 Movement patterns should be focused on the provision of high quality and high amenity pedestrian and cycling infrastructure over vehicular accessibility
- 24 Pedestrian and cycle movement should be based on a network of pathways linking the surrounding zones and giving a variety of north-south and east-west links as shown in Concept Plan [Figure MU\(I\)/1](#).

- 25** Development should incorporate the connection of the Adelaide Park Lands Trail between the Park Lands and North Terrace within the area identified as Public Space and Park Lands Trail on Concept Plan [Figure MU\(I\)/1](#) and should:
- (a) provide a safe, welcoming, connected and convenient experience for people walking and cycling;
 - (b) support interaction with the variety of Park Lands landscapes and activities, including a high amenity interface with the Adelaide Botanic Gardens and buildings within the cultural precinct;
 - (c) creates a natural Park Lands experience that blends the edge between the site and Botanic Garden; and
 - (d) minimise the length of the trail adjacent to a public road.
- 26** Any free-standing form of pedestrian shelter should be designed as an integral part of open space and landscaping.

Parking

- 27** Bicycle parking should be provided in accordance with [Table Adel/6](#) and be conveniently located for users.
- 28** Where parking for multiple cars is provided, it should meet all the following criteria:
- (a) not be located at ground floor street frontages or detract from the provision of active street frontages;
 - (b) minimise the extent of parking that is visible from public areas to that which is required for emergency service vehicles, temporary event parking and set down (drop off) functions;
 - (c) incorporate façade treatments where located along major street frontages or interfacing with the Park Lands or Botanic Garden, with the built form sufficiently enclosed and detailed to complement neighbouring buildings and screen vehicle parking from view from public areas and other buildings; and
 - (d) be comprehensively integrated with high quality landscaping that includes large trees.

Open Space

- 29** Open space provision should:
- (a) be coordinated to provide a variety of pleasant, cohesive, hard and soft, high quality landscaped spaces among and adjacent to buildings;
 - (b) provide a range of spaces suitable for group meetings and social activities and also for quiet retreat and relaxation;
 - (c) incorporate planting themes defined by a mix of exotic and Australian native plantings, lawns and garden beds;
 - (d) incorporate extensive deep soil zones for medium to large trees;
 - (e) incorporate extensive landscaped spaces with pedestrian/cycle links between them, with trees and other plantings to create pleasant environments and soften the built form;
 - (f) provide landscaping and pedestrian links to the Adelaide Botanic Garden, North Terrace, Frome Road and the northern Park Lands Zone;

- (g) ensure public art, canopies, verandahs, lighting, signage, street furniture and infrastructure are incorporated and designed in a cohesive manner.
- 30 Temporary stands and facilities are appropriate in association with special events where they will not result in permanent damage to the surfaces or character of the Open Space areas.
- 31 Restriction of access to the Adelaide Botanic Garden should primarily be achieved by use of design elements or landscaping treatments that integrate with the open space setting such as water features and variation of natural ground level.
- 32 Use of permanent fencing should be avoided unless it is visually transparent/open style and custom designed to a high architectural standard fitting for its context, ensuring high visibility to and through the Area.
- 33 Development to the east of the State Heritage Precinct, as shown on Concept Plan [Figure MU\(1\)/1](#), should:
 - (a) result in an open park like setting complementary to the Adelaide Botanic Garden;
 - (b) be carefully managed to sensitively balance the interaction between the built, natural and landscaped environment, recognising its interaction with surrounding uses such as the Adelaide Zoo, Adelaide Botanic Garden and the Adelaide Park Lands;
 - (c) minimise uses or activities which would alienate the area from public usage;
 - (d) provide opportunities for tourism, education, research, informal recreation and cultural enjoyment;
 - (e) improve pedestrian links through the area, and improve the public realm and use and enjoyment of the Adelaide Park Lands; and
 - (f) provide greater exposure and accessibility for the Adelaide Botanic Garden and North Terrace frontage.

Advertising

- 34 Advertisements should use simple graphics and be restrained in their size, design and colour.
- 35 In minor streets and laneways, a greater diversity of type, shape, numbers and design of advertisements are appropriate provided they are of a small-scale and located to present a consistent message band to pedestrians.
- 36 There should be an overall consistency achieved by advertisements along individual street frontages.

Complying Development

- 37 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following forms of development are assigned as **complying**:

- (a) Other than in relation to a State heritage place, Local heritage place (City Significance), or Local heritage place, work undertaken within a building which does not involve a change of use or affect the external appearance of the building;
- (b) Temporary depot for Council for a period of no more than 3 months where it can be demonstrated that appropriate provision has been made for:
 - (i) dust control;
 - (ii) screening, including landscaping;

- (iii) containment of litter and water; and
- (iv) securing of the site.
- (c) Change in the use of land from a non-residential use to an office, shop or consulting room (excluding any retail showroom, adult entertainment premises, adult products and services premises or licensed premises).

Non-complying Development

38 The following kinds of development are non-complying:

A change in use of land to any of the following:

Amusement machine centre

Advertisements involving any of the following:

- (a) third party advertising except or temporary advertisements on construction sites;
- (b) advertisements located at roof level where the sky or another building forms the background when viewed from ground level;

Dwelling or group of dwellings

Residential flat building

Total demolition of a State Heritage Place (as identified in [Table Adel/1](#))

Vehicle parking except where it is ancillary to an approved or existing use

Public Notification

39 Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

In addition, the following forms of development, or any combination of (except where the development is non-complying), are assigned:

Category 1, public notification not required:

All forms of development other than where it is assigned Category 2.

Category 2, public notification required. Third parties do not have any appeal rights.

Note: For Category 3 development, public notification is required. Third parties may make written representations, appear before the relevant authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

MAIN STREET (O'CONNELL) ZONE

Introduction

The Desired Character, Objective and Principles of Development Control that follow apply to the Main Street (O'Connell) Zone shown on [Map Adel/8](#) and [Figure MS\(O\)/1](#). They are additional to those expressed for the whole of Council area and, in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desired Character for the Zone.

DESIRED CHARACTER

The Zone will be enhanced as the main focus for retailing, commercial, entertainment, and community activities, restaurants, cafés and tourist accommodation in North Adelaide and the surrounding suburbs. Development will reinforce the Zone's role providing services to the local community and with a distinctive traditional main street character and amenity. Whilst medium scale development is desirable throughout the Zone, higher built form is envisaged on integrated development sites, including the North Adelaide Village and in the area south of Tynte Street.

Uses that generate a high frequency of pedestrian activity and activate the street such as shops, restaurants and cafés will be located on the ground floor. Active street frontages will be promoted through a high proportion of display windows and frequent pedestrian entrances. The mix of complementary land uses will extend activity into the evening to enhance the vibrancy and safety of the area and provide visual interest after hours, including by having no external shutters. Residential development above ground level is envisaged.

Development will complement the closely developed historic commercial built form and its visual character by including a strong built form edge to O'Connell Street. Development will acknowledge the low-rise horizontal massing of built form which is established by the continuity of parapets, verandahs and balconies with podium elements on the street frontage and setbacks at higher levels.

Streetscape character is associated with the prominent and richly detailed heritage places such as those on the north-western corner of O'Connell and Tynte streets, and with related groups of late nineteenth and early twentieth century residential and commercial buildings. The podium elements will incorporate vertical proportions and high solid to void ratios in the composition of façades. The ground floors of buildings will abut the footpath and continue the established width, rhythm and pattern of façades to support a variety of tenancies with narrow frontages.

Development on corner sites should include buildings that present a strong built form edge to the secondary street boundary.

The Zone will retain a high degree of vehicle accessibility, with O'Connell Street continuing as a major traffic and public transport route, with priority given to public transport. Safe and convenient pedestrian and cycle movement to and through the Zone will be provided. Formal avenue plantings of street trees and attractive paving and street furniture will continue to enhance the sense of place and amenity.

The impacts of development will be carefully managed to ensure the enhancement of amenity for residential development within the Zone and in adjacent Zones to ensure the achievement of a high-quality residential living environment.

Catalyst sites provide opportunities for integrated developments on large sites to assist in the transformation of a locality. Such developments will facilitate an increase in the residential population of the City, while also activating the public realm and creating a vibrant main street feel. A range of land uses will be provided that add to the range of local employment opportunities and the availability of service and shopping facilities within the main street.

Developments on catalyst sites will exemplify quality and contemporary design that is generally greater in intensity than their surroundings. However, development will be designed to carefully manage the interface with sensitive uses in the North Adelaide Historic (Conservation) Zone, particularly with regard to massing, proportions, overshadowing, and traffic and noise related impacts.



- Indicative location up to 4 storeys
- Indicative location up to 6 storeys
- Interface with North Adelaide Historic (Conservation) Zone
- Zone Boundary
- Indicative east-west pedestrian link
- State Heritage Place
- Local Heritage Place
- Significant Tree

Note: Catalyst Site policies apply

Scale 1:4150
0metres 100 200 300



ADELAIDE (CITY) **O'CONNELL STREET** **CONCEPT PLAN** **Fig MS(O)/1**

Consolidated - 30 April 2020

OBJECTIVES

- Objective 1:** A shopping, commercial and entertainment main street supported by medium and high density residential development.
- Objective 2:** A visually interesting streetscape with buildings having a high level of fenestration and detail, and balconies oriented towards the street.
- Objective 3:** An intimate public realm with active frontages created by buildings designed with frequently repeated forms and narrow tenancy footprints.
- Objective 4:** An interesting and varied skyline as viewed from the street and afar, provided by modulation in roof forms and/or the use of parapets.
- Objective 5:** Development that contributes to the Desired Character of the Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following types of development, or combinations thereof, are envisaged in the Zone:
 - Affordable housing
 - Aged persons accommodation
 - Community centre
 - Consulting room
 - Dwelling
 - Educational establishment
 - Licensed premises
 - Office
 - Pre-school
 - Residential flat building
 - Restaurant
 - Retirement village
 - Shop or group of shops
 - Supported accommodation
 - Tourist accommodation.
- 2 A mix of land uses should exist which provide services to the local community.
- 3 Outdoor eating and drinking facilities in association with cafés, restaurants and licensed premises are appropriate along O'Connell Street and may also be appropriate elsewhere provided they minimal impact on the high level of residential amenity.
- 4 Licensed entertainment premises, nightclubs or bars should be secondary to the primary land use mix and not be located on the ground floor of the primary street frontage to enable daytime activation.
- 5 Development listed as non-complying is generally inappropriate.

Form and Character

- 6 Development should be consistent with the Desired Character for the Zone.
- 7 Development should be in accordance with Concept Plan [Figure MS\(O\)/1](#).
- 8 Development should ensure a high quality living environment is achieved for residential development within the Zone and in the adjacent North Adelaide Historic (Conservation) Zone.

Design and Appearance

- 9 Development should enhance the cohesive streetscapes along O'Connell, Ward and Archer streets through built form massing and frontage proportions consistent with the Zone's traditional commercial architecture.
- 10 Buildings should:
 - (a) complement the streetscape character with regard to scale, massing, siting, composition, architectural detailing, materials and colour;
 - (b) be modelled and incorporate design elements such as verandahs and balconies, decoration and ornamentation;
 - (c) exhibit a high proportion of solid to void in the composition of façades above verandah or awning level of the podium element;
 - (d) incorporate pedestrian shelters along O'Connell Street and other major street frontages;
 - (e) maintain or re-establish the continuity of low-scale buildings situated close to or abutting the major streets;
 - (f) on corner sites of the major streets reinforce the townscape importance of these sites with appropriately scaled buildings abutting the street frontages.
- 11 The street wall height of buildings fronting O'Connell Street should be designed to reinforce the prevailing datum heights and parapet levels of the street through design elements that reflect the street wall heights of adjacent buildings and provide a clear distinction between the levels below and above the prevailing datum line.
- 12 The continuity of parapets, verandahs and balconies should emphasise the horizontality of the townscape. Podium elements should maintain the horizontal massing of built form while incorporating vertical proportions in the composition of façades.
- 13 Long, blank façades which are unsympathetic to the established streetscape in terms of scale, design and architectural character are inappropriate.
- 14 The frontages to O'Connell Street at ground floor level should be composed of display windows, doors and openings and should avoid blank surfaces and solid infills. A variety of building materials and colour should be allowed but the use of black or very bright colours should be minimised.
- 15 In relation to the land area bound by O'Connell, Tynte, Archer and Centenary streets, development should:
 - (a) ensure that the frontage to O'Connell Street is the most active frontage by having multiple shops, restaurants and the like opening up to, and having a high level of interaction with, pedestrian activity along the O'Connell Street footpath area;
 - (b) not unreasonably detract from the high quality residential amenity of the residential area east of Centenary Street; and
 - (c) incorporate an east-west pedestrian link through the land area.

Setbacks

- 16 Buildings (excluding verandahs, porticos and the like) on O'Connell Street should be built to the primary road frontage.

- 17 There is no minimum setback required from a rear access way where the access way is wider than 6.5 metres. Where the access way is less than 6.5 metres in width, a setback distance equal to the additional width required to make the access way 6.5 metres or more, is required to provide adequate manoeuvrability for vehicles.

Building Height

- 18 Except on sites greater than 1500 square metres in area (which may include one or more allotment), development may be built to the following maximum building height:

- (a) 14 metres – north of Tynte Street; or
- (b) 22 metres – south of Tynte Street.

- 19 Buildings should have a minimum building height in accordance with the following:

- (a) 2 storeys – north of Tynte Street; or
- (b) 3 storeys – south of Tynte Street.

Catalyst Sites

- 20 Development on catalyst sites (sites greater than 1500 square metres, which may include one or more allotment) should be comprised of medium to high scale residential development that is carefully integrated with non-residential development.
- 21 Catalyst sites should be developed to manage the interface with the North Adelaide Historic (Conservation) Zone with regard to intensity of use, overshadowing, massing, building proportions and traffic to minimise impacts on residential amenity.
- 22 Catalyst sites should contribute to the vibrancy of the main street through building designs that:
- (a) include a mix of land uses that create activity and overlooking of the street, particularly at the ground level and the first floor;
 - (b) create the appearance of narrow frontages and enhance visual interest;
 - (c) are vertically massed; and
 - (d) include above street level fenestration, balconies, parapets, architectural detailing and ornamentation which contribute to the rich visual texture.
- 23 The scale of development on catalyst sites should respond to its context, particularly the nature of adjacent land uses and the interface treatments required to address impacts on sensitive uses.
- 24 Where there is an apparent conflict between the catalyst site principles and Zone or Council Wide objectives and principles (including the quantitative provisions) the catalyst site principles will take precedence.

Car Parking

- 25 Access should be provided at the rear of properties and from lanes or streets other than O'Connell Street. New vehicle access across the O'Connell Street frontage should be avoided.
- 26 Parking should be provided away from the primary frontages and be designed to minimise its impacts on residential amenity.
- 27 Any multi-level car park should be designed and/or screened to respect the amenity of adjacent residential properties and minimise any overlooking into adjoining residential properties.

- 28** Car parking should be provided in accordance with [Table Adel/7](#) and be ancillary to an approved or existing use.

Advertising

- 29** Advertisements should be designed, scaled and located to enhance the pedestrian-oriented character of the Zone.
- 30** Advertisements may be bold in colour but there should be an overall consistency of advertising displays to improve the townscape.
- 31** Illumination of advertisements in O'Connell Street is appropriate, but in other streets the illumination of advertisements should be directed in a manner which minimises light spill into adjacent residential properties and is shielded where necessary.

Land Division

- 32** Land division should occur only where new allotments are of a size and configuration that will ensure the objectives of the Zone can be met.

PROCEDURAL MATTERS

Complying Development

- 33** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following kinds of development are designated as **complying**:

- (a) Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:
- (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing the site.

Non-complying Development

- 34** The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:

Adult entertainment premises

Adult products and services premises

Amusement machine centre (at ground floor level on O'Connell Street frontages)

Car park except:

- (i) where ancillary to an approved or existing use
- (ii) a multi-level car park

Industry

Transport depot

- (b) Other than for Local Heritage Places south of Tynte Street, total demolition of a Local Heritage Place or that portion of a Local Heritage Place being the frontage and side wall returns which are visible from the street, where the elements of heritage value of that place are so limited (as identified in [Table Adel/2](#)).
- (c) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#))

- (d) Advertisements involving any of the following:
- (i) animation;
 - (ii) third party advertising;
 - (iii) advertisements at roof level where the sky or another building forms the background when viewed from ground level.

Public Notification

35 For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

(a) **Category 1**, public notification not required:

- (i) the following forms of development, or any combination of (except those classified as non-complying):

Advertisement

All forms of development that are ancillary and in association with residential development

Consulting room

Dwelling

Office

Restaurant

Residential flat building

Shop or group of shops

Tourist accommodation.

- (ii) a kind of development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.

(b) **Category 2**, public notification required. Third parties may, at the discretion of the relevant planning authority, appear before the relevant planning authority on the matter. Third parties do not have appeal rights:

- (i) all development, other than where development is assigned Category 1.
- (ii) any development assigned as Category 1 where the site of the development is adjacent land to land in the North Adelaide Historic (Conservation) Zone and it exceeds 22 metres in building height south of Tynte Street or 12 metres in building height north of Tynte Street.
- (iii) any development on a catalyst site (a site greater than 1500 square metres, which may include one or more allotment) that exceeds 22 metres in building height south of Tynte Street or 12 metres in building height north of Tynte Street.

MAIN STREET (MELBOURNE EAST) ZONE

Introduction

The desired character, objective and principles of development control that follow apply to the Main Street (Melbourne East) Zone shown on [Maps Adel/9 and 10](#) and [Figure MS\(ME\)/1](#). They are additional to those expressed for the whole of Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Zone.

DESIRED CHARACTER

The Zone will be enhanced as the focus for neighbourhood shopping, leisure, commercial activity and community facilities primarily to service the needs of the lower North Adelaide residential community.

The mix of complementary land uses will extend activity into the evening to enhance the vibrancy and safety of the area and provide visual interest after hours, including by having no external shutters.

Small licensed premises will occur in limited numbers where they are designed and sited to maintain day and evening activation at street level and minimise impacts on nearby residential development.

Development should complement the attractive linear shopping centre and its visual character. Development should be in the form of buildings up to two storeys in height sited on or close to the street boundary complementing the intimate commercial townscape and pedestrian environment with higher elements set away from the street frontage and the adjacent North Adelaide Historic (Conservation) Zone. Development on corner sites should present a strong built form edge to the secondary street boundary.

Development should continue the established identity of the street through incorporating vines, verandahs and pergolas where appropriate.

A high degree of accessibility for local and through traffic, public transport and for cyclists should be maintained. The Zone should maintain a high level of pedestrian accessibility, safety and amenity with a high quality, consistent approach to landscaping, footpath treatments (such as kerb protuberances) attractive street furniture and public art. Further street tree planting enhancing pedestrian amenity and landscape character is desired.

The impacts of development will be carefully managed to ensure the enhancement of amenity for residential development within the Zone and in adjacent Zones to ensure the achievement of a high quality residential living environment.

Catalyst sites provide opportunities for integrated developments on large sites to assist in the transformation of a locality. Such developments will facilitate an increase in the residential population of the City, while also activating the public realm and creating a vibrant main street feel. A range of land uses will be provided that add to the range of local employment opportunities and the availability of service and shopping facilities within the main street.

Development on catalyst sites will exemplify quality and contemporary design that is generally greater in intensity than its surroundings. However, development will be designed to carefully manage the interface with sensitive uses in the North Adelaide Historic (Conservation) Zone, particularly with regard to massing; proportions; overshadowing; traffic and noise related impacts.

OBJECTIVE

Objective 1: A shopping and commercial main street supported by medium density residential development.

Objective 2: A visually interesting streetscape with buildings having a high level of fenestration and detail, and balconies oriented towards the street.



- Indicative location up to 4 storeys
- Indicative location up to 6 storeys
- Interface with North Adelaide Historic (Conservation) Zone
- Street wall height
- Setback above street wall
- State Heritage Place
- Local Heritage Place
- Significant Trees
- Zone Boundary

Note: Catalyst Site policies apply



0metres 100 200

ADELAIDE (CITY) **MELBOURNE STREET EAST** **CONCEPT PLAN** **Fig MS(ME)/1**

Consolidated - 30 April 2020

Objective 3: An intimate public realm with active frontages created by buildings designed with frequently repeated forms and narrow tenancy footprints.

Objective 4: An interesting and varied skyline as viewed from the street and afar, provided by modulation in roof forms and/or the use of parapets.

Objective 5: Development that contributes to the Desired Character of the Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

1 The following types of development, or combinations thereof, are envisaged in the Zone:

Affordable housing
Aged persons accommodation
Community centre
Consulting room
Dwelling
Educational establishment
Office
Pre-school
Residential flat building
Restaurant
Retirement village
Shop or group of shops
Supported accommodation
Tourist accommodation.

2 A mix of land uses should exist which primarily provide services to the local residential community.

3 Land uses that add to the vitality of the area and extend activities into the evening should occur, including restaurants, shops, small licensed premises, educational, community and cultural facilities, and visitor and residential accommodation.

4 Consulting rooms, dwellings and offices are appropriate except at ground floor level on frontages to Melbourne Street west of 59 and 60 Melbourne Street.

5 Licensed premises should be secondary to the primary land use mix, small in scale, not detract from the streets daytime or evening activation, and have minimal impact on residential amenity. Further licensed premises or entertainment activities late at night are not appropriate. Restaurants and outdoor cafes are appropriate provided they maintain pedestrian flow and have minimal impact on residential amenity in the adjacent North Adelaide Historic (Conservation) Zone.

6 Development listed as non-complying is generally inappropriate.

Form and Character

7 Development should be consistent with the Desired Character for the Zone.

8 Development should be in accordance with Concept Plan [Figure MS\(ME\)/1](#).

9 Development should ensure a high quality living environment is achieved for residential development within the Zone and in the adjacent North Adelaide Historic (Conservation) Zone.

Design and Appearance

10 Development should contribute to the creation of an attractive, linear shopping and commercial centre characterised by new buildings which blend with and complement the long-established commercial and residential architecture.

- 11 Buildings should reflect the intimate pedestrian scale and informal character of the shopping environment.
- 12 Buildings along Melbourne Street should incorporate modelled facades and verandahs or balconies. Blank, unarticulated facades to the street frontage are inappropriate and should be avoided.
- 13 The street wall height of buildings fronting Melbourne Street or Jerningham Street should be designed to reinforce the prevailing datum heights and parapet levels of the street through incorporating two storey podium elements on the street frontage and with upper storeys setback to provide a clear distinction between the levels below and above the prevailing datum line.
- 14 Except on sites greater than 1500 square metres in area (which may include one or more allotment), development may be built to the following maximum building height:
 - (a) 22 metres on the south side of Melbourne Street;
 - (b) 14 metres on the north side of Melbourne Street.
- 15 Development adjacent to the North Adelaide Historic (Conservation) Zone should be consistent with the building envelope as shown in Figures 1 and 2, except where a variation to the building envelope demonstrates minimal impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods:
 - (a) to minimise building mass at the interface, buildings should be constructed within a building envelope provided by a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an allotment within the North Adelaide Historic (Conservation) Zone (except where this boundary is the southern boundary), as illustrated in *Figure 1*.

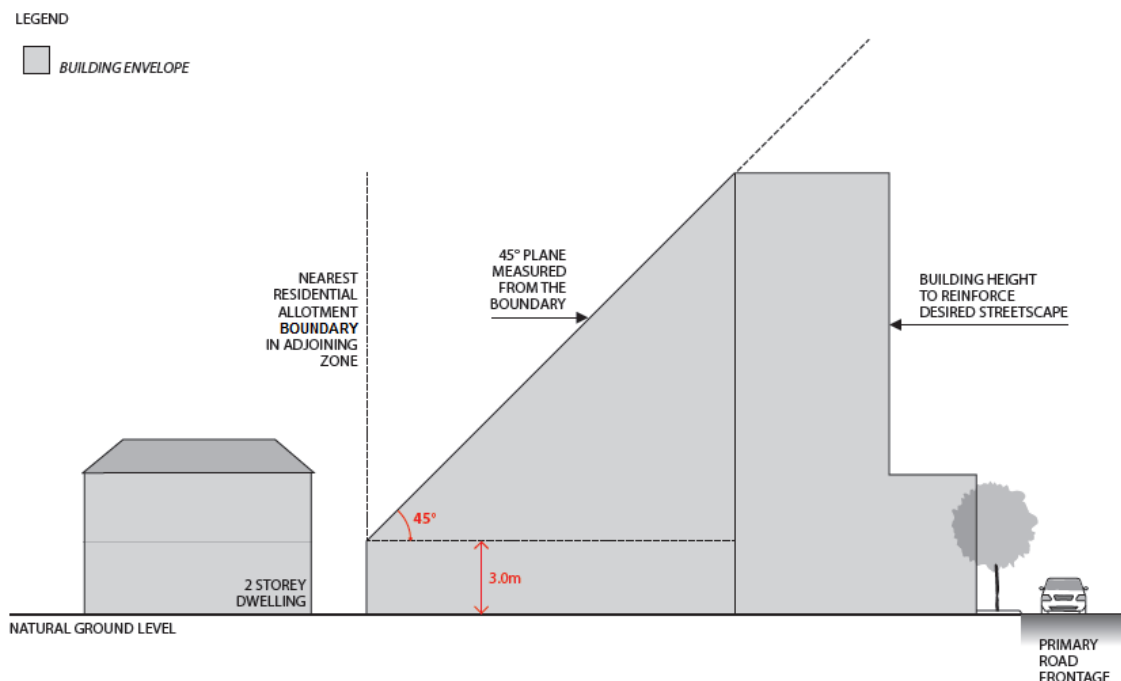


Figure 1

- (b) to minimise overshadowing of sensitive development outside of the zone, buildings should be constructed within a building envelope provided by a 30 degree plane grading north, measured from a height of 3 metres above natural ground level at the southern zone boundary, as illustrated in *Figure 2*.

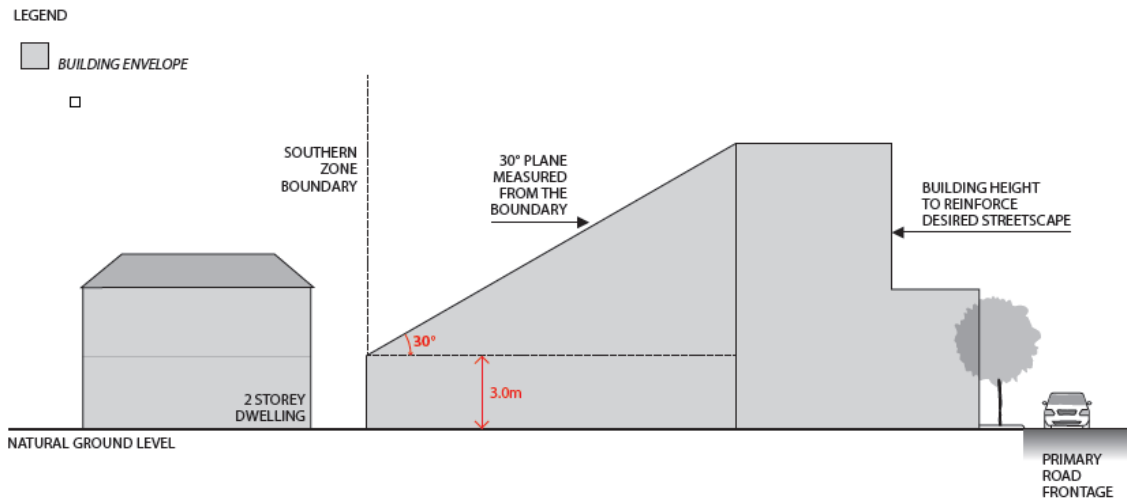


Figure 2 southern boundary

- 16 Where a site has frontage to a road that forms a zone boundary with the North Adelaide Historic (Conservation) Zone, any part of the building exceeding two storeys should:
 - (a) be setback from the street frontage;
 - (b) incorporate design treatments to reduce the visual presence of the higher components and to achieve an orderly visual transition between the different zones.
- 17 Development should use building forms, colour and materials of a more domestic nature to provide a suitable transition to the adjoining North Adelaide Historic (Conservation) Zone.
- 18 Buildings should have a minimum building height of 2 storeys.
- 19 Development may incorporate landscaping in planter tubs or window boxes, or in-ground vine planting where appropriate.

Catalyst Sites

- 20 Development on catalyst sites (sites greater than 1500 square metres, which may include one or more allotment) should be comprised of medium scale residential development that is carefully integrated with non-residential development.
- 21 Catalyst sites should be developed to manage the interface with the North Adelaide Historic (Conservation) Zone with regard to intensity of use, overshadowing, massing, building proportions and traffic to minimise impacts on residential amenity.
- 22 Catalyst sites should contribute to the vibrancy of the main street through building designs that:
 - (a) include a mix of land uses that create activity and overlooking of the street, particularly at the ground and first floor;
 - (b) create the appearance of narrow frontages and enhance visual interest;
 - (c) are vertically massed; and
 - (d) include above street level fenestration, balconies, parapets, architectural detailing and ornamentation which contribute to the rich visual texture.
- 23 The scale of development on a catalyst site should depend on its context, particularly the nature of adjacent land uses and the interface treatments required to address impacts on sensitive uses.

- 24** Where there is an apparent conflict between the catalyst site principles and Zone or Council Wide objectives and principles (including the quantitative provisions) the catalyst site principles will take precedence.

Car Parking

- 25** Access to sites should preferably be via the minor streets or lanes within or abutting the Zone provided there is no unreasonable impact on residential amenity.
- 26** Development should not result in additional crossovers on Melbourne Street. Access from Melbourne Street should be designed to minimise conflict with pedestrians and to minimise disruption to the continuity of built form.
- 27** Parking should be provided away from the primary frontages and be designed to minimise its impacts on residential amenity.

Advertising

- 28** Advertisements should be designed to complement the desired townscape character and should be principally directed at a pedestrian audience.
- 29** Illumination of advertisements is appropriate provided the residential amenity of surrounding residences is not adversely affected.

Complying Development

- 30** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following kinds of development are designated as **complying**:

- (a) Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:
- (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing the site.

Non-complying Development

- 31** The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:
- Adult entertainment premises
 - Adult products and services premises
 - Amusement machine centre
 - Car park except:
 - (i) where ancillary to an approved or existing use
 - (ii) a multi-level car park
 - Industry
 - Licensed entertainment premises exceeding 120 patrons
- (b) Total demolition of a Local Heritage Place or portion of a Local Heritage Place being the frontage and side wall returns which are visible from the street, where the elements of heritage value of that place are so limited.
- (c) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#)).

- (d) Advertisements involving any of the following:

Animation
 Third party advertising
 Advertisements at roof level where the sky or another building forms the background when viewed from ground level.

Public Notification

- 32** For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

- (a) **Category 1**, public notification not required:

- (i) the following forms of development, or any combination of (except those classified as non-complying):

Advertisement
 All forms of development that are ancillary and in association with residential development
 Consulting room
 Dwelling
 Office
 Restaurant
 Residential flat building
 Shop or group of shops
 Tourist accommodation

- (ii) a kind of development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.

- (b) **Category 2**, public notification required. Third parties may, at the discretion of the relevant planning authority, appear before the relevant planning authority on the matter. Third parties do not have appeal rights:

- (i) all development, other than where the development is assigned Category 1 or where the development is classified as non-complying.
- (ii) any development assigned as Category 1 where the site of the development is adjacent land to land in the North Adelaide Historic (Conservation) Zone and it exceeds two storeys in building height.
- (iii) any development on a catalyst site (a site greater than 1500 square metres, which may include one or more allotment) that exceeds two storeys in building height.

MAIN STREET (HUTT) ZONE

Introduction

The desired character, objective and principles of development control that follow apply to the Main Street (Hutt) Zone shown on [Map Adel/26](#) and [Figure MS\(H\)/1](#). They are additional to those expressed for the whole of Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Zone.

DESIRED CHARACTER

The Zone will be enhanced as the focus for neighbourhood shopping, leisure, commercial activity and community facilities primarily to service the needs of the City's south eastern residential community.

The Zone will continue as a convenient, attractive and vibrant Main Street primarily providing services to the adjoining residential areas, as well as passing traffic and visitors from further afield. A sensitive mix of uses, built form and development intensity is required in order to preserve residential amenity in adjacent areas.

The mix of complementary land uses will extend activity into the evening to enhance the vibrancy and safety of the area and provide visual interest after hours, including by having no external shutters. Small licensed premises will occur in limited numbers where they are designed and sited to maintain day and evening activation at street level and minimise impacts on nearby residential development.

The 'high street' townscape comprises terrace shops and houses, corner pubs and a group of single-storey Victorian villas. Many of these buildings are heritage places and are to continue as prominent landmarks at the junctions of Hutt Street with major streets. The horizontal emphasis of the townscapes, particularly in the commercial areas of Hutt Street, is established by the close pattern of development and by the continuity of street facades, parapet lines, verandahs and balconies. Between Halifax Street and Cairns Street, a group of finely detailed stone residences with articulated and gabled facades and rich cast-iron ornamentation form a distinctive group. The design of buildings should reinforce the continuity of street facades, parapet lines and verandahs derived from the solid masonry character of the existing traditional buildings.

The Zone's character will be reinforced by a well-defined low to medium scale built form edge abutting its tree lined public space, enlivened by the attractive street environment and outdoor eating areas..

Hutt Street will remain highly accessible for local and through traffic, and for public transport. Provision for cyclists and a high level of pedestrian accessibility, safety and amenity will be maintained. The impact of through traffic will be reduced.

The impact of development on the amenity of neighbouring Zones will be carefully controlled and managed.

Catalyst sites provide opportunities for integrated developments on large sites to assist in the transformation of a locality. Such developments will facilitate growth in the residential population of the City, while also activating the public realm and creating a vibrant main street feel. A range of land uses will be provided that add to the range of local employment opportunities and the availability of services and shopping facilities within the main street.

Developments on catalyst sites will exemplify quality and contemporary design that is generally greater in intensity than their surroundings. However, development will be designed to carefully manage the interface with sensitive uses in residential zones, particularly with regard to massing; proportions; overshadowing; traffic and noise related impacts.

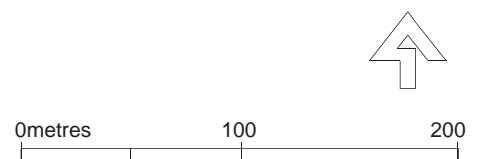
OBJECTIVE

Objective 1: A shopping and commercial main street supported by medium density residential development.



- Indicative location up to 4 storeys
- Street wall height
- Setback above street wall
- Interface with City Living Zone or Adelaide Historic (Conservation) Zone
- State Heritage Place
- Local Heritage Place
- Significant Trees
- Zone Boundary

Note: Catalyst Site policies apply



ADELAIDE (CITY) **HUTT STREET** **CONCEPT PLAN**

Consolidated 30 April 2020
Fig MS(H)/1

Objective 2: A visually interesting streetscape with buildings having a high level of fenestration and detail, and balconies oriented towards the street.

Objective 3: An intimate public realm with active streets created by buildings designed with frequently repeated frontage form and narrow tenancy footprints.

Objective 4: Development that contributes to the Desired Character of the Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following types of development, or combinations thereof, are envisaged in the Zone:
 - Affordable housing
 - Aged persons accommodation
 - Community centre
 - Consulting room
 - Dwelling
 - Educational establishment
 - Office
 - Pre-school
 - Residential flat building
 - Restaurant
 - Retirement village
 - Shop or group of shops
 - Supported accommodation
 - Tourist accommodation.
- 2 A mix of land uses should exist which primarily provide services to the local residential community.
- 3 Consulting rooms, dwellings and offices are appropriate except at ground floor level.
- 4 Land uses that add to the vitality of the area and extend activities into the evening should occur, including restaurants, small licensed premises, educational, community and cultural facilities; and visitor and residential accommodation.
- 5 Licensed premises should be secondary to the primary land use mix, small in scale, not detract from the streets daytime or evening activation, and have minimal impact on residential amenity. Further licensed premises or entertainment activities late at night are not appropriate. Restaurants and cafes with outdoor dining are appropriate provided they maintain pedestrian flow and have minimal impact on residential amenity.
- 6 Development listed as non-complying is generally inappropriate.

Form and Character

- 7 Development should be consistent with the Desired Character for the Zone.
- 8 Development should be in accordance with Concept Plan [Figure MS\(H\)/1](#).
- 9 Development should ensure a high quality living environment is achieved for residential development within the Zone and in the adjacent City Living Zone and Adelaide Historic (Conservation) Zone.

Built Form and Public Environment

- 10 Development should protect and enhance the traditional nineteenth and early twentieth century retail and residential townscape character of Hutt Street.

- 11 A 'high street' commercial terrace design approach with continuous ground floor retailing and other uses at upper levels should occur north of Halifax Street to complement the eastern side of Hutt Street.
- 12 Development should respect the design features of the long established townscape. Roofs should be hipped or gabled and employ parapets on street frontages. Blank elevations unrelieved by architectural detail should be avoided. Above street level, windows should complement the proportions of the existing fenestration, and roofing materials and colour should be compatible with those traditionally used.
- 13 The street wall height of buildings fronting Hutt Street should be designed to reinforce the prevailing datum heights and parapet levels of the street through incorporating two storey podium elements on the street frontage and with upper storeys setback to provide a clear distinction between the levels below and above the prevailing datum line.
- 14 Except on sites greater than 1500 square metres in area (which may include one or more allotment), building height should not exceed 14 metres
- 15 On Hutt Street, development should achieve a minimum height of 2 storeys.
- 16 Development adjacent to the City Living Zone or the Adelaide Historic (Conservation) Zone should be consistent with the building envelope as shown in Figures 1 and 2, except where a variation to the building envelope demonstrates minimal impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods:
 - (a) to minimise building mass at the interface, buildings should be constructed within a building envelope provided by a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an allotment within the City Living Zone or the Adelaide Historic (Conservation) Zone, as illustrated in *Figure 1*:

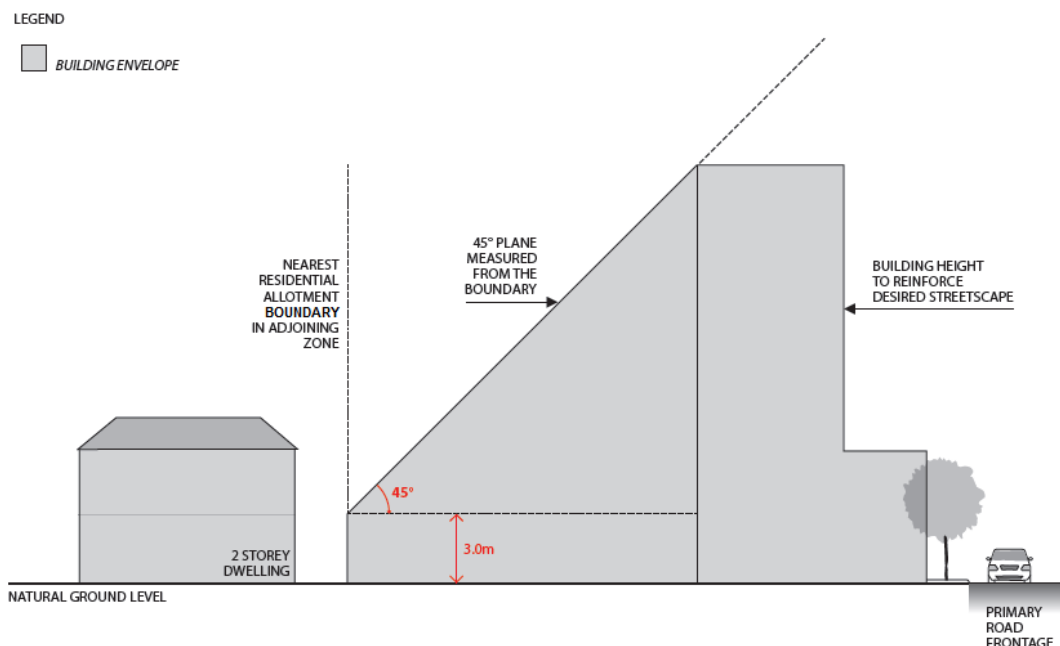


Figure 1

- 17 Where a site has frontage to a road that forms a zone boundary with the City Living Zone or the Adelaide Historic (Conservation) Zone, any part of the building exceeding two storeys should:
 - (a) be setback from the street frontage;
 - (b) incorporate design treatments to reduce the visual presence of the higher components and to achieve an orderly visual transition between the different zones.

- 18 Development should use building forms, colour and materials of a more domestic nature to provide a suitable transition to the adjoining City Living Zone or Adelaide Historic (Conservation) Zone.
- 19 Buildings should have little or no set-backs from front and side boundaries, and should achieve a continuity of street facade.
- 20 Development on corner sites should be built to street alignments, emphasising the importance of traditional corner buildings.
- 21 Continuous pedestrian shelter in the form of verandahs or balconies should be provided along the eastern side of Hutt Street. On the western side of Hutt Street, pedestrian shelter in the form of verandahs, awnings or balconies should be provided by all new non-residential buildings.

Catalyst Sites

- 22 Development on catalyst sites (sites greater than 1500 square metres, which may include one or more allotment) should be comprised of medium scale residential development that is carefully integrated with non-residential development.
- 23 Catalyst sites should be developed to manage the interface with adjacent Zones with regard to intensity of use, overshadowing, massing, building proportions and traffic to minimise impacts on residential amenity.
- 24 Catalyst sites should contribute to the vibrancy of the main street through building designs that:
 - (a) include a mix of land uses that create activity and overlooking of the street, particularly at the ground and first floor;
 - (b) create the appearance of narrow frontages and enhance visual interest;
 - (c) are vertically massed; and
 - (d) include above street level fenestration, balconies, parapets, architectural detailing and ornamentation which contribute to the rich visual texture.
- 25 The scale of development on a catalyst site should respond to its context, particularly the nature of adjacent land uses and the interface treatments required to address impacts on sensitive uses.
- 26 Where there is an apparent conflict between the catalyst site principles and Zone or Council Wide objectives and principles (including the quantitative provisions) the catalyst site principles will take precedence.

Car Parking

- 27 Access should minimise any disruption to the continuity of existing streetscapes. Access should be obtained from minor streets or lanes within or abutting the Zone provided there is no unreasonable impact on residential amenity.
- 28 Parking should be provided away from the primary frontages and be designed to minimise its impacts on residential amenity.

Advertising

- 29 Advertisements should be scaled, located, designed and illuminated to be sympathetic with the built form.
- 30 The discreet illumination of advertisements is appropriate.

Complying Development

31 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following kinds of development are designated as **complying**:

- (a) Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:
 - (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing the site.

Non-complying Development

32 The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:
 - Adult entertainment premises
 - Adult products and services premises
 - Amusement machine centre
 - Auditorium
 - Car park except:
 - (i) where ancillary to an approved or existing use
 - (ii) a multi-level car park
 - Industry
 - Licensed entertainment premises exceeding 120 patrons
- (b) Total demolition of a Local Heritage Place (City Significance) or of the frontage and side wall returns visible from the street of a Local Heritage Place (Townscape).
- (c) Total demolition of a Local Heritage Place, or that portion of a Local Heritage Place comprising its Elements of Heritage Value.
- (d) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#)).
- (e) Advertisements involving any of the following:
 - (i) Animation
 - (ii) Third party advertising
 - (iii) Advertisements at roof level where the sky or another building forms the background when viewed from ground level.

Public Notification

33 For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

- (a) **Category 1**, public notification not required:
 - (i) the following forms of development, or any combination of (except those classified as non-complying):
 - Advertisement
 - All forms of development that are ancillary and in association with residential development
 - Consulting room

Dwelling
Office
Restaurant
Residential flat building
Shop or group of shops
Tourist accommodation

- (ii) a kind of development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.
- (b) **Category 2**, public notification required. Third parties may, at the discretion of the relevant planning authority, appear before the relevant planning authority on the matter. Third parties do not have appeal rights:
- (i) all development, other than where the development is assigned Category 1 or where the development is classified as non-complying.
 - (ii) any development assigned as Category 1 where the site of the development is adjacent land to land in the City Living Zone or the Adelaide Historic (Conservation) Zone and it exceeds two storeys in building height.
 - (iii) any development on a catalyst site (a site greater than 1500 square metres, which may include one or more allotment) that exceeds two storeys in building height.

MAIN STREET (ADELAIDE) ZONE

Introduction

The Desired Character, Objectives and Principles of Development Control that follow apply in the whole of the Main Street (Adelaide) Zone shown on [Maps Adel/24, 25 and 30](#). They are additional to those expressed for the whole of the Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desired Character for the Zone.

DESIRED CHARACTER

Sturt and Halifax streets will be enhanced as recognisable 'main streets' and development will add to the lively mix of specialist retail outlets; personal services; restaurants; cafés; hospitality, community and mixed businesses; and medium to high scale residential developments.

The mix of complementary land uses will extend activity into the evening to enhance the vibrancy of the area. Small-scale licensed entertainment premises, nightclubs or bars may occur in limited numbers along Sturt and Halifax streets where they are designed and sited to maintain day time and evening activation at street level and minimise impacts on nearby residential development. Development will continue to provide visual interest after hours by having no external shutters.

Active street frontages will be promoted through the pattern of narrow-fronted shop and business fronts of varied and interesting displays, frequent individualised frontages and pedestrian entrances.

Development should maintain the continuity of buildings sited on or close to both front and side boundaries and on corner frontages. Limited setbacks may be appropriate to emphasise pedestrian entries and to accommodate space for outdoor dining.

A pedestrian scale is to be maintained by buildings that enclose the street space along Sturt, Halifax and Wright streets yet maintain openness to the sky and the streets' intimate, main street feel. Pedestrian shelter and comfort is to be provided through continuous verandahs and awnings that are complemented by a canopy of street trees.

Buildings will respond to heritage places through contemporary designs that include variations in façade treatments and building materials, as well as the use of modulated roof forms and parapets that contribute to a varied and interesting pedestrian environment. Balconies overlooking the street are also encouraged to provide a connection for residents to the street and achieve passive surveillance.

Vehicle access points will be located on side streets or grouped where possible so that safe and efficient pedestrian movement along the main streets is achieved. Parking will be located away from street frontages and shared where possible. Priority will be given to pedestrian movement, with ease of access by public transport and cycling enhanced.

Catalyst sites provide opportunities for integrated developments on large sites to assist in the transformation of a locality. Such developments will facilitate growth in the residential population of the City, while also activating the public realm and creating a vibrant main street feel. A range of land uses will be provided that add to the range of local employment opportunities and the availability of services and shopping facilities within the main street.

Development on catalyst sites will exemplify quality and contemporary design that is generally greater in intensity than their surroundings. However, development will be designed to carefully manage the interface with sensitive uses in the City Living Zone, particularly with regard to massing and proportions, overshadowing, overlooking, traffic and noise related impacts.

OBJECTIVES

Objective 1: A shopping and commercial main street supported by medium and high density residential development.

Objective 2: A visually interesting streetscape with buildings having a high level of fenestration and detail, and balconies oriented towards the street.

Objective 3: An intimate public realm with active streets created by buildings designed with frequently repeated frontage form and narrow tenancy footprints.

Objective 4: An interesting and varied skyline as viewed from the street and afar, provided by modulation in roof forms and/or the use of parapets.

Objective 5: Development that contributes to the Desired Character of the Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following types of development, or combinations thereof, are envisaged in the Zone:
 - Affordable housing
 - Aged persons accommodation
 - Community centre
 - Consulting room
 - Dwelling
 - Educational establishment
 - Licensed entertainment premises
 - Office
 - Pre-school
 - Residential flat building
 - Restaurant
 - Retirement village
 - Shop or group of shops
 - Supported accommodation
 - Tourist accommodation.
- 2 The Zone should be developed to include a range of land uses that are high pedestrian-generators, directly promote public transport use and provide opportunities for multi-purpose trips.
- 3 Non-residential development should comprise uses that:
 - (a) are of a role and function appropriate for the Zone;
 - (b) encourage walking and cycling to local shopping, community services and other activities; and
 - (c) do not detrimentally impact on the amenity of nearby residents.
- 4 Licensed entertainment premises, nightclubs or bars should be small in scale, secondary to the primary land use mix in each street and not detract from the street's daytime activation.
- 5 Development on Wright, Sturt or Halifax streets should include non-residential land uses on the ground floor level to provide a continuity of shops, offices or other uses that enable activation of the street.
- 6 Development listed as non-complying is generally inappropriate.

Form and Character

- 7 Development should be consistent with the Desired Character for the Zone.

Design and Appearance

- 8 Development should incorporate design measures that provide a transition between the high intensity development in this Zone and the lower intensity development in the adjacent City Living Zone.
- 9 The finished ground floor level of buildings should be at grade and/or level with the footpath to provide direct pedestrian access and street-level activation.
- 10 Pedestrian shelter and shade should be provided over footpaths through continuous structures such as awnings, canopies and verandahs.
- 11 The ground floors of buildings should have a minimum floor to ceiling height of 3.5 metres to allow for adaptation to a range of land uses including shops, cafés, restaurants or offices without the need for significant alterations to the building.
- 12 The ground level street frontage of buildings should be designed to activate street frontages, provide pedestrian interest and maximise passive surveillance by:
 - (a) providing at least 70 percent of the frontage for a non-residential use; and
 - (b) 50 percent of the frontage being visually permeable, transparent or clear glazed. This may include an entry/foyer or display window to a shop (including a café or restaurant).

Building Height

- 13 Except where the airport's operations require a lesser height or the development is located on a site greater than 1500 square metres (which may include one or more allotment), building height should not exceed 22 metres.
- 14 Development on Sturt Street or Halifax Street should have a minimum building height of 3 storeys to provide optimal height and floor space yields that activate and frame the main street.

Setbacks

- 15 Buildings (excluding verandahs, porticos and the like) on Sturt Street or Wright Street should generally be built to the primary road frontage.
- 16 Development on land directly abutting the City Living Zone should avoid sheer and tall walls at the interface, through walls greater than 3 metres in height being setback at least 2 metres from the rear boundary with further articulation at upper levels.

Catalyst Sites

- 17 Development on catalyst sites (sites greater than 1500 square metres, which may include one or more allotment) should be comprised of medium to high scale residential development that is carefully integrated with non-residential development.
- 18 Catalyst sites should be developed to manage the interface with the City Living Zone with regard to intensity of use, overshadowing, massing, building proportions and traffic to minimise impacts on residential amenity.
- 19 Catalyst sites should contribute to the vibrancy of the main street through building designs that:
 - (a) include a mix of land uses that create activity and overlooking of the street, particularly at the ground and first floor;
 - (b) create the appearance of narrow frontages that enhance visual interest;
 - (c) are vertically massed; and

- (d) include above street level fenestration, balconies, parapets, architectural detailing and ornamentation which contribute to the rich visual texture.
- 20 Parts of a development on a catalyst site that exceed the prescribed maximum building height that applies to non-catalyst sites in the zone, and that are directly adjacent to the City Living Zone boundary should be designed to minimise visual impacts on sensitive uses in the adjoining zones and to maintain the established or desired future character of the area. This may be achieved through a number of techniques such as additional setback, avoiding tall sheer walls, centrally locating taller elements, providing variation of light and shadow through articulation to provide a sense of depth and create visual interest, and the like.
- 21 The scale of development on a catalyst site should respond to its context, particularly the nature of adjacent land uses and the interface treatments required to address impacts on sensitive uses.
- 22 Where there is an apparent conflict between the catalyst site principles and zone or Council Wide objectives and principles (including the quantitative provisions) the catalyst site principles will take precedence.

Car Parking

- 23 Car parking should be provided in accordance with [Table Adel/7](#) and be ancillary to an approved or existing use.

Land Division

- 24 Land division should occur only where new allotments are of a size and configuration that will ensure the objectives of the Zone can be achieved.

PROCEDURAL MATTERS

Complying Development

- 25 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following forms of development are designated as complying, subject to the conditions contained in [Table Adel/7](#) – On-site Car Parking Provisions:

- (a) change in the use of land from residential to office on the ground or first floor of a building
- (b) change in the use of land from residential to a shop (other than a retail showroom or licensed premises) with a gross leasable area less than 250 square metres on the ground floor of a building.

Non-complying Development

- 26 The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:

- Adult entertainment premises
- Adult products and services premises
- Fuel depot
- Industry
- Public service depot
- Road transport terminal
- Service trade premises
- Store
- Third party advertising
- Transport depot
- Vehicle parking except where it is ancillary to an approved or existing use
- Warehouse

Waste reception, storage, treatment or disposal

- (b) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#)).

Public Notification

- 27** Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

In addition, the following forms of development, or any combination thereof (except where the development is classified as non-complying) are assigned:

- (a) **Category 1**, public notification not required:

Advertisement
 Aged persons accommodation
 All forms of development that are ancillary and in association with residential development
 Consulting room
 Dwelling
 Educational establishment
 Hotel
 Indoor recreation facility
 Nursing home
 Office
 Pre-school
 Primary school
 Restaurant
 Residential flat buildings
 Retirement village
 Shop or group of shops
 Supported accommodation
 Tourist accommodation

- (b) **Category 2**, public notification required. Third parties do not have any appeal rights.

- (i) All forms of development not listed as Category 1.
- (ii) Any development assigned Category 1 where the site of the development is adjacent land to land in the City Living Zone and it exceeds 22 metres in building height.
- (iii) Any development on a catalyst site (a site greater than 1500 square metres, which may include one or more allotment) that exceeds 22 metres in building height.

Note: For Category 3 development, public notification is required. Third parties may make written representations, appear before the relevant authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

MIXED USE (MELBOURNE WEST) ZONE

Introduction

The desired character, objective and principles of development control that follow apply in the Mixed Use (Melbourne West) Zone shown on [Maps Adel/8, 9 and 13](#) and [Figure MU\(MW\)/1](#). They are additional to those expressed for the whole of Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Zone.

DESIRED CHARACTER

Development should reinforce the role and image of the Zone as an attractive mixed use area of low to medium scale, innovatively designed buildings set within landscaped grounds. Development should reinforce the historic siting pattern of buildings set back from boundaries in a landscaped setting.

The Zone should maintain a high level of pedestrian accessibility, safety and amenity with a high quality, consistent approach to landscaping, footpath treatments (such as continuous footpaths), attractive street furniture and public art. Further street tree planting enhancing pedestrian amenity and landscape character is desired.

A high degree of vehicle accessibility for local and through traffic, public transport, and for cyclists should be maintained.

The impacts of development will be carefully managed to ensure the enhancement of amenity for residential development within the Zone and in the North Adelaide Historic (Conservation) Zone so as to ensure the achievement of a high quality residential living environment.

Catalyst sites provide opportunities for integrated developments on large sites to assist in the transformation of a locality. Such developments will facilitate an increase in the residential population of the City, while also activating the public realm and creating a vibrant main street feel. A range of land uses will be provided that add to the range of local employment opportunities and the availability of service and shopping facilities within the main street.

Development on catalyst sites will exemplify quality and contemporary design that is generally greater in intensity than its surroundings. However, development will be designed to carefully manage the interface with sensitive uses in the North Adelaide Historic (Conservation) Zone, particularly with regard to massing; proportions; overshadowing; traffic and noise related impacts.

OBJECTIVE

- Objective 1:** A mixed use environment accommodating offices, consulting rooms and low to medium density residential development.
- Objective 2:** A visually interesting streetscape characterised by contemporary architecture and landscaped setting complementing the historic built form.
- Objective 3:** An attractive and high quality public environment.
- Objective 4:** Development that contributes to the Desired Character of the Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Form of Development

- 1 The following types of development, or combinations thereof, are envisaged in the Zone:

- Affordable housing
- Aged persons accommodation
- Community centre
- Consulting room



Graduation of building height responds to residential context

Interface with North Adelaide Historic (Conservation) Zone

Buildings setback from street frontage within landscape setting

State Heritage Place

Local Heritage Place

Significant Trees

Zone Boundary

Note: Catalyst Site policies apply

Note: Adjoining Policy Area 10 in relation to views may be relevant



0metres 100 200

ADELAIDE (CITY) **MELBOURNE STREET WEST** **CONCEPT PLAN** **Fig MU(MW)/1** Consolidated - 30 April 2020

Dwelling
Educational establishment
Office
Pre-school
Residential flat building
Retirement village
Supported accommodation
Tourist accommodation

- 2 The Zone should accommodate offices, consulting rooms and low to medium density dwellings. An increase in the amount of residential development is desirable by means of conversion and redevelopment of non-residential premises to either residential or mixed residential and office uses and by infill residential development.
- 3 Development listed as non-complying is generally inappropriate.

Form and Character

- 4 Development should be consistent with the Desired Character for the Zone.
- 5 Development should be in accordance with Concept Plan [Figure MU\(MW\)/1](#).
- 6 Development should ensure a high quality living environment is achieved for residential development within the Zone and in the adjacent North Adelaide Historic (Conservation) Zone.

Built Form and Public Environment

- 7 Development should maintain the prevailing low to medium scale of built form and be consistent with, and avoid the further erosion of, the historic pattern of buildings set-back from front and side boundaries in a landscaped setting.
- 8 Buildings should be of contemporary design that includes variations in façade treatments and building material, as well as the use of modulated roof forms and parapets that contribute to a varied and interesting pedestrian environment. Balconies overlooking the street are encouraged to provide a connection for occupiers to the street and assist passive surveillance. The use of brightly coloured, black, or highly reflective surfaces should be avoided.
- 9 Development should provide attractive landscaping to the Melbourne Street frontages and should provide a buffer area along Old Street. Development should provide a landscaped set-back from Melbourne Street of 3.5 metres.
- 10 A minimum of 20 percent landscaped open space should be provided on the site of any development.
- 11 Except on sites greater than 1500 square metres in area, which may include one or more allotment, development may be built to 14 metres in building height.
- 12 Except on sites greater than 1500 square metres in area, which may include one or more allotment, parts of buildings above two storeys should be set-back from Melbourne Street:
 - (a) a minimum of 6 metres on the southern side of the street;
 - (b) in order to emphasise the landfall from Stanley Street to Melbourne Street, development should incorporate a greater setback than the prevailing 6 to 10 metre set-backs.
- 13 Set-backs from Old Street should be sufficient to respect the character of the adjacent North Adelaide Historic (Conservation) Zone.

- 14 Development adjacent to the North Adelaide Historic (Conservation) Zone should be consistent with the building envelope as shown in Figures 1 and 2, except where a variation to the building envelope demonstrates minimal impacts upon adjacent housing in terms of massing and overshadowing through alternative design methods:
- (a) to minimise building mass at the interface, buildings should be constructed within a building envelope provided by a 45 degree plane, measured from a height of 3 metres above natural ground level at the allotment boundary of an allotment within the North Adelaide Historic (Conservation) Zone (except where this boundary is the southern boundary), as illustrated in *Figure 1*:

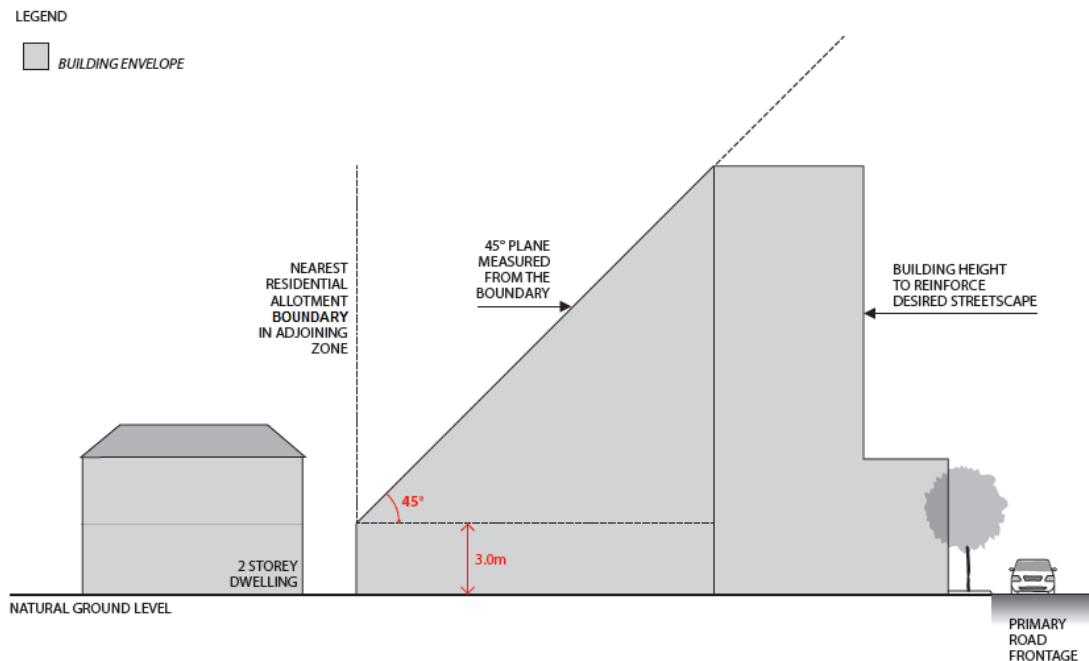


Figure 1

- (b) to minimise overshadowing of sensitive development outside of the zone, buildings should be constructed within a building envelope provided by a 30 degree plane grading north, measured from a height of 3 metres above natural ground level at the southern zone boundary, as illustrated in *Figure 2*:

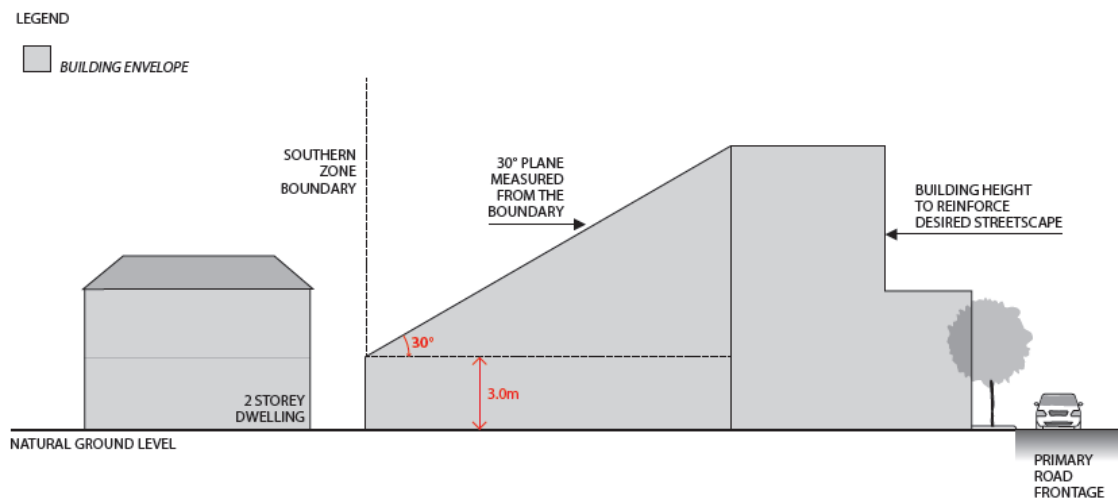


Figure 2 – southern boundary

- 15 Where a site has frontage to a road that forms a zone boundary with the North Adelaide Historic (Conservation) Zone, any part of the building exceeding two storeys should:

- (a) be setback from the street frontage
 - (b) incorporate design treatments to reduce the visual presence of the higher components and to achieve an orderly visual transition between the different zones.
- 16** Development should use building forms, colour and materials of a more domestic nature to provide a suitable transition to the adjoining North Adelaide Historic (Conservation) Zone.
- 17** Buildings should have a minimum building height of 2 storeys.
- 18** Verandahs, awnings or balconies over the footpath should not occur.

Catalyst Sites

- 19** Development on catalyst sites (sites greater than 1500 square metres, which may include one or more allotment) should be comprised of medium scale residential development that is carefully integrated with non-residential development.
- 20** Catalyst sites should be developed to manage the interface with the North Adelaide Historic (Conservation) Zone with regard to intensity of use, overshadowing, massing, building proportions and traffic to minimise impacts on residential amenity.
- 21** Catalyst sites should contribute to the vibrancy of the street through building designs that:
- (a) include a mix of land uses that create activity and overlooking of the street, particularly at the ground and first floor;
 - (b) create the appearance of narrow frontages and enhance visual interest;
 - (c) are vertically massed; and
 - (d) include above street level fenestration, balconies, parapets, architectural detailing and ornamentation which contribute to the rich visual texture.
- 22** The scale of development on a catalyst site should depend on its context, particularly the nature of adjacent land uses and the interface treatments required to address impacts on sensitive uses.
- 23** Where there is an apparent conflict between the catalyst site principles and Zone or Council Wide objectives and principles (including the quantitative provisions) the catalyst site principles will take precedence.

Car Parking

- 24** Access to sites should be via minor streets or lanes provided there is no unreasonable impact on residential amenity.
- 25** Access from Melbourne Street should minimise disruption to the pattern of built form and landscaping.
- 26** Parking should be located behind buildings away from the landscaped Melbourne Street frontages and be designed to minimise its impacts on residential amenity.

Advertising

- 27** Advertisements should be restrained in size, design and illumination, and limited in number to one principal identifying advertisement for each site.
- 28** Illumination of advertisements should be discreet and should not affect residential amenity.

Complying Development

29 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following kinds of development are designated as **complying**:

- (a) Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:
 - (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing the site.

Non-complying Development

30 The following kinds of development are **non-complying**:

- (a) A change of use involving any of the following:

Adult entertainment premises

Adult products and services premises

Amusement machine centre

Car park except:

- (i) where ancillary to an approved or existing use.
- (ii) multi-level car park.

Hotel

Industry

Licensed entertainment premises

Licensed premises

Primary school

Restaurant (except on sites greater than 1500 square metres in area, which may include one or more allotment)

Shop (except on sites greater than 1500 square metres in area, which may include one or more allotment).

- (b) Total demolition of a Local Heritage Place or portion of a Local Heritage Place being the frontage and side wall returns which are visible from the street, where the elements of heritage value of that place are so limited.
- (c) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#))
- (d) Advertisements involving any of the following:
 - Animation
 - Third party advertising
 - Advertisements at roof level where the sky or another building forms the background when viewed from ground level.

Public Notification

31 For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

- (a) **Category 1**, public notification not required:
 - (i) the following forms of development, or any combination of (except those classified as non-complying):

Advertisement

All forms of development that are ancillary and in association with residential development

Consulting room

Dwelling

Office

Residential flat building

Tourist accommodation.

- (ii) a kind of development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.
- (b) **Category 2**, public notification required. Third parties may, at the discretion of the relevant planning authority, appear before the relevant planning authority on the matter. Third parties do not have appeal rights:
 - (i) all development, other than where development is assigned Category 1 or where the development is classified as non-complying.
 - (ii) any development assigned as Category 1 where the site of the development is adjacent land to land in the North Adelaide Historic (Conservation) Zone and it exceeds two storeys in building height.
 - (iii) any development on a catalyst site (a site greater than 1500 square metres, which may include one or more allotment) that exceeds two storeys in building height.

CITY FRAME ZONE

Introduction

The Desired Character, Objectives and Principles of Development Control that follow apply to the whole of the City Frame Zone shown on [Maps Adel/23 to 25 and 29 to 31](#). They are additional to those expressed for the whole of the Council area and, in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Zone.

DESIRED CHARACTER

This Zone will primarily contain medium to high scale residential development supported by a mix of shops, personal services, restaurants, cafés, and community and hospitality uses.

The mix of complementary land uses will extend activity into the evening to enhance the vibrancy and safety of the area, particularly the adjacent Park Lands and Whitmore and Hurtle Squares, which offer a high level of amenity. Small-scale licensed entertainment premises, nightclubs or bars may occur in limited numbers where they are designed and sited to maintain day and evening activation at street level. Development will include residential and mixed use residential buildings that are well connected to nearby public transport networks, including the tramline.

The location and scale of buildings will achieve high quality urban design outcomes, with the highest built form located along South Terrace facing the Park Lands with a slightly lower built form framing the Squares. Development on key corner sites at the entrances to the City grid and Squares will create landmark buildings that provide a strong built form edge and pedestrian scale detailing to both street frontages.

Buildings will have minimal or no setback and provide tall walls when viewed from the main road frontage to achieve a consistent built form façade. Landscaping and small variations in front setback will assist in softening the continuous edge of new built form and provide a higher amenity streetscape and pedestrian environment which is shaded by street trees and other mature vegetation.

Buildings will have a strong horizontal emphasis with clearly defined and segmented vertical elements. At street level, the use of solid materials will be appropriately balanced with glazed areas to provide visual interest and activity. Tall façades will be well articulated with finer details that contribute positively to the public realm, including modelled façades, canopies, fenestration and balconies that make use of light and shade. An interesting pedestrian environment and human scale at ground level which integrates well with the Park Lands and Squares will be created.

Catalyst sites provide opportunities for integrated developments on large sites to assist in the transformation of a locality. Such developments will facilitate growth in the residential population of the City, while also activating the public realm and creating a vibrant main street feel. A range of land uses will be provided that add to the range of local employment opportunities and the availability of services and shopping facilities within the main street.

Development on catalyst sites will exemplify quality and contemporary design that is generally greater in height, or intensity, than its surroundings. However, development will be designed to carefully manage the interface with sensitive uses in the City Living Zone, particularly with regard to massing; proportions; overshadowing; traffic and noise related impacts.

OBJECTIVES

- Objective 1:** Development that contains a mix of uses including shops, offices and commercial development at lower floors with residential land uses above with views to the Park Lands and Squares.
- Objective 2:** Development that creates a strong edge to the Park Lands and Squares.
- Objective 3:** A uniform streetscape established through a largely consistent front setback and tall, articulated building façades.

- Objective 4:** Development that creates a high quality public realm that promotes walking, cycling, public transport patronage and social interaction.
- Objective 5:** An area that allows people to work, shop and access a range of services close to home.
- Objective 6:** Adaptable and flexible building designs that can accommodate changes in use and respond to changing economic and social conditions.
- Objective 7:** A built form that provides a transition down in scale and intensity at the Zone's boundaries to maintain the amenity of properties located within the adjoining City Living Zone.
- Objective 8:** Development that contributes to the Desired Character of the Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following types of development, or combinations thereof, are envisaged in the Zone:
 - Affordable housing
 - Aged persons accommodation
 - Community centre
 - Consulting room
 - Dwelling
 - Educational establishment
 - Hotel
 - Indoor recreation centre
 - Licensed entertainment premises
 - Office
 - Pre-school
 - Primary school
 - Residential flat building
 - Restaurant
 - Retirement village
 - Shop or group of shops
 - Supported accommodation
 - Tourist accommodation.
- 2 Development should comprise wholly residential buildings or mixed use buildings with non-residential development at the ground/first floor level and residences above.
- 3 Development should reinforce the area as predominantly residential, with non-residential land uses comprising no more than 40 percent of any new building.
- 4 Non-residential development should occur as part of a mixed use building and comprise uses that:
 - (a) are of a role and function appropriate for the Zone;
 - (b) encourage walking and cycling to local shopping, community services and other activities; and
 - (c) do not detrimentally impact on the amenity of nearby residents.
- 5 Licensed entertainment premises, nightclubs or bars should be small in scale, secondary to the primary land use mix in each street and not detract from the street's daytime activation.
- 6 Development listed as non-complying is generally inappropriate.

Form and Character

- 7 Development should be consistent with the Desired Character for the Zone.

Design and Appearance

- 8 The finished ground floor level of buildings should be at grade and/or level with the footpath to provide direct pedestrian access and street-level activation.
- 9 Pedestrian shelter and shade should be provided over footpaths through the use of continuous structures such as awnings, canopies and verandahs.
- 10 The ground floors of buildings should have a minimum floor to ceiling height of 3.5 metres to allow for adaptation to a range of land uses including shops, cafés, restaurants or offices without the need for significant alterations to the building.
- 11 A minimum of 70 percent of the ground floor primary frontage of buildings should be visually permeable, transparent or clear glazed to help create active street frontages and maximise passive surveillance.
- 12 Buildings on sites with a frontage greater than 10 metres should be articulated through variations in forms, materials, openings and colours.
- 13 Buildings should be designed to overlook or be orientated towards the Park Lands and Squares and pedestrian and cycle routes.

Building Height

- 14 Except where the airport's operations require a lesser height or the development is located on a site greater than 1500 square metres (which may include one or more allotment), building height should not exceed:
- (a) 36 metres south of Gilles and Gilbert streets; and
 - (b) 29 metres north of Gilles and Gilbert streets.
- 15 Development should have the following minimum building height to provide optimal height and floor space yields that activate and frame the Park Lands and Squares:
- (a) 4 storeys or more south of Gilles and Gilbert streets;
 - (b) 3 storeys or more north of Gilles and Gilbert streets.

Setbacks

- 16 Buildings (excluding verandahs, porticos and the like) should generally be built to the primary road frontage.
- 17 Development on land directly abutting the City Living Zone should avoid tall, sheer walls at the interface by ensuring walls greater than 3 metres in height are set back at least 2 metres from the rear allotment boundary with further articulation at the upper levels.

Catalyst Sites

- 18 Development on catalyst sites (sites greater than 1500 square metres, which may include one or more allotment) should be comprised of medium to high scale residential development that is carefully integrated with non-residential development.
- 19 Catalyst sites should be developed to manage the interface with the City Living Zone with regard to intensity of use, overshadowing, massing, building proportions and traffic to minimise impacts on residential amenity.

- 20** Parts of a development on a catalyst site that exceed the prescribed maximum building height that applies to non-catalyst sites in the zone, and that are directly adjacent to the City Living Zone boundary (or site boundaries with respect to the City Living Zone South and East Terrace Policy Areas) should be designed to minimise visual impacts on sensitive uses in the adjoining zones and to maintain the established or desired future character of the area. This may be achieved through a number of techniques such as additional setback, avoiding tall sheer walls, centrally locating taller elements, providing variation of light and shadow through articulation to provide a sense of depth and create visual interest, and the like.
- 21** Catalyst sites should contribute to the vibrancy of the main street through building designs that:
- (a) include a mix of land uses that create activity and overlooking of the street, particularly at the ground and first floor;
 - (b) create the appearance of narrow frontages and enhance visual interest;
 - (c) are vertically massed; and
 - (d) include above street level fenestration, balconies, parapets, architectural detailing and ornamentation which contribute to the rich visual texture.
- 22** The scale of development on a catalyst site should respond to its context, particularly the nature of adjacent land uses and the interface treatments required to address impacts on sensitive uses.
- 23** Where there is an apparent conflict between the catalyst site principles and Zone or Council Wide objectives and principles (including the quantitative provisions) the catalyst site principles will take precedence.

Car Parking

- 24** Car parking should be provided in accordance with [Table Adel/7](#) and be ancillary to an approved or existing use.

Land Division

- 25** Land division should occur only where new allotments are of a size and configuration that will ensure the objectives of the Zone can be achieved.

PROCEDURAL MATTERS

Complying Development

- 26** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following forms of development are designated as complying subject to the conditions contained in [Table Adel/7](#) – On-site Car Parking Provisions:

- (a) change in the use of land from residential to office on the ground or first floor of a building; or
- (b) change in the use of land from residential to a shop (other than a licensed premises) with a gross leasable floor area of less than 250 square metres on the ground floor of a building.

Non-complying Development

- 27** The following forms of development are **non-complying**:

- (a) A change of use to any of the following:
 - Adult entertainment premises
 - Adult products and services premises
 - Industry

Fuel depot
 Office not in association with residential development
 Petrol filling station
 Public service depot
 Road transport terminal
 Service trade premises
 Store
 Transport depot
 Vehicle parking except where it is ancillary to an approved or existing use
 Warehouse
 Waste reception storage treatment and disposal

- (b) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#)).

Public Notification

- 28** Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

In addition, the following forms of development, or any combination thereof (except where the development is non-complying) are assigned:

- (a) **Category 1**, public notification not required:

Advertisement
 Aged persons accommodation
 All forms of development that are ancillary and in association with residential development
 Consulting room
 Community centre
 Dwelling
 Educational establishment
 Office in association with residential development
 Pre-school
 Primary school
 Restaurant
 Residential flat building
 Retirement village
 Shop or group of shops
 Supported accommodation
 Tourist accommodation

- (b) **Category 2**, public notification required. Third parties do not have any appeal rights:

- (i) All forms of development not assigned Category 1.
- (ii) Any form of development assigned Category 1 where the site of the development is adjacent land to land in the City Living Zone or Adelaide Historic (Conservation) Zone and it exceeds 22 metres in building height.
- (iii) Any development on a catalyst site (a site greater than 1500 square metres, which may include one or more allotment) that exceeds 36 metres in building height south of Gilles and Gilbert streets, or 29 metres in building height north of Gilles and Gilbert streets.

Note: For Category 3 development, public notification is required. Third parties may make written representations, appear before the relevant authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

11 INSTITUTIONAL (ST ANDREW'S) ZONE

The desired character, objective and principles of development control that follow apply to the Institutional (St Andrew's) Zone shown on [Maps Adel/26 and 32](#). They are additional to those expressed for the whole of Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Zone.

DESIRED CHARACTER

The zone will primarily accommodate medical related activity, including a major city hospital supported by a range of medical services and other uses that provide services and facilities for staff, patients and visitors, along with independent medical and allied health facilities. The zone may also accommodate residential development and small scale shops and cafes, primarily as part of mixed use buildings.

The Zone will be developed with buildings of medium scale which are suitable for the intended use. The location and scale of buildings will achieve high quality urban design outcomes.

Development will respect the setting and form of the prevailing built form character within the Zone.

Buildings will have a strong horizontal emphasis with clearly defined and segmented vertical elements. At street level, the use of solid materials will be appropriately balanced with glazed areas to provide visual interest and activity. Tall façades will be well articulated with finer details that contribute positively to the public realm, including modelled façades and fenestration that make use of light and shade. An interesting pedestrian environment and human scale at ground level which integrates well with the Park Lands will be created.

Buildings will respond to heritage places through contemporary designs that include variations in

façade treatments and building materials, as well as the use of modulated roof forms and parapets

that contribute to a varied and interesting pedestrian environment. The location and scale of buildings will achieve high quality urban design outcomes.

Non residential land uses will be located on the ground and lower levels of new buildings. Any residential uses will primarily be located on the upper levels of a building.

Vehicle access will be primarily for local traffic and visitors. Pedestrian amenity will be maintained through provision of street trees and landscaping. An interesting pedestrian environment and human scale at ground level which integrates well with the Park Lands will be created. Access to the South Park Lands will continue to be readily available and safe.

Catalyst sites provide opportunities for integrated developments on large sites to assist in the transformation of a locality. Such developments will facilitate investment and expansion of City services.

Development on catalyst sites will exemplify quality and contemporary design that is generally greater in height, or intensity, than its surroundings. However, development will be designed to carefully manage the interface with sensitive uses in adjoining zones, particularly with regard to massing, proportions, overshadowing, and traffic and noise related impacts.

OBJECTIVE

Objective 1: A Zone primarily accommodating a hospital, clinical and health training, and allied research and educational facilities, along with independent medical and allied health facilities.

Objective 2: Development that strengthens, achieves and is consistent with the desired character of the Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following types of development, or combinations thereof, are envisaged in the Zone:
 - Aged Persons Accommodation
 - Child Care Facility
 - Consulting room
 - Dwelling
 - Educational establishment
 - Health Centre
 - Hospital
 - Office
 - Restaurant, café or kiosk
 - Shop
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development may include small-scale shops, cafés restaurants or kiosks, located at ground or lower building floor levels to increase street level activity facing the Park Lands and service the local community.
- 4 New residential development should primarily be part of a mixed use building, and be located on the upper floors.

Design and appearance

- 5 Development should incorporate design measures that provide a transition between the higher intensity development in this Zone and the lower intensity development in the City Living Zone or Adelaide Historic (Conservation) Zone.

Built Form

- 6 Development should have regard to the siting of existing buildings. Development on sites greater than 1500 square metres (which may include one or more allotment) in area can be greater in intensity and scale of built form.
- 7 Buildings should be articulated to reduce the apparent bulk of large scale development. Development should be massed, and detailed, so as not to produce monumental or imposing forms and achieve a more intimate and human-scaled environment.
- 8 Except for the St Andrew's Hospital site (incorporating Town Acres 657, 658, 665, 666, together with past Town Acres 659 and 664) or development on sites greater than 1,500 square metres in area (which may include one or more allotment), buildings should not exceed 15 metres in building height.
- 9 For the St Andrew's Hospital site (incorporating Town Acres 657, 658, 665, 666 together with part Town Acres 659 and 664), the following design elements should be created:
 - (a) A unifying urban design theme of a hospital complex set in landscaped grounds, with increasing building height being set away from boundaries in order to manage the interface with residential development with regard to intensity of use, overshadowing, massing, building proportions and traffic to minimise impacts on residential amenity.
 - (b) Facades of buildings with street frontage should be articulated and detailed and avoid highly reflective finishes. The redevelopment or the upgrading of discordant facades should be undertaken concurrent with new development.
 - (c) The design of buildings adjacent to Gilles Street, Vincent Street and St John's Lane should complement the streetscape character with regard to scale, massing, siting, composition and architectural detail.

- (d) Any multi-decked car park facades should be designed to complement and integrate with the hospital complex when viewed from adjacent streets, restrict noise levels at the boundary, minimise light spill into adjacent residential properties and minimise overlooking.
- (e) Fencing should be a consistent and unifying theme around the site. Hedges may be preferable along Gilles Street and unification of the style of stone walling along South Terrace is appropriate.
- (f) No further building encroachments into the curtilage of Waverly House should occur.

Catalyst Sites

- 10 Development on catalyst sites (sites greater than 1500 square metres, which may include one or more allotment) should be medium to high scale.
- 11 Catalyst sites should be developed to manage the interface with residential development with regard to intensity of use, overshadowing, massing, building proportions and traffic to minimise impacts on residential amenity.
- 12 The scale of development on a catalyst site should respond to its context, particularly the nature of the adjacent land uses and the interface treatments required to address impacts on sensitive uses.
- 13 Where there is an apparent conflict between the catalyst site principles and Zone or Council Wide objectives and principles (including the quantitative provisions) the catalyst site principles will take precedence.

Car Parking and Access

- 14 Vehicle access should minimise any disruption to the continuity of footpaths and street trees and maintain existing streetscapes.
- 15 Except for the St Andrew's Hospital site (incorporating Town Acres 657, 658, 665, 666 together with part Town Acres 659 and 664), vehicle access should be obtained from South Terrace where possible.
- 16 Access to the St Andrew's Hospital site (incorporating Town Acres 657, 658, 665, 666 together with part Town Acres 659 and 664) resulting from any additional traffic generation associated with an expansion or intensification of development should be provided off South Terrace or Gilles Street. This should not be through the curtilage of Waverly House. Access from Vincent Street and additional access or intensification of access from or to St John Lane is inappropriate.
- 17 Car parking should be provided to serve all non-residential development and located behind buildings wherever possible.
- 18 A lesser car parking rate than prescribed for the zone in [Table Adel/7](#) may be applied where justified based on local circumstances, for example where:
 - (a) sites are located within 200 metres walking distance of a convenient and frequent service fixed public transport stop (including a bus stop);
 - (b) mixed use development including residential and non-residential development has respective peak demands for parking occurring at different times;
 - (c) the proposed development is on or adjacent to the site of a heritage place, or includes retention of a desired traditional building and its features, which hinders the provision of on-site parking
 - (d) suitable and conveniently located parking is available elsewhere, for example through:
 - (i) existing or proposed on-street parking;

- (ii) an existing or proposed parking station, multi-level car park or similar;
- (iii) an integrated and/or shared parking arrangement with other land.

Advertising

- 19** Advertisements should be restrained in design and simple in use of colour and should seek to achieve a coherent and complementary image for the zone.
- 20** Illumination of advertisements and directional signs should be restricted to the level necessary to achieve identification at night and not detract from residential amenity.

Complying Development

- 21** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following kinds of development are designated as **complying**:

- (a) Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:
 - (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing the site.

Non-complying Development

- 22** The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:
 - Adult entertainment premises
 - Adult products and services premises
 - Amusement machine centre
 - Car park except where ancillary to an approved or existing use
 - Cinema
 - Hotel
 - Indoor recreation centre
 - Industry
 - Licensed entertainment premises
 - Licensed premises
 - Service trade premises
 - Tourist Accommodation
 - Theatre
 - Warehouse
- (b) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#)).
- (c) Total demolition of a Local Heritage Place (City Significance) or of the frontage and side wall returns visible from the street of a Local Heritage Place (Townscape).
- (d) Total demolition of a Local Heritage Place, or that portion of a Local Heritage Place comprising its Elements of Heritage Value.
- (e) Advertisements involving any of the following:
 - (i) Animation
 - (ii) Third party advertising

- (iii) Advertisements at roof level where the sky or another building forms the background when viewed from ground level.

Public Notification

23 For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

(a) **Category 1**, public notification not required:

Advertisements (except those classified as non-complying)
 Aged Persons Accommodation
 Child Care Facility
 Consulting room
 Dwelling
 Educational establishment
 Health Centre
 Hospital
 Office
 Restaurant
 Shop
 Temporary accommodation for hospital workers and family members of hospital patients.

(b) **Category 2**, public notification required, third parties may, at the discretion of the relevant planning authority, appear before the relevant planning authority on the matter. Third parties do not have appeal rights:

- (i) all forms of development not assigned Category 1;
- (ii) any form of development assigned Category 1 where it exceeds 15 metres in building height.

Note: For Category 3 development, public notification is required. Third parties may make written representations, appear before the relevant authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

I2 INSTITUTIONAL (GOVERNMENT HOUSE) ZONE

The desired character, objective and principles of development control that follow apply to the Institutional (Government House) Zone shown on [Maps Adel/18 and 19](#) and [Figure I/2](#). They are additional to those expressed for the whole of Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Zone.

DESIRED CHARACTER

The Zone will continue to serve vice-regal functions and accommodate uses ancillary to that function. The environmental character of the Zone will remain predominantly landscaped, with no further major development taking place.

Prince Henry Gardens will continue to provide significant pedestrian shelter and amenity. This avenue of trees and other plantings will be maintained as a contrast to the built form south of North Terrace, through replacement planting wherever necessary. Improvements to the street treatment in this section will be made in the overall context of the concept plan for North Terrace.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Zone.

PRINCIPLES OF DEVELOPMENT CONTROL

Form of Development

- 1 Development should strengthen, achieve and be consistent with the desired character for the Zone.
- 2 Government House and its ancillary uses are the only desired activities.

Built Form and Public Environment

- 3 There should be no substantial or visually intrusive development.
- 4 Alterations or minor additions to Government House itself and other outbuildings are appropriate, subject to their deference to and conformity with the character of existing buildings in the Government House grounds.
- 5 Small garden-associated structures such as pavilions, gazebos, or greenhouses are appropriate.
- 6 The establishment and growth of the landscape features of the Zone should not be detrimentally affected by any development.
- 7 The environmental character of the Zone should continue to be that of a landscaped park as it is the only remaining landscape element of the original Park Lands between the River Torrens and North Terrace.
- 8 Prince Henry Gardens with its avenue of street trees, high quality paving and lighting along the North Terrace frontage should continue to provide significant pedestrian shelter and amenity. This avenue of trees and other plantings should be maintained as a contrast to the built form south of North Terrace, through replacement planting wherever necessary.

Car Parking and Access

- 9 No additional vehicle access points into the Zone should be established.
- 10 Parking adequate to serve the needs of Government House should be provided on-site, but no other parking should be developed in the Zone.



ADELAIDE (CITY) **INSTITUTIONAL (GOVERNMENT HOUSE) ZONE** **HERITAGE PLACES AND SIGNIFICANT TREES**

Fig I/2

Consolidated - 30 April 2020

Advertising

- 11** All advertisements are inappropriate with the exception of integrated free-standing and low free-standing signs, which must be non-illuminated and of minimal size and number.

Complying Development

- 12** No kinds of development are **complying**.

Non-complying Development

- 13** The following kinds of development are **non-complying**:

- (a) All uses other than Government House and its ancillary uses.
- (b) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#)).
- (c) Total demolition of a Local Heritage Place (City Significance).
- (d) All advertisements except for independently supported advertisements permanently fixed to the ground which are less than 1.5 metres in total height, measured from the mean level of the ground adjacent to the advertisement.

Public Notification

- 14** For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

- (a) **Category 1**, public notification is not required:
 - (i) all development, except that classified as non-complying;
 - (ii) non-complying development which, in the opinion of the relevant planning authority, is of a minor nature only and is unlikely to be the subject of reasonable objection from the owners or occupiers of land in the locality of the site of the development.

Note: For Category 3 Development, public notification is required. Third parties may make written representations, appear before the relevant authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

13 INSTITUTIONAL (UNIVERSITY) ZONE

The desired character, objective and principles of development control that follow apply to the Institutional (University/Hospital) Zone shown on [Maps Adel/14 and 19](#) and [Figure I/3](#). They are additional to those expressed for the whole of Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Zone.

DESIRED CHARACTER

The Zone will be maintained and enhanced as the cultural and institutional heart of the City. It is South Australia's primary centre for tertiary education, research, medical and cultural institutions and also provides significant leisure and tourism opportunities. Expansion of existing activities will be accommodated by means of sensitive infill development with the construction of new buildings within present sites or on vacant land currently used for car parking, in accordance with coordinated master plans of the major institutions.

The built form and environment of the Zone will maintain a transition between the intense urban form of the Central Business Area and the open landscape of the Torrens Valley. The succession of both landscaped and paved open spaces around and between buildings, the largely pedestrian orientation of the area, the askew siting of buildings as well as their low scale, and consistent style and materials corresponding to major periods of development, has produced a townscape character and quality unlike anything existing or ever likely to be developed within the Town Acres.

The North Terrace frontage is a prime section of the City's 'cultural boulevard' in which the improvement of pedestrian amenity and ease of pedestrian movement across North Terrace will be a priority. Improvements to the northern footpaths will be integrated with redevelopments of the Museum, State Library and university forecourts to provide greater levels of visibility and access to these buildings. A high level of accessibility will be maintained by public transport and from public car parks off North Terrace.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Zone.

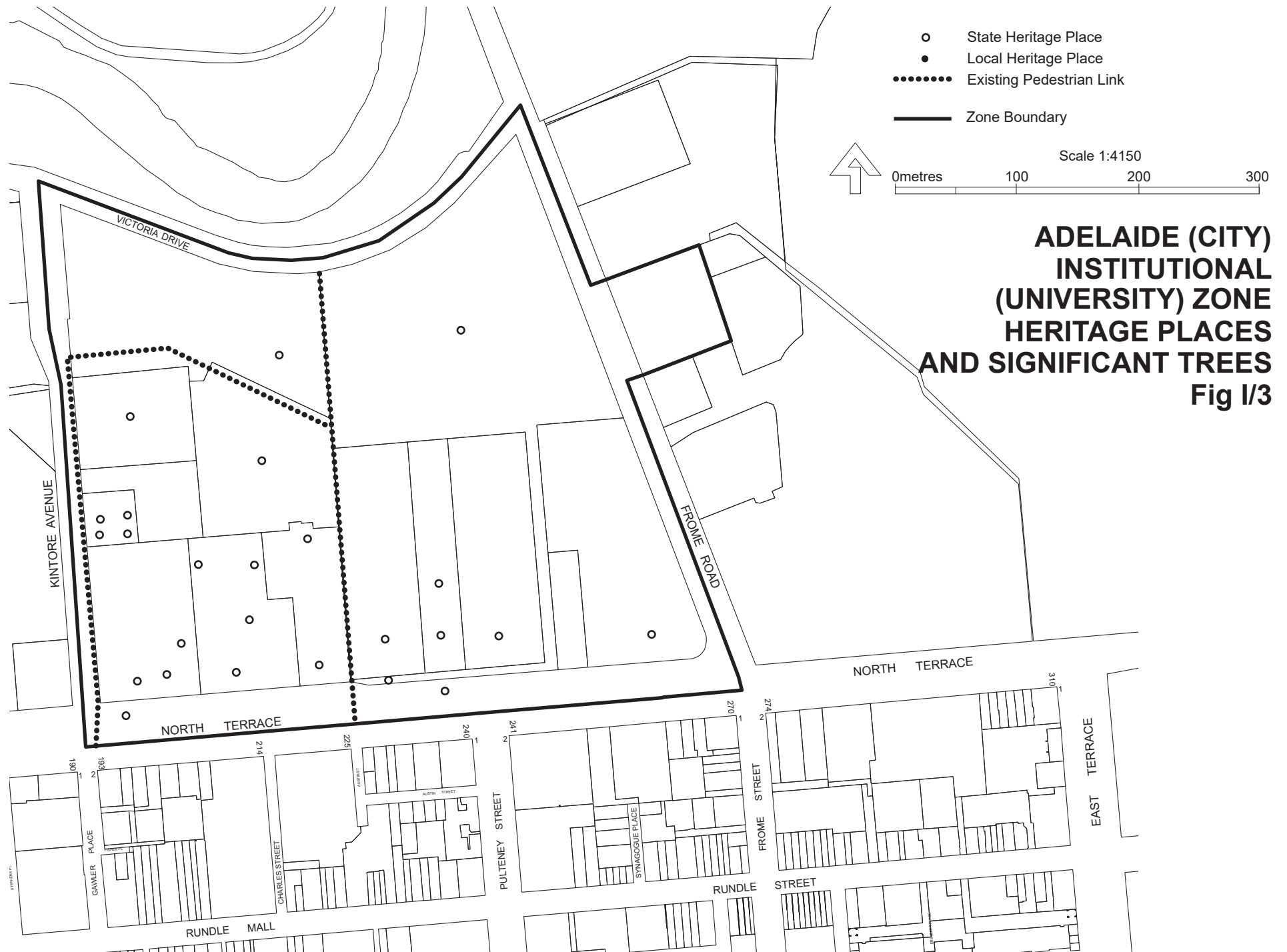
PRINCIPLES OF DEVELOPMENT CONTROL

Form of Development

- 1 Development should strengthen, achieve and be consistent with the desired character for the Zone.
- 2 Desirable uses include art galleries, community centres, conference centres, educational establishments, museums, pre-schools, public libraries, and research laboratories.

Built Form and Public Environment

- 3 Development should be compatible in design with existing buildings and their siting, and should not be detrimental to the amenity of the Zone frontages. Development should maintain the established set-back pattern of alternating buildings and landscaped spaces along North Terrace.
- 4 Buildings should be dignified and emphasise the horizontal grouping of building elements, although within the design of facades the use of vertical proportions in projections and in the disposition of openings is appropriate.
- 5 Buildings should have modelled and textured facades and a predominantly masonry appearance similar to the early university buildings which give the campus its established historical character.



- 6 Building materials should be red brick or masonry for walls and slate, shingles, terra cotta tiles or copper for exposed roofs. The use of ornament and decoration in building facades and roof forms is desirable to ensure that additions are compatible with nearby buildings in form and appearance.
- 7 Along the North Terrace frontage there should be no diminution of existing landscaped open space between the buildings and the street boundary, unless greater pavement area is required for pedestrians.
- 8 External additions and infill development between or in front of existing buildings along the frontages of North Terrace, Frome Road (western side), Kintore Avenue and Victoria Drive are generally inappropriate.
- 9 A high level of pedestrian amenity should be maintained in the Zone and night time safety should be improved by additional lighting to pedestrian thoroughfares and major buildings.
- 10 Pedestrian dominance and priority should be maintained west of Frome Road.
- 11 Pedestrian shelter should utilise a combination of planting, through-building links and canopies integrated with buildings. Free-standing pedestrian shelter is undesirable.
- 12 A variety of pleasant and interesting landscaped spaces - both lawned and paved - should be created, ranging from those suitable for group meetings and social activities to those for quiet retreat and relaxation. Such spaces, the pedestrian links between them, and internal access roads within the Zone, should be landscaped with trees and other plantings.
- 13 The landscaped edge of the Zone, created by North Terrace west of Frome Road should provide shade for pedestrians while enhancing northward views from North Terrace. North of this, landscape design should become less formal and incorporate large, high-crowned trees which allow views through to the forecourt spaces of the many significant cultural and institutional buildings.
- 14 On the Victoria Drive frontage the plantings between the boundary fence and the University buildings should be conserved.
- 15 The avenues of street trees on the North Terrace, Kintore Avenue, Frome Road and Victoria Drive frontages form important landscaped edges to the Zone's built form, and should be maintained as part of the essential character of the Zone.

Height

- 16 To minimise further visual impact on the Park Lands, the height of new buildings should scale down from that established by the existing buildings fronting onto North Terrace to buildings at the boundaries of the Zone that:
 - (a) do not exceed 3 building levels; or
 - (b) locate a ceiling more than 10.5 metres above the median natural or finished ground level at any point or any part of a building.
- 17 Away from the frontages to roads or frontages to the Park Lands Zone, the height of new buildings should not:
 - (a) exceed 6 building levels; or
 - (b) locate a ceiling more than 21 metres above the median natural or finished ground level at any point or any part of a building.

Development up to 6 building levels should be designed to minimise the visual and environmental impact of such larger development by sensitive design and siting.

Car Parking and Access

- 18 Pedestrian links in north-south and east-west directions should be maintained and further developed, as indicated on [Map Adel/1 \(Overlay 2A\)](#), [Maps Adel/45 and 50](#) and [Figure I/3](#).

Advertising

- 19 Advertisements should mainly provide information and direction in relation to the cultural, educational and medical functions of the Zone.
- 20 Advertisements should be sober in design and simple in use of colour, and should seek to achieve a consistent image for the Zone while ensuring clear advice to visitors.
- 21 The discreet illumination of advertisements is generally appropriate.
- 22 Temporary banners may be appropriate based on their individual merits. The number of banners should be limited on each site to ensure the buildings remain dominant.

Complying Development

- 23 The following kind of development is **complying**:

Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:

- (a) dust control;
- (b) screening, including landscaping;
- (c) containment of litter and water; and
- (d) securing the site.

Non-complying Development

- 24 The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:

Adult entertainment premises
Adult products and services premises
Amusement machine centre
Backpackers hostel

Car park except:

- (i) where ancillary to an approved or existing use.
- (ii) a multi-level car park.

Day centre (other than a child care centre) west of Frome Road
Emergency shelter west of Frome Road
Hospital west of Frome Road
Hotel
Industry
Motel
Nursing home west of Frome Road
Passenger terminal
Road transport terminal
Service trade premises
Serviced apartment
Transport depot

- (b) Total demolition of a State Heritage Place (as identified in [Table Adel/1](#)).
- (c) Total demolition of a Local Heritage Place (City Significance).
- (d) Advertisements involving any of the following:
 - (i) animation
 - (ii) third party advertising
 - (iii) advertisements at roof level where the sky or another building forms the background when viewed from ground level.

Public Notification

25 For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

- (a) Category 1, public notification is not required:
 - (i) all development, except that classified as non-complying;
 - (ii) non-complying development which, in the opinion of the relevant planning authority, is of a minor nature only and is unlikely to be the subject of reasonable objection from the owners or occupiers of land in the locality of the site of the development.

Note: For Category 3 Development, public notification is required. Third parties may make written representations, appear before the relevant authority on the matter, and may appeal against a development consent. This includes any development not classified as either Category 1 or Category 2.

PARK LANDS ZONE

Introduction

The desired character, objectives and principles of development control that follow apply in the Park Lands Zone shown on [Maps Adel/3 to 23, 26 to 33](#). They are additional to those expressed for the whole of the Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Zone.

DESIRED CHARACTER

The desired character for the Zone is comprised of:

- (a) a unique open space system which is the most valued characteristic of the historic layout of the City providing a distinctive image for the City;
- (b) conservation and enhancement for the relaxation, enjoyment and leisure of the City's workers, residents and students, the metropolitan population and visitors;
- (c) open publicly accessible landscaped park setting for the built-form of South Adelaide and North Adelaide, which separates the built areas of the City from the surrounding suburban areas;
- (d) a balance of both formal and informal recreational activities including sporting clubs, walking and cycling trails, formal gardens and passive recreation areas as well as providing a setting for a variety of special events such as festivals and sporting events;
- (e) enhancement of the Park Lands through the reduction in building floor areas, fenced and hard paved areas;
- (f) public infrastructure, including schools and other education facilities, roads, railways, tramways and busways, and their supporting structures and works in some parts of the zone; and
- (g) a well connected pedestrian and cycle network throughout the Park Lands.

OBJECTIVES

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Zone and its relevant Policy Areas.

Objective 2: The Park Lands as a model of excellence for the provision, maintenance and development of:

- (a) a sustainable environment;
- (b) an integrated open space system;
- (c) a diverse range of recreational opportunities and cultural experiences; and
- (d) indigenous, European and other landscapes

Objective 3: Protect remnant vegetation of local native species and establish landscape features and habitat corridors, including appropriately treated watercourses.

Objective 4: Ensure that new buildings or redevelopment of existing buildings in the Park Lands result in:

- (a) buildings that deliver public benefit, respond to the surroundings and incorporate the highest quality of design and materials;
- (b) the enhancement of buildings used for sport, recreation and cultural purposes;

- (c) a net reduction in total floor area through the removal of unsuitable or under-utilised structures or facilities;
- (d) the enhancement or redevelopment of heritage places for public use;
- (e) buildings that have minimal environmental impact; and
- (f) provision being made for cyclists.

Objective 5: Establish landscape design, planting, management and maintenance regimes to reflect the character identified within the specific Policy Areas.

PRINCIPLES OF DEVELOPMENT CONTROL

Form of Development

- 1 Development should strengthen, achieve and be consistent with the desired character for the Zone and its relevant Policy Areas.
- 2 The Park Lands should be used for a diversity of outdoor recreation uses, the nature of which is specified in the relevant Policy Area.
- 3 Indoor recreation is considered to be contrary to the open character desired for the Park Lands and should be restricted to specific existing or proposed buildings.
- 4 Development of new and the expansion of existing formal outdoor recreation uses should be restricted except where specified in the relevant Policy Area.
- 5 Special events and formal recreation uses of a temporary or transient nature may be appropriate throughout the Park Lands Zone on a temporary basis provided that the existing surface and landscape features of the land affected can be subsequently reinstated without change to its physical and visual condition and character. The setting up or preparing for the event and the dismantling after the event should be done in an expeditious manner.
- 6 Development should not diminish the indigenous cultural value of the locality, with particular respect to the areas identified in [Map Adel/1 \(Overlay 14\)](#).
- 7 Development for the purpose of public infrastructure may be undertaken within the Golf Links Policy Area 16, River Torrens East Policy Area 18, Botanic Park Policy Area 19, Rundle and Rymill Parks Policy Area 20 and River Torrens West Policy Area 24 including:
 - (a) the infrastructure, equipment, structures, works and other facilities used in or in connection with the supply of water or electricity, gas or other forms of energy, or the drainage of waste water or sewage;
 - (b) roads and their supporting structures and works;
 - (c) railways, tramways and busways;
 - (d) schools and other education facilities (only within Botanic Park Policy Area 19); and
 - (e) all other facilities that have traditionally been provided by the State (but not necessarily only by the State) as community or public facilities;

where undertaken:

 - (i) by a State agency (whether or not in partnership or joint venture with a person or body that is not a State agency); and/or
 - (ii) by a person or body (that is not a State agency) where the development is specifically endorsed by a State agency.

Built Form and Public Environment

- 8** The number and extent of buildings in the Park Lands should be reduced.
- 9** Additional or replacement buildings and structures should only be established, and existing buildings should only be enlarged, if the development rationalises or improves the appearance of undesirable or intrusive existing buildings or uses, or provides facilities for public purposes.
- 10** Buildings should:
 - (a) where intended to be visible from a distance or to form the termination of a view or vista, have a pavilion design character incorporating verandahs, pergolas, or colonnades on all sides, unless an alternative design character can be shown to be more responsive to the character of the relevant Policy Area in which the building is situated;
 - (b) be designed to be as unobtrusive as possible, complement and blend with their surrounds, and be suitably screened by landscaping; and
 - (c) be sited and designed to enable multiple use by different user groups wherever practicable.
- 11** Mobile Kiosks may be considered appropriate where they:
 - (a) are ancillary to the use of the Park Lands;
 - (b) provide a range of goods and services:
 - (i) for the users of activities in the Park Lands;
 - (ii) where such goods and services would not otherwise be conveniently accessible;
 - (iii) for such period of time to serve the Park Lands users;
 - (c) maintain the open Park Lands character by the following:
 - (i) being sited sensitively to the relevant desired character;
 - (ii) not being stored in the Park Lands when not being used to serve Park Lands users.

Advertising

- 12** Permanent advertisements are inappropriate, except:
 - (a) temporary advertisements promoting events in the Park Lands;
 - (b) interpretative or directional advertisements relating to features and facilities within the Park Lands, subject to conformity with a consistent design theme.
- 13** Advertisements should relate to a local event of a religious, educational, cultural, social or recreational character or to an event of a political character, and should comply with the following:
 - (a) the total advertisement area of all advertisements displayed on a building or site should be no more than two square metres;
 - (b) except for an advertisement that relates to a federal, State or local government election, the advertisement should not be displayed for more than one month prior to the event and one week after the conclusion of the event; and
 - (c) the advertisement should not:
 - (i) move or flash;

- (ii) reflect light so as to be an undue distraction to motorists;
- (iii) be internally illuminated; or
- (iv) be used to principally advertise brands or products.

- 14** Interpretative or directional advertisements relating to features and facilities within the Park Lands are appropriate, subject to conformity with a consistent design theme.
- 15** Permanent advertisements are inappropriate and existing permanent advertisements should be removed.

Temporary depots or site compounds

- 16** Temporary depots or site compounds associated with construction works may be considered appropriate where the following is achieved:
- (a) land occupied is kept to a minimum to minimise the impact on the public enjoyment of the Park Lands;
 - (b) land will suitably be reinstated to the same standard as prior to its temporary use or to an improved standard that is consistent with the Desired Character of the relevant policy area;
 - (c) construction timelines are minimised to limit the impact to the public users of Park Lands;
 - (d) safe and convenient alternatives are provided to any disrupted movement patterns;
 - (e) impacts from construction waste and excavated soil are minimised on the Park Lands; and
 - (f) car parking is restricted to vehicles necessary to be located on the site to support construction works.

Complying Development

- 17** The following kinds of development are **complying**:
- (a) Demolition and removal of a building or structure providing:
 - (i) the demolition does not involve or affect a State heritage place or Local heritage place; and
 - (ii) the land affected is returned to Park Lands and/or is landscaped in accordance with the desired landscape character of the Policy Area.
 - (b) Special Events except in the Golf Links, Northern Park Lands, River Torrens East, Southern Park Lands and Brougham and Palmer Gardens Policy Areas providing the special event will not be held over more than 3 consecutive days, excluding any additional period required for setting up or preparing for the event or after the event for dismantling the event; and
 - (c) Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:
 - (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing the site.

Non-complying Development

18 All kinds of development are **non-complying** except:

Bridges and associated structures providing pedestrian and cycle access over the River Torrens located in the Golf Links Policy Area 16, the River Torrens East Policy Area 18, Botanic Park Policy Area 19, River Torrens West Policy Area 24, and over Hackney Road into Botanic Park Policy Area 19

Bridge and associated structures providing pedestrian and bicycle access over Park Terrace to the River Torrens West Policy Area 24, from North Terrace to the River Torrens West Policy Area 24 (in the area marked F as shown on [Map Adel/48](#)) and over Torrens Lake between the Adelaide Festival Centre and Adelaide Oval Policy Area 25

Cafes:

- (a) that do not increase the building foot print;
- (b) with a gross leasable area not exceeding 50 square metres; and
- (c) located in the Botanic Park, Eastern Park Lands, Southern Park Lands or the Western Park Lands Policy Areas.

Cafe, Restaurant, Licensed Premises, Community, Cultural and Tourism uses located in the:

- (a) River Torrens West Policy Area in the area marked F as shown on [Map Adel/48](#);
- (b) Adelaide Oval Policy Area, as shown on [Map Adel/49](#).

The refurbishment of the existing clubhouse provided there is no increase in total floor area within the Golf Links Policy Area

A new replacement clubhouse (which may incorporate retail areas and licensed premises) provided no increase in total floor area within the Golf Links Policy Area

Community, cultural or tourism use in association with the retention of a heritage place in the River Torrens West Policy Area or in association with conservation of the Torrens Training Depot and Parade Ground in the Adelaide Oval Policy Area

Complying development in the Zone

Development for and ancillary to existing uses contained within their existing site boundaries;

Development for the purpose of public infrastructure within the Golf Links Policy Area 16, River Torrens East Policy Area 18, Botanic Park Policy Area 19, Rundle and Rymill Parks Policy Area 20 and River Torrens West Policy Area 24 including:

- (a) the infrastructure, equipment, structures, works and other facilities used in or in connection with the supply of water or electricity, gas or other forms of energy, or the drainage of waste water or sewage;
- (b) roads and their supporting structures and works;
- (c) railways, tramways and busways;
- (d) schools and other education facilities (only within Botanic Park Policy Area 19); and
- (e) all other facilities that have traditionally been provided by the State (but not necessarily only by the State) as community or public facilities;

and development undertaken:

- (i) by a State agency (whether or not in partnership or joint venture with a person or body that is not a State agency); and/or
- (ii) by a person or body (that is not a State agency) where the development is specifically endorsed by a State agency.

Development which, in the opinion of the relevant planning authority, is of a minor nature only and is unlikely to be the subject of reasonable objection from the owners or occupiers of land in the locality of the site of the development

Flood mitigation works along the south Park Lands creek within the Southern Park Lands Policy Area

Formal and informal boating facilities, activities and events in the Adelaide Oval Policy Area and the River Torrens West Policy Area within the area marked F as shown on [Map Adel/48](#)

Formal Recreation Area except in the Golf Links, Botanic Park, Rundle and Rymill Park or the Brougham and Palmer Place Policy Areas

Horse Agistment within the Northern Park Lands or the River Torrens West Policy Areas within the area marked B as shown on [Maps Adel/35, 36, 39, 42 and 47](#)

Informal Recreational Area

Mobile Kiosk:

- (a) where they are ancillary to the use of the Park Lands;
- (b) provide a range of goods and services for the users of activities in the Park Lands where such goods and services are not conveniently located; and
- (c) are not permanently set up in the one location.

Redevelopment of the existing building immediately north of the Torrens Weir for golf clubhouse purposes provided there is no increase in building footprint

Special Events in the:

- (a) Botanic Park and Rundle and Rymill Park Policy Areas within the area marked A as shown on [Maps Adel/51 and 52](#);
- (b) Eastern Park Lands Policy Area within the area marked A as shown on [Maps Adel/52, 57 and 58](#), where they do not require the erection of additional permanent structures;
- (c) Western Park Lands and the River Torrens West Policy Areas within the area marked A as shown on [Maps Adel/53 and 54](#); or
- (d) Adelaide Oval Policy Area within the areas marked A and I as shown in [Maps Adel/49, 53 and 54](#).

Temporary advertisements promoting events in the Park Lands or interpretative or directional advertisements relating to features and facilities within the Park Lands.

Temporary depot or site compound associated with construction works undertaken for the purposes of public infrastructure:

- (a) by a State agency (whether or not in partnership or joint venture with a person or body that is not a State agency); and/or
- (b) by a person or body (that is not a State agency) where the development is specifically endorsed by a State agency.

Tree damaging activity

Public Notification

19 The following kinds of development are assigned as **Category 1**:

- (a) all development, except that classified as non-complying; and
- (b) non-complying development which, in the opinion of the relevant planning authority, is of a minor nature only and is unlikely to be the subject of reasonable objection from the owners or occupiers of land in the locality of the site of the development.

Golf Links Policy Area 16

Introduction

The desired character, objective and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/37, 38, 42, 43 and 44](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

The Policy Area comprises of Park 1 and is known as Piltawodli.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of:

- (a) formal outdoor recreation, primarily in the form of a public golf course set in an irrigated and unfenced landscaped park environment;
- (b) a landscape where indigenous trees predominate and the theme of significant exotic tree species is strengthened;
- (c) good quality facilities and services to encourage public access and increased usage of the golf courses;
- (d) improvement of the existing built form and car parking associated with the golf courses in a manner that does not result in an increase in total floor area or hard paved area. Relocation of the facilities adjacent to War Memorial Drive may be appropriate in the long term, with impacts on the amenity of the adjoining residential area minimised; and
- (e) public infrastructure, including roads, railways, tramways and busways, and their supporting structures and works.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Development may include the following:
 - (a) Golf Course;
 - (b) Informal Recreational Area; and
 - (c) Refurbishment of the existing clubhouse or a new replacement clubhouse (which may incorporate retail areas and licensed premises) that will not result in a net increase in total floor area within the Policy Area.
- 3 Development of retail services, social activities and facilities for the provision of meals and refreshment to the public in association with golfing purposes should preferably occur in those parts of the Policy Area which do not adjoin the North Adelaide Historic (Conservation) Zone.

- 4 Consideration should be given in the longer term to the relocation of the existing country club/golf clubhouse complex and associated car parking situated near the corner of Ward Street and Strangways Terrace, North Adelaide.
- 5 A replacement building (incorporating club house, retail areas and licensed premises) located in the vicinity of War Memorial Drive is appropriate to consolidate the functions associated with golfing into a discrete area of the Policy Area provided there is no increase in total floor area within the Policy Area.
- 6 Perimeter areas should continue to be used for informal recreation.
- 7 Existing public conveniences located on the golf courses should be replaced with structures designed in accordance with the Council Wide Principles.
- 8 Advertising hoardings are not appropriate.

Planting Character and Landscape

- 9 The irrigated character should be maintained by best practice water conservation and water recycling.
- 10 The overall Park Lands theme of Australian native and significant exotic tree species should be strengthened. Additional tree planting should be undertaken to improve the environmental character and outlook from each of the adjacent Terraces and War Memorial Drive, while maintaining existing views into the park. Highly polluting exotic tree species with a heavy leaf drop along the river banks should be replaced with local native species to provide a safe habitat for native fauna.
- 11 Items of significant landscape interest include:
 - (a) Avenue of Moreton Bay Figure trees along War Memorial Drive.

These trees should be retained to maintain the environmental character of those parts of the Policy Area.

Car Parking and Access

- 12 Public pedestrian and bicycle access through the park should be maintained.
- 13 Existing car parks for golfers and country club patrons within the golf courses should be removed, and the area returned to Park Lands as open space, upon relocation of the country club/golf clubhouse complex. Car parking should be provided adjacent to any new facility without increasing net hard paved area in the Policy Area.

Northern Park Lands Policy Area 17

Introduction

The desired character, objective and principles of development control that follow apply to the Policy Area as shown on [Map Adel/34 to 36 and 38 to 41](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

The Policy Area comprises of Park 2 known as Padipadinyilla, Park 3 known as Kandarilla, Park 4 known as Kangattilla, Park 5 known as Ngampa Yerta, Park 6 known as Nanto Womma, Park 7 known as Kuntingga and Park 8 known as Barnguttilla.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of:

- (a) informal and formal outdoor recreation characterised by grassed areas and peripheral woodland planting;
- (b) olive groves in Parks 7 and 8, these being of State heritage value used for passive outdoor recreation activities;
- (c) a landscape of predominantly Eucalyptus species, woodland and open grassed playing fields;
- (d) views from LeFevre Terrace over the Klemzig Valley towards Mount Lofty Ranges framed with tall growing tree species; and
- (e) preserved areas of remnant vegetation.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Development may include the following:
 - (a) Informal Recreational Area;
 - (b) Formal Recreational Area;
 - (c) Renovations to the Adelaide Aquatic Centre within the existing site; and
 - (d) Horse Agistment, within the area marked B as shown on [Maps Adel/35, 36 and 39](#).
- 3 The area defined as the Olive Grove within Parks 7 and 8 on [Maps Adel/40 and 41](#) should maintain its informal outdoor recreation usage in addition to the harvesting of olives.
- 4 Expansion of the electricity substation and water reservoir at the corner of Barton Terrace East and O'Connell Street is inappropriate. Ultimately, both facilities should be removed and the areas returned to Park Lands usage.
- 5 Extensions to or new buildings at the Adelaide Aquatic Centre should be restricted unless they consolidate and replace existing buildings with structures more appropriate to the Park Lands environment and with no increase in total floor area. Other than this, no additional buildings should be permitted.

Planting Character and Landscaping

- 6 The existing character of olive groves between Mann and Park Roads should be conserved and managed, both for the heritage value of the olive plantations and their importance as a visual buffer between Lower North Adelaide and adjoining suburbs.
- 7 The existing character of Eucalyptus species, woodland and open grassed playing fields along Barton Terrace West and Barton Terrace East and the open grassland along LeFevre Terrace and Kingston Terrace should be maintained and reinforced with additional planting.

8 Items of significant landscape interest include:

- (a) a group of trees at the north west corner of Park No 2;
- (b) the Casuarinas in Park 3 adjacent to Main North Road;
- (c) the Pinus canariensis in Park 4;
- (d) the Araucarias in Parks 4 and 5 adjacent to LeFevre Road;
- (e) a stand of trees in Park 6 along LeFevre and Kingston Terraces;
- (f) the avenue of Palms along Robe Terrace; and
- (g) the olive groves in Parks 7 and 8 between Mann Road and Park Road.

These trees should be retained to maintain the environmental character of the locality.

Car Parking and Access

- 8** Existing car parking facilities in the Aquatic Centre may be retained, but no additional area of Park Lands should be used for car parking purposes.
- 9** Public vehicle access into the Park Lands should be restricted.

River Torrens East Policy Area 18

Introduction

The desired character, objective and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/40, 41, 45 and 46](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

This Policy Area comprises of Park 9 known as Tidlangga, Park 10 known as Warnpangga and part Park 12 known as Karrawirra.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of:

- (a) informal and formal outdoor recreation and areas of open grassed playing fields with a perimeter of significant woodland plantings adjacent to the corridor of indigenous plantings on the banks of the River Torrens/Karrawirra Parri;
- (b) a strong theme of local native plant species in the River Torrens/Karrawirra Parri Valley in conjunction with the deciduous tree character around North Adelaide;
- (c) viable habitat for native wildlife assisted through the planting of the banks of the River Torrens/Karrawirra Parri in accordance with the Torrens Linear Park indigenous vegetation planting theme;
- (d) the undergrounding of power lines;
- (e) improvements to pedestrian links through the River Torrens East Policy Area 18, resulting in further activation of the Park Lands and improvements to the public realm, use and enjoyment of the Park Lands; and

- (f) public infrastructure, including roads, railways, tramways and busways, and their supporting structures and works.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Development may include the following:
 - (a) Informal Recreational Area; and
 - (b) Formal Recreational Area.
- 3 Expansion of formal recreation facilities and buildings should be restricted. Additional or replacement buildings or structures for formal recreational facilities should only be allowed if poor quality buildings are being replaced or activities are being consolidated.
- 4 The existing tennis courts in Park 9 should be reduced in number and the surrounding area landscaped.

Planting Character and Landscape

- 5 The open sports fields of Parks 9, 10 and 12 should be enclosed by perimeter plantings of mixed exotic and native woodland plantings.
- 6 Items of significant landscape interest include:
 - (a) the stand of Eucalyptus trees adjoining MacKinnon Parade west; and
 - (b) the mixed exotic and Australian native plantings surrounding the University Oval in Park 12.

These trees should be retained to maintain the environmental character of those parts of the Policy Area.

Car Parking and Access

- 7 Public vehicle access should be confined to existing roads and no additional car parking should be developed. Access and parking should give preference to Park Land visitors.

Botanic Park Policy Area 19

Introduction

The desired character, objective and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/41, 45, 46, 50 and 51](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

This Policy Area comprises of Park 11 known as Tainmundilla.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of:

- (a) the open park and garden theme of Botanic Park;
- (b) a diversity of uses, such as the Zoological Gardens, Botanic Gardens, Botanic Park, and the National Wine Centre, all carefully managed to sensitively balance the interaction between the built, natural and landscaped environment;
- (c) minimal uses or activities which further alienate Park Lands from public usage;
- (d) a planting theme defined by a mix of exotic and Australian native plantings, lawns and garden beds, and wherever possible, the planting of vegetation of local provenance along the River Torrens/Karrawirra Parri;
- (e) First Creek modified with regraded banks;
- (f) a planting character that acknowledges the variation in landform and the Park Land feature provided by First Creek;
- (g) attractions for opportunities for tourism, education, research and informal recreational enjoyment;
- (h) improvements to pedestrian links through the Botanic Park Policy Area 19, resulting in further activation of the Park Lands and improvements to the public realm, use and enjoyment of the Park Lands; and
- (i) public infrastructure, including schools and other education facilities, roads, railways, tramways and busways, and their supporting structures and works.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1** Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2** Development may include the following:
 - (a) Informal Recreational Area;
 - (b) Zoological Gardens contained within its existing site boundaries;
 - (c) Botanic Gardens;
 - (d) School or other education facility within the existing site boundaries of the Reid building land located on Lot 1, DP 28393 (CR 5988/27), Part Lot 1 DP 28393 (CT 5988/26) and Part Lot 1, DP 28393 (CT 5842/129), Frome Road, Adelaide;
 - (e) National Wine Centre contained within its existing site boundaries and that will not result in an increase in total floor area;
 - (f) Special Events, within the area marked A as shown on [Maps Adel/45 and 46](#); and

- (g) Cafes in Botanic Gardens and Zoological Gardens where they:
 - (i) are ancillary to an associated primary use of the Park Lands;
 - (ii) provide a range of goods and services for the users of activities in the Park Lands and where such goods and services are not otherwise conveniently located;
 - (iii) do not increase the building footprint; and
 - (iv) enhance the Park Lands setting and do not become more visually prominent.
- 3** Within the Zoological and Botanic Gardens, additional buildings are discouraged. Whilst the upgrading of existing structures and facilities is appropriate, it should not result in the increased visual prominence of structures from outside the Policy Area.
- 4** Redevelopment of the Reid building and its existing site located on Lot 1, DP 28393 (CR 5988/27), Part Lot 1 DP 28393 (CT 5988/26) and Part Lot 1, DP 28393 (CT 5842/129), Frome Road, Adelaide, for public infrastructure (school or other education facility) purposes, should take place in a manner that respects the open landscaped character of the Botanic Gardens.
- 5** The development of additional car parks or additional buildings is inappropriate except for the resiting of the Botanic Gardens nursery buildings and car parking on the Reid building land associated with its redevelopment for a school or other education facilities.
- 6** The expansion or replacement of buildings should be restricted, except where the development is for the purposes of public infrastructure (including the redevelopment of the Reid building as a school or other education facility).
- 7** Temporary stands and facilities are appropriate in association with Special Events where they will not result in permanent damage to the surfaces or character of the Park Lands.
- 8** When fences or buildings are replaced, consideration should be given to improving views to the Zoo from the River Torrens/Karrawirra Parri valley.
- 9** The fencing to the northern boundary of the Botanic Gardens should be designed to improve visual continuity between the Garden and the Park and to visually improve this aspect to the Botanic Garden. Fencing which restricts physical and visual access to Botanic Park is not appropriate.

Planting Character and Landscape

- 10** The Policy Area has a landscape character defined by a mix of exotic and Australian native plantings, lawns and garden beds. This character should be maintained and strengthened.
- 11** Items of significant landscape interest include:
 - (a) the formal character of the avenue of Plane trees in Botanic Park and in Frome Road; and
 - (b) the avenue of Moreton Bay Figure trees in the Botanic Gardens.

These trees should be retained to maintain the environmental character of those parts of the Policy Area.

Car Parking and Access

- 12** Opportunities for pedestrian and cycle movement through the Policy Area should be maintained and pedestrian access between Botanic Road and Botanic Park should be improved.

- 13** The car parking area along the Hackney Road frontage should be for Park Land users and visitors to facilities within the Policy Area. Long-term parking is inappropriate along roadways so as to maximise the opportunity for access for visitors to the Policy Area.

Rundle and Rymill Parks Policy Area 20

Introduction

The desired character, objective and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/51 and 52](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

This Policy Area comprises of Parks 13 and 14.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of:

- (a) the open park and garden theme of Rundle and Rymill Park;
- (b) Rymill Park Lake being used for boating;
- (c) minimal development or activity that will alienate Park Lands from public usage;
- (d) the combined character of an English Park Land with a mix of exotic and Australian native plantings, lawns and garden beds;
- (e) areas that provide a focus for informal recreational enjoyment;
- (f) improvements to transport links through the Rundle and Rymill Parks Policy Area 20, resulting in further activation of the Park Lands and improvements to the public realm, use and enjoyment of the Park Lands; and
- (g) public infrastructure, including roads, railways, tramways and busways, and their supporting structures and works.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1** Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2** Development may include the following:
 - (a) Informal Recreational Area; and
 - (b) Special Events, within the area marked A as shown on [Maps Adel/51 and 52](#).
- 3** No development of additional buildings should occur.

- 4 Temporary stands and facilities in association with Motor Racing and Special Events are appropriate where they will not result in permanent damage to the surface or character of the Park Lands.
- 5 Improvements to transport links through the Policy Area, resulting in further activation of the Park Lands and improvements to the public realm, use and enjoyment of the Park Lands.

Planting Character and Landscape

- 6 The Policy Area has the character of an English Park Land with a mix of exotic and Australian native plantings, lawns and garden beds. This character should be maintained and strengthened.
- 7 Items of significant landscape interest include:
 - (a) the significant avenue of Plane trees and significant individual trees in Park 14; and
 - (b) the Kensington Gardens tramway embankment.

These trees should be retained to maintain the environmental character of those parts of the Policy Area.

Car Parking and Access

- 8 Car parking on the Adelaide Bowling Club site should be for the users of the Park Lands. Pedestrian access to the Park Lands should be maintained.
- 9 Rationalisation and reconfiguration of car parking within the Rundle and Rymill Parks Policy Area 20, which does not result in any net increase in parking within the Policy Area.

Eastern Park Lands Policy Area 21

Introduction

The desired character, objective and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/51, 52, 57, 58 and 64](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

This Policy Area comprises of Park 15 known as Ityamaitpinna and Park 16 known as Bakkabakkandi.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of:

- (a) formal and informal outdoor recreation activities with sporting grounds set amongst dense woodland plantings of local native species;
- (b) Victoria Park being used for informal and formal recreation within a large open sports field surrounded by the Victoria Park Racecourse and remnant peripheral woodland planting; and
- (c) Glover Playground retained in the south-western corner of Park 15.

OBJECTIVE

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Development may include the following:
 - (a) Informal Recreational Area;
 - (b) Formal Recreational Area;
 - (c) Victoria Park Racecourse contained within its existing site boundaries;
 - (d) Special Events, within the area marked A as shown on [Maps Adel/52, 57 and 58](#), where they do not require the erection of additional permanent structures; and
 - (e) Cafes where they:
 - (i) are ancillary to the use of the Park Lands;
 - (ii) provide a range of goods and services for the users of activities in the Park Lands, and where such goods and services are otherwise not conveniently located;
 - (iii) do not increase the building footprint; and
 - (iv) do not become more visually prominent, but enhance its setting.
- 3 Other than the State heritage listed Victoria Park Grandstand, the replacement of existing buildings by well designed pavilions and structures which are sensitively sited and complementary to the park character and which do not result in an increase in total floor area is desirable.

Buildings which become superfluous to racecourse functions and the associated sports fields should be removed in order to reinforce the open character of the park. Additional permanent buildings should not be developed unless enabling the removal of superfluous buildings.
- 4 Temporary stands and facilities are appropriate in association with Special Events where they will not result in permanent damage to the surfaces or character of the Park Lands. The setting up for the event and the dismantling after the event should be done in an expeditious manner.
- 5 The undergrounding of all utility services is encouraged to enhance the open character of the Policy Area.

Planting Character and Landscape

- 6 The Policy Area contains a tributary of First Creek which runs into Parks 13 and 14, and the Botanic Gardens. The banks of this creek and its tributary in Park 15 should be re-graded to improve safety and amenity and planted with local native species. The variation in landform and Park Land feature provided by the creek should be acknowledged in its planting character.
- 7 Management of stormwater should be achieved through the laying back of creek banks and the introduction of swales and trash racks where appropriate.
- 8 Existing sports grounds should be retained and enhanced by additional perimeter woodland planting of local native species.
- 9 The Victoria Park Racecourse is the most significant element of the Policy Area character. The open character of the park should be retained and the peripheral woodland planting of local native species should be maintained and reinforced.

10 Items of significant landscape interest include:

- (a) a central row of Peppercorn trees and Eucalypts along the tributary and Wakefield Road in Park 15;
- (b) the Olive Grove between the tributary and East Terrace in Park 15;
- (c) the dominant groups of Eucalypts at the northern, southern, western and Fullarton Road edges of Park 16;
- (d) the Olive Grove in the north western corner of Park 16;
- (e) the avenues of trees along the cycle paths of Park 16;
- (f) the Glover Playground; and
- (g) the remnant native vegetation to the area south of Victoria Racecourse.

These trees should be retained to maintain the environmental character of those parts of the Policy Area.

Car Parking and Access

- 11** In any development, it is desirable that the extent of car parking in the Policy Area should be reduced.
- 12** Vehicular access associated with the racecourse function should be retained with the principal entrance being off Wakefield Road.
- 13** Car parking on the inner racecourse track area should only be permitted when races and special events are conducted at Victoria Park Racecourse. Car parking should be limited to the area south of the cycle track which extends in an easterly direction from Halifax Street. Car parking should be permitted in the designated car parks along the Fullarton Road frontage to the Policy Area.

Southern Park Lands Policy Area 22**Introduction**

The desired character, objective and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/59 to 64](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

The Policy Area comprises of Park 17 known as Tutangga, Park 18 known as Wita Wirra, Park 19 known as Pityarilla, Park 20 known as Kurrangga, Park 21 known as Walyo Yerta, Park 21W known as Minno Wirra, Park 22 known as Wikaparndo Wirra and part Park 23 known as Wirranendi.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of:

- (a) informal and formal shared recreation use characterised by a series of open grassed areas enclosed by peripheral woodland or gardens, with waterways integrated through design and water conservation measures;
- (b) the formalised landscape of Osmond Garden and the Adelaide Himeji Garden;

- (c) Veale Gardens as a formal landscaped garden area and integrated with additional woodland planting in the southern part of the park; and
- (d) significant areas of remnant vegetation.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Development may include the following:
 - (a) Informal Recreational Area;
 - (b) Formal Recreational Area; and
 - (c) Cafes where they:
 - (i) are ancillary to an associated primary use of the Park Lands;
 - (ii) provide a range of goods and services for the users of activities in the Park Lands, and where such goods and services are not otherwise conveniently located;
 - (iii) do not increase the building foot print; and
 - (iv) enhance the Park Lands setting and do not become more visually prominent.
- 3 The retention of the existing conservatory in Veale Gardens should be reviewed with a view to replacing the structure with a more appropriate building. Fencing, walling, paving and pathways should be rationalised.
- 4 Lighting poles associated with sport fields are appropriate where they are associated with the consolidation of the sporting activities identified in [Map Adel/1\(Overlay 12\)](#) and do not result in light spill which will be detrimental to adjacent sensitive land uses.

Planting Character and Landscape

- 5 Woodland planting of local native species should be introduced between playing fields to promote informal outdoor activities such as picnicking. The perimeter of the Policy Area should be planted to strengthen the desired woodland character.
- 6 Unley Road plantings should be reinforced to reduce the formality of the existing planting, and additional landscaping of the tennis courts in the area between Greenhill, Glen Osmond and Hutt Roads is appropriate.
- 7 The Eucalypt avenues and boundaries should be maintained along Glen Osmond Road, and reinforced by additional large informal tree plantings.
- 8 The more formalised landscape of Osmond Garden and the Adelaide Himeji Garden should be maintained.
- 9 Veale Gardens should be retained as a formal landscaped garden area and integrated with additional woodland planting in the southern part of the park.

10 Items of significant landscape interest include:

- (a) the old Engineering and Water Supply Reservoir mound and its surrounds which should be conserved and enhanced;
- (b) Veale Gardens;
- (c) The historic Glenside carriage ways row of stately elm trees;
- (d) areas of remnant native vegetation..

These trees should be retained and supplemented by replacement plantings of the same species to maintain the environmental character of those parts of the Policy Area.

- 11** The banks of Park Lands Creek should be re-graded to improve safety and amenity. The resulting variation in landform and parkland feature it provides should be acknowledged in its planting character of Eucalyptus species dominant woodland, enclosing playing fields and open grassed areas.
- 12** Drains should be landscaped to improve the aesthetic and functional qualities of the Policy Area.
- 13** Stormwater management strategies including the laying back of creek banks and installation of trash racks should be undertaken.
- 14** Flood mitigation measures along the southern Park Lands creek should be undertaken to contain potential flood waters within the Park Lands.

Car Parking and Access

- 15** The surrounds to the existing car parking areas should be landscaped to reduce visual impact of cars in the Park Lands. The Park Lands road at the rear of Veale Gardens should be landscaped.
- 16** Temporary car parking should be permitted and consolidated within Parks 21W and 22 to support activities in the Park Lands and special events at the Wayville Showgrounds. The area should be suitably surfaced, floodlit, and defined by planting with woodland species of local native species.

Western Park Lands Policy Area 23**Introduction**

The desired character, objective and principles of development control that follow apply to the Policy Area shown on [Maps Adel/47, 48, 53, 54, 59 and 60](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

This Policy Area comprises of part Park 23 known as Wirranendi, Park 24 known as Tambawodli and Park 25 known as Narnungga.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of:

- (a) its historical importance and its significance as a key entry into the City of Adelaide from the western approaches, including the Adelaide Airport and interstate railway terminal;
- (b) formal and informal outdoor recreation activities;
- (c) a ponding basin in Park 23 to permit controlled release of storm water;

- (d) the return of alienated land to Park Lands usage;
- (e) an open woodland theme of local native species surrounding and screening the formal sporting areas from the surrounding roads, railway tracks and Cemetery;
- (f) picnic facilities in association with areas currently used periodically for car parking, and in areas where alienated land will be returned to Park Lands; and
- (g) West Terrace Cemetery being retained as a valuable cultural, educational and tourism resource for the community.

OBJECTIVE

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Development may include the following:
 - (a) Informal Recreational Area;
 - (b) Formal Recreational Area;
 - (c) West Terrace Cemetery within the area marked C as shown on [Maps Adel/53, 54, 59 and 60](#);
 - (d) Special Events, within the area marked A as shown on [Maps Adel/53 and 54](#);
 - (e) Education use within the site area of the Adelaide High School; and
 - (f) Cafes where they:
 - (i) are ancillary to an associated primary use of the Park Lands;
 - (ii) provide a range of goods and services for the users of activities in the Park Lands, and where such goods and services are not otherwise conveniently located;
 - (iii) do not increase the building foot print; and
 - (iv) enhance the Park Lands setting and do not become more visually prominent.
- 3 The West Terrace Cemetery should be conserved. Ancillary uses including a chapel, visitor and interpretative centre and operational facilities to support the continuation of the cemetery may be appropriate.
- 4 The layout of the West Terrace Cemetery and the memorial stone monuments should be conserved and retained.
- 5 Historic buildings and structures including the:
 - (a) Smyth Chapel;
 - (b) Curator's Residence/Office;
 - (c) entrance shelter shed;

- (d) timber gazebo; and
- (e) perimeter wall.

within the West Terrace Cemetery should be conserved and maintained.

- 6 New monuments within the West Terrace Cemetery should not detract from the heritage value of the cemetery and should:
 - (a) have materials of a colour and stone type that is compatible with the predominant appearance of surrounding monuments;
 - (b) have similar height and plan dimensions to immediately adjacent monuments; and
 - (c) not conflict in design detail or overall form.
- 7 Buildings should be rationalised and where unrelated to educational or recreational use, should be removed.
- 8 Any intensification of the Adelaide High School should be limited and contained within the existing site, such development should be designed and sited to have minimal impact on the open character of the Park Lands.
- 9 The SA Water Depot should be removed and the area returned to Park Lands for informal recreation usage, under the care and control of the Adelaide City Council.
- 10 The netball courts in Park 23 should be removed and rehabilitated with woodland landscape of local native species. Improvements should be made to the netball courts in Park 22.

Planting Character and Landscape

- 11 The site of the SA Water Depot should be developed as a woodland area of local native species incorporating picnic sites.
- 12 The existing vegetation including some valuable remnant vegetation of indigenous flora within the West Terrace Cemetery should be protected, maintained and enhanced.
- 13 Peripheral woodland planting of local native species should define specialised recreation areas and enhance the overall visual quality of the Policy Area.
- 14 Plantings with local native woodland species should be carried out to improve the edge of the Park Lands and should include screening to the perimeter of the Cemetery, other buildings within the Policy Area and along the open space grassland corridor of the railway area to the west.
- 15 Items of significant landscape interest include:
 - (a) the existing layout of the cemetery including the boundaries, buildings, roadways and burial area.

these features should be conserved and protected.

Car Parking and Access

- 16 Car parking areas should be consolidated to support activities in the Park Lands and should be suitably surfaced and defined by planting of woodland species. Access routes, pathways and paving should be rationalised.
- 17 When special events are staged in the Policy Area, temporary ancillary car parking on the sports fields should be permitted behind Ellis Park in Park 24.

- 18 The condition of infrastructure within the West Terrace Cemetery should be maintained and enhanced, and an effective traffic management system should be provided that is in keeping with the cultural significance of the cemetery.
- 19 A pedestrian and cycle link should be constructed to the west of and through the Cemetery to link with paths in adjacent Policy Areas.

River Torrens West Policy Area 24

Introduction

The desired character, objective and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/37, 42, 43, 47 and 48](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

This Policy Area comprises of Park 27.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of:

- (a) an area developed for a diversity of informal and formal outdoor recreation activities, based on the present role of Bonython Park and the redevelopment of historic building complexes for community or cultural uses;
- (b) an area marked F as shown on [Map Adel/48](#) developed for a range of informal and formal outdoor recreation activities and cafe, restaurant, licensed premises, cultural and retail related facilities in appropriate locations, expanding on the present role of the riverbank precinct to the east and providing links between the River Torrens and the Riverbank Zone to the south;
- (c) an area in which land is integrated into the Park Lands, and public use and access is re-instated to the Police Barracks and Adelaide Gaol, and the area north and south of the North Adelaide Station Road;
- (d) an area characterised by mixed deciduous and evergreen woodland of local native species enclosing open turfed space for mainly informal recreation and leisure activities. Integration of the diverse character of the Policy Area and differing vegetation characters through the introduction of a dominant planting theme of local native species, in keeping with the desired River Torrens/Karrawirra Parri valley character, together with the reinforcement of existing species and the landscaping and redefining of the River Torrens/Karrawirra Parri watercourse;
- (e) the establishment of screen planting along western boundary roads and around formal recreation areas;
- (f) the environment of the railway yards and the railway lines upgraded and landscaped with tall growing trees;
- (g) pedestrian and bicycle links to areas westward of Park Terrace;
- (h) the return of alienated land not required for transport purposes to Park Land use; and
- (i) public infrastructure, including roads, railways, tramways and busways, and their supporting structures and works.

OBJECTIVE

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Development may include the following:
 - (a) Informal Recreational Area;
 - (b) Formal Recreational Area;
 - (c) Indoor Recreational Facility in association with the retention of a heritage place;
 - (d) Community, Cultural or Tourism use in association with the retention of a heritage place;
 - (e) Community, Cultural, Tourism, Café, Restaurant or Retail uses where located in area marked F as shown on [Map Adel/48](#);
 - (f) Horse Agistment, within the area marked B as shown on [Maps Adel/42 and 47](#);
 - (g) Special Events, within the area marked B as shown on [Map Adel/42](#) and marked H on [Map Adel/48](#);
 - (i) Upgrading of existing car parking areas, within the area marked G as shown on [Map Adel/48](#);
 - (j) Adelaide Gaol contained within its existing site boundaries; and
 - (k) a shared pedestrian/bicycle bridge connecting the Policy Area to land westward of Park Terrace.
- 3 Land which should be integrated with the Park Lands, and public use and access re-instated, includes the Police Barracks and Adelaide Gaol, and the area to the north and south of the North Adelaide Station Road. The Adelaide Gaol, Police Barracks and adjacent olive groves are in an historical locality, which should be used for community or cultural activities.
- 4 There should be no increase in paved areas.
- 5 The items of heritage value including the Torrens Weir, Adelaide Gaol, North Adelaide Station, various signal boxes, railway buildings and structures and parts of the Police Barracks should be conserved and their environment enhanced.
- 6 Buildings, other than heritage places, should be removed where not required for Park Lands or transport usage.
- 7 Buildings associated with the boat sheds should be maintained and enhanced to allow for the continued use of the Torrens Lake for formal boating activities.
- 8 Advertising hoardings on railway land which are visible from the surrounding Policy Area impact detrimentally on amenity and should be removed.
- 9 The Thebarton Police Barracks should be remediated and the area returned to the care and control of the Adelaide City Council for recreational use, with particular emphasis on the Port Road frontage.

Planting Character and Landscape

- 10 The River Torrens West Policy Area should be characterised by evergreen woodland of local native species enclosing open turfed space for mainly informal recreation and leisure activities.

11 Items of significant landscape interest include:

- (a) the olive groves adjacent the Police Barracks in Park 27 South; and
- (b) the stand of Eucalypts between the railway and the river in Park 27 north.

These plantings should be retained to maintain and enhance the environmental character of those parts of the Policy Area. Senescent exotics should be replaced with indigenous river plantings such as River Red Gums along the riverbanks.

Car Parking and Access

- 12** Off-road parking in Bonython Park should be limited to existing hard paved areas, with overflow parking within the olive grove adjacent to the Police Barracks. However, the use of the sports fields for car parking for special, significant and major activities in Bonython Park likely to draw large crowds may be appropriate.
- 13** The Gaol Road should be upgraded and used as the single point of entry to the historical area in the Policy Area, and to the southern part of Bonython Park.
- 14** A public car parking area should be provided adjacent to the Adelaide Gaol for visitors to the area. The existing comprehensive pathway system should be further developed and extended to adjoining Policy Areas by means of new links across the River Torrens/Karrawirra Parri and railway land.
- 15** Car parking areas in Park 27 should be upgraded, however car parking should generally be limited to support activities in the Policy Area and occasional special functions in the Park Lands.

Adelaide Oval Policy Area 25**Introduction**

The desired character, objective and principles of development control that follow apply to the Policy Area as shown on [Maps Adel/43 to 45, 49 and 50](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

This Policy Area comprises of part Park 26 and Park 12 known as Karrawirra.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of:

- (a) a centre for important outdoor civic, leisure and cultural functions for the City based on Elder Park, Adelaide Oval and Memorial Drive tennis courts;
- (b) the environment of 'Light's Vision';
- (c) Torrens Lake being used for formal and informal boating activities and events;
- (d) the area adjacent the Torrens Lake including Elder Park serving as a centre for important outdoor civic, leisure and cultural functions, with development of the River Bank identifying this part of the Policy Area as the premier cultural and tourism area of the City;
- (e) the area being developed as open space with manicured lawns and a riverbank garden area supported by additional red gum planting;
- (f) additional pedestrian access provided between North Terrace and the south bank of the Torrens Lake;

- (g) a shared pedestrian and cycling footbridge between the Adelaide Festival Centre and Adelaide Oval;
- (h) gardens containing the Cross of Sacrifice as an area for informal outdoor recreation activities within a formal garden setting; and
- (i) an area marked I as shown on [Map Adel/49](#) developed for a range of informal and formal outdoor recreation activities and cafe, restaurant, licensed premises and cultural related facilities in appropriate locations.

OBJECTIVES

Objective 1: Development that strengthens, achieves and is consistent with the desired character for the Policy Area..

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1 Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2 Development may include the following:
 - (a) Informal Recreational Area;
 - (b) Formal Recreational Area;
 - (c) Formal and Informal boating facilities, activities and events;
 - (d) Community, Cultural and Tourism uses in association with the conservation of the Torrens Training Depot and Parade Ground;
 - (e) Adelaide Oval contained within its existing site boundaries, as shown on [Map Adel/44](#);
 - (f) Memorial Drive Tennis Centre contained within its existing site boundaries, as shown on [Map Adel/44](#);
 - (g) The existing indoor recreational facility, “Memorial Drive Leisure Centre” contained within its existing site boundaries and with no increase in total floor area, within the area marked J as shown on [Map Adel/44](#);
 - (h) Special Events, within the areas marked A as shown on [Map Adel/44](#);
 - (i) Footbridge and associated structures and landscaping providing pedestrian and cycling access over the Torrens Lake between the Adelaide Festival Centre and Adelaide Oval; and
 - (j) Community, Cultural, Tourism, Café, Restaurant or licensed premises where located in area marked I as shown on [Map Adel/49](#).
- 3 Existing buildings and structures in the Park should be retained and their appearance improved where necessary to be more sympathetic to the Park Lands setting.
- 4 Any development of Adelaide Oval should:
 - (a) protect and maintain the cultural significance and heritage value of Adelaide Oval;
 - (b) continue the open setting and informal built form character of Adelaide Oval as a series of pavilions around the oval, surrounded by visible Park Lands;
 - (c) not enclose or encircle the oval as a stadium space;

(d) maintain the view of:

- (i) the Adelaide hills escarpment and profile to the east when viewed from the west, south and north sides of the oval when viewed from the upper half of the western grandstand. 20 percent obscuration is appropriate;
- (ii) the skyline of the City centre from the north, east and west Oval edges and grandstands including the tree canopy through to the top of the building outline. 20 percent obscuration is appropriate; and
- (iii) the Morton Bay Figure profile and canopy and ensure that a minimum of 75 percent of panorama remains open, free of any structures.

Significant fabric should be conserved and the current integrity of the place should be maintained.

- 5** Additional buildings should only be permitted for the continuation of the formal recreational uses associated with Adelaide Oval and Memorial Drive, and the provision of pedestrian and cycling access in the form of a footbridge to the southern side of the Torrens Lake.
- 6** Advertisements are not appropriate within Adelaide Oval or the Memorial Drive tennis complex where they would be readily visible from outside the ground.
- 7** Existing buildings associated with the Torrens Parade Ground should be retained for public and community use.
- 8** Buildings associated with the boat sheds should be maintained and enhanced to allow for the continued use of the Torrens Lake for formal and informal boating activities.

Planting Character and Landscape

- 9** The Adelaide Oval should be retained in its setting, and the adjacent existing character of gardens preserved and enhanced.
- 10** The theme of mixed deciduous and evergreen tree species should be continued.
- 11** The formal historical character with carefully designed planting beds should be maintained.
- 12** The area adjacent to the Torrens Lake, should be:
 - (a) maintained and developed as open space with manicured lawns and the riverbank garden area, supported by additional red gum planting to strengthen the riverside theme; and
 - (b) developed with a pedestrian footbridge spanning the Torrens Lake connecting the Adelaide Festival Centre precinct with the Adelaide Oval/Memorial Drive precinct.
- 13** The Policy Area should retain its soft landscape character and be carefully integrated with the Adelaide Railway Station Environs Redevelopment. North Terrace should be linked to the River Torrens/Karrawirra Parri banks over the railway lines by terraces.
- 14** Items of significant landscape interest include:
 - (a) the trees, particularly the Moreton Bay Figs on the northern side of the Adelaide Oval, together with buildings of heritage value, which should be conserved and enhanced;
 - (b) the Pioneer Women's Memorial Garden in Park 12;
 - (c) the Palm trees surrounding the Parade Ground in Park 12;
 - (d) the Women's War Memorial Gardens;
 - (e) the avenue of Elms along Victoria Drive;

- (f) the Pennington Gardens (west); and
- (g) the Creswell Gardens.

These plantings should be retained to maintain and enhance the character of those parts of the Policy Area.

Car Parking and Access

- 15** Car parking along King William Road should be removed to improve street tree health and to enhance the appearance of the northern entrance to the City from North Adelaide.
- 16** Temporary car parking on Pinky Flat should only be permitted as an overflow area when both the northern and southern car parks adjoining Adelaide Oval are likely to be filled to capacity.

Brougham and Palmer Gardens Policy Area 26

Introduction

The desired character, objective and principles of development control that follow apply to the Policy Area as shown on [Map Adel/39 and 44](#). They are additional to those expressed for the Zone and in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the desired character for the Policy Area.

This Policy Area comprises of Park 28 and Park 29.

DESIRED CHARACTER

The desired character for the Policy Area is comprised of an area for informal outdoor recreation activities within a formal garden setting.

OBJECTIVES

- Objective 1:** Development that strengthens, achieves and is consistent with the desired character for the Policy Area..

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use, Built Form and the Public Environment

- 1** Development should strengthen, achieve and be consistent with the desired character for the Policy Area.
- 2** Development may include the following:
 - (a) Informal Recreational Area.
- 3** The Brougham/Palmer Parks function as urban parks for informal outdoor recreation activities and should be maintained for such uses.
- 4** No buildings or structures should be developed in the Park.

Planting Character and Landscape

- 5** The formal historical character with carefully designed planting beds should be maintained.

RIVERBANK ZONE

Introduction

The Desired Character, Objectives and Principles of Development Control that follow apply in the whole of the Riverbank Zone shown on [Maps Adel/12, 16, 17 and 18](#) and [Figures Rb/1, 2 and 3](#). They are additional to those expressed for the whole of the Council area and in cases of apparent conflict, take precedence over the more general provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desired Character for the Zone.

DESIRED CHARACTER

This Zone is part of Adelaide's great park. The Zone punctuates the change from the high intensity and defined edge of the City Centre, to the natural environment of the Torrens Valley. The Zone connects the City to the Park Lands and provides an active edge to the River Torrens that enhances its use for recreation and leisure activities.

The Zone will accommodate a range of land uses including parliamentary and administrative activities, cultural facilities, entertainment venues, conference facilities, offices, shops, hotels, serviced apartments, tourist accommodation, consulting rooms, public transport hubs, public open spaces, reserves and pedestrian and cycling networks.

Buildings in the Zone will be exemplary in their design quality and will enhance their setting among landscaped public spaces, heritage buildings and culturally significant activities and not diminish their contribution and character. Buildings will contribute significantly and positively to the City skyline through contemporary and innovative design. Buildings will be significant in their own right but also complement existing development and allow the significance of the heritage buildings to continue to be appreciated from public areas. Development in this Zone will have an emphasis on sustainable design principles including energy efficiency and water sensitive urban design.

There will be a general transition in height through the Zone with taller buildings closer to North Terrace and along Montefiore Road (between North Terrace and the central pathway shown in [Figures Rb/2 and 3](#)) and lower buildings at the interface with the River Torrens.

The ground floors of buildings will be visually interesting, active, allow views into and out of the buildings, well lit, of human scale and provide opportunities for passive surveillance.

Well defined and accessible public spaces will provide civic entries to the Zone and include active and visually permeable frontages to create a sense of address, destination and identity at the pedestrian level. Key physical and visual connections through the Zone and views of heritage buildings including those depicted in [Figures Rb/2 and 3](#) will be maintained and respected.

Public spaces will be responsive to the local climate and include features that provide both shade and solar access at appropriate times. Public art, landscaping, surfaces and materials will be exemplary in quality and appearance and inviting for the public to visit and remain comfortable for extended periods of time.

The formal avenue planting along North Terrace and King William Road will be maintained and reinforced, while elsewhere in the Zone the informal planting character on the edge of the Torrens Valley along Festival Drive will be further developed and extended.

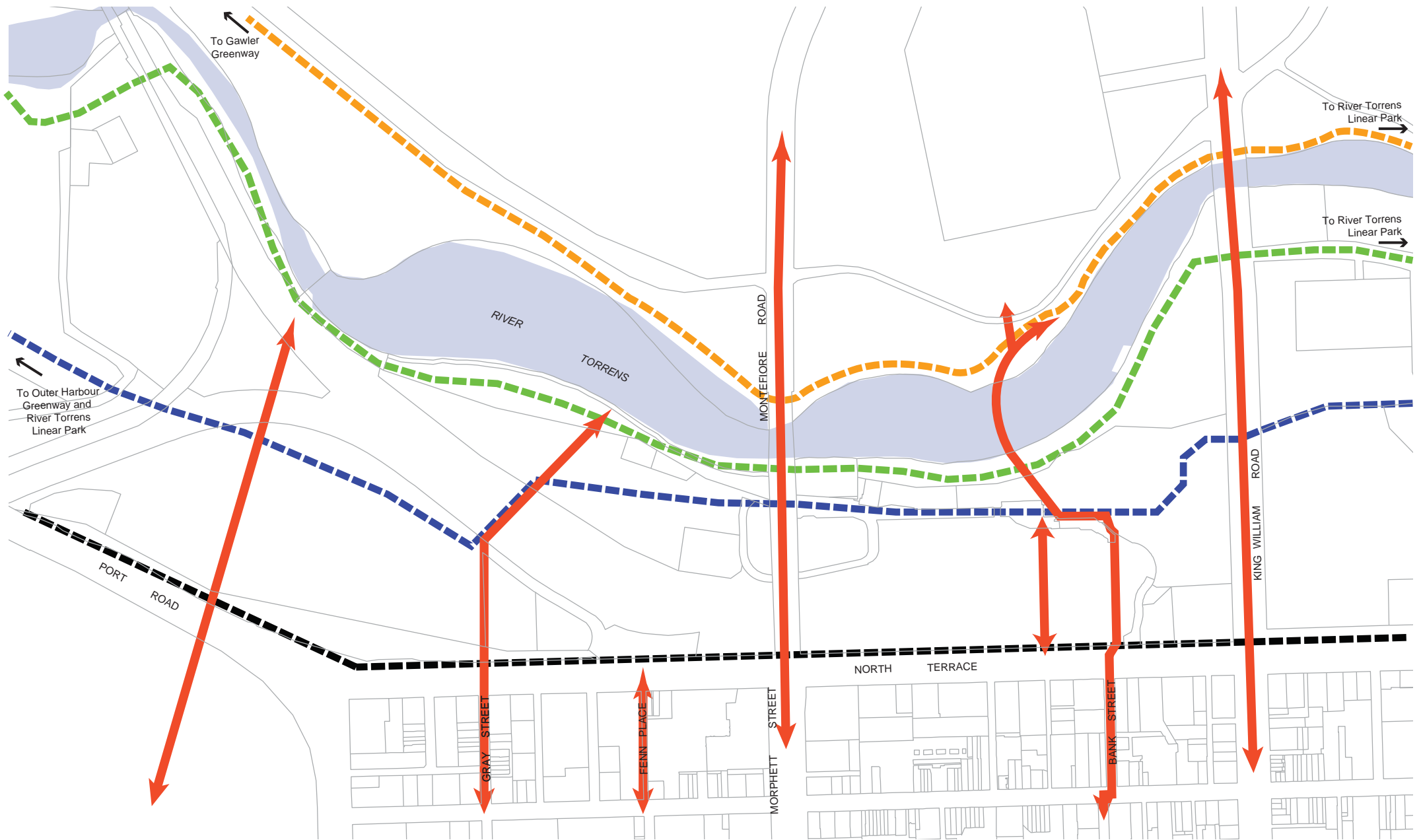
Pedestrian and cycling access and permeability are paramount to the successful activation and vibrancy of the Zone and will be separated from vehicle movement. Existing pedestrian and cycling connections, including the Gawler Greenway, Outer Harbor Greenway and River Torrens Linear Park trail, should not be compromised particularly those connections shown on [Figures Rb/2 and 3](#). These connections will link the Zone with the city and the River Torrens. A central pathway will allow people to walk and ride through and within the Zone from East to West and connect with the North to South pathways. The central pathway will be a single plane surface designed primarily for pedestrians and will link key buildings and public areas within the Zone.



- State Heritage Place
- Pedestrian Link
- Pedestrian and Cycling Link
- Zone Boundary

Scale 1:4150
0metres 100 200 300

ADELAIDE (CITY) **RIVERBANK ZONE** **HERITAGE PLACES, SIGNIFICANT TREES** **AND PEDESTRIAN LINKS**



- Connections - (pedestrians & cycling)
- River Path - (pedestrians & cycling)
- Central Path - (pedestrians & cycling)
- Northern Path - (pedestrians & cycling)
- North Terrace Path

1:6,000
0m 50 100 150 200 250

Figure Rb/2
Connections (Visual and Physical)



- North/South Connections
- East/West Connections
- Visual Links
- Prominent Heritage Features

Figure Rb/3
Connections Riverbank Plaza

A footbridge over the Torrens Lake between the Adelaide Festival Centre and Adelaide Oval, including pedestrian and cycling access paths, stairs and ramps and associated landscaping, as shown on [Figure Rb/1](#) will provide pedestrian linkages to the north and south of the zone. Importantly it will provide connections from the Adelaide Oval through to North Terrace and beyond to the Adelaide Markets capitalising on existing laneways such as Gray, Leigh and Bank streets.

Service roads, loading areas vehicle entry points to car parking areas will give priority to and not obstruct the movement of pedestrian and cyclists throughout the Zone.

Parts of the Zone are known to be contaminated and may require further assessment as part of development proposals particularly where it involves sensitive uses.

OBJECTIVES

- Objective 1:** High quality design with contemporary and innovative architecture that is respectful of the heritage buildings, parklands character and civic functions of the locality.
- Objective 2:** A fine grained precinct with a quality public realm that is inviting and comfortable for pedestrians.
- Objective 3:** Strong visual and physical connections between important buildings, public spaces and the River Torrens and Park Lands.

PRINCIPLES OF DEVELOPMENT CONTROL

Land use

- 1 The following types of development, or combination thereof, are envisaged in the Zone:

Accommodation including temporary accommodation
 Child care facility
 Cafe
 Consulting room
 Hotel
 Motel
 Office
 Open space
 Restaurant
 Passenger rail facility
 Passenger tram facility
 Serviced apartments
 Shop
 Stormwater and rainwater capture, storage, treatment and re-use
 Tourist accommodation

- 2 Development at ground level should include active uses such as cafes, restaurants and shops that contribute to the vibrancy of the public realm.

Form and character

- 3 Development should be consistent with the desired character for the Zone.
- 4 Development should be designed to respect the landscape setting and biodiversity provided by the Torrens Valley and Adelaide Park Lands.
- 5 Development should be compatible with the topography of the site and change in character from a strong city edge on the southern side of North Terrace to the landscaped setting provided by the River Torrens and Adelaide Park Lands.
- 6 Development should reinforce the grand boulevard character of North Terrace and King William Road.

Design and appearance

- 7 Buildings should be of a high design quality and provide contemporary architectural responses to their setting.
- 8 Development should:
 - (a) contribute to the activation of the public realm by presenting an attractive human scaled pedestrian-oriented frontage at ground level that adds interest and vibrancy;
 - (b) contribute to pedestrian comfort by minimising micro climatic impacts;
 - (c) maintain a sense of openness to the sky for pedestrians and allow sunlight access to the public realm, particularly plaza areas during the Spring and Autumn; and
 - (d) provide a clear sense of address to each building.
- 9 Development should be coordinated within the precinct to include a variety of pleasant and interesting landscaped spaces among and adjacent to buildings, ranging from those suitable for group meetings and social activities to those for quiet retreat and relaxation. These spaces, the pedestrian links between them, and internal access roads should be landscaped with trees and other plantings to create pleasant environments and soften the built form.
- 10 Pedestrian shelter should be achieved through a combination of trees and canopies attached to buildings. Any free-standing form of pedestrian shelter should be designed as an integral part of open space and landscaping.
- 11 Development should provide a safe night-time environment along streetscapes, pedestrian and cycle paths and building surrounds by the arrangement of buildings and active building frontages that enhance casual surveillance and provide appropriate lighting and clear lines of sight.

Movement

- 12 Pedestrian movement should be based on a network of pedestrian access ways or thoroughfares, linking the surrounding Zones and giving a variety of north-south and east-west links, as indicated on [Map Adel/1 \(Overlay 2A\)](#), [Map Adel/49](#) and [Figures Rb/1, 2 and 3](#).
- 13 Development should be designed to encourage pedestrian/bicycle circulation at the North Terrace level and create connections between North Terrace and the River Torrens linear park at key pedestrian focal points.
- 14 Pedestrian movement should be a priority within the Zone and designed to be free from vehicle conflict.
- 15 Development should provide the vast majority of car parking spaces in undercroft/basement areas.
- 16 Where vehicle parking is provided at ground level or above, it should be designed to:
 - (a) minimise the extent of parking that is visible from public areas to that which is required for emergency service vehicles, temporary event parking and set down (drop off) functions;
 - (b) not be located at ground floor street frontages or detract from the provision of active street frontages; and
 - (c) incorporate façade treatments along major street frontages that are sufficiently enclosed and detailed to complement neighbouring buildings and screen vehicle parking from view from public areas and other buildings.

Stormwater

- 17 Development should incorporate a range of water sensitive urban design measures that minimise water quality impacts on the River Torrens, such as stormwater treatment, harvesting and reuse.

Advertising

- 18 Advertisements should be designed to achieve an overall consistency of appearance and be of a type, scale and image that complement the zone.
- 19 Temporary banners and illuminated advertisings are appropriate in the Zone.

PROCEDURAL MATTERS

Complying Development

- 20 The following kind of development is **complying**:

- (a) Temporary depot for Council for a period of no more than 3 months provided appropriate provision is made for:
 - (i) dust control;
 - (ii) screening, including landscaping;
 - (iii) containment of litter and water; and
 - (iv) securing the site.
- (b) Other than for State Heritage Buildings, work undertaken within a building which does not involve a change of use or affect the external appearance of the building.
- (c) Within the Health Policy Area:
 - (i) advertisements, including associated structures:
 - (A) relating to a use located or proposed to be located in the Policy Area;
 - (B) relating to the development of a hospital;
 - (C) displaying public service messages;
 - (D) promoting events in the Adelaide Park Lands;
 - (E) providing interpretive or directional information relating to features and facilities within the Adelaide Park Lands.
 - (ii) Advertising hoarding.

Non-complying Development

- 21 The following kinds of development are **non-complying**:

- (a) A change of use to any of the following:
 - Adult entertainment premises
 - Adult products and services premises
 - Industry (except where ancillary to medical research and development)
 - Road transport terminal
 - Service Trade Premises
 - Warehouse

- (b) Building work involving the demolition of a State Heritage Place except:
 - (i) in relation to the establishment of a pedestrian footbridge between the north and south banks of the Torrens Lake, including:
 - (A) construction and associated infrastructure works (plant and equipment facilities);
 - (B) integrated plaza areas and landscaping;
 - (C) bistro and office facilities integrated with the pedestrian footbridge and Adelaide Festival Centre, within the area represented on [Figure Rb/1](#).
 - (ii) the following components of the Adelaide Festival Centre
 - (A) Southern Plaza (as indicated on [Figure Rb/3](#));
 - (B) car parking (as located below the Southern Plaza);
 - (C) art work, sculptures and landscaping on the Southern Plaza.
 - (iii) development which, in the opinion of the relevant planning authority, is of a minor nature.

Public Notification

22 For the purposes of public notification in accordance with the procedures and rights established by the *Development Act 1993*, development is assigned to the specified categories as follows:

- (a) **Category 1**, public notification is not required for:
 - (i) all development, except that classified as non-complying
 - (ii) non-complying development which, in the opinion of the relevant planning authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.

Health Policy Area 27

Introduction

The Objectives and Principles of Development Control that follow apply to the Policy Area as shown on [Maps Adel/43, 47, 48 and 49](#). They are additional to those expressed for the Zone and, in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desire Character for the Policy Area.

DESIRED CHARACTER

The Health Policy Area will accommodate a range of medical and health facilities including a hospital, medical research, training and education as well as a range of ancillary land uses that provide services for staff, students, researchers, patients and visitors; including temporary accommodation.

Buildings along North Terrace will be designed to be viewed from all sides, promoting open spaces between adjacent buildings in contrast to the strong built form edge in the Capital City Zone.

Buildings along Montefiore Road (between North Terrace and the central pathway shown in [Figures Rb/2 and 3](#)) will contain a range of uses that are complementary to both the Health Policy Area and the adjoining Entertainment Policy Area and will include temporary accommodation, tourist accommodation, conference facilities, hotels and serviced apartments and be designed to integrate and activate the street frontage and provide direct pedestrian access from Montefiore Road, Festival Drive and North Terrace.

OBJECTIVES

- Objective 1:** A health precinct that creates an identifiable and unified city precinct with strong connections to the Torrens River, North Terrace, the Royal Adelaide Hospital and wider city.
- Objective 2:** A Policy Area accommodating a hospital, clinical and health training, research and educational facilities and associated uses such as accommodation, cafes, small-scale shops selling convenience goods and helicopter landing areas.

PRINCIPLES OF DEVELOPMENT CONTROL

Land use

- 1** The following types of development or combination thereof, are envisaged in the Policy Area and are additional to those envisaged for the Zone:

Clinical and health training, research, manufacturing and educational facilities
 Consulting room
 Educational establishment
 Health centre
 Helicopter landing areas, lighting for night operations and associated communication equipment
 Hospital

Form and character

- 2** Buildings fronting North Terrace should generally be up to 15 storeys in height, subject to compliance with the Commonwealth Airports (Protection of Airspace) Regulations, to reinforce the boulevard character of North Terrace and to have a relationship, appropriate in scale with buildings in the Policy Area and along the North Terrace edge of the Capital City Zone.
- 3** Buildings taller than 15 storeys may be contemplated where design excellence can be demonstrated and the Commonwealth Airports (Protection of Airspace) Regulations can be met.
- 4** Buildings north of the central pathway should be designed to provide an active edge to the River Torrens and should be of a low scale commensurate with the landscape setting.
- 5** Development should incorporate landscaped forecourts and/or public meeting spaces as transition spaces between North Terrace and buildings within the Zone.
- 6** Development should be serviced by vehicular access points from North Terrace and Port Road that provide for convenient, safe and legible controlled access for ambulances, emergency drop-off for the public and general goods and services vehicles, as well as vehicle access for patient drop-off, and visitor and staff parking.
- 7** Development should provide for a satisfactory interface to roads and railways by addressing issues of access, safety, security, noise, air emissions and vibration so that:
- (a) the effective and efficient operation of the road system and rail service adjacent to the Zone is not detrimentally affected; and
 - (b) the potential for adverse impacts on hospital occupants and activities as a result of road traffic and the operation of rail services adjacent to the Zone is minimised.
- 8** Development should be sited and designed to enable the continued operation of rail and road services within and adjacent to the Zone.

Entertainment Policy Area 28

Introduction

The Objectives and Principles of Development Control that follow apply to the Policy Area as shown on [Maps Adel/49](#). They are additional to those expressed for the Zone and, in cases of apparent conflict, take precedence over the Zone provisions. In the assessment of development, the greatest weight is to be applied to satisfying the Desire Character for the Policy Area.

DESIRED CHARACTER

The Entertainment Policy Area, will showcase, respect and build on existing landmark and heritage buildings including the Festival Centre, Parliament Houses, Convention Centre, Adelaide Railway Station and Casino. A range of Parliamentary and civic activities, including tourist accommodation, auditoriums, conference centres, cultural facilities, licensed premises, cafes, restaurants, shops and offices are envisaged. Development will include a vibrant mix of land uses that support a continuing program of public arts and cultural activities, particularly around the Festival Plaza.

The civic nature of the precinct should be acknowledged and connect the public realm to the wider precinct both physically and visually. Strong visual permeability through the site will be important in maintaining the legibility of this place as part of the City and Riverbank. The architectural expression of the built form will respond to the rich character of the local setting with contemporary juxtapositions providing new settings for heritage places.

The regeneration of the existing Festival Plaza (Southern Plaza) and car park to address structural and functional deficiencies will help reinforce and enhance this area as the primary cultural and entertainment hub and provide high quality spaces for public use, including significant public events. This will include a principal public space that will be able to cater for large numbers of visitors and events but also be safe and convivial when lesser numbers of people may be present. It is anticipated that the public space and nearby land uses will be active during the day and night and will be a space that is adaptable for a range of purposes. The space should be built on a single plane.

King William Road will be reinforced as a principal boulevard flanked by high quality buildings that allow views and access through to the public plaza area and heritage buildings as shown on [Figure Rb/3](#) including Parliament House, the Adelaide Railway Station, the Festival Centre and the nearby Adelaide Oval.

OBJECTIVES

- Objective 1:** A Policy Area accommodating a range of cultural, parliamentary, office entertainment, retail and conference facility land uses with exemplary buildings and public spaces that generate activity during the day and night.
- Objective 2:** A prominent, vibrant and safe public plaza that provides a focal point for the Riverbank precinct and is supported by a vibrant mix of land uses that encourage use by city workers, residents, families, students, youth, children and tourists.

PRINCIPLES OF DEVELOPMENT CONTROL

Land use

- 1** The following types of development, or combination thereof, are envisaged in the Policy Area and are additional to those envisaged for the Zone:

- Auditoriums
- Casino
- Carparking
- Cinemas
- Concert halls
- Conference centres
- Cultural facility

Licensed entertainment premises
 Licensed premises
 Motels
 Public spaces
 Theatres
 Tourist accommodation

- 2 Land uses at ground level will activate public spaces during the day and evening such as through cafes, restaurants and small-scale specialty shops.
- 3 Residential development should only occur where it is demonstrated that noise, light spill and other impacts on residential amenity associated with the envisaged mix of uses and a vibrant public plaza can be adequately addressed.

Form and character

- 4 Development in the Policy Area should generally be up to 20 storeys in height to the south of the central pathway.
- 5 Buildings taller than 20 storeys may be contemplated to the south of the central pathway where design excellence can be demonstrated and the Commonwealth Airports (Protection of Airspace) Regulations can be met.
- 6 Buildings north of the central pathway should be designed to provide an active edge to the River Torrens and should be of a low scale commensurate with its landscape setting.
- 7 Buildings along King William Road should be designed to enable views through to important State Heritage buildings and the public plaza area.
- 8 A new public plaza should be developed on a single plane minimising grade changes across the site so as to maximise pedestrian connectivity.
- 9 Development should ensure the contribution of existing heritage buildings is not significantly diminished and can continue to be appreciated by the public by:
 - (a) ensuring the new development is designed and located to maintain views of important heritage buildings as shown on [Figure Rb/3](#).
 - (b) incorporating public areas, safe and convenient pedestrian paths and active land uses such as cafes, shops and entertainment facilities at the interface with the heritage buildings.
- 10 Development should not compromise the visual and physical connections to heritage buildings including views of the prominent heritage features shown on [Figure Rb/3](#).
- 11 Development will make provision for a footbridge over the Torrens Lake between the Adelaide Festival Centre and Adelaide Oval, including pedestrian and cycling access paths, stairs and ramps and associated landscaping, as shown on [Figure Rb/1](#).

TABLE Adel/1

State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
34 Angas Street ADELAIDE	Convent of Mercy (incorporating two former dwellings)	A2 A60	D17208 D77207	CT 6114/942 CT 6114/943		13415
34 (rear) Angas Street ADELAIDE	Cunningham Memorial Catholic Chapel	A2 A60	D17208 D77207	CT 6114/942 CT 6114/943		13416
187-191 Angas Street ADELAIDE	Angas on Angas (originally Seven Stars) Hotel	A1	F125875	CT 6128/378		13602
214 Angas Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A675	F181517	CT 5818/312		10778
216 Angas Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A676	F181518	CT 5818/313		10777
220 Angas Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A2	F101449	CT 5108/619		10776
222 Angas Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A678	F181520	CT 5362/925		10775
224 Angas Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A726	F181568	CT 5833/645		10773
224A Angas Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A727	F181569	CT 5835/178		10774
226 Angas Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A2	F102160	CT 5118/702		10771
226A Angas Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A1	F126066	CT 5229/59		10772
343-345 Angas Street ADELAIDE	Salvation Army Women's Hostel	A117 A118	F182579 F182580	CT 5523/856 CT 6129/335		13107
Botanic Road ADELAIDE	National Wine Centre of Australia Administration Building ['Yarrabee House'] (former Lunatic Asylum Medical Officer's Residence) and Front Fence	A200	D86132	CR 6074/282		13642
Adelaide Botanic Garden North Terrace ADELAIDE	East Lodge	A101	D66751	CR 5943/442		13669
Adelaide Botanic Garden Botanic Road ADELAIDE	Stone wall	A101 A200	D66751 D86132	CR 5943/442 CR 6074/282		17067
34 Carrington Street ADELAIDE	Bar Chambers (former Dwelling)	A741	F182393	CT 5879/90		13432
132-140 Carrington Street ADELAIDE	Dwelling	A105	F207395	CT 5811/413		13433
204-218 Carrington Street ADELAIDE	Dwelling ('Albert Terrace')	A17 A18 A13 A20 A19 A14	F14287 F15374 F9155 F15374 F15374 F14287	CT 5094/656 CT 5317/39 CT 5171/199 CT 5091/698 CT 5485/309 CT 5485/291		13603
228-256 Carrington Street, 7-29 Hume Lane, 1-32 Regent St North ADELAIDE	Manitoba Housing Complex	A 5 A 870	F 166 F 182522	CT 5493/819 CT 5877/915	a, e	26419
302-304 Carrington Street ADELAIDE	Dwelling	A873 A872	F182525 F182524	CT 5795/555 CT 5828/719		13436
306-308 Carrington Street ADELAIDE	Dwelling and Shop	A20 A21	D44781 D44781	CT 5358/446 CT 5358/447		13435

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355-367 Carrington Street ADELAIDE	Dwelling - Terrace Houses	A13 A2 A22 A893 A890 A891 A6 A892 A894	F104100 F139608 F102442 F182545 F182542 F182543 F101284 F182544 F182546	CT 5143/218 CT 5258/170 CT 5122/550 CT 5821/396 CT 5980/461 CT 5980/460 CT 5980/462 CT 5980/459 CT 6119/54		13442
407 Carrington Street ADELAIDE	Dwelling	A898	F182550	CT 5849/119		13444
409 Carrington Street ADELAIDE	Dwelling	A7	F110143	CT 5199/973		13445
411 Carrington Street ADELAIDE	Dwelling	A4	F106992	CT 5179/815		13446
413 Carrington Street ADELAIDE	Dwelling	A3	F131972	CT 5244/639		13447
414-420 Carrington Street ADELAIDE	Dwelling ('Springhill Lodge')	A2 A3 U2 U4	D23578 D23578 S5714 S5714	CT 5139/285 CT 5135/684 CT 5030/397 CT 5030/399		13440
23 Currie Street ADELAIDE	Former Commonwealth Bank, former Savings Bank of South Australia Head Office	A100 A100	D31102 D31102	CT 6144/310 CT 6144/311		11633
27 Currie Street ADELAIDE	Elder House Offices	A564 A563	F181406 F181405	CT 6130/116 CT 6130/118		11655
208 Currie Street ADELAIDE	Adelaide Remand Centre (former Currie Street Model School)	A1	F7267	CT 5458/337		10762
247 Currie Street ADELAIDE	Dwelling & Office (former 'Darnley House' & Stables)	A6 A7	D18741 D18741	CT 5842/178 CT 5842/179		13390
1-3 22-24 Divett Place ADELAIDE	Divett Mews (former Goode, Durrant & Co. Stables)	U1 U2 UCP U3	S5444 S5444 S5444 S5444	CT 5017/843 CT 5017/844 CT 5017/846 CT 5017/845		10479
6-9A East Terrace ADELAIDE	Office, East End Market Buildings	A2	D50948	CT 5859/691		13921
10-12 (ka -14) East Terrace ADELAIDE	PJ O'Brien's (former East End Market Hotel)	A106	D32803	CT 5060/99		13922
14-16 East Terrace ADELAIDE	Office, East End Market Buildings	A104	D30990	CT 6021/376		13924
48-51 East Terrace ADELAIDE	Former Adelaide Electric Supply Company Converter Station	A702	D54280	CT 6102/719		10985
52-60 East Terrace ADELAIDE	Former Municipal Tramways Trust (MTT) No.1 Converter Station	A501	D54280	CT 6102/720		10986
93-100 East Terrace ADELAIDE	Dwelling ('Rymill House', previously 'The Firs') including Western and Southern Boundary Walls	A10	D14079	CT 5518/1		10792
109-113 East Terrace ADELAIDE	Dwelling	A869	F181711	CT 5420/373		13422
120 East Terrace ADELAIDE	Dwelling ('Dimora') & Fence	A22 A20 A21	F14787 F14787 F14787	CT 5474/797 CT 5483/248 CT 5523/403		10760
144-153 East Terrace ADELAIDE	Dwelling ('Weeroni')	A2	D1257	CT 5566/712		13426

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157 East Terrace ADELAIDE	Dwelling (former Duntocher, sometime Wesleyan Methodist Manse)	A101	D50919	CT 5622/681		13425
161-162 East Terrace ADELAIDE	Dwelling ('Craigweil')	A6	D1257	CT 5643/276		13424
207 East Terrace ADELAIDE	Public Schools Club Building (former Residence of William and Lawrence Bragg, sometime Sandford House)	A21	D35590	CT 5104/250	g	12832
263-267 East Terrace ADELAIDE	St Corantyn Clinic (former Dwelling ('Eothen', later 'St Corantyn') & Coach House) and Wall	A1 A11 UCP A2	D36979 D36979 S13686 D36979	CT 5144/675 CT 5307/334 CT 5307/338 CT 5144/676		13460
276-280 East Terrace ADELAIDE	Dwelling ('Ochiltree House')	A11	F16088	CT 5110/903		13461
26-36, 212-248, 275 & 12-22 East Terrace, Grenfell, Rundle & Union Streets ADELAIDE	Former Adelaide Fruit and Produce Exchange Facades and Shops	A85 A81 U40 U39 U38 A73 A72 U40 U39 U38 U18 U17 U16 U15 U14 A82 A83 A77 UCP UCP A77 A116 A89 A98-100 UCP A11	D45292 D44306 S13516 S13516 S13516 D43306 D43306 S13704 S13704 S13704 S13337 S13337 S13337 S13337 S13337 D44306 D44306 D44549 S13704 S14014 D42210 D55792 D45716 D48328 S13337 D56306	CT 5389/533 CT 5314/670 CT 5307/946 CT 5307/945 CT 5307/944 CT 5284/434 CT 5284/433 CT 5315/879 CT 5315/878 CT 5315/877 CT 5271/115 CT 5271/114 CT 5271/113 CT 5271/112 CT 5271/111 CT 5587/107 CT 5587/108 CT 5644/71 CT 5707/704 CT 5746/979 CT 5746/980 CT 5843/338 CT 5843/339 CT 5845/845 CT 5307/952 CT 6140/278		11722
53-57 Exchange Place ADELAIDE	Former Adelaide Stock Exchange	A1	F148223	CT 5682/154		11580
2-10 Flinders Street ADELAIDE	Pilgrim Uniting (previously Stow Memorial) Church	A829 A829	F181671 F181671	CT 5936/934 CT 5936/935		10983
16-24 Flinders Street ADELAIDE	Multicultural SA Offices (former Stow Memorial Church Manse, former Sanatorium, later Attorney-General's Building)	A832	F181674	CT 5821/221		10768
65-69 Flinders Street ADELAIDE	Baptist Church Office - former Manse	A51	F18084	CT 5461/420	a e	10801
Rear 65 Flinders Street ADELAIDE	Mead Hall	A51	F18084	CT 5461/420	a e	10861
71-75 Flinders Street ADELAIDE	Baptist Church (Part of Flinders Street Baptist Church Group)	A52	F18084	CT 5301/577		10767
84-86 Flinders Street ADELAIDE	Observatory House Office (former Instrument Manufacturer)	A837	F181679	CT 5866/461		13392
170 Flinders Street ADELAIDE	Bethlehem Lutheran Church and former Day School	A847	F181689	CT 5874/300		13394

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265-279 Flinders Street ADELAIDE	School of Music (former Flinders Street Primary School)	A501	D71799	CT 6071/592		13597
28 Franklin Street ADELAIDE	Darling Building	A802 A801	D86151 D86151	CT 6084/523 CT 6091/763		13099
82-86 Franklin Street ADELAIDE	Office (former Dwelling)	U1 U2 U3 UCP A2	S7865 S7865 S7865 S7865 F25139	CT 5026/328 CT 5026/329 CT 5026/330 CT 5026/331 CT 4311/167		13638
273 Franklin Street ADELAIDE	St Mary's Dominican Convent (Catholic)	A329	F181171	CT 5842/466		13396
282-288 Franklin Street ADELAIDE	Greek Orthodox Church & Bell Tower	A3 A4 A5	F4869 F4869 F4869	CT 5494/878 CT 5494/879 CT 5494/880	f	13205
Frome Road ADELAIDE	Albert Bridge over the River Torrens [Metal Girder]	S1630 & 1631	H106100	CR 6144/507		10765
Frome Road ADELAIDE	Margaret Graham Nurses Home, Royal Adelaide Hospital	A14	D51367	CT 6134/112		13093
Frome Road ADELAIDE	Head Keeper's Cottage, Adelaide Zoo	S590	H105100	CR 6043/263		13647
Frome Road ADELAIDE	Main Gates and Walling, Adelaide Zoo	S590	H105100	CR 6043/263		13648
Frome Road ADELAIDE	Rotunda, Adelaide Zoo	S590	H105100	CR 6043/263		13649
Frome Road ADELAIDE	Elephant House, Adelaide Zoo	S590	H105100	CR 6043/263		13650
Frome Road ADELAIDE	Administration Building (former Director's Dwelling), Adelaide Zoo	S590	H105100	CR 6043/263		13651
147 Frome Street and 37-43 Sudholz Place ADELAIDE	Offices (former Reid, Jay and Co. Stables and Residential Quarters)	A10	D24175	CT 5407/98		13393
220 Frome Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A725	F181567	CT 5674/203		10764
224 Frome Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A4	F131826	CT 5242/926		10782
226 Frome Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A724	F181566	CT 5674/507		10781
228 Frome Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A723	F181565	CT 5817/815		10780
230 Frome Street ADELAIDE	Dwelling ('Elder Mews') (former Adelaide Workmen's Homes)	A722	F181564	CT 5610/96		10779
Fullarton Road ADELAIDE	Grandstand, Victoria Park Racecourse	A2 A117 & 119	D92795 D81642	CR 6132/226 CR 6132/227		13661
Fullarton Road ADELAIDE	Victoria Park Racecourse (North-East Precinct)	A119	D81642	CR 6132/227	a, e	26393
18 Gaol Road ADELAIDE	Former Adelaide Gaol	S549	H105106	CR 5756/336		10937
Gaol Road ADELAIDE	Former Powder Magazine & Surrounding Walls	S1204	H105100	CR 5761/141		10889
Gaol Road ADELAIDE	Former Powder Magazine Keeper's Residence, Water Tank, Toilet, Fence, Garden and Curtilage	S1203	H105100	CR 5760/638	b	20798
Corner of Gilles Arcade Playhouse Lane ADELAIDE	Former Queen's (sometime Royal Victoria) Theatre and Horse Bazaar	FCP A20	C27340 D46141	CT 6097/555 CT 6097/557		10770

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111 Gilles Street ADELAIDE	Gilles Street Primary School (1899 building only)	T644	T105101	CT 5834/930		13605
188 Gilles Street ADELAIDE	Dwelling (former Beresford Arms, later Oddfellows Arms Hotel)	A361	F182013	CT 5881/568		11583
Goodman Crescent in The University of Adelaide ADELAIDE	Memorial to Sir Thomas Elder, The University of Adelaide	S693	H105100	CT 5685/768	e g	16927
7 Gouger Street ADELAIDE	Jeffcott Chambers (former Supreme Court Hotel)	A10	F38124	CT 5430/571		13600
182 & 186 Gray Street ADELAIDE	Dwelling	A104 A333	F199673 F181175	CT 5377/460 CT 5894/686		13399
188-190 Gray Street ADELAIDE	Dwelling	A331 A332	F181173 F181174	CT 5893/557 CT 5893/556		13400
10-14 Grenfell Street ADELAIDE	Tattersalls Building	A4	F31390	CT 5585/334		13105
18 Grenfell Street ADELAIDE	Office (former Alliance Assurance Company Building)	A1 A2 ACP	C24219 C24219 C24219	CT 5997/789 CT 5997/790 CT 5997/791		13592
22 Grenfell Street ADELAIDE	Executor Trustee Office	A50	D25900	CT 6133/844		11704
73 Grenfell Street ADELAIDE	Bertram (sometime Bible) House (former British & Foreign Bible Society Office and upstairs Hall)	A125	F181777	CT 6128/586		11701
101-107 Grenfell Street ADELAIDE	Offices (former Mail Exchange, former Warehouse)	A106	F181758	CT 5956/741		10958
233-235 Grenfell Street ADELAIDE	The Old Exchange Hotel (originally Producers Club Hotel)	A150 A22	F181802 F102897	CT 5528/17 CT 5975/63		10994
243-253 Grenfell Street ADELAIDE	Tandanya (former Adelaide Electric Supply Company Power Station)	A154	F181806	CT 6129/152		10984
42-46 Grote Street ADELAIDE	Metropolitan Hotel	A363	F181205	CT 6129/334		13409
58 Grote Street ADELAIDE	Her Majesty's (previously The Opera) Theatre	A359 A360	F181201 F181202	CT 6034/605 CT 6044/743		13595
93-99 Grote Street ADELAIDE	Star Car Park (former Vardon Price Printing Works & Warehouse)	U1 U2 UCP U4	S13531 S13531 S13531 S13531	CT 5307/792 CT 5307/793 CT 5307/796 CT 5894/841		13411
101 Grote Street ADELAIDE	Former Advanced School for Girls	A1	D59864	CT 5881/472		10798
110 Grote Street ADELAIDE	Hampshire Hotel	A19	F100867	CT 5523/571		11578
113 Grote Street ADELAIDE	Centre for Performing Arts (former Teachers Training School), including Northern and Western Boundary Walls	A2	D59864	CT 5881/473		10761
139 Grote Street ADELAIDE	Former Grote Street Model School & Front Boundary Wall	A3	D59864	CT 5881/474		10797
238 Grote Street ADELAIDE	Dwelling	A296	F181138	CT 5868/612		13402
242-248 Grote Street ADELAIDE	Dwelling	A297 A292	F181139 F181134	CT 5417/645 CT 6116/601		13401
260 Grote Street ADELAIDE	St Patrick's Catholic Church	A291	F181133	CT 5604/216		13397

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Hackney Road ADELAIDE	Bicentennial Conservatory, Adelaide Botanic Gardens	A102	D66751	CR 5943/443	d e	20996
Hackney Road ADELAIDE	Former Municipal Tramways Trust (MTT) Hackney Tram (later Bus) Depot, including the Goodman Building & Tram Barn (now the Plant Biodiversity Centre), Adelaide Botanic Garden	A102	D66751	CR 5943/443		12349
73-79 Halifax Street ADELAIDE	Chimney Stack and former Disinfector Building of former City Destructor Complex	A4 A22	D55094 D55398	CT 5812/58 CT 5812/68	e	13455
89 Halifax Street ADELAIDE	Q Theatre (former Stow Memorial Church Sunday School)	A4	D379	CT 5167/761		10916
110 Halifax Street ADELAIDE	Rob Roy Hotel & Outbuilding	A93	F162919	CT 5302/335		13434
332-340 Halifax Street ADELAIDE	Dwelling - Row Houses	A1 A731 A721	F142834 F182383 F182373	CT 5265/35 CT 5592/645 CT 5592/251		10822
373-383 Halifax Street ADELAIDE	St John's Anglican Church	A724	F182376	CT 5845/618		13457
41-47 Hindley Street ADELAIDE	Former John's Emporium	A10	F24484	CT 5509/941		11739
104-120 Hindley Street ADELAIDE	Former West's Coffee Palace	A11 A5 A1 A629 A634 A123 A633 A630	F101428 F124968 F159087 F181471 F181476 F207413 F181475 F181472	CT 5109/130 CT 5218/166 CT 5295/68 CT 5561/581 CT 5858/197 CT 6049/931 CT 6124/792 CT 6124/793		11584
222-228 Hindley Street ADELAIDE	Office (former SA Brewing Company Offices)	A575	F181417	CT 5646/821		13354
49 Hindmarsh Square ADELAIDE	RAA Building (former YWCA Headquarters)	A2	D77697	CT 6023/536		10957
33 Hurtle Square ADELAIDE	Dwelling - Darcy Lever Terrace	A7	F149564	CT 5280/89		10791
35 Hurtle Square ADELAIDE	Dwelling - Darcy Lever Terrace	A666	F182318	CT 5856/49		10790
37 Hurtle Square ADELAIDE	Dwelling - Darcy Lever Terrace	A573	F182225	CT 5774/793		10789
39 Hurtle Square ADELAIDE	Dwelling - Darcy Lever Terrace	A572	F182224	CT 5369/182		10788
22 Hutt Street ADELAIDE	Office (former Coach House of 'Rymill House', previously 'The Firs')	A9	D14079	CT 5142/28		14639
56 Hutt Street ADELAIDE	Bray House	A28 A2 A3	D22121 F1528 F1528	CT 5934/918 CT 5934/908 CT 5934/909		13421
146-158 Hutt Street ADELAIDE	Shops (former 'Victoria Terrace' Dwellings)	A92 A92 A2 A107 A879 A105 A106 A104	F199619 F171517 F149626 F182569 F182531 F182567 F182568 F182566	CT 5358/986 CT 5339/857 CT 5276/187 CT 5600/357 CT 5618/384 CT 5678/406 CT 5688/151 CT 5767/924		13439

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131 King William Street ADELAIDE	Electra House (former Citizens' Life Assurance Co, then Mutual Life and Citizens' Assurance Co. Ltd [MLC] and then Eastern Extension Australasia and China Telegraph Co. Building)	A751	D73294	CT 5991/316		13387
141 King William Street ADELAIDE	Adelaide General Post Office (GPO), including the original 1872 building, remaining 1893 extensions, former Telephone Exchange (1907) and its 1914 extension	A807 A801 A800	D86151 D86151 D86151	CT 6084/525 CT 6091/763 CT 6122/319		10860
142-160 King William Street ADELAIDE	Medina Grand Adelaide Treasury [Hotel] (Former Treasury Building, including former Cabinet Room and Courtyard)	T236	T105101	CT 6134/232		10857
281-287 King William Street ADELAIDE	Local and District Court (former Police Court)	T408	T105101	CR 5760/599		10856
308 King William Street ADELAIDE	Crown & Sceptre Hotel	A10	D57672	CT 6130/120		13431
353 King William Street ADELAIDE	King's Head Hotel	A96	F170834	CT 6120/141		13430
Kintore Avenue ADELAIDE	Migration Museum (former Destitute Asylum Chapel)	S610	H105100	CR 5995/718		10854
Kintore Avenue ADELAIDE	Migration Museum (former Destitute Asylum Store)	S610	H105100	CR 5995/718		12167
Kintore Avenue ADELAIDE	Hartley Building (originally Adelaide Teachers College), The University of Adelaide	S737	H105100	CT 6129/107		13652
Kintore Avenue ADELAIDE	Migration Museum (former Destitute Asylum Lying-in Hospital)	S610	H105100	CR 5995/718		13665
Kintore Avenue ADELAIDE	Migration Museum (former Destitute Asylum Female Section)	S610	H105100	CR 5995/718		13666
26-28 Leigh Street ADELAIDE	State Records of South Australia Offices (former Megaw & Hogg Auction Rooms, former Warehouse)	A17	F24484	CT 5509/942		13591
41 Light Square ADELAIDE	Colonel Light Hotel (sometime Heritage Hotel)	A1	D19234	CT 5220/437		12862
63 Light Square ADELAIDE	Cobbs Restaurant (former Warehouse)	A4	F131732	CT 5240/441		11639
69 Light Square ADELAIDE	Rise Nightclub (former City Mission Hall)	A9	F102247	CT 6049/730		11640
79 Light Square ADELAIDE	Office (former Sands & McDougall Warehouse)	APT 7 A7	D12196 D12196	CT 6092/623 CT 6092/624		11641
Light Square ADELAIDE	Colonel William Light's Grave and Monument, Light Square	A122	D81642	CR 6102/705		14139
20 Little Gilbert Street ADELAIDE	Adelaide Mosque	A110	F207400	CT NUA/NUA		10947
1 Maud Street ADELAIDE	Dwelling ('Dunmoochin')	A544	F183006	CT 5710/79		13427
10 Maxwell Street ADELAIDE	Dwelling	A3	F13623	CT 5479/668	a	16172
26-28 Moore Street ADELAIDE	St Mary Magdalene's Anglican Church	A852	F182504	CT 5907/626		13245

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30 Moore Street ADELAIDE	St Peter's College Mission (Anglican)	A851	F182503	CT 5802/771		13244
17 Morialta Street ADELAIDE	Adelaide Benevolent and Strangers' Friend Society Hall	A398	F181240	CT 5986/803		13410
32 North Street ADELAIDE	Former White Conduit Hotel and Outbuilding	A101	D29135	CT 5850/169		13381
57 North Terrace ADELAIDE	Office (former Dwelling)	A625	F181467	CT 5656/824		14017
58-60 North Terrace ADELAIDE	Magoos The Club (former Dwelling)	A100	F39200	CT 5606/404		14018
73-78 North Terrace ADELAIDE	Lion Arts Centre (former Fowler's Lion Grocery Factory)	A10	D39017	CT 6120/175		11636
80 North Terrace ADELAIDE	Holy Trinity Anglican Church Rectory	A627	F181469	CT 5799/241		13358
87 North Terrace ADELAIDE	Holy Trinity Anglican Church	A627	F181469	CT 5799/241		13357
165 North Terrace ADELAIDE	Adelaide Club Building	A50	F26236	CT 5803/624		10870
170 North Terrace ADELAIDE	Former Shell House	A11	F30802	CT 6135/796		13103
172 North Terrace ADELAIDE	Myer Centre (former Goldsbrough House)	A12	F30802	CT 6135/797		13239
175 North Terrace ADELAIDE	Office (former Liberal Club Building)	A13	F30802	CT 6135/798		13362
178 North Terrace ADELAIDE	Myer Centre (former Verco Building)	A14	F30802	CT 6135/799		13363
188 North Terrace ADELAIDE	Gawler Chambers	A95	F216839	CT 5819/263		13104
201-202 North Terrace ADELAIDE	The Gallerie Shopping Centre (former G & R Wills Warehouse)	A1	F2373	CT 5848/483		13365
203-207 North Terrace ADELAIDE	Office (former Dwelling and Consulting Rooms) and former G & R Wills Warehouse	A1 A2	F139583 F2373	CT 5255/933 CT 5263/314		13367
237 North Terrace ADELAIDE	Scots (originally Chalmers' Free) Church [Uniting, former Free Presbyterian Church]	A217	F181869	CT 5657/396		13370
254 North Terrace ADELAIDE	Grand Lodge of Freemasons Adelaide Masonic Centre	A93	F162944	CT 6062/837		10956
261 North Terrace ADELAIDE	Two Storey Dwelling (An elaborately detailed classical villa)	A236	F181888	CT 5688/685		13376
263-264 North Terrace ADELAIDE	Office (former Dwelling)	A1 A2	F1660 F1660	CT 5085/918 CT 5128/559		13377
298 North Terrace ADELAIDE	Ayers House and former Coach House/Stables and Wall	A500	D61170	CT 5927/883		10849
301-307 North Terrace ADELAIDE	Dwelling ('Botanic Chambers')	U1 U2 U3 U4 UCP U2 U3 U4 UCP U1 U1	S6255 S6255 S6255 S6255 S6255 S6495 S6495 S6495 S6495 S6495 S6496	CT 5614/736 CT 5614/737 CT 5614/738 CT 5614/739 CT 5614/740 CT 5614/743 CT 5614/745 CT 5614/744 CT 5614/746 CT 5614/742 CT 5616/533		10848

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		U2 U3 U4 UCP U1 U2 U3 UCP U4 A6 A3	S6496 S6496 S6496 S6496 S6257 S6257 S6257 S6257 S6257 F13127 F13127	CT 5616/534 CT 5616/535 CT 5616/536 CT 5616/537 CT 5616/540 CT 5616/541 CT 5616/542 CT 5616/544 CT 5616/543 CT 5616/935 CT 5616/936		
309 North Terrace ADELAIDE	Botanic Bar (former Botanic Hotel)	U1 U2 U3 U4 U5 U6 U7 U8 U9 UCP	S13876 S13876 S13876 S13876 S13876 S13876 S13876 S13876 S13876 S13876	CT 5616/545 CT 5616/546 CT 5616/547 CT 5616/548 CT 5616/549 CT 5616/550 CT 5616/551 CT 5616/552 CT 5616/553 CT 5616/554		10847
North Terrace ADELAIDE	Barr Smith Library (original building only), The University of Adelaide	S1207	H105100	CT 6077/7		10643
North Terrace ADELAIDE	South Australian Museum East Wing	S561	H105100	CR 5759/681		10763
North Terrace ADELAIDE	Gates to Botanic Gardens	A101	D66751	CR 5943/442		10843
North Terrace ADELAIDE	Adelaide Railway Station / Adelaide Casino	Q1-3	D46426	CT 6134/983		10844
North Terrace ADELAIDE	Parliament House	S747	H105100	CR 5758/143		10845
North Terrace ADELAIDE	Former South Australian Institute Building, State Library of SA	S510	H105100	CR 5759/861		10846
North Terrace ADELAIDE	Elder Hall, The University of Adelaide	S693	H105100	CT 5685/768		10851
North Terrace ADELAIDE	Art Gallery (former National Gallery) of South Australia	S562	H105100	CR 5759/863		10871
North Terrace ADELAIDE	South Australian Museum (former Mounted Police Barracks)	S561	H105100	CR 5759/681		10872
North Terrace ADELAIDE	Government House (main house and remaining perimeter walls of rear service courtyard)	S755	H105100	CR 5760/637		10873
North Terrace ADELAIDE	Old Parliament House	S748	H105100	CR 5754/434		10874
North Terrace ADELAIDE	State Library of South Australia Jervis Wing	S510	H105100	CR 5759/861		10875
North Terrace ADELAIDE	Art Gallery of South Australia Auditorium (former Government Supplies Store, later Military Store, sometime South Australian Archives, sometime Historical Museum)	S562	H105100	CR 5759/863		10876
North Terrace ADELAIDE	Brookman Building, University of South Australia (former School of Mines and Industries, then SA Institute of Technology)	S593	H105100	CR 5251/900		10877
North Terrace ADELAIDE	Bonython Hall, The University of Adelaide	S695	H105100	CT 6077/7		10878

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North Terrace ADELAIDE	Mitchell Building, The University of Adelaide	S694	H105100	CT 5685/769		10879
North Terrace ADELAIDE	South African (Boer) War Memorial	ROAD RESERVE	H105100	N/A		13349
North Terrace ADELAIDE	National War Memorial	S756	H105100	CR 5754/511		13660
North Terrace ADELAIDE	South Australian Museum North Wing	S561	H105100	CR 5759/681		13662
North Terrace ADELAIDE	South Australian Museum (former Armoury & Archway)	S561	H105100	CR 5759/681		13667
North Terrace ADELAIDE	Bragg Laboratories, The University of Adelaide	S1205	H105100	CT 6129/107		13757
North Terrace ADELAIDE	Memorial to His Majesty King Edward VI		H105100	N/A	e	16176
North Terrace ADELAIDE	Memorial to Sir Walter Watson Hughes, The University of Adelaide	S694 S1207	H105100 H105100	CT 5685/769 CT 6077/7	e g	16928
North Terrace ADELAIDE	Robert Burns Monument	S510	H105100	CR 5759/861	a e f	26395
North Terrace ADELAIDE	Royal Adelaide Hospital (South-West Precinct) [including Sheridan Building (former Kiosk), Bice Building, Women's Health Centre (former Outpatients' Department), Allied Health Services Building (former Admissions and Casualty Department), McEwin Building, Former Margaret Graham Nurses' Home (State Heritage Place No 13093), remnant iron-railing fence to North Terrace, and brick boundary wall to Frome Road]	A14	D51367	CT 6134/112	a d e f	26413
North Terrace ADELAIDE	Sir Samuel James Way Monument	ROAD RESERVE	H105100	N/A	a e g	26399
North Terrace ADELAIDE	Statue of Captain Matthew Flinders, Prince Henry Gardens		H105100	N/A	g	19142
North Terrace ADELAIDE	Statue of Venus [a copy of Antonio Canova's Venus], Prince Henry Gardens		H105100	N/A	a	16175
Park Lands ADELAIDE	Museum of Economic Botany, Adelaide Botanic Garden	A101	D66751	CR 5943/442		10642
Adelaide Botanic Garden North Terrace ADELAIDE	Palmhouse	A101	D66751	CR 5943/442		10850
Adelaide Botanic Garden North Terrace ADELAIDE	Morgue - former Dead House Dwelling	A101	D66751	CR 5943/442		13641
Park Lands ADELAIDE	Simpson Kiosk, Adelaide Botanic Garden	A101	D66751	CR 5943/442		13643
Park Lands ADELAIDE	Boy and Serpent Fountain, Economic Garden, Adelaide Botanic Garden	A101	D66751	CR 5943/442		13644
Park Lands ADELAIDE	Torrens Weir (Weir No. 1), Adelaide	S1008 A3 A2 S1640	H105100 F41835 F41835 H106100	CR 5754/514 CR 5807/963 CR 5807/962 CR 6144/507		13658
Park Lands ADELAIDE	Western Yard Entrance ('Wye') Signal Cabin, Adelaide Railway Station Yard	Q40	D85645	CT 6072/230		13659

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Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
		U9 U8 U1 U3 U4 U5 U2 A103 A104 U L1 L2 L3 L4 L5 L6 A7 ACP U22	S12753 S12753 S12753 S12753 S12753 S12753 S12753 D72414 D72414 S12753 C24243 C24243 C24243 C24243 C24243 C24243 C24243 C24243 C24243 S12753	CT 5172/165 CT 5172/164 CT 5172/157 CT 5172/159 CT 5172/160 CT 5172/161 CT 5172/158 CT 6029/373 CT 6029/374 CT 6029/375 CT 6029/376 CT 6029/377 CT 6029/378 CT 6029/379 CT 6029/380 CT 6029/381 CT 6029/382 CT 6029/383 CT 6132/345		
55 Rundle Mall ADELAIDE	Shop (former Young's Shoe Store)	A171	F181823	CT 6129/371		13372
72 Rundle Mall ADELAIDE	Balfour's Shop and Cafe	A10	F42223	CT 6129/290	f	10411
101-109 Rundle Mall ADELAIDE	Regent Theatre Facade	A4	F110005	CT 6121/532		13373
111-117 Rundle Mall ADELAIDE	Adelaide Arcade and Gays Arcade	A1 A1 A1 A1 A1 A1 A1 A1 A1 A1 A1 A1 A1 A1 A1 A130 A174 A174 A174 A174 A174 A174 A174 A174 A174 A174 A174 A174 A174 A174 A174 A174 A1 A1	D13198 D13198 D13198 D13198 D13198 D13198 D13198 D13198 D13198 D13198 D13198 D13198 D13198 D13198 D13198 F181782 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 F181826 D13198 F47043	CT 5536/111 CT 6009/211 CT 6009/212 CT 6009/213 CT 6009/214 CT 6009/217 CT 6009/218 CT 6009/220 CT 6009/221 CT 6009/222 CT 6009/223 CT 6009/224 CT 6051/200 CT 6051/196 CT 6051/198 CT 6063/886 CT 6115/629 CT 6115/634 CT 6115/635 CT 6115/636 CT 6115/637 CT 6115/638 CT 6115/639 CT 6115/640 CT 6115/641 CT 6115/642 CT 6115/643 CT 6115/644 CT 6115/645 CT 6115/646 CT 6115/647 CT 6115/649 CT 6143/619 CT 6143/618		10795
135-139 Rundle Mall ADELAIDE	Commonwealth Bank of Australia, Rundle Mall, Adelaide Branch (former Shop)	A2	F121254	CT 6013/8		13375
150-154 Rundle Mall ADELAIDE	Office & Shop	A204	F181856	CT 5564/12		13369
187-195 Rundle Street ADELAIDE	Former Malcolm Reid's Emporium (facade)	A53 A54	D37943 D37943	CT 6105/210 CT 6105/211		11579

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197-203 Rundle Street ADELAIDE	Shops adjoining the Austral Hotel, including Outhouses	A111 A180 A178 A54 A55	F199754 F181832 F181831 D37943 D37943	CT 5404/441 CT 5404/443 CT 5570/735 CT 6105/213 CT 6105/212		12685
205-207 Rundle Street ADELAIDE	Austral Hotel	A179	F181831	CT 5570/736		11581
228-240 Rundle Street ADELAIDE	Tavistock Building	A95 A94 A91 92 A4 A3 A6 A5	F173146 F206202 F206202 D2735 D2735 D2735 D2735	CT 5901/769 CT 5901/768 CT 5901/772 CT 5901/771 CT 5901/770 CT 6122/428 CT 6131/820		13379
288A-290 Rundle Street ADELAIDE	Former Butchers Shop	A22	D31631	CT 6074/806		13978
299 Rundle Street ADELAIDE	Stag Hotel	A1	D56306	CT 5995/515		13380
10 & 16 Ruthven Avenue ADELAIDE	Office (former Dwelling)	A2 A8	F159259 F108444	CT 5291/681 CT 5196/865		13406
11 & 15 Ruthven Avenue ADELAIDE	Dwelling	A335 A336	F181177 F181178	CT 5390/940 CT 5780/621		13403
17 Ruthven Avenue ADELAIDE	Office (former Dwelling)	A25	D61424	CT 5898/747		13404
18 Ruthven Avenue ADELAIDE	Office (former Dwelling)	A26	D61424	CT 5898/748		13405
97 South Terrace ADELAIDE	Office (former Dwelling - Draper Memorial Methodist Church Manse)	A94	F163860	CT 5306/944		13451
141 South Terrace ADELAIDE	Dwelling	A4	D20351	CT 5558/136		13454
142 South Terrace ADELAIDE	Office (former Dwelling)	A5	F111854	CT 5200/521		13453
144 South Terrace ADELAIDE	Office (former Dwelling)	A175	F182637	CT 5503/440		13452
239 South Terrace ADELAIDE	Adelaide City Park Motel (former Green Dragon Hotel)	A255	F181907	CT 5460/518		13108
261-265 South Terrace ADELAIDE	Royal South Australian Deaf Society Headquarters	A11	D17244	CT 5890/33		13606
284-286 South Terrace ADELAIDE	Magarey House	A50	D57371	CT 6105/990	g	26355
360 South Terrace ADELAIDE	St Andrew's Hospital (former Dwelling 'Waverley'), Wall and Former Coach House	A10 APT 10	F33889 F33889	CT 6091/917 CT 6091/916		13459
378 South Terrace ADELAIDE	Dwelling	A1	F153	CT 5881/285		10948
South Terrace ADELAIDE	Shelter Shed, Princess Elizabeth Children's Playground	S6021	H105100	CR 6102/717	a b	26423
ANZAC Centenary Memorial Walk, Kintore Avenue ADELAIDE	Wattle Grove WWI War Memorial (Dardanelles Campaign, also called Gallipoli Campaign)	Q20	F38386	CR 6102/717	a d	26394
10-14 St Johns Street ADELAIDE	St John's Church Hall and Rectory	A651	F182303	CT 5845/619	e	16174
55 Symonds Place ADELAIDE	Dwelling	A267	F181919	CT 5879/835		13456

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5-9 Synagogue Place ADELAIDE	Former Jewish Synagogue	A6	D32059	CT 5382/829		13593
Victoria Drive ADELAIDE	Former Torrens Lake Police Station	Q22	F38386	CR 6102/717	a b	26365
Victoria Drive ADELAIDE	Mitchell Gates and Victoria Drive and Frome Road Fences, The University of Adelaide and University of South Australia	S593 S1207 S1206	H105100 H105100 H105100	CR 5251/900 CT 6077/7 CT 6129/107		13653
Victoria Drive ADELAIDE	Union Building Group, The University of Adelaide (including the Lady Symon Building, the George Murray Building, the Cloisters, the Western Annexe and the multi-level Union House)	S1206	H105100	CT 6129/107	e g	17619
181-191 Victoria Square ADELAIDE	Beacon House (former MLC [Mutual Life and Citizens' Assurance Company Ltd] Building)	U7 U9 U8 UCP U14 U13 U12 U11 U10 U6 U2 U3 U5 U4 U1	S7176 S7176 S7176 S7176 S7176 S7176 S7176 S7176 S7176 S7176 S7176 S7176 S7176 S7176 S7176	CT 5007/302 CT 5007/304 CT 5007/303 CT 5007/310 CT 5007/309 CT 5007/308 CT 5007/307 CT 5007/306 CT 5007/305 CT 5007/301 CT 5007/297 CT 5007/298 CT 5007/300 CT 5007/299 CT 6037/217		13596
182-188 Victoria Square ADELAIDE	Reserve Bank of Australia	A6	D27841	CT 5453/227	d	16170
199-201 Victoria Square ADELAIDE	ANZ Bank, Victoria Square Branch - Facade only (former SA Harbors Board Building, former National Mutual Life Association Building)	A2	D42896	CT 5986/806		10896
202-220 Victoria Square ADELAIDE	Torrens Building	A5	D27841	CT 5896/686		10895
241-259 Victoria Square ADELAIDE	Sir Samuel Way Building (former Charles Moore Department Store)	T378	T105101	CT 6118/751		13412
268-278 Victoria Square ADELAIDE	Magistrate's Court (former Police Courthouse, former Supreme Court)	A1	D58661	CT 5864/58		10815
281-287 Victoria Square ADELAIDE	Supreme Court (former Local and Insolvency Court)	T408	T105101	CR 5760/599		10799
Victoria Square ADELAIDE	Captain Charles Sturt Monument	A115	F218073	CR 5779/247	a e g	26396
Victoria Square ADELAIDE	Charles Cameron Kingston Monument	A120	F218073	CR 5779/247	a e g	26398
Victoria Square ADELAIDE	John McDouall Stuart Monument	A116	F218073	CR 5779/247	a e g	26397
Victoria Square ADELAIDE	Statue of Queen Victoria			N/A	e g	26388
Victoria Square ADELAIDE	John Dowie's Three Rivers Fountain	A117	F218073	CR 5779/247	e g	26375
339 Wakefield Street ADELAIDE	Dwelling ('Cartref')	A1	D25554	CT 5123/767		13423
11-19 Wakefield Street ADELAIDE	St Francis Xavier's Catholic Cathedral	A92	F163051	CT 6109/690		10892
31-33 Wakefield Street ADELAIDE	Fennessey House Offices	A3	D17208	CT 6109/689		13413

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81-129 Wakefield Street ADELAIDE	Adelaide Fire Station	A7 A9 A659 A668 A690 A704 A705	F16490 F16490 F181501 F181510 F181532 F181546 F181547	CT 5346/689 CT 5346/494 CT 5761/798 CT 5761/799 CT 5943/888 CT 5943/887 CT 5782/242	e	26356
82-96 Wakefield Street ADELAIDE	Office (former Menz Biscuit Factory)	A5 - 10	F16379	CT 5836/846		10816
214 Wakefield Street ADELAIDE	Christian Brothers College (CBC) - Brothers House and Hurley Wing (originally Dormitory/Gymnasium wing) [External load-bearing walls only]	A801 A802 A100	F181643 F181644 F215351	CT 6075/607 CT 6075/597 CT 6075/609		13366
221 Wakefield Street ADELAIDE	Office (former Our Boys Institute Building) [facade only]	A728	F181570	CT 5799/369		10890
329 Wakefield Street ADELAIDE	Dwelling ('Carhayes')	A99	D50668	CT 5598/760		13420
47-49 Waymouth Street ADELAIDE	Woodards House	A132	F170677	CT 5323/691	e	13106
205 Waymouth Street ADELAIDE	Cumberland Arms Hotel	A54	F40003	CT 6120/974		13383
1-9 West Terrace ADELAIDE	Newmarket Hotel	A1	D71011	CT 6052/235		10915
91-100 West Terrace ADELAIDE	Archbishop's House - Catholic (formerly known as Bishop's Palace), Fence and Outbuilding	A290	F181132	CT 5358/422		13398
West Terrace ADELAIDE	West Terrace Cemetery Catholic (Smyth Memorial) Chapel	A100 A101	D90661 D90661	CT 6125/317 CR 6125/318		10891
West Terrace ADELAIDE	Adelaide High School (formerly Adelaide Boys High School) 1951 building only and Observatory Site	A60, 66	D73209	CT 6102/723		12557
West Terrace ADELAIDE	West Terrace Cemetery	A100 A101	D90661 D90661	CT 6125/317 CR 6125/318		12722
21-29 Whitmore Square ADELAIDE	St Luke's Anglican Church	A102	F27058	CT 5416/151		13598
43-47 Whitmore Square ADELAIDE	Eating House (former Shop & Dwelling)	A354	F182816	CT 5795/418		13449
70 Whitmore Square ADELAIDE	Salvation Army Hostel (former Bushmen's Club)	A1	D25977	CT 5422/742		13450
254-256 Wright Street ADELAIDE	Prince Albert Hotel	A1	F131963	CT 5242/867		13098
54-60 Wyatt Street ADELAIDE	Former Adelaide Brewery	A27 A91	F112514 F204418	CT 5206/764 CT 5474/538		11635
25-29 Young Street ADELAIDE	Young Street Chambers (former William Detmold Ltd, later Spicers Australia Warehouse), including Delivery Area	A456	F181298	CT 6117/596		13385
33-37 Archer Street NORTH ADELAIDE	Dwelling	Q94 Q91 Q91	F200153 F208301 F213401	CT 5368/443 CT 5498/606 CT 5682/129		13529
61-65 Archer Street NORTH ADELAIDE	North Adelaide Police Station Building	A71	D47114	CT 5441/883		10813

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61-65 Archer Street NORTH ADELAIDE	North Adelaide Police Station red brick residence, cell block and walled yard	A71	D47114	CT 5441/883	a g	17034
62 Archer Street NORTH ADELAIDE	Dwelling - Bohm Terrace	A296	F183568	CT 5892/376		10812
64 Archer Street NORTH ADELAIDE	Dwelling - Bohm Terrace	A297	F183569	CT 6124/914		10811
66 Archer Street NORTH ADELAIDE	Dwelling - Bohm Terrace	A298	F183570	CT 6118/625		10810
68 Archer Street NORTH ADELAIDE	Dwelling - Bohm Terrace	A299	F183571	CT 6038/990		10809
74 Archer Street NORTH ADELAIDE	Dwelling - Dolphin Terrace	A10	F102228	CT 5118/834		10808
76 Archer Street NORTH ADELAIDE	Dwelling - Dolphin Terrace	A293	F183565	CT 6038/991		10807
78 Archer Street NORTH ADELAIDE	Dwelling - Dolphin Terrace	A294	F183566	CT 6038/992		10806
84 Archer Street NORTH ADELAIDE	Blind Welfare Institute (former Wesleyan Methodist Church Hall)	A120	F39107	CT 5901/894		13609
24 Barnard Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A777	F183239	CT 5451/943		13483
34-36 Barnard Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A780 A202	F183242 D65850	CT 5892/387 CT 5933/745		13484
40 Barnard Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A781	F183243	CT 5876/839		13485
48-52 Barnard Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A782 A783	F183244 F183245	CT 5892/388 CT 5892/390		13480
62 Barnard Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A785	F183247	CT 5850/537		13477
66-68 Barnard Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A771 A2	F183233 F108917	CT 5790/985 CT 5800/864		13478
73 Barnard Street NORTH ADELAIDE	Calvary Hospital Chapel (Catholic)	A2	D60528	CT 5888/266		13487
78 Barnard Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A4	D37024	CT 5132/728		13479
110 Barnard Street NORTH ADELAIDE	Dwelling	A11	D23952	CT 5437/555	e	16171
149 Barton Terrace NORTH ADELAIDE	Dwelling (former Queen's School, later Queen's College)	A103	F183375	CT 5725/305		13471
7-15 Bower Street NORTH ADELAIDE	Dwelling	A16	D654	CT 5939/869		13572
8-18 Bower Street NORTH ADELAIDE	Dwelling	A17	D654	CT 5939/870		13414
21-29 Brougham Court NORTH ADELAIDE	Dwelling (former Ebenezer Baptist Chapel)	A3	D15631	CT 5329/214		13538
5-7 Brougham Place NORTH ADELAIDE	Dwelling built for Charles H Goode	A213	F183485	CT 5679/674		13537

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9 Brougham Place NORTH ADELAIDE	Dwelling ('Taylor House')	A3 A1 A2 ACP	C23298 C23298 C23298 C23298	CT 5957/707 CT 5957/705 CT 5957/706 CT 5957/708		13536
24 Brougham Place, and Lot 101 Ward Street NORTH ADELAIDE	Dwelling and Domestic Outbuilding – St Margaret's and Stable (former)	A103 A101	D70963 D70963	CT 5970/186 CT 5970/184		13535
28-33 Brougham Place NORTH ADELAIDE	Lincoln College East Building (former Baker family Dwelling)	A210	F183482	CT 5360/493		13534
28-33 Brougham Place NORTH ADELAIDE	Lincoln College (former Dwelling)	A207	F183479	CT 5360/494		13533
39 Brougham Place NORTH ADELAIDE	Lincoln College (former Rymill family Dwelling)	A208	F183480	CT 5829/150		13611
45 Brougham Place NORTH ADELAIDE	Lincoln College (former Milne family Dwelling)	A209	F183481	CT 5360/495		13610
49 Brougham Place NORTH ADELAIDE	Dwelling ('Brougham House') & former Stable	A10 A11 A13	D21353 D21353 D21353	CT 5444/306 CT 5444/305 CT 5444/250		13532
72 Brougham Place NORTH ADELAIDE	Dwelling ('Belmont') (former Masonic Hall)	A11	D25948	CT 5301/732		10803
74-78 Brougham Place NORTH ADELAIDE	Dwelling ('Kingsmead House')	A10	D25948	CT 5112/961		10802
196-210 Brougham Place NORTH ADELAIDE	Brougham Place Uniting Church (former North Adelaide Congregational Church)	A2 A1	D22380 D22380	CT 5200/72 CT 5407/720		10805
222 Brougham Place NORTH ADELAIDE	Dwelling	A1	D14584	CT 5951/424		13551
225 Brougham Place NORTH ADELAIDE	Dwelling	A3	D16204	CT 6105/735		13552
67-75 Buxton Street NORTH ADELAIDE	Dwelling ('Buxton Manor') and Fence	A838	F183300	CT 5523/96		13472
126 Buxton Street NORTH ADELAIDE	St Laurence's Catholic Church	T894	T106101	CT 5811/436		10804
134 Buxton Street NORTH ADELAIDE	St Laurence's Catholic Priory	T894	T106101	CT 5811/436		13463
1-3 Finnis Street NORTH ADELAIDE	Shop & Dwelling	U1 U2 UCP	S11704 S11704 S11704	CT 5062/555 CT 5062/556 CT 5062/557		10634
42-44 Finnis Street NORTH ADELAIDE	Dwelling	A2 A3	D19244 D19244	CT 5109/909 CT 5395/312		13560
58-60 Finnis Street NORTH ADELAIDE	British Hotel	A22	D54960	CT 6126/600		13556
88 Finnis Street NORTH ADELAIDE	Dwelling ('Buffalo Cottage')	A535	F183807	CT 5543/687		13557
12-22 George Street NORTH ADELAIDE	Former Steam Sawmill (sometime hat factory)	A5 A1 A2 A3 A4 ACP	D50239 C20142 C20142 C20142 C20142 C20142	CT 5570/326 CT 5570/321 CT 5570/322 CT 5570/323 CT 5570/324 CT 5869/122		13671
87-93 Gover Street NORTH ADELAIDE	Dwellings & Domestic Outbuildings	A5 A443 A442 A444	F147923 F183715 F183714 F183716	CT 5273/408 CT 5502/295 CT 5737/188 CT 5854/633		13519

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76-78 Hill Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A1 A2	F12830 F12830	CT 5088/264 CT 5485/131		13473
147-159 Hill Street and 140 Mills Terrace NORTH ADELAIDE	Dwelling	A865	F183327	CT 5555/304		13462
11 Jeffcott Street NORTH ADELAIDE	'Carclew' (former Dwelling), Fence and Outbuildings	T749	T106101	CT 5500/480		10784
81 Jeffcott Street NORTH ADELAIDE	Former Christ Church School and Outbuilding	A1014 A1015	D89041 D89041	CT 6093/135 CT 6093/136		13488
104-118 Jeffcott Street NORTH ADELAIDE	Lutheran Seminary, Hebart Hall (former Whinham College, sometime Angas College, sometime Immanuel College) and Front Boundary Wall	A95	F199638	CT 5388/373		13513
125 Jeffcott Street NORTH ADELAIDE	Woodlands Apartments	UCP U1 U2 U3 U4	S4500 S4500 S4500 S4500 S4500	CT 5022/910 CT 5022/906 CT 5022/907 CT 5022/908 CT 5022/909	e	26299
168 Jeffcott Street NORTH ADELAIDE	Dwelling	A378	F183650	CT 5856/958		10785
240 Jeffcott Street NORTH ADELAIDE	Greenhill Galleries (former Dwelling)	A7	F102903	CT 5126/995		13494
78 Jerningham Street NORTH ADELAIDE	Dwelling	A649	F183921	CT 5576/310		13563
45-49 Kermode Street NORTH ADELAIDE	Cathedral Hotel	A100	D42639	CT 6129/16		10480
117 Kermode Street NORTH ADELAIDE	Queen's Head Hotel	A11	D20118	CT 5344/158		10852
150 Kermode Street NORTH ADELAIDE	Former North Adelaide Church of Christ	A122	F183394	CT 5365/125		13539
155 Kermode Street NORTH ADELAIDE	Dwelling (former Creveen Girls School)	A128	F183400	CT 5787/866		13542
1-19 King William Road NORTH ADELAIDE	St Peter's Anglican Cathedral	A91	F208252	LT X/86		13612
14-20 King William Road NORTH ADELAIDE	Anglican Church Office (former St Barnabas Theological College Building)	A102	D25581	CT 5166/543		13547
58 King William Road NORTH ADELAIDE	Allan Campbell Building, Adelaide Children's Hospital	A93	F199637	CT 6105/977		13541
70 King William Road NORTH ADELAIDE	Angas Building, Adelaide Children's Hospital	A93	F199637	CT 6105/977		13540
Angas Garden King William Road NORTH ADELAIDE	Memorial to GF and JH Angas	S1630	H106100	CR 6144/507	g	16180
King William Road NORTH ADELAIDE	Memorial to Captain Sir Ross Smith, Creswell Garden	A100	D81642	CR 6102/703	g	16181
Pennington Garden King William Road NORTH ADELAIDE	Women's War Memorial Garden, Cross of Sacrifice and Stone of Remembrance	S1648	H106100	CR 6144/507	f	16182

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
51-60 Kingston Terrace NORTH ADELAIDE	Dwellings (former 'Lady Ayers Homes')	U1 U2 U4 U6 U8 U7 U3 U14 U13 U12 U11 U10 U9 U5	S1036 S1036 S1036 S1036 S1036 S1036 S1036 S1036 S1036 S1036 S1036 S1036 S1036 S1036 S1036	CT 5052/39 CT 5052/40 CT 5052/42 CT 5052/44 CT 5052/46 CT 5052/45 CT 5421/553 CT 5052/52 CT 5052/51 CT 5052/50 CT 5052/49 CT 5052/48 CT 5052/47 CT 5052/43		13561
127-133 Kingston Terrace NORTH ADELAIDE	Dwelling ('Nurney House'), including Loggia, Garden, Sheds, Laundry, Garage and Boundary Walls to Kingston Terrace and Stanley Street	A2 A1 A3	D80214 D80124 D80214	CT 6057/478 CT 6057/479 CT 6131/911		11577
21-25 Lefevre Terrace NORTH ADELAIDE	North Adelaide Private Hospital	A365	F183637	CT 5493/721		13530
58-60 Lefevre Terrace NORTH ADELAIDE	Dwelling	A50 A51	D23955 D23955	CT 5149/54 CT 5149/53		12831
62-63 Lefevre Terrace NORTH ADELAIDE	Dwelling	A502 A509	F183774 F183781	CT 5442/204 CT 5775/197		13524
64-66 Lefevre Terrace NORTH ADELAIDE	Dwelling	A508 A507	F183780 F183779	CT 5545/207 CT 5783/95		13523
68-70 Lefevre Terrace NORTH ADELAIDE	Dwelling	A50 A51	D53799 D53799	CT 5784/950 CT 5784/951		13522
91-95 Lefevre Terrace NORTH ADELAIDE	Dwelling	A115 A114	D34415 D34415	CT 5107/208 CT 5877/301		13518
97-99 Lefevre Terrace NORTH ADELAIDE	Dwellings & Stables	U6 U3 A1 A2 UCP	S7342 S7342 D14326 D14326 S7342	CT 5026/691 CT 5026/688 CT 5660/930 CT 5660/931 CT 5882/750		13517
1-5 MacKinnon Parade NORTH ADELAIDE	Dwellings	A91 A744 A743 A745	F170122 F184016 F184015 F184017	CT 5318/668 CT 5567/716 CT 5802/788 CT 5847/288		13574
6-18 MacKinnon Parade NORTH ADELAIDE	Dwellings	A748 A2 A732 A733 A731 A730 A747 A746 A738 A737 A736 A1	F184020 D20957 F184004 F184005 F184003 F184002 F184019 F184018 F184010 F184009 F184008 D20957	CT 5438/725 CT 5455/430 CT 5521/144 CT 5555/175 CT 5647/324 CT 5655/180 CT 5870/973 CT 5870/972 CT 5881/859 CT 5913/845 CT 6029/64 CT 6114/905		13575
32 MacKinnon Parade NORTH ADELAIDE	Dwelling	A720	F183992	CT 5819/381		10821
111-124 MacKinnon Parade and 51 Finniss Street NORTH ADELAIDE	Kathleen Lumley College including Amenities Wing, Residential Wing, Master's Residence, Central and Front Gardens, Transformer Building, Southern Boundary Walls and Gates	A1	D80242	CT 6045/420	e g	26350

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
176-180 MacKinnon Parade NORTH ADELAIDE	Mayo House	A524	F183796	CT 5735/621		13095
Mann Terrace NORTH ADELAIDE	Mann Terrace Olive Plantation	A112 & 113	D81642	CR 6102/713		10960
70-72 Melbourne Street NORTH ADELAIDE	St Cyprian's Anglican Church	A711	F183983	CT 5828/925		13570
70 (rear) Melbourne Street NORTH ADELAIDE	St Cyprian's Church Hall (Former St Cyprian's Day School)	A711	F183983	CT 5828/925	a	19119
157 Melbourne Street NORTH ADELAIDE	ANZ Bank North Adelaide Branch (former Shop)	A2	F106860	CT 5179/340		13571
161-175 Melbourne Street , and 19 Jerningham Street NORTH ADELAIDE	The Lion Hotel (former Old Lion Brewery, Chimney & Hotel)	A20 A21	D45773 D45773	CT 5391/60 CT 5878/176		13559
179-181(rear) Melbourne Street NORTH ADELAIDE	Office (former Malt House of Old Lion Brewery)	A1	F131820	CT 5241/523		13558
219 Melbourne Street NORTH ADELAIDE	Dwelling and Front Fence	A581	F183853	CT 5832/412		13613
283-291 Melbourne Street NORTH ADELAIDE	Dwelling ('Deepacres' Apartments) and Garage at rear	U15 U6 U13 U1 U14 U12 U11 U10 U9 U3 U4 U5 U8 U7 U2 UCP	S358 S358 S358 S358 S358 S358 S358 S358 S358 S358 S358 S358 S358 S358 S358 S358	CT 5044/999 CT 5044/990 CT 5044/997 CT 5044/985 CT 5044/998 CT 5044/996 CT 5044/995 CT 5044/994 CT 5044/993 CT 5044/987 CT 5044/988 CT 5044/989 CT 5044/992 CT 5044/991 CT 5044/986 CT 5045/1		13555
46-50 Mills Terrace NORTH ADELAIDE	Dwelling ('St Helen's') and Coach House	A1 A2	D38974 D38974	CT 5804/422 CT 5804/423		13469
84 Mills Terrace NORTH ADELAIDE	Dwelling ('Sidegarth')	A5 A6	D86557 D86557	CT 6078/275 CT 6078/276		13464
11-11A Molesworth Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A1 A2	D14845 D14845	CT 5751/237 CT 5751/236		13482
27-29 Molesworth Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A848 A847	F183310 F183309	CT 5683/172 CT 5881/752		13481
37-41 Molesworth Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A844 A845	F183306 F183307	CT 5892/36 CT 5892/386		13476
51-53 Molesworth Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A95 A836	F162968 F183298	CT 5303/97 CT 5550/354		13475
65 & 67 Molesworth Street NORTH ADELAIDE	Dwelling within City Land Investment Company subdivision	A4 A3	F13836 F13836	CT 5150/167 CT 5473/566		13474
127-129 Molesworth Street NORTH ADELAIDE	St Dominic's Priory College (Church of the Perpetual Adoration and Chapter House)	A757	F183219	CT 5640/4		13468
Montefiore Hill NORTH ADELAIDE	Light's Vision and Memorial to Colonel William Light	A100	D81642	CR 6102/703	g	16232

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
56 - 60 O'Connell Street NORTH ADELAIDE	Archer (former Huntsman) Hotel	A94	F161578	CT 6129/381		13527
101-109 O'Connell Street NORTH ADELAIDE	Oxford Hotel & National Australia Bank North Adelaide Branch	A4 A15	F108518 F103316	CT 5197/748 CT 5132/495		13499
181-189 O'Connell Street NORTH ADELAIDE	Piccadilly (sometime Forum) Cinema	A511 A427	F183783 F183699	CT 5545/271 CT 5560/395		13496
1-25 Palmer Place NORTH ADELAIDE	Aquinas College (former Dwellings 'Montefiore' and 'Roche House' only)	A115 T748	F183387 T106101	CT 5855/212 CT 5877/120		11582
26 Palmer Place NORTH ADELAIDE	Dwelling ('Walkley House') designed by Robin Boyd in the International Style	A118	F183390	CT 5669/453		13515
35 Palmer Place NORTH ADELAIDE	Christ Church Rectory (Anglican)	A95	F207180	CT 5874/229		10865
36-40 Palmer Place NORTH ADELAIDE	Christ Church (Anglican), North Adelaide	A95	F207180	CT 5874/229		10866
41-50 Palmer Place NORTH ADELAIDE	Bishop's Court & Former Stables	A7 A8	D37134 D37134	CT 5141/71 CT 6033/30		13512
51-54 Palmer Place NORTH ADELAIDE	College of Surgeons Building (former Dwelling)	A2	F14025	CT 5401/499		13511
58 Palmer Place NORTH ADELAIDE	Dwelling ('Duncraig') & Stables	A6 A7	D35454 D35454	CT 5101/654 CT 5101/655		13510
95 Palmer Place NORTH ADELAIDE	Office (former Adelaide Kindergarten Training College, former Dwelling) and front fence	A51	D68290	CT 5952/155		13543
Park Lands NORTH ADELAIDE	The George Giffen, Sir Edwin Smith & Mostyn Evan Grandstands, Adelaide Oval	A129	D81642	CR 6102/703		13654
Park Lands NORTH ADELAIDE	Adelaide Oval Scoreboard	A129	D81642	CR 6102/703		13655
Pennington Garden West NORTH ADELAIDE	Statue of Hercules	A100	D81642	CR 6102/703	a	16179
41 Pennington Terrace NORTH ADELAIDE	Quaker (Society of Friends) Meeting House (A prefabricated 'Manning' House)	A113	F183385	CT 5868/205		10864
42-44 Pennington Terrace NORTH ADELAIDE	Walkley Cottage (originally Henry Watson's House), St Mark's College [modified 'Manning' House]	A108	F183380	CT 5778/198		10756
45-48 Pennington Terrace NORTH ADELAIDE	'Downer House' (former Dwelling), St Mark's College	A110	F183382	CT 5813/743		13374
49-53 Pennington Terrace NORTH ADELAIDE	Master's Lodge (Grenfell Price Lodge), St Mark's College	A92	F171132	CT 5329/292		10766
55 Pennington Terrace NORTH ADELAIDE	Hawker House (former Dwelling), St Mark's College	A1	D58466	CT 5885/179		13545
56-60 Pennington Terrace NORTH ADELAIDE	Dwelling (Former Girls Friendly Society Hostel)	UCP U6 U5	S6074 S6074 S6074	CT 5011/168 CT 5011/167 CT 5987/352		10862
64 Pennington Terrace NORTH ADELAIDE	Correspondence School (former Dwelling)	A91	F199634	CT 5976/226		13544

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
1-10 Sir Edwin Smith Avenue NORTH ADELAIDE	Memorial Hospital (former dwellings 'The Avenues' and 'Leahurst') and cast iron fence and stone walling along Sir Edwin Smith Avenue and Pennington Terrace	A107 A201	D25581 D78513	CT 5301/674 CT 6025/707		13546
23-27 Stanley Street NORTH ADELAIDE	Kentish Arms Hotel	A16	F112254	CT 5203/414		13568
53 Stanley Street NORTH ADELAIDE	Dwelling	A1	F27032	CT 5409/343		13567
82 Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U28	S1036	CT 5052/66		10910
84A Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U26	S1036	CT 5052/64		10908
84 Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U27	S1036	CT 5052/65		10909
86 Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U25	S1036	CT 5052/63		10907
88A Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U23	S1036	CT 5052/61		10905
88 Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U24	S1036	CT 5052/62		10906
90 Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U22	S1036	CT 5052/60		10904
92 Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U21	S1036	CT 5052/59		10903
94A Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U19	S1036	CT 5052/57		10901
94 Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U20	S1036	CT 5052/58		10902
96 Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U18	S1036	CT 6011/803		10900
98A Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U16	S1036	CT 5052/54		10898
98 Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U17	S1036	CT 5052/55		10899
100 Stanley Street NORTH ADELAIDE	Dwelling ('Dean Marryat Homes')	U15	S1036	CT 5052/53		10897
102-120 Stanley Street NORTH ADELAIDE	Dwellings (former Adelaide Benevolent and Strangers' Friend Society Houses)	A4 A671 A754 A752 A756 A759 A757 A758 A672 A755 A678	F156173 F183943 F184026 F184024 F184028 F184031 F184029 F184030 F183944 F184027 F183950	CT 5283/867 CT 5592/40 CT 5603/877 CT 5682/665 CT 5682/666 CT 5848/375 CT 5848/377 CT 5848/376 CT 5848/373 CT 5848/378 CT 5848/374		13562
109-113 Stanley Street NORTH ADELAIDE	Dwelling	A2 A1 A3	D19124 D19124 D19124	CT 5283/131 CT 5199/227 CT 5238/88		13564
178 Stanley Street NORTH ADELAIDE	Dwelling (former home of G E Fulton)	A628	F183900	CT 5865/501		13549
219 Stanley Street NORTH ADELAIDE	Dwelling ('Admaston', originally 'Strelde')	A100	F51846	CT 6038/550		10629

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
222-230 Stanley Street NORTH ADELAIDE	Dwelling ('St Andrews'), including Coach House and fence	A1	D12749	CT 5147/452		13548
229 Stanley Street NORTH ADELAIDE	Dwelling ('Sunnyside')	A92	F163876	CT 5858/273		13554
53-56 Strangways Terrace NORTH ADELAIDE	Dwelling	A734	F183196	CT 5729/411		13489
58 Strangways Terrace NORTH ADELAIDE	Dwelling (former 'Paramatta Villa')	A57	D42897	CT 5349/641		13491
125 Strangways Terrace, North Adelaide	former ADS Channel 10 - previously Channel 7 (former Dwelling)	A110	D91375	CT 6111/160		13470
17 Tynte Street NORTH ADELAIDE	Dwelling	A100	D23335	CT 5411/100		13525
54-60 Tynte Street NORTH ADELAIDE	Perryman's Bakery Shop & Dwellings	A4 A487 A488 A486	F104258 F183759 F183760 F183758	CT 5153/614 CT 5822/340 CT 5851/222 CT 6122/467		13520
62-80 Tynte Street NORTH ADELAIDE	North Adelaide Primary School including Former Shelter Shed and Western and Northern Sections of Boundary Wall	A440 A441	F183712 F183713	CT 5503/849 CT 5988/447		13608
82 Tynte Street NORTH ADELAIDE	Fire Station Inn (former North Adelaide Fire Station, former Shop & Dwelling)	A50	D49184	CT 6087/546		13521
134-140 Tynte Street NORTH ADELAIDE	Shops (former Dwellings)	A26 A25 A256	D88694 D88694 F183528	CT 6098/824 CT 6098/823 CT 6098/825		13500
141 Tynte Street NORTH ADELAIDE	Former Friendly Societies Hall	A97 A97	F199639 F199639	CT 5831/225 CT 5831/224		13508
142 Tynte Street NORTH ADELAIDE	Restaurant (former North Adelaide Baptist Manse)	A257	F183529	CT 5846/323		13501
150 Tynte Street NORTH ADELAIDE	North Adelaide Baptist Church Hall, former School Rooms and Front Fence	A253 A50	F183525 F54622	CT 5892/389 CT 6096/674		13502
154-156 Tynte Street NORTH ADELAIDE	North Adelaide Baptist Church, former Stables and Fence	A253	F183525	CT 5892/389		13503
166-176 Tynte Street NORTH ADELAIDE	North Adelaide Institute, Hall and Post Office	A2 A251	F102652 F183523	CT 5845/212 CT 5892/367		13504
180 Tynte Street NORTH ADELAIDE	Office (former Temperance Hall)	A10	F106434	CT 5172/957		13505
195 Tynte Street NORTH ADELAIDE	Barker Kindergarten	A238	F183510	CT 5742/47		13249
War Memorial Drive NORTH ADELAIDE	North Adelaide Railway Station [The associated Signal Cabin was destroyed by fire c1990]	A6	D34345	CR 5373/132		13657
War Memorial Drive NORTH ADELAIDE	University of Adelaide Grandstand	S1612	H106100	CR 6144/507	a d	26392
Creswell Gardens War Memorial Drive NORTH ADELAIDE	War Memorial Oak	A100	D81642	CR 6102/703	f g	26348
178 Ward Street NORTH ADELAIDE	Dwelling ('Gable House')	A91	F173121	CT 5347/691		13509
285-291 Ward Street NORTH ADELAIDE	Dwelling (former Stables)	A734	F183196	CT 5729/411		13490

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
299 Ward Street NORTH ADELAIDE	Office (former Coach House & Stables)	A55	D42897	CT 5349/639		13493
301-303 Ward Street NORTH ADELAIDE	Dwelling	A2	D45597	CT 5390/573		13492
2 Wellington Square NORTH ADELAIDE	Two Storey Shop and Dwelling	A1	D694	CT 5351/287		13514
34-38 Wellington Square NORTH ADELAIDE	Wellington Hotel	A10	F106413	CT 6126/995		13506
62-80 Wellington Square NORTH ADELAIDE	Studio 9 (former North Adelaide Primitive Methodist Church)	Q91	F171207	CT 5356/324		13497
16 William Buik Court NORTH ADELAIDE	Dwelling (Former Adelaide & Suburban Tramway Company Administration Office)	U1 UCP U2	S12007 S12007 S12007	CT 5123/34 CT 5094/905 CT 5101/72	a	13516

TABLE Adel/2

Local Heritage Places

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
11 Ada Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A641	F182293	CT 5825/768	a b d	25082
12 Ada Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A2	F121635	CT 5214/534	a b d	25083
18-20 Ada Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A635	F182287	CT 5794/495	a d	25084
81-83 Angas Street ADELAIDE	Former Dwelling; External form, in particular the fabric and detailing of facades and balcony/verandah. Excludes incongruous later additions.	A501	D14780	CT 5283/129	a d	25502
11-13 Austin Street ADELAIDE	Former Assay House; External form, in particular the fabric and detailing of Austin Street facade.	A1	F104957	CT 5161/496	a d	25328
265 Carrington Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof, verandah and chimneys. Excludes any later additions.	A20	D19907	CT 5239/860	a d	25008
267 Carrington Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof, verandah and chimney, as visible from the street. Excludes any later additions.	A766	F182418	CT 5857/327	a d	25009
269 Carrington Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof, verandah and chimneys, as visible from the street. Excludes any later additions.	A781	F182433	CT 5857/350	a d	25010
293 Carrington Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof and verandah, as visible from the street. Excludes any later additions.	A50	D34806	CT 5096/848	a d	25012
341-343 Carrington Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof, verandah and chimneys, as visible from the street. Excludes any later additions.	A2	F112749	CT 5204/769	a d	25125

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
345-349 Carrington Street ADELAIDE	Former Shop and Dwelling; External form, including original fabric and detailing of facade, external walls, roof, chimneys and balcony, as visible from the street. Excludes ground floor shopfronts and any later additions.	A9	F107309	CT 5181/597	a b f	25126
346-350 Carrington Street ADELAIDE	Former Shop and Dwelling; External form, including original fabric and detailing of facade, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A884	F182536	CT 5564/272	a b d	25127
21-31 Chesser Street ADELAIDE	Former Warehouse (Henry Austin Building); External form, in particular the fabric and detailing of facades.	A1	D21959	CT 6062/846	a d	25369
19-23 Claxton Street ADELAIDE	Dwellings; External form, including original fabric and detailing of facade, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A1 A2 A3	F11347 F11347 F11347	CT 5085/69 CT 5438/202 CT 5463/85	a b d	25145
233-239 Currie Street ADELAIDE	Hotel (Edinburgh Castle); External form of two storey building, in particular the fabric and detailing of facade and detailing of the street facades and verandah balcony. Excludes incongruous later additions.	A2	F137709	CT 5389/438	a e f	25407
24-26 Delhi Street ADELAIDE	Dwellings; External form, including original fabric and detailing of facade, external walls, roof, verandah and chimney, as visible from the street. Excludes any later additions.	A1 A291	F147383 F181943	CT 5264/996 CT 5876/376	a b d	25056
28-30 Delhi Street ADELAIDE	Dwellings; External form, including original fabric and detailing of facade, external walls, roof and verandah, as visible from the street. Excludes any later additions.	A631 A289	F122565 F181941	CT 5215/356 CT 5869/299	a b d	25057
36-40 Delhi Street ADELAIDE	Dwellings; External form, including original fabric and detailing of facade, external walls, roof and verandah, as visible from the street. Excludes any later additions.	A23 A10 A287 A284	F103631 F137683 F181939 F181936	CT 5135/14 CT 5249/892 CT 5412/420 CT 5451/529	a b d	25058
159-160 East Terrace ADELAIDE	Former House			CT 1808/99		826
272-275 East Terrace ADELAIDE	Dwelling; External form, including original fabric and detailing of two storey building, including facade and balcony/porch, external walls and roof. Excludes reconstructed front fence, roof vent and later additions to rear of original building.	A8	D36979	CT 5144/682	a d	25080
Fullarton Road ADELAIDE	Victoria Park Racecourse (North-East Precinct)	A119	D81642	CR 6132/227	a, e	26393
52-56 Gawler Place ADELAIDE	Offices (Former Claridge House); External form, in particular the fabric and detailing of facade. Excludes incongruous later shopfronts.	A2	F122761	CT 5556/385	a d	25333

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
62-64 Gawler Place ADELAIDE	Shop and Office (part former Warehouse); External form, in particular the fabric and detailing of the Art Deco façade to Gawler Place, excluding the relief signage on the splayed vertical façade projections and the incongruous later street level shopfronts.	A129 A168	F181781 F181820	CT 5751/774 CT 5751/775	a d	25388
17-25 Gilbert Place ADELAIDE	Former Warehouse; External form, in particular the fabric and detailing of Gilbert Place facades. Excludes the canopy and incongruous later shopfront.	A3 A2	F112750 F112900	CT 5207/715 CT 5207/770	a d	25301
27-29 Gilbert Place ADELAIDE	Former Bank of South Australia stable yard; Original fabric and detailing of front boundary stone wall only.	A11	F153530	CT 5280/559	a	25302
88-90 Gilbert Street ADELAIDE	Hotel; External form, including original fabric and detailing of the southern and western facades of the two storey bluestone building, including balcony/verandah to Gilbert Street. Excludes all additions to the north of the two storey bluestone building.	A9	F103310	CT 5905/110	a b d f	25075
102-106 Gilbert Street ADELAIDE	Former Adelaide Woodwork School; External form, including original fabric and detailing of the original building. Excludes later rear additions.	A31 A315	D34609 F182777	CT 5085/641 CT 5085/70	a d e	25076
207-213 Gilbert Street ADELAIDE	Hotel; External form, including original fabric and detailing of the original two-storey building, including facade and balcony/verandah, external walls, roof and chimney. Excludes any later additions.	A14	F104011	CT 5141/694	a b e f	25146
233 Gilbert Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimney, as visible from the street. Excludes any later additions.	A188	F182650	CT 5587/748	a d	25148
237-239 Gilbert Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimney, as visible from the street. Excludes any later additions.	A186	F182648	CT 5804/597	a d	25149
98-100 Gilles Street ADELAIDE	Dwellings; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A4 A346	F38900 F181998	CT 5479/448 CT 5865/897	a d	25062
110 Gilles Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls and roof, as visible from the street. Excludes any later additions.	A14	F104936	CT 5207/574	a d	25063

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
291-295 Gilles Street ADELAIDE	Dwellings; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimney. Excludes verandah infill and later pebbledash finish and splayed stucco trims.	A389 A390 A391	F182041 F182042 F182043	CT 5947/26 CT 5947/27 CT 5947/28	a	25013
305-307 Gilles Street ADELAIDE	Dwellings; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A385	F182037	CT 5866/876	a	25014
394 Gilles Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A538	F182190	CT 5867/246	a d	25128
430-438 Gilles Street ADELAIDE	Dwelling; External form of building (including bluestone additions, original fabric and stucco detailing of facade and external walls, verandah, roof and chimneys). Excludes later rear additions.	A8	F101425	CT 5109/127	a d	25087
71-75 Gouger Street ADELAIDE	Former Bank; External form, in particular the fabric and detailing of Gouger and Compton Street facades. Excludes incongruous later shopfronts.	A710	F183172	CT 5630/198	a d e	25475
121-127 Grenfell Street ADELAIDE	Former Warehouse; External form, in particular the fabric and detailing of facades. Excludes incongruous later shopfronts and verandah.	A9	F103205	CT 5158/760	a	25392
27-29 Gresham Street ADELAIDE	Offices; External form, in particular the fabric and detailing of Gresham Street facade. Excludes ground floor shopfronts.	A33	F106933	CT 6000/979	a e	25335
75-79 Grote Street ADELAIDE	Shops; External form, in particular the fabric and detailing of facades. Excludes incongruous later shopfronts and balcony.	A328	F181170	CT 5439/818	a d	25460
105-109 Halifax Street ADELAIDE	Church; External form, including original fabric and detailing of the two-storey building, including facade, external walls and roof, as visible from the street.	A12 A442	D379 F182094	CT 5834/980 CT 5834/980	a b d	25069
187 Halifax Street ADELAIDE	Shop and Dwelling; External stone walls to shop and attached residence to the depth of the hipped roof (3 windows along Castle Street) and verandah. Excludes rear additions, concrete porch and front fence.	A584	F182236	CT 5391/792	a b d f	25016
232-234 Halifax Street ADELAIDE	Dwellings; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A1 A689	F125851 F182341	CT 5226/351 CT 5577/825	a d	25017

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236-238 Halifax Street ADELAIDE	Dwellings; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A687 A688	F182339 F182340	CT 5577/565 CT 5650/259	a d	25020
347-349 Halifax Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A52	F27065	CT 5872/87	a d	25091
368-370 Halifax Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls and roof, as visible from the street. Excludes any later additions.	A31	D262	CT 5223/580	a d	25092
372 Halifax Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls and roof, as visible from the street. Excludes any later additions.	A30	D262	CT 5793/737	a d	25093
374 Halifax Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls and roof, as visible from the street. Excludes any later additions.	A29	D262	CT 5680/450	a d	25094
13 Hamilton Place ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, verandah, external walls, roof and chimneys, as visible from the street. Excludes later additions, front fence and gate.	A23	D382	CT 5695/95	a b d	25077
17A-19 Hamilton Place ADELAIDE	Dwellings; External form, including original fabric and detailing of facade and verandah, external walls and roof, as visible from the street. Excludes any later additions.	A4 A11	F103524 F16489	CT 5136/160 CT 5477/500	a b d	25078
29-31 Harriett Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A476 A1	F182128 F160410	CT 5296/520 CT 5633/655	a b d	25018
81-89 Hindley Street ADELAIDE	Plaza Hotel; External form, in particular the fabric and detailing of facades and balcony/verandah.	A10	D25478	CT 5468/638	a d f	25341
91-93 Hindley Street ADELAIDE	Former Wests' Cinema; External form, in particular the fabric and detailing of art deco facade. Elements of heritage value include art deco interior, including foyer and staircase. Excludes shopfront and internal alterations.	A586	F181428	CT 5663/323	a b d	25343
105-109 Hindley Street ADELAIDE	Shops; External form, in particular the fabric and detailing of facades. Excludes ground floor shop fronts.	A1 A2 A3	F121514 F121515 F121516	CT 5215/228 CT 5215/241 CT 5215/746	a d	25347
27-29 Hindmarsh Square (known as 28-30 Twin Street) ADELAIDE	Former Warehouse; External form, in particular the fabric and detailing of Hindmarsh Square and Twin Street facades.	A2	F4115	CT 5227/249	a d e	25453

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187-189 Hutt Street ADELAIDE	Shop and Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A708	F182360	CT 5782/246	a b d	25180
198 Hutt Street ADELAIDE	Shop and Dwelling; External form, including original fabric and detailing of the facade, external walls and roof to a depth of 8m from street frontage. Excludes ground floor shopfront and verandah.	A709	F182361	CT 5851/690	a e f	25181
11-13 Kate Court ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A825	F182477	CT 5717/349	a d	25095
12A Kate Court ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimney, as visible from the street. Excludes any later additions.	A105	F15931	CT 5442/257	a b d	25096
25-27 King William Street ADELAIDE	Former Bank (Commercial Bank of Australia); External form, in particular the fabric and detailing of King William Street facade.	A649	F181491	CT 5549/221	a d	25310
64 King William Street ADELAIDE	Shop (Sands & McDougall); External form, in particular the art deco detailing of King William Street facade. Excludes incongruous later shopfront.	A22	D50156	CT 5686/236	a d e	25311
348-352 King William Street ADELAIDE	Former Shops and Dwellings; External form, in particular the fabric and detailing of King William Street facade. Excludes rear additions and shopfronts.	A2 A552	F108943 F182204	CT 5195/845 CT 5950/646	a d	25420
17-19 Little Gilbert Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls and roof, as visible from the street. Excludes any later additions.		S13507	CT 5273/186	a b d	25155
14 Little Sturt Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, verandah and roof, as visible from the street. Excludes any later additions.	A276	F182738	CT 5941/697	a b	25156
11 Marion Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimney, as visible from the street. Excludes any later additions.	A823	F182475	CT 5425/748	a b d	25021
17 Marion Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimney, as visible from the street. Excludes any later additions.	A811	F217886	CT 5797/295	a b d	25097
15-19 Market Street ADELAIDE	Former Warehouse; External form, in particular the fabric and detailing of Market Street facade.	A9 A10	D342 D342	CT 5403/203 CT 5403/203	a d	25483

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14-16 McLaren Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof and chimney, as visible from the street. Excludes any later additions.	A764	F182416	CT 5416/221	a d	25022
34-36 McLaren Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A770	F182422	CT 5410/508	a d	25023
67 McLaren Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls and roof, as visible from the street. Excludes any later additions.	A704	F182356	CT 5880/344	a d	25024
278-280 Morphett Street (Shops)	Shops; External form, in particular the fabric and detailing of facades.	A274	F181116	CT 5592/315	a d	25478
4-8 Nil Street ADELAIDE	Former coach house; External form and remnant boundary wall. Excludes incongruous later additions.	A1	F1528	CT 5121/200	a e	25291
233-236 North Terrace ADELAIDE	Offices (Former Kelvin House); External form, in particular the fabric and detailing of facades.	A13	F103237	CT 5129/427	a d	25327
22-24 Oakley Street ADELAIDE	Former Dwelling; External form, in particular the fabric and detailing of Oakley Street facade. Excludes incongruous later additions.	A14	D178	CT 5413/519	a	25491
23-25 Peel Street ADELAIDE	Former Warehouse; External form, in particular the fabric and detailing of Peel Street facade. Excludes rear section of building behind light well.	A13 A12	F24484 F24484	CT 5108/154 CT 5108/155	a d e	25313
28 Peel Street ADELAIDE	Former Warehouse; External form and fabric and detailing of three storey building, excluding the northern and eastern (rear) facades.	A1	F16422	CT 5344/479	a d	25314
112-118 Rundle Mall ADELAIDE	Former Coles Department Store; External form, in particular the fabric and detailing of facades. Excludes incongruous later shopfronts.	A3 A1 A4	F112182 F112189 F112182	CT 5886/22 CT 5886/23 CT 5886/24	a d f	25366
182-188 Rundle Street ADELAIDE	Shops (Rundle Buildings); External form, in particular the fabric and art deco detailing of facades. Excludes shopfronts.	A1 A2 A3 A4 A5	D32059 D32059 D32059 D32059 D32059	CT 5382/824 CT 5382/825 CT 5382/826 CT 5382/827 CT 5382/828	a e f	25294
192-196 Rundle Street ADELAIDE	Shop and Offices (Former Gerard & Goodman); External form, in particular the fabric and detailing of facades.	A1	F126089	CT 5230/851	a e	25295
241-243 Rundle Street ADELAIDE	Shops; External form, in particular the fabric and detailing of Rundle and Union Street facades. Excludes shopfronts.	A24	D56306	CT 5995/532	a	25434
265-267 Rundle Street ADELAIDE	Shops & Offices; External form, in particular the fabric and detailing of facade. Excludes incongruous later shopfronts and rooftop addition.	A15	D56306	CT 5995/525	a d e	25437

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270-274 Rundle Street ADELAIDE	Shop; External form, in particular the fabric and detailing of facades. Excludes incongruous later shopfronts and verandah.	A14	D29445	CT 5209/659	a d	25438
286 Rundle Street ADELAIDE	Former Shop; External form, in particular the fabric and detailing of facade. Excludes incongruous later shopfronts.	A21	D31631	CT 5172/551	a d	25441
193-199 South Terrace ADELAIDE	School (Nicholls Building); External form, including facade, external walls, original fabric and detailing of the original building. Excludes 1953 and 1971 additions, front fence and roof structure.	A92	F199614	CT 6004/892	a b d e	25074
316-320 South Terrace ADELAIDE	Former Dwelling; External form, including original fabric and detailing of facade and verandah, side walls, roof, as visible from the street. Includes cast iron and masonry boundary fence. Excludes post Second World War additions.	A315	F181967	CT 5860/818	a d e f	25114
338-339 South Terrace ADELAIDE	Former Dwelling; External form of two storey building, including original fabric and detailing of facade and balcony/verandah, external walls, roof and chimneys. Includes masonry fence on eastern boundary. Excludes reconstructed front fence, roof vent and later additions to rear.	A101	D12023	CT 5083/738	a d e	25116
103-105 South Terrace Terrace ADELAIDE	Former Dwelling; External form, including original fabric and detailing of facade and balcony/verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A101	F32285	CT 5711/491	a d e	25051
154 Sturt Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A409	F182871	CT 260/168		25162
160 Sturt Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls and roof, as visible from the street. Excludes any later additions.	A411	F182873	CT 5852/996	a b d	25163
185-187 Sturt Street ADELAIDE	Shops and Dwellings; External form, including original fabric and detailing of facade and balcony/verandah, external walls and roof, as visible from the street. Excludes shopfronts and any later additions.	A343 A348	F182805 F182810	CT 5676/466 CT 5933/553	a d f	25164
13 Vincent Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls, roof and chimney, as visible from the street. Excludes any later additions.	A406	F182058	CT 5671/410	a b d	25106

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15 Vincent Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof and chimney, as visible from the street. Excludes any later additions.	A407	F182059	CT 5674/489	a b d	25107
17 Vincent Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof and chimney, as visible from the street. Excludes any later additions.	A408	F182060	CT 5438/27	a b d	25108
19 Vincent Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade, external walls, roof and chimney, as visible from the street. Excludes any later additions.	A409	F182061	CT 5410/654	a b d	25109
81-129 Wakefield Street ADELAIDE	Adelaide Fire Station	A7 A9 A659 A668 A690 A704 A705	F16490 F16490 F181501 F181510 F181532 F181546 F181547	CT 5346/689 CT 5346/494 CT 5761/798 CT 5761/799 CT 5943/888 CT 5943/887 CT 5782/242	e	26356
152-160 Wakefield Street ADELAIDE	St Stephen's Lutheran Church Hall; External form, in particular the fabric and detailing of facades.	A786	F181628	CT 5872/7	a	25466
263-265 Wakefield Street ADELAIDE	Former Dwelling; External form, in particular the original fabric and detailing of Wakefield and Cardwell Street facades, including return verandah and masonry boundary fence. Excludes incongruous later additions.	A1	F157621	CT 5285/183	a d	25450
321-325 Wakefield Street ADELAIDE	Former Dwellings; External form, including original fabric and detailing including facade and balcony/verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A50 A51	D43488 D43488	CT 5299/301 CT 5299/302	a d	25081
47-49 Waymouth Street ADELAIDE	Offices (Woodards House); External form, in particular the fabric and detailing of Waymouth Street and Bentham Street facades.	A132	F170677	CT 5323/691	a d	25323
68-72 Waymouth Street ADELAIDE	Union Hotel; External form, in particular the fabric and detailing of facades.	A6	D15460	CT 5445/841	a d	25399
12 Weil Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls and roof, as visible from the street. Excludes any later additions.	A7	F157806	CT 5291/536	a b d	25172
101-103 Wright Street ADELAIDE	Former Dwelling; External form, including original fabric and detailing of the original building and 1926 addition, including facade and verandah, external walls, roof and chimneys, as visible from the street. Excludes any later additions.	A494	F182956	CT 5725/633	a b d	25044

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217A Wright Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls and roof, as visible from the street. Excludes any later additions.	A478	F182940	CT 5721/21	a	25174
291-293 Wright Street ADELAIDE	Dwelling; External form, including original fabric and detailing of facade and verandah, external walls and roof, as visible from the street. Excludes any later additions.	A5	F102300	CT 5119/971	a b	25177
21 Archer Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5483/638	a d	536
23-25 Archer Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5620/755	a d	537
27 Archer Street NORTH ADELAIDE	House; Victorian symmetrically fronted residence			CT 5792/820	a d	17499
46 Archer Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5778/589	a d	540
47-49 Archer Street & 56 Margaret Street NORTH ADELAIDE	Dover Castle Hotel; 1913 and earlier two storey former hotel building			CT 5854/94	a c d f	17500
48 Archer Street NORTH ADELAIDE	Semi-detached houses.; Victorian pair of residences.			CT 5888/487	a d	20996
56 Archer Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5798/188	a d	541
58 & 60 Archer Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5497/336 CT 5497/856	a d	542
71-79 Archer Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5173/190 CT 5338/921 CT 5454//943 CT 5454/860 CT 5869/13	a d f	543
80 Archer Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5883/864	a d	544
82 Archer Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5772/436	a d	545
87 Archer Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5258/918	a d	546
92-98 Archer Street NORTH ADELAIDE	St Andrew's Presbyterian Church; 1964 brick and concrete church			CT 5439/978	a c d f	17501
93 Archer Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5233/393	a d	547
95 Archer Street NORTH ADELAIDE	House; Victorian single fronted residence. Excludes later porch			CT 5275/672	a d	17502
97 & 99 Archer Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5872/760 CT 5872/778	a d	548
127-129 Archer Street NORTH ADELAIDE	Former house; Frontage and side wall returns visible from the street			CT 5120/708	a d	253
161-163 Archer Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5758/411	a d	503
187-199 Archer Street NORTH ADELAIDE	Lutheran Church Office; Institutional building. Excludes later single storey addition on eastern side			CT 5316/510	a c d e	17485

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202 & 204 Archer Street NORTH ADELAIDE	Semi-detached houses; Pair of Edwardian masonry residences			CT 5262/745 CT 5540/883	a d	17486
206-210 Archer Street NORTH ADELAIDE	Former Shop; Frontage and side wall returns visible from the street			CT 5818/921	a b c d	504
11-19 Arthur Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5319/978 CT 5361/789 CT 5384/453 CT 5614/845 CT 5712/585 CT 5883/442	a d	696
11 Ashley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5362/761	a d	550
13-15 Ashley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5747/290	a d	551
2-20 Barnard Street (known as 21-29 Wellington Square) NORTH ADELAIDE	Apartments, garage outbuilding and fence (Sunningdale); Twos storey Inter-War apartment block, including interiors and garage outbuildings at the rear and low masonry fence			CT 5689/451 CT 5689/452 CT 5689/453 CT 5689/454 CT 5689/455 CT 5689/456 CT 5689/457 CT 5689/458 CT 5689/459 CT 5689/460 CT 5689/461 CT 5689/462 CT 5911/134 CT 5911/135 CT 5911/136 CT 5911/137 CT 5911/138 CT 5911/139 CT 5911/140 CT 5911/141 CT 5911/142 CT 5911/143 CT 5911/144	a d f	1584
5-9 Barnard Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5082/22	a d	480
11-13 Barnard Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5086/944	a d	481
17 & 19 Barnard Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5119/595 CT 5463/138	a d	482
21, 23, 25, 27 & 29 Barnard Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5123/897 CT 5303/939 CT 5328/234	a d	483
31-39 Barnard Street NORTH ADELAIDE	House and wall; Victorian two storey residence including interior, roof and western boundary masonry wall. Excludes later additions to western side			CT 5774/428	a d	396
41-45 Barnard Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5585/400	a d	296
47-49 Barnard Street NORTH ADELAIDE	House & fence; Victorian symmetrically fronted two storey residence and masonry and iron front fence.			CT 5112/791	a d	17557
57-59 Barnard Street (55) NORTH ADELAIDE	House (St Joseph's); Victorian asymmetrically fronted residence. Excludes later verandah			CT 5187/590 CT 5482/397	a d	17558

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61-65 Barnard Street (63) NORTH ADELAIDE	House & fence (Kimberley House); Victorian asymmetrically fronted residence and masonry and iron front fence			CT 5888/266	a d	17559
69-71 Barnard Street (69) NORTH ADELAIDE	Connery House 1930 convent building			CT 5888/266	a b c d	17560
92-100 Barnard Street NORTH ADELAIDE	House (Glendalough) and fence; Edwardian/Federations period residence, including interior and masonry and iron front fence			CT 5300/840	a d	397
101-113 Barnard Street (cnr 37-39 Hill Street) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5744/220	a d	342
112-116 Barnard Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5254/793	a d	297
117-119 Barnard Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5846/893	a d e	298
118-120 Barnard Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5475/242	a d	299
125-127 Barnard Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5727/109	a d	300
148-150 Barnard Street NORTH ADELAIDE	Semi-detached houses; Pair of two storey Victorian single fronted residences			CT 5129/747	a d	17561
152-154 Barnard Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5143/595	a d	301
156 & 158-160 Barnard Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5875/784 CT 5875/793	a d	302
162-166 Barnard Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5295/759	a d	303
165-167 Barnard Street NORTH ADELAIDE	House; Inter-War Bungalow style residence			CT 5405/330	a d	17562
11 & 12 Barton Terrace East NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5609/584 CT 5854/892	a d	636
13-14 Barton Terrace East NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5192/913	a d	637
17-18 Barton Terrace East NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5733/541	a d	638
19-20 Barton Terrace East NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5412/361	a d	639
21-22 Barton Terrace East NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5523/333	a d	640
23-24 Barton Terrace East NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5814/861	a d	641
31-33 Barton Terrace East NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5216/267	a d	642
34-35 Barton Terrace East (known as 34 Barton Terrace East) NORTH ADELAIDE	House and wall; Victorian bay fronted residence and western boundary masonry wall. Excludes rear of building and fence.			CT 5268/49	a d	20998
41-43 Barton Terrace East NORTH ADELAIDE	House; Victorian symmetrically fronted residence. Excludes later entrance gablet			CT 5187/255	a d	17515

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51-54 Barton Terrace East NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5472/255	a d	643
55-56 & 57 Barton Terrace East NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5728/739 CT 5728/740	a d	644
101-102, 103, 104, 105, 106, 108-109 Barton Terrace West NORTH ADELAIDE	3 pairs of semi-detached houses Rua Rua Mansions; Three pairs of 1902 residences including interiors			CT 5138/874 CT 5302/979 CT 5345/742 CT 5363/138 CT 5478/735 CT 5527/214 CT 5544/972	a d e	478
117-118 & 119-120 Barton Terrace West NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5215/397 CT 5514/53	a d	403
133 & 134 Barton Terrace West NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5736/966 CT 5868/732	a d	405
184-187 Barton Terrace West NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5192/336	a d	304
188 & 190 Barton Terrace West NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5220/182 CT 5432/250	a d	305
13-15 Beviss Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5881/246	a d	553
14-16 Beviss Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5563/642	a d	552
17-19 Beviss Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5407/960	a d	554
18-20 Beviss Street NORTH ADELAIDE	House; Edwardian transitional masonry residence			CT 5610/22	a d	17503
21 & 23 Beviss Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5183/832 CT 5231/579	a d	555
22 Beviss Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5559/273	a d	556
24 Beviss Street NORTH ADELAIDE	Semi-detached house; Victorian symmetrically fronted pair of residences. Excludes rear of building.			CT 5201/696	a d	20994
25 & 27 Beviss Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5703/51 CT 5872/356	a d	557
26 & 28 Beviss Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5442/271 CT 5863/301	a d	558
26 & 28 Boulton Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5158/167 CT 5180/350	a d	559
11-15 Brougham Court NORTH ADELAIDE	House; Victorian asymmetrically fronted residence			CT 5415/954	a d	17522
12-16 Brougham Court NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5125/83	a d	652
17-19 Brougham Court NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5125/81	a d	653
18-20 Brougham Court NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5111/60	a d	654

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22 & 24 Brougham Court NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5214/947 CT 5278/548	a d	655
26 & 28 Brougham Court NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5206/747 CT 5234/90	a d	656
57-60 Brougham Place NORTH ADELAIDE	House, fence & wall; 1878 two storey residence, including interior and masonry and iron front fence and masonry boundary wall to O'Connell Street and Brougham Place			CT 5181/32	a d f	1573
84-85 Brougham Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5884/12	a d	657
91-92 Brougham Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5329/182 CT 5329/211 CT 5329/214	a d	658
94 Brougham Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5830/425	a d	659
96-98 Brougham Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5456/921	a d	660
118-120 Brougham Place NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5063/174	a d	661
186-195 Brougham Place NORTH ADELAIDE	St Ann's College Buildings; Two storey modified Victorian residences			CT 5772/994 CT 5787/644	a b c d	17530
214-216 Brougham Place (known as 215) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5485/788	a d	675
217-220 Brougham Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 984/123	a d	676
227 & 228-229 Brougham Place NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5419/107 CT 5419/62	a d	677
9-11 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5412/538	a d	1707
12 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5523/500	a d	306
14-16 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5881/746	a d	307
15-17 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5666/711	a d	308
18-20 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5206/597	a d	309
27-29 Buxton Street NORTH ADELAIDE	House & fence; Victorian symmetrically fronted residence and masonry and iron front fence. Excludes front porch.			CT 5285/222	a d	17564
1/ 28 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5787/122	a d	310
34 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5844/841	a d	311
84 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5426/452	a d	312
88 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5846/232	a d	313

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92-96 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5539/427	a d	314
98-100 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5297/216	a d	315
101-105 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5125/624	a d	316
102-104 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5126/592	a d	317
106-110 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5377/497	a d	318
107-109 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5670/497	a d	319
111-113 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5445/143	a d	320
112-114 Buxton Street NORTH ADELAIDE	House; Edwardian residence.			CT 5364/597	a d	321
116-120 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5462/701	a d	322
152-156 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5531/475	a d	323
157-159 Buxton Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5272/299	a d	324
23 & 27 Cambridge Street NORTH ADELAIDE	Semi-detached houses; Edwardian residences. Excludes verandah			CT 5182/668 CT 5882/171	a d	17487
29-31 Cambridge Street NORTH ADELAIDE	House; Inter-War Bungalow style residence			CT 5666/112	a d	17488
228-256 Carrington Street 7-29 Hume Lane 1-32 Regent Street NORTH ADELAIDE	Manitoba Housing Complex	A5 A870	F166 F182522	CT 5493/819 CT 5877/915	a, e	26419
22 Chapel Street (rear of 141 Tynte Street) NORTH ADELAIDE	House; Victorian single fronted residence.			CT 5831/225	a d	17489
7 Childers Street NORTH ADELAIDE	House; Two storey residence. Excludes verandah and balcony			CT 5432/800	a d	17435
14 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5129/690	a d	406
17-19 Childers Street NORTH ADELAIDE	House; Early Victorian residence. Excludes masonry balustrade and verandah infill			CT 5774/254	a d	17426
22-24 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5162/672	a d	407
33-35 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5444/821	a d	408
41-43 Childers Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5821/794	a d	409
42-44 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5565/931	a d	410
45-47 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5816/472	a d	411
46-48 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5753/349	a d	412

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49-55 Childers Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5027/418	a d	1580
50 & 52 Childers Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5877/979 CT 5878/351	a d	413
54 Childers Street NORTH ADELAIDE	Row house; Attached Victorian single fronted cottage			CT 5878/320	a d	414
57-59 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5875/154	a d	415
58 Childers Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5860/646	a d	416
60 Childers Street NORTH ADELAIDE	Semi-detached house; Early Victorian residence. Excludes entrance porch			CT 5860/645	a d	17427
62 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5139/760	a d	417
64 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 2409/78	a d	418
68, 70, 72 & 74 Childers Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5167/751 CT 5296/396 CT 5832/376 CT 5833/869	a d	419
69-71 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5115/252	a d	420
73-75 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5118/146	a d	421
78-80 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5353/507	a d	422
81 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5454/65	a d	423
85, 87 & 87a Childers Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5183/255 CT 5381/313 CT 5448/988	a d	424
88-90 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5339/313	a d	425
92-96 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5859/173	a d	426
101-103 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5148/222	a d	428
102, 104 & 108 Childers Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5136/30 CT 5207/864 CT 5439/827	a d	427
105-107 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5153/176	a d	429
112-120 Childers Street (rear of 202 Jeffcott Street) NORTH ADELAIDE	Former Stables; Former stone and brick stables, now residence, to rear of 120 Childers Street. Later additions excluded.			CT 5637/118	a d	17465
112-120 Childers Street (cnr of 202 Jeffcott Street) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5637/118	a d	17466
122-124 & 126-130 Childers Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5124/926 CT 5811/929	a d	325
131-133 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5888/362	a d	327

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132-136 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5297/548	a d	328
138-140 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5791/38	a d	329
141-145 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5856/329	a d	330
147-149 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5655/528	a d	331
156-160 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5206/933	a d	332
166-170 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5066/578	a d	333
172-174 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5498/144	a d	334
176-178 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5470/19	a d	335
182-184 Childers Street (known as 188) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5201/806	a d	336
186-190 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5201/806	a d	337
192-196 Childers Street NORTH ADELAIDE	House & fence plinth; Victorian bay fronted residence and front fence plinth			CT 5583/381	a d	17565
198-200 Childers Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5583/380	a d	338
202-220 Childers Street NORTH ADELAIDE	House (Kumanka) and fence; 1870 two storey bluestone residence, including interior and masonry and iron front fence. Excludes recent additions			CT 5877/554 CT 5877/555 CT 5877/559	a d	398
10 Colley Street NORTH ADELAIDE	House; Single fronted Victorian cottage. Excludes verandah details			CT 5876/131	a d	17535
12 & 14 Colley Street NORTH ADELAIDE	Semi-detached houses; Pair of Edwardian single fronted residences			CT 5566/598 CT 5906/275	a d	17536
13 Curtis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5883/848	a d	560
15-17 Curtis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5491/925	a d	561
16 & 18 Curtis Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5446/443 CT 5498/670	a d	562
19 Curtis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5360/900	a d	563
20 & 22 Curtis Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5375/961 CT 5567/965	a d	564
21-25 Curtis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5440/448	a d	565
24 Curtis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5328/904	a d	566
26 Curtis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5109/373	a d	567
27 Curtis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5363/540	a d	568

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28 Curtis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5497/719	a d	569
22 & 24-26 Dunn Street NORTH ADELAIDE	Semi-detached Houses; Pair of single storey Edwardian single fronted cottages			CT 5314/651 CT 5857/903	a d	17537
22-30 East Pallant Street (known as 26) NORTH ADELAIDE	House; 1860 brick and stone single storey residence, including interior			CT 5748/455	a c d	796
11-13 Edith Place NORTH ADELAIDE	House; Victorian symmetrically fronted residence			CT 5508/352	a d	17553
15-17 Edith Place NORTH ADELAIDE	Semi-detached houses & fence to 15 and wall; Pair of Victorian single fronted cottages and timber picket fence to 15 and southern boundary masonry wall and pier to 15			CT 5840/892	a d	17554
10-12 Finnis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5343/155 CT 5343/160	a d	807
10-12 Finnis Court NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5787/835	a d	805
14-16 Finnis Court NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5407/200	a d	806
14-20 Finnis Street (known as 16 & 18) NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5343/158	a d	808
15-19 Finnis Court NORTH ADELAIDE	House; Early Victorian residence. Excludes rear additions			CT 5202/861	a d	17555
18-20 Finnis Court NORTH ADELAIDE	House; Victorian asymmetrically fronted brick residence. Excludes verandah and rear lean to			CT 5133/559	a d	17428
21-23 Finnis Street NORTH ADELAIDE	Providence Chapel; Gable ended hall			CT 5818/582	a c d	17556
22-24 Finnis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5343/157	a d	1591
26-30 Finnis Street (known as 30 & 32) NORTH ADELAIDE	Semi-detached houses; Pair of Victorian bay fronted residences			CT 5373/9	a d	17429
36 & 38-40 Finnis Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5154/182 CT 5334/693	a d	809
46 Finnis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5474/536	a d	811
52-54 Finnis Street NORTH ADELAIDE	House; 1900 two storey residence, including interior			CT 5062/328	a d	825
92-96 Finnis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5535/591	a d	812
98-100 Finnis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5446/261	a d	813
102-106 Finnis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5797/858	a d	814
108-110 Finnis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5827/661	a d	815
112-114 Finnis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5558/497	a d	816
116 Finnis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5687/235	a d	817

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120 Finnis Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5781/764	a d	818
13, 15, 17 & 19 Frederick Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5344/529 CT 5526/111 CT 5775/483 CT 5872/376	a d	275
18-20 Frederick Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5846/896	a d	1574
25, 27, 29, 31, 33-35 George Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5291/806 CT 5513/888 CT 5692/194 CT 5782/372 CT 5833/867 CT 5881/232	a d	570
18-22 Gibbon Lane NORTH ADELAIDE	Houses; Frontage and side wall returns visible from the street			CT 5579/483	a d	339
24, 26, 28 & 30 Gibbon Lane NORTH ADELAIDE	Row houses; Two storey Victorian terrace, including interiors			CT 5166/664 CT 5207/612 CT 5218/441 CT 5776/757	a d	399
12-14 Gloucester Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5507/31	a d	485
13 Gloucester Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5104/85	a d	484
14-16 Gover Street NORTH ADELAIDE	House; Victorian symmetrically fronted residence			CT 5226/471	a d	17504
21-23 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5167/883	a d	1588
24 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5606/122	a d	571
25-27 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5417/98	a d	572
26-28 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5405/936	a d	573
34 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5878/324	a d	17505
36-38 & 40 Gover Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5712/993 CT 5859/993	a d	574
41-43 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5246/345	a d	575
42-44 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5676/960	a d	576
45-47 Gover Street NORTH ADELAIDE	Former Shop and residence; Frontage and side wall returns visible from the street			CT 854/939	a c d	577
53-55 Gover Street NORTH ADELAIDE	House; Victorian symmetrically fronted residence. Excludes verandah			CT 5872/762	a d	17511
81-83 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5293/615	a d	580
97-99 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5253/408	a d	581
98-100 Gover Street NORTH ADELAIDE	Semi-detached houses; Pair of Victorian bay fronted residences			CT 5254/360	a d	17506
101, 103-105 & 107-109 Gover Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5320/352 CT 5320/353 CT 5875/181	a d	582

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134-136 Gover Street NORTH ADELAIDE	Semi-detached houses; Pair of early Victorian two storey residences			CT 5676/780	a d	430
141-143 Gover Street NORTH ADELAIDE	House; Victorian asymmetrically fronted residence			CT 5510/221	a d	17467
142-144 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5053/153	a d	431
145 Gover Street NORTH ADELAIDE	Semi-detached house; Victorian single fronted and double fronted cottage. Excludes later changes to verandah			CT 5356/368	a d	17468
146-148 Gover Street NORTH ADELAIDE	House & fence; Victorian asymmetrically fronted residence and the masonry and iron front fence			CT 5558/138 CT 5564/122	a d	17469
147 Gover Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5879/734	a d	432
151 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5274/852	a d	433
153 Gover Street NORTH ADELAIDE	Semi-detached houses; Pair of Victorian single fronted cottages			CT 5425/750	a d	17470
155 Gover Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5656/437	a d	434
157-159 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5882/669	a d	436
158 Gover Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 4087/506	a d	435
161-163 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5147/973	a d e	437
168 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5721/734	a d	438
169-171 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5317/20	a d	439
172 & 174 Gover Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5190/932 CT 5190/933	a d	440
173-175 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5302/3	a d	441
177-179 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5549/840	a d	442
181 Gover Street NORTH ADELAIDE	House; Victorian single fronted cottage			CT 5796/439	a d	17471
183 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5796/438	a d	443
187 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5285/245	a d	444
193-195 Gover Street NORTH ADELAIDE	Outbuilding; Single storey skillion roofed masonry outbuilding to rear of house. Excludes residence			CT 5761/620	a d	17472
206 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5104/561	a d	445
207-209 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5307/52	a d	447

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
208 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5657/208	a d	446
211-215 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5742/137	a d	449
212 & 214-216 Gover Street NORTH ADELAIDE	Attached shop & house; Frontage and side wall returns visible from the street			CT 5510/52 CT 5621/109	a c d	448
221-225 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5552/366	a d	450
227-231 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5547/304	a d	451
233-235 Gover Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5356/152	a d	452
237-239 Gover Street NORTH ADELAIDE	House and fence; Victorian bay fronted residence and the masonry and iron fence. Excludes later verandah enclosure and rear of building.			CT 5822/861	a d	20990
18-20 Hack Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5232/18	a d	453
22-24 Hack Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5248/342	a d	454
26 Hack Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5094/148	a d	455
28-30 Hack Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5411/743	a d	456
11-13 Hart Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5707/883	a d	697
12-14 Hart Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5566/864	a d	698
15 Hart Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5194/137	a d	699
16 Hart Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5331/160	a d	700
17-19 Hart Street NORTH ADELAIDE	House; Victorian transitional masonry residence			CT 5678/876	a d	17567
18-20 Hart Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5501/55	a d	701
2-34 Hill Street (associated with original Calvary Hospital Buildings) NORTH ADELAIDE	Red brick fence; Full extent of red brick fence to Hill Street and Barnard Street			CT 5187/582 CT 5187/583 CT 5187/584 CT 5187/587 CT 5187/588 CT 5187/589 CT 5187/590 CT 5187/591 CT 5888/266	d	17566
13-19 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5248/611	a d	340
21-25 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5304/210	a d	341
52-60 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5523/996	a d	343
76-79 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5547/481	a d	345
81-85 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5104/441	a d	346

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
82-86 Hill Street NORTH ADELAIDE	House; Victorian masonry residence, including interior			CT 5753/317	a d	400
88 & 90-92 Hill Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5231/576 CT 5269/82	a d	347
94-98 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5782/249	a d	348
100-104 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5315/338	a d	349
106-108 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5775/620	a d	350
110-112 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5565/574	a d	351
114-116 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5266/17	a d	352
118-120 Hill Street NORTH ADELAIDE	House; Victorian asymmetrically fronted residence			CT 5223/873	a d	17416
141-145 Hill Street NORTH ADELAIDE	House and fence; Edwardian transitional asymmetrically fronted masonry residence and masonry and iron front fence			CT 5896/106	a d	17417
142-146 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5751/235	a d	353
148-154 Hill Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5478/544	a d	354
156-160 Hill Street (known as 160 Hill Street) NORTH ADELAIDE	House; Edwardian transitional symmetrically fronted masonry residence. Excludes eastern additions.			CT 5061/534	a d	20986
44 Jeffcott Street NORTH ADELAIDE	House and fence; Edwardian / federation asymmetrically fronted period residence and masonry and iron fence.			CT 5855/313	a d	20991
61-63 Jeffcott Street NORTH ADELAIDE	House; Two storey Victorian residence. Excludes later enclosure of upper verandah			CT 5897/258	a d	17495
65-69 Jeffcott Street NORTH ADELAIDE	House & fence; Edwardian transitional residence and masonry and iron fence.			CT 696/39	a d	17496
77-79 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5554/885	a d	514
85-89 Jeffcott Street NORTH ADELAIDE	House & fence; Two storey Victorian residence, including interior and masonry and iron fence			CT 5332/810	a d	530
88-94 Jeffcott Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5018/515	a d	515
91-95 Jeffcott Street NORTH ADELAIDE	House and fence; Two storey Victorian residence, including interior and masonry and iron fence			CT 5301/963	a d	531
97-99 Jeffcott Street NORTH ADELAIDE	House and fence; Two storey Victorian residence, including interior and masonry and iron fence			CT 5285/932	a d	532
113 Jeffcott Street NORTH ADELAIDE	Row house; Single storey early Victorian row house. Excludes front verandah.			CT 5860/779	a d	20992

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115, 117, 119 Jeffcott Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5438/826 CT 5537/217 CT 5860/780	a d	516
121-123 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5783/274	a d	486
122-126 Jeffcott Street NORTH ADELAIDE	House; Victorian symmetrically fronted residence and the masonry and iron fence			CT 5893/220	a d	1583
125-129 Jeffcott Street NORTH ADELAIDE	Apartments (Woodlands); Frontage and side wall returns visible from the street			CT 5022/910	a d e	487
130-132 Jeffcott Street NORTH ADELAIDE	House and fence; Two storey Victorian residence, including interior and masonry and iron fence			CT 5155/995	a d e	500
134 Jeffcott Street NORTH ADELAIDE	House and fence; Two storey Victorian residence, including interior and masonry and iron fence. Excludes balcony lacework			CT 5129/851	a d	501
136-138 Jeffcott Street NORTH ADELAIDE	House and fence; Two storey Victorian residence, including interior and masonry and iron fence			CT 587/459	a d	502
153-155 Jeffcott Street NORTH ADELAIDE	House & fence; Victorian symmetrically fronted residence and the masonry and iron fence			CT 5196/837	a d	17418
161-165 Jeffcott Street NORTH ADELAIDE	Shop; Frontage and side wall returns visible from the street			CT 5904/213	a b c d	355
167-169 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5904/214	a d	356
170-174 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5603/701	a d	457
173 Jeffcott Street NORTH ADELAIDE	House and fence; Victorian bay fronted residence and masonry and iron fence.			CT 5551/480	a d	20988
180 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5172/626	a d	458
181-183 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5885/512	a d	357
187 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5888/364	a d	358
188-200 Jeffcott Street NORTH ADELAIDE	Hall; 1923 hall			CT 5772/752 CT 5896/107	a c d e	17474
189 Jeffcott Street NORTH ADELAIDE	House; Early Victorian residence			CT 5888/365	a d	17419
191-193 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5814/609	a d	359
195 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5618/893	a d	360
197-199 Jeffcott Street (known as 199 Jeffcott Street) NORTH ADELAIDE	House and wall; Victorian asymmetrically fronted residence and front boundary masonry wall. Excludes fence, rear of building and verandah.			CT 5848/133	a d	20987
204-206 & 208 Jeffcott Street NORTH ADELAIDE	Row houses, outbuildings and walls; Early Victorian two storey row houses, including interiors, and rear masonry outbuildings and walls to street boundaries			CT 5637/119 CT 5863/418 CT 5863/424 CT 5863/429	a b d	479

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211-215 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5354/851	a d	361
214 Jeffcott Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5892/988	a d	459
217-219 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5370/599	a d	362
218 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5797/280	a d	460
220 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5141//596	a d	461
221-223 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5814/642	a d	363
222-224 & 226 Jeffcott Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5136/96 CT 5304/234	a d	462
228 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5272/497	a d	17475
230-232 Jeffcott Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5159/481	a d	17476
4-10 Jerningham Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5182/412 CT 5194/94 CT 5504/898 CT 5722/533 CT 5771/96	a d	702
58-60 Jerningham Street NORTH ADELAIDE	Shop; Frontage and side wall returns visible from the street			CT 5700/225	a d e	267
59 Jerningham Street NORTH ADELAIDE	Shop; Frontage and side wall returns visible from the street			CT 5554/319	a c d	268
61 Jerningham Street NORTH ADELAIDE	Semi-detached house; Victorian single fronted cottage			CT 5868/194	a d	17531
62-64 Jerningham Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 3748/68	a d	703
63 Jerningham Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5868/193	a d	678
65-67 Jerningham Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5200/534	a d	679
66-68 & 70-72 Jerningham Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5233/917 CT 5559/586	a d	704
81-83 Jerningham Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5361/553	a d	680
82-84 Jerningham Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5800/601	a d	706
86-90 Jerningham Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5418/767	a d	707
72-74 Kermode Street NORTH ADELAIDE	Semi detached former houses; Frontage and side wall returns visible from the street			CT 5776/232	a d	662
77-91 Kermode Street NORTH ADELAIDE	St Marks College & fence (Memorial building); Three storey main brick building and masonry fence			CT 5689/676 CT 5885/182	a b c d e	17523
82-86 Kermode Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5291/669	a d	663

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96 Kermod Street (known as 94 Kermod Street) NORTH ADELAIDE	House (at rear); Victorian bay fronted residence.			CT 5869/330 CT 5869/331	a d	21003
98-100 Kermod Street (known as 98 Kermod Street) NORTH ADELAIDE	House; Two-storey Victorian symmetrically fronted residence. Excludes rear single storey building.			CT 5559/394	a d	21002
128-130 Kermod Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5125/85	a d	664
132-136 Kermod Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5125/84	a d	665
137-139 Kermod Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5734/897	a d	666
138-140 Kermod Street NORTH ADELAIDE	House; Inter-War Old English revival style residence			CT 5147/535	a d	667
142-146 Kermod Street NORTH ADELAIDE	House; Inter-War Bungalow style residence			CT 5131/290	a d	17524
145 Kermod Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5155/864	a d	669
147 Kermod Street NORTH ADELAIDE	House; Victorian symmetrically fronted two storey residence. Excludes rear of building.			CT 5514/346	a d	21001
152-154 Kermod Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5818/319	a d	670
156 Kermod Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5240/612	a d	671
2-12 King William Road NORTH ADELAIDE	Cathedral Lodge & outbuilding; 1876 former residence, including interior and rear outbuilding			CT 5401/646 CT 5665/228	a c d e	673
Rear 21 King William Road NORTH ADELAIDE	Cathedral Hall; Hall building			CT 5665/226	a d e	17525
41-51 King William Road NORTH ADELAIDE	Greenway Apartments; Frontage and side wall returns visible from the street			CT 5020/689	a d f	1589
76-80 King William Road corner of King William and Brougham Place NORTH ADELAIDE	Former Nurses Home; Three storey front section of the building. Excludes balcony infill			CT 5395/797	a b c d f	17528
13-15 Kingston Terrace East (known as 14) NORTH ADELAIDE	House; Victorian asymmetrically fronted residence			CT 5276/804	a d	17538
16 Kingston Terrace East NORTH ADELAIDE	House; Edwardian transitional masonry residence			CT 5404/460	a d	17539
21 Kingston Terrace East NORTH ADELAIDE	House; Early Victorian residence. Excludes front porch			CT 5493/651	a d	17540
22-23 Kingston Terrace East NORTH ADELAIDE	House; Edwardian transitional masonry residence			CT 5249/73	a d	17541
33-34 Kingston Terrace NORTH ADELAIDE	Semi-detached houses; Early Victorian/Victorian residence divided into two dwellings. Exclude verandah to Francis Street frontage and front entrance porch to Kingston Terrace frontage			CT 5683/432	a d	17542
44 Kingston Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5163/912	a d	708
45-46 Kingston Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5176/648	a d	709

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47-49 Kingston Terrace (known as 48) NORTH ADELAIDE	House; Two storey Post War residence			CT 5694/460 CT 5760/49	d e	17543
73-74 Kingston Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5895/625	a d f	711
75 Kingston Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5797/539	a d f	712
76-77 Kingston Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5711/924	a d f	713
78-79 Kingston Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5880/515	a d f	714
86-88 Kingston Terrace (known as 87) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5908/73	a d	715
89-90 Kingston Terrace NORTH ADELAIDE	House; Victorian symmetrically fronted residence			CT 5390/810	a d	17544
91-92 Kingston Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5466/472	a d	682
97-100 Kingston Terrace NORTH ADELAIDE	House & fence; Two storey 1935 residence and masonry and iron fence			CT 5733/671	a d	17532
103-108 Kingston Terrace (known as 106) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5878/787	a d	683
31-35 Lakeman Street NORTH ADELAIDE	House; Early Victorian pre-1842 residence and 1872 addition.			CT 5116/992	a d	21000
15-19 Lefevre Terrace NORTH ADELAIDE	House; Inter-War Bungalow style residence			CT 5327/758	a d	17517
31-32 Lefevre Terrace NORTH ADELAIDE	House and fence; The two storey Victorian bay fronted residence, including interior and masonry and iron fence and rear brick wing			CT 5775/252	a d	651
38-40 Lefevre Terrace NORTH ADELAIDE	House, wall & gate; Two storey 1937 Georgian Revival brick residence and masonry wall to Lefevre Terrace and Archer Street			CT 130/113	a d e	17518
41-43 Lefevre Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5016/795 CT 5016/796 CT 5016/797 CT 5016/798	a d	645
51-53 Lefevre Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5037/103 CT 5037/104 CT 5037/105	a d	646
71-75 Lefevre Terrace NORTH ADELAIDE	Princes Lodge; Two storey 1913 former residence			CT 5250/130	a d	17519
76 Lefevre Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5699/725 CT 5780/923	a d	647
79 Lefevre Terrace NORTH ADELAIDE	House; Federation/Inter-War Bungalow. Excludes later carport			CT 5511/846 CT 5511/847	a d	17520
81-83 Lefevre Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5809/753	a d	648
84-85 Lefevre Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5709/54	a d	649
86-87 Lefevre Terrace NORTH ADELAIDE	House; Edwardian transitional stone residence			CT 5496/118	a d	17521
13, 15 & 17-19 Little Archer Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5470/897 CT 5650/579 CT 5701/584	a d	583

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18 & 20 Little Archer Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5104/133 CT 5546/587	a d	584
25-27 Lombard Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5545/920	a d	463
1 MacKinnon Court NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5223/860 CT 5549/912	a d	819
2 & 3 MacKinnon Court NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5153/24 CT 5223/860	a d	820
23 MacKinnon Parade NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5163/729	a d	716
25 MacKinnon Parade NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5437/148	a d	717
26-27 MacKinnon Parade NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5534/773	a d	718
28 MacKinnon Parade NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5287/171	a d	719
29-30 MacKinnon Parade NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5292/13	a d	720
33-35 MacKinnon Parade (known as 34) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5742/728	a d	721
37 MacKinnon Parade (cnr Colley St) NORTH ADELAIDE	House; Victorian asymmetrically fronted residence			CT 5536/255	a d	17545
49-50 MacKinnon Parade NORTH ADELAIDE	Former Sheridan Institute; Institute building including the pre 1842 section and interiors. Excludes front entrance portico			CT 5590/650	a c d e	797
71-73 MacKinnon Parade (known as 72) NORTH ADELAIDE	House; Victorian asymmetrically fronted residence			CT 5856/778	a d	17546
74-75 MacKinnon Parade NORTH ADELAIDE	Semi-detached offices; 1867 two storey attached residences, including interiors. Excludes entrance portico			CT 5255/324	a d	798
76-78 MacKinnon Parade (known as 77) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5832/492	a d	722
111 MacKinnon Parade NORTH ADELAIDE	House; Victorian symmetrically fronted residence. Excludes rear of building.			CT 5858/889	a d	21009
119-122 MacKinnon Parade known as 120 NORTH ADELAIDE	Kathleen Lumley College; Two and three storey face red brick residential college and front boundary brick wall			CT 572/383 CT 5872/772 CT 5872/798	a c d f	17431
144-155 MacKinnon Parade (150) NORTH ADELAIDE	Child Care Centre; Frontage and side wall returns visible from the street			CT 5874/613	a c d	821
158-160 MacKinnon Parade (159) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5448/337	a d	822
165 MacKinnon Parade NORTH ADELAIDE	Offices; Circa 1970 two storey brick and concrete offices			CT 5565/923	a d e	17433
166-168 MacKinnon Parade (167) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5819/104	a d	823

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
169-170 MacKinnon Parade NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5295/396	a d	824
6-8 Mann Terrace (known as 7) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5271/481	a d	723
9-10 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5357/344	a d	724
11 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5842/63	a d	725
12-13 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5692/230	a d	726
14 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5730/630	a d	727
15 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5323/205	a d	728
17 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5670/746	a d	729
18 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5323/206	a d	730
19-20 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5323/638	a d	731
21-22 & 23 Mann Terrace NORTH ADELAIDE	Semi-detached houses; Pair of Victorian asymmetrically fronted residences			CT 5784/644 CT 5784/645	a d	17547
31 & 32 Mann Terrace NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5178/60 CT 5608/719	a d	732
33 & 34 Mann Terrace NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5205/302 CT 5265/943	a d	733
37 & 38 Mann Terrace NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5790/740 CT 5862/976	a d	734
39 & 40 Mann Terrace NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5228/845 CT 5510/570	a d	735
41-42 Mann Terrace NORTH ADELAIDE	House; Victorian symmetrically fronted residence			CT 5260/956	a d	17548
43-44 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5181/335	a d	737
45 & 46 Mann Terrace NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5102/189 CT 5168/484	a d	738
49-50 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 4062/882	a d	740
51-52 Mann Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5314/663	a d	741
16 Mansfield Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5781/147	a d	505
18 Mansfield Street NORTH ADELAIDE	Semi-detached house; Inter-War Bungalow style residence			CT 5199/892	a d	17490
20 Mansfield Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5210/120	a d	506
21 Mansfield Street NORTH ADELAIDE	Row house; Row of Victorian single fronted cottages			CT 5108/615	a d	17477

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
22 Mansfield Street NORTH ADELAIDE	House; Victorian single fronted cottage			CT 5418/791	a d	464
23 Mansfield Street NORTH ADELAIDE	Row house; Frontage and side wall returns visible from the street			CT 5501/832	a d	465
24 Mansfield Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5135/992	a d	466
25 Mansfield Street NORTH ADELAIDE	Row house; Row of Victorian single fronted cottages			CT 5665/972		17478
26 Mansfield Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5135/993	a d	467
27 Mansfield Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5160/80	a d	468
47 Margaret Street NORTH ADELAIDE	House; Early Victorian residence, including interior			CT 5794/371	a d	635
68 & 68a Margaret Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5900/200	a d	585
71 Margaret Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5685/93	a d	586
72 & 72a Margaret Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5409/602 CT 5728/477	a d	587
73 Margaret Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5784/202	a d	588
76 Margaret Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5758/852	a d	590
111 & 113 Margaret Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5193/878 CT 5344/679	a d	591
112 Margaret Street NORTH ADELAIDE	Hall; Stone and brick hall			CT 5900/197	a c d	17508
114 Margaret Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5461/569	a d	592
116 Margaret Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5775/609	a d	593
117-119 Margaret Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5545/116	a d	594
118 Margaret Street NORTH ADELAIDE	House; Victorian single fronted cottage			CT 5527/141	a d	17509
121-129 Margaret Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5881/667 CT 5881/668	a d	595
142-146 Margaret Street (known as 46-48 Gover Street) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5818/897	a d	578
13-15 Melbourne Street NORTH ADELAIDE	House; Victorian/Edwardian transitional asymmetrically fronted residence			CT 5834/65	a d	17446
16-18 Melbourne Street NORTH ADELAIDE	House; Victorian single fronted cottage			CT 5120/493	a d	17448
17 Melbourne Street NORTH ADELAIDE	House; Victorian/Edwardian transitional asymmetrically fronted residence			CT 5391/32	a d	17447
20 Melbourne Street NORTH ADELAIDE	House; Victorian single fronted cottage. Excludes later porch			CT 5451/520	a d	17449
30-32 Melbourne Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5663/557	a d	269

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32, 34, 36, 36a & 38 Melbourne Street NORTH ADELAIDE	Former row houses; Frontage and side wall returns visible from the street			CT 5180/452 CT 5202/896 CT 5358/192 CT 5358/78 CT 5663/557	a d	270
75-77 & 79 Melbourne Street NORTH ADELAIDE	Shop and former dwelling; Frontage and side wall returns visible from the street			CT 5135/347 CT 5135/348	a c d	271
80-82 Melbourne Street (known as 82-84) NORTH ADELAIDE	Shop & Dwelling; Two storey 1883 building			CT 5813/209	a c d	17549
108 Melbourne Street NORTH ADELAIDE	House; Victorian single fronted former cottage			CT 5154/920	a d	17451
110 Melbourne Street NORTH ADELAIDE	Former chapel; Frontage and side wall returns visible from the street			CT 5436/251	a b c d	272
111-113 & 115-119 Melbourne Street NORTH ADELAIDE	Shops & houses; Frontage and side wall returns visible from the street			CT 5671/720 CT 5807/252	a c d	273
141 Melbourne Street NORTH ADELAIDE	Two storey shop & residence; Frontage and side wall returns visible from the street			CT 5238/557	a c d	274
185-187 Melbourne Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5248/779	a d	277
196 Melbourne Street NORTH ADELAIDE	House; Victorian asymmetrically fronted former residence			CT 5512/454	a d	17452
202 Melbourne Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5466/137	a d	276
204 & 206 Melbourne Street NORTH ADELAIDE	Semi-detached houses; Pair of Victorian single fronted former cottages. Excludes later front porch			CT 5205/16 CT 5394/912	a d	17453
208-210 Melbourne Street NORTH ADELAIDE	Semi-detached houses; Pair of Victorian single fronted chamber cottages. Excludes later front porch and rear of building.			CT 5768/20 CT 5816/313	a d	21015
209-211 Melbourne Street NORTH ADELAIDE	House; Early Victorian house to rear of front office additions			CT 5906/992 CT 5906/993	a d	17454
213-215 Melbourne Street NORTH ADELAIDE	House; Victorian and earlier sections of the symmetrically fronted former residence			CT 5545/515	a d	17455
214 Melbourne Street NORTH ADELAIDE	House and fence plinth; Victorian symmetrically fronted former residence and fence plinth. Excludes later front porch and rear of building.			CT 5543/887	a d	21014
218-220 Melbourne Street (known as 220 Melbourne Street) NORTH ADELAIDE	House and fence plinth; Victorian single fronted former cottage and fence plinth. Excludes porch and rear of building.			CT 5787/816	a d	21013
231-235 & 237-239 Melbourne Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5379/118	a d	278
236-240 Melbourne Street NORTH ADELAIDE	Nyroca House, outbuildings & boundary wall; c. 1900 former residence, including interior and outbuildings and boundary walls to Old and New Streets			CT 5232/114 CT 5778/184	a d e	280

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241-255 Melbourne Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5789/10	a d	279
281 Melbourne Street NORTH ADELAIDE	House; Victorian/Edwardian transitional masonry residence. Excludes front additions			CT 5323/471	a d	17456
301-303 Melbourne Street NORTH ADELAIDE	House; Edwardian/Federation residence			CT 5419/322	a d	17457
313-319 Melbourne Street NORTH ADELAIDE	House; Edwardian/Federation former residence			CT 5135/604	a d	17434
14-17 Mills Terrace (known as 16 Mills Terrace) NORTH ADELAIDE	House and fence; Victorian symmetrically fronted residence and masonry and iron fence.			CT 5813/985	a d	20981
18-25 Mills Terrace (known as 19) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5452/677	a d	364
26-28 Mills Terrace (known as 27) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5666/834	a d	365
35-37 Mills Terrace (known as 36) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5236/664 CT 5236/666	a d	366
38-40 Mills Terrace (known as 39) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5597/544	a d	367
44-45 Mills Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5126/129	a d	368
51-53 Mills Terrace (known as 52) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5858/434	a d	369
55-57 Mills Terrace (known as 56) NORTH ADELAIDE	House & fence; Two storey Victorian symmetrically fronted residence and masonry and iron fence.			CT 5714/638	a d	17420
58-60 Mills Terrace (known as 59) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5084/514	a d	370
67-70 Mills Terrace (known as 68) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5555/833	a d	371
86-90 Mills Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5655/647	a d	372
91-93 Mills Terrace (known as 92) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5220/488	a d	373
94-97 Mills Terrace (known as 96) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5779/830	a d	374
98-100 Mills Terrace (known as 99 Mills Terrace) NORTH ADELAIDE	House; Victorian bay fronted residence. Excludes entry porch.			CT 5742/474	a d	20982
114-116 Mills Terrace (known as 116 Mills Terrace) NORTH ADELAIDE	House; Two-storey red brick Edwardian residence. Excludes rear of building.			CT 5503/780	a d	20983

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117-128 Mills Terrace (known as 120 Mills Terrace) NORTH ADELAIDE	House; Single storey red brick Edwardian residence. Excludes later eastern additions.			CT 5820/648	a d	20984
129-130 Mills Terrace NORTH ADELAIDE	House; Edwardian transitional masonry residence.			CT 5847/803	a d	20985
131-133 Mills Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5210/552	a d	375
134-136 Mills Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5550/68	a d	376
146-147 Mills Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5848/755	a d	377
148-150 Mills Terrace (known as 149) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5358/184	a d	378
151-153 Mills Terrace (known as 152) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5818/489	a d	379
154-156 Mills Terrace (known as 155) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5312/931	a d	380
10 & 12 Molesworth Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5889/149 CT 5889/150	a d	488
15-19 Molesworth Street (known as 9 Molesworth) NORTH ADELAIDE	House; Edwardian/inter-war transitional red brick Tudor revival residence. Includes external joinery and excludes rear of building.			CT 5403/568	a d	17482
16-36 Molesworth Street (known as 22) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5803/436	a d	1577
35 Molesworth Street (known as 23) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5751/236	a d	381
43-45 Molesworth Street (known as 33) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5500/2	a d	1578
52-54 Molesworth Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5447/482	a d	382
55-57 Molesworth Street (known as 47) NORTH ADELAIDE	House; Inter-War Old English revival style residence			CT 5911/50	a d	17421
58-60 Molesworth Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5705/107	a d	383
62-64 Molesworth Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5681/602	a d	384
65-73 Molesworth Street (known as 61 Molesworth Street) NORTH ADELAIDE	House; Inter-war Old English revival style residence. Excludes rear of building.			CT 5892/40	a d	20989
66-72 Molesworth Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5681/603	a d	385
74-78 Molesworth Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5462/174	a d	386
79-85 Molesworth Street (known as 81) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5815/68 CT 5893/546	a d	388

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80-86 Molesworth Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5591/222	a d	387
118-122 Molesworth Street (known as 120) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5181/965	a d	389
142 Molesworth Street rear of 146 Molesworth Street NORTH ADELAIDE	House (former coach house); Frontage and side wall returns visible from the street			CT 5794/566	a b d e	402
144-146 Molesworth Street (known as 144-152) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5165/807	a d	401
172-176 Molesworth Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5075/826	a d	390
11 & 13 Murray Street (known as 11 & 11a) NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5273/253 CT 5849/794	a d	596
12 & 14 Murray Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5439/23 CT 5504/585	a d	597
15 & 17 Murray Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5283/554 CT 5543/829	a d	598
16 & 18 Murray Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5494/121 CT 5554/901	a d	599
19 & 21 Murray Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5194/970 CT 5881/24	a d	600
20 Murray Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5411/767	a d	601
22 Murray Street NORTH ADELAIDE	Semi-detached houses.; Pair of Victorian single fronted cottages.			CT 5417/589	a d	20997
23 & 25 Murray Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5498/709 CT 5505/471	a d	602
24 & 26 Murray Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5521/681 CT 5544/623	a d	603
28 & 30 Murray Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5545/412 CT 5743/576	a d	604
13-19 New Street NORTH ADELAIDE	Offices (former house Violet Bank); 1854 and 1880 former residence, including interior			CT 5238/735	a d e	281
21 O'Connell Street (includes 122-123 Ward Street) NORTH ADELAIDE	Shop; Frontage and side wall returns visible from the street			CT 5451/152	a c d f	254
24 O'Connell Street NORTH ADELAIDE	Shop; Frontage and side wall returns visible from the street			CT 5286/786	a c d	256
25 & 25a O'Connell Street NORTH ADELAIDE	Row shops; Row of single storey shops			CT 5169/434 CT 5175/187	a c d	17436
26 O'Connell Street NORTH ADELAIDE	Shop; Frontage and side wall returns visible from the street			CT 5235/558	a c d	257

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27 O'Connell Street NORTH ADELAIDE	Shop; Frontage and side wall returns visible from the street			CT 5302/129	a c d	258
45,47, 49a & 51 O'Connell Street NORTH ADELAIDE	Row shops; Frontage and side wall returns visible from the street			CT 5174/535 CT 5270/57 CT 5366/828	a c d	259
49 O'Connell Street NORTH ADELAIDE	Row shop; Part of row of two storey shops			CT 5290/183	a c d	17437
52-60 O'Connell Street NORTH ADELAIDE	Shop; Frontage and side wall returns visible from the street			CT 5886/132 CT 5886/133	a c d	264
53-55 O'Connell Street NORTH ADELAIDE	Shops; Frontage and side wall returns visible from the street			CT 5441/202	a c d	263
89 & 91 O'Connell Street NORTH ADELAIDE	Semi-detached shops; c1875 one storey shops. Excludes shopfront to 89			CT 5311/189 CT 5311/240	a c d	17438
95 O'Connell Street NORTH ADELAIDE	Shop; c1875 one storey shop			CT 5131/874	a c d	17439
97 O'Connell Street NORTH ADELAIDE	Shop; c1875 two storey shop			CT 5131/873	a c d	17440
114-118 O'Connell Street NORTH ADELAIDE	Shops; c1885 two storey row of shops.			CT 5197/2 CT 5197/9	a c d	21011
121-129 O'Connell Street NORTH ADELAIDE	Royal Oak Hotel; 1866 hotel building, including interior and 1881 verandah			CT 5603/87	a b c d f	266
124 O'Connell Street NORTH ADELAIDE	Shop; c1885 one storey shop			CT 5404/407	a c d	17441
175-177 O'Connell Street NORTH ADELAIDE	Shop; c1890 one storey shop			CT 5546/674	a c d	17442
201-205 O'Connell Street NORTH ADELAIDE	Shop; Frontage and side wall returns visible from the street			CT 5309/91	a d	265
207-211 O'Connell Street (known as 207-209 O'Connell Street) NORTH ADELAIDE	Shops; Pair of attached two storey c1890 former dwellings. Excludes additions to western elevation.			CT 5330/508	a d	21012
213-219 O'Connell Street NORTH ADELAIDE	Caledonian Inn; Single storey 1882 hotel. Excludes alterations, including the restaurant section, services, amenities and French door openings in facade.			CT 5140/830	a c d	17443
96-98 Old Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5900/781 CT 5906/782	a d	684
11-20 Palmer Place (known as 19) & 22-40 Jeffcott Street NORTH ADELAIDE	House (Aquinas College-Gleeson House), fence & garden; Two storey Mediterranean Revival Inter-War residence including interior, and single storey building to Jeffcott Street and masonry and iron fence and eastern sunken garden			CT 5740/660	a d	1587
28-30 Palmer Place (known as 29) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5783/315	a d e	517
31-40 Palmer Place (known as 62-80 Jeffcott Street) NORTH ADELAIDE	Christ Church Hall; Frontage and side wall returns visible from the street			CT 5874/229	a c d e	513
60-62 Palmer Place (known as 63) NORTH ADELAIDE	House (Harley); Frontage and side wall returns visible from the street			CT 5397/189	a d	1585

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63-65 Palmer Place (known as 64) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5864/174	a d e	518
81-83 Palmer Place NORTH ADELAIDE	House; Inter-War Georgian revival style residence			CT 5250/323	a d	17526
87-90 Palmer Place (known as 160 Kermode Street) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5794/368	a d	17464
1-10 Pennington Terrace , (known as 1-20 Sir Edwin Smith Avenue and 1-23 Kermode Street) NORTH ADELAIDE	Fence and wall; Masonry and cast iron fence along northern part of Sir Edwin Smith Avenue and the masonry wall return and gate piers to Kermode Street of the Memorial Hospital			CT 5301/672 CT 5301/673	a f	17529
38-40 Pennington Terrace NORTH ADELAIDE	House; Victorian residence			CT 5868/100	a d e	17527
66-67 Pennington Terrace NORTH ADELAIDE	House; Post war Georgian revival style residence. Excludes rear of building.			CT 5254/835	a d	20999
5-9 Provost Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5225/363	a d	742
8-10 Provost Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5448/138	a d	743
15-19 Provost Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5282/165	a d	744
26 Provost Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5116/471	a d	745
28 Provost Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5822/329	a d	746
30-32 Provost Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5774/217	a d	747
34 Provost Street NORTH ADELAIDE	House; Early Victorian residence. Excludes rear of building.			CT 5805/525	a d	21006
12 Ralston Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5380/720	a d	605
13-15 Ralston Street NORTH ADELAIDE	House; Victorian asymmetrically fronted cottage			CT 5822/60	a d	17510
14 Ralston Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5575/538	a d	606
16 Ralston Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5322/301	a d	607
17-19 Ralston Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5642/836	a d	609
18 Ralston Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5265/730	a d	608
20 Ralston Street NORTH ADELAIDE	House; Victorian single fronted cottage. Excludes rear of building.			CT 2609/24	a d	20993
21-23 Ralston Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5304/55	a d	610
22-24 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5777/411	a d	748
26 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5712/151	a d	749
28-30 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5170/601	a d	750

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34-38 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5153/570	a d	751
40 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5419/935	a d	752
41 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5368/35	a d	753
55 Stanley Street NORTH ADELAIDE	House; Early Victorian residence including interior			CT 5752/336	a d	799
57-61 Stanley Street NORTH ADELAIDE	Semi-detached houses; Pair of early Victorian residences including interiors			CT 5816/100	a d	800
62-66 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5834/704	a d	755
63-65 Stanley Street (known as 65) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5284/397	a d	754
68 Stanley Street NORTH ADELAIDE	Shop and house; Frontage and side wall returns visible from the street			CT 5692/615	a c d	756
70 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5662/769	a d	757
72, 74, 76, 76a, 78 & 80 Stanley Street NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5252/220 CT 5432/295 CT 5437/891 CT 5599/669 CT 5853/517 CT 5870/41	a d	758
77-79 Stanley Street (known as 83) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5786/828	a d	759
81-85 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5551/721	a d	760
87 Stanley Street (known as 85) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5300/694	a d	761
91 Stanley Street (known as 89) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5127/62	a d	762
97 Stanley Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5862/985	a d	763
99 Stanley Street NORTH ADELAIDE	Semi-detached house; Early Victorian gable ended attached cottage			CT 5862/986	a d	17550
105-107 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5867/778	a d	764
115 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5729/26	a d	765
124-128 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5881/706	a d	766
130-132 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5880/122	a d	767
134-136 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5242/371	a d	768
138-140 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5252/728	a d	769
142-144 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5288/164	a d	770

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143-145 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5784/270	a d	771
146-148 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5566/279	a d	772
149-151 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5267/884	a d	773
173-175 Stanley Street NORTH ADELAIDE	Church; Frontage and side wall returns visible from the street			CT 5338/351	a c d	685
182-184 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5521/684	a d	686
187-195 Stanley Street (known as 195 Stanley Street) NORTH ADELAIDE	House; Two-storey Inter-War Mediterranean style residence. Excludes rear of building.			CT 5445/923	a d	21005
192-196 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5327/229	a d	687
197-199 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5781/671	a d	688
198-204 Stanley Street (known as 198 Stanley Street) NORTH ADELAIDE	House; Two storey Inter-war Georgian revival style residence. Excludes later additions and rear of building.			CT 5413/268	a d	21004
201-203 & 205-209 Stanley Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5915/227 CT 5915/228	a d	689
223-227 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5852/871	a d	691
245-249 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5062/309	a d	693
251 Stanley Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5553/100	a d	694
253-257 Stanley Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5481/498	a d	695
258-260 Stanley Street NORTH ADELAIDE	House and walls; 1913 Edwardian Arts and Crafts style two storey residence and masonry boundary walls to Stanley Street and Lefevre Terrace			CT 5297/616	a d	17534
259-261 Stanley Street NORTH ADELAIDE	Semi-detached house & fences; Victorian symmetrically fronted residences and masonry and iron fences			CT 5105/847	a d	17533
19 Strangways Place (known as 5) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5597/545	a d	391
31-33 Strangways Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5105/845	a d	519
36-38 Strangways Terrace (known as 37) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5224/809	a d	520
39-40 Strangways Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5863/433	a d	521
45 Strangways Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5384/652	a d	522

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
66-75 Strangways Terrace (known as 68) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5490/21	a d e	523
88-100 Strangways Terrace NORTH ADELAIDE	Calvary Hospital; 1940 Maternity Ward			CT 5187/583 CT 5187/584 CT 5187/587 CT 5187/589 CT 5187/591	a b c d	17422
109-110 Strangways Terrace NORTH ADELAIDE	House & wall; Two storey rendered masonry Inter-War Mediterranean residence and brick and stone front and side boundary walls included			CT 5028/352	a d	17423
111-115 Strangways Terrace (known as 114) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5007/13	a d e	1579
131-133 Strangways Terrace (known as 132) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5535/967	a d	392
137-140 Strangways Terrace NORTH ADELAIDE	House; Two-storey Edwardian / Federation period bluestone and brick residence. Excludes northern / rear wall.			CT 5793/248	a d	20980
141-142 Strangways Terrace NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5280/322	a d	393
153 Strangways Terrace NORTH ADELAIDE	House; Victorian asymmetrically fronted residence. Excludes later front additions			CT 5133/167	a d	17424
155-156 Strangways Terrace NORTH ADELAIDE	House; Victorian symmetrically fronted residence			CT 5081/588	a d	17425
7 & 9 Sussex Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5836/301 CT 5877/909	a d	774
8 & 10 Sussex Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5470/867 CT 5874/775	a d	775
11-13 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5410/706	a d	776
12-14 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5728/721	a d	1590
15 & 17 Sussex Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5212/155 CT 5608/361	a d	777
22 & 24 Sussex Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5299/547 CT 5672/387	a d	778
26-30 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5553/296	a d	779
27 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5628/681	a d	780
46-48 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5659/178	a d	781
53 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5509/163	a d	782
59-61 Sussex Street NORTH ADELAIDE	Semi-detached houses; Edwardian residences			CT 5019/902	a d	17551

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
66 & 68 Sussex Street NORTH ADELAIDE	Semi-detached houses; 1850 attached cottages, including interiors			CT 5224/698 CT 5577/345	a d e	801
79, 81, 83, 83a, 85, 85a & 87 Sussex Street (known as 79, 81, 81a, 83, 83a & 85) NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5133/299 CT 5290/42 CT 5431/552 CT 5435/166 CT 5454/735 CT 5624/625 CT 5666/616 CT 5866/198		783
99 & 101-103 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5816/265 CT 5819/357	a d	784
110-112 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5826/201	a d	785
113 Sussex Street NORTH ADELAIDE	Semi-detached house; Frontage and side wall returns visible from the street			CT 5292/919		786
114 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5173/486	a d	787
115 Sussex Street NORTH ADELAIDE	Semi-detached house; Early Victorian residence			CT 5876/363	a d e	17552
117 & 117A Sussex Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5189/832 CT 5282/849	a d	788
118 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5340/431	a d	789
119-121 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5732/930	a d	790
120 Sussex Street NORTH ADELAIDE	House; Former pair of early Victorian residences, including interior			CT 5813/614	a d	802
122 Sussex Street NORTH ADELAIDE	House & fence; Early Victorian residence, including interior and timber picket fence			CT 5105/844	a d e	803
125 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5829/242	a d	791
126-132 Sussex Street (known as 128) NORTH ADELAIDE	House & well; Early Victorian two storey residence, including interior and well			CT 5671/233	a d e	804
127 Sussex Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5809/752	a d	792
1 Taskers Lane NORTH ADELAIDE	Semi-detached house; Early Victorian pair of cottages			CT 5814/271	a d	17479
71 Tower Street North NORTH ADELAIDE	House; Victorian symmetrically fronted residence			CT 5535/996	a d	17480
81 & 83 Tower Street North NORTH ADELAIDE	Semi-detached houses; Pair of Edwardian transitional masonry residences			CT 5577/801	a d	17481
14, 16, 18a & 20 Travers Place NORTH ADELAIDE	Row houses; Frontage and side wall returns visible from the street			CT 5100/161 CT 5100/600 CT 5284/514 CT 5351/629 CT 5594/203	a d	469
21 Travers Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5306/713	a d	470
2 Tynte Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5678/132	a d	471

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
6 Tynte Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5244/640	a d	472
8 Tynte Place NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5468/822	a d	473
10 & 12 Tynte Place NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5100/509 CT 5147/242	a d	474
14 Tynte Place NORTH ADELAIDE	Victorian single-fronted cottage; Frontage and side wall returns visible from the street			CT 5565/612	a d	476
16 Tynte Place NORTH ADELAIDE	Victorian single-fronted cottage; Frontage and side wall returns visible from the street			CT 5565/611	a d	477
18-20 Tynte Street (known as 22) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5294/913	a d	611
22-24 Tynte Street (known as 24) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5813/5	a d	612
26 & 28 Tynte Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5832/14	a d	613
33-39 Tynte Street (known as 35) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5215/651	a d	614
34-36 Tynte Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5622/669	a d	615
38-40 Tynte Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5902/216	a d	616
61 Tynte Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5837/147	a d	617
62-80 Tynte Street (known as 57-75 Gover Street) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 3154/95 CT 5781/770 CT 5811/312 CT 5832/349 CT 5846/607 CT 5872/802	a d	579
63-65 Tynte Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5883/428	a d	618
67 & 69 Tynte Street NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5868/101 CT 5868/191	a d	619
73 Tynte Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5363/632	a d	620
75-77 Tynte Street NORTH ADELAIDE	House; Victorian bay fronted residence			CT 5331/837	a d	17512
79 Tynte Street NORTH ADELAIDE	House			CT 4057/810		21948
93-97 Tynte Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5661/61	a d e f	622
104 Tynte Street NORTH ADELAIDE	House; Victorian single fronted cottage.			CT 5372/880	a d	20995
139 Tynte Street NORTH ADELAIDE	Shop; Frontage and side wall returns visible from the street			CT 5441/579	a c d	507
143-145 & 147 Tynte Street NORTH ADELAIDE	Semi-detached houses; Pair of Edwardian transitional masonry former residences			CT 8885/162 CT 8885/163	a d	17491

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
165-169 Tynte Street NORTH ADELAIDE	Hotel; 1881 hotel building, including interior			CT 5138/104	a b c d e f	512
178 Tynte Street NORTH ADELAIDE	Office; 1900 single storey building			CT 5830/245 CT 5830/246	a b c d e	17492
188-190 Tynte Street NORTH ADELAIDE	Semi-detached shops; Frontage and side wall returns visible from the street			CT 5359/801	a c d	508
198-200 Tynte Street NORTH ADELAIDE	House; Victorian asymmetrically fronted residence			CT 5341/588	a d	17493
30 Walter Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5520/499	a d	524
48-50 Walter Street NORTH ADELAIDE	House; Edwardian transitional masonry residence			CT 5373/36	a d	17494
59 Walter Street (known as 53) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5273/707	a d	509
61-63 Walter Street (known as 57) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5677/385	a d	510
65-67 Walter Street (known as 61) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5414/654	a d	511
22 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5363/117	a d	624
24 Ward Street NORTH ADELAIDE	Attached House			CT5506/792	a	27074
26 Ward Street NORTH ADELAIDE	House			CT5428/602	a	27075
28 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5671/100	a d	627
34-36 Ward Street NORTH ADELAIDE	House, fence & walls; Frontage and side wall returns visible from the street			CT 5465/555	a d	628
38 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5318/937	a d	629
40 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5695/94	a d	630
42-44, 46 & 48 Ward Street NORTH ADELAIDE	Row houses; Edwardian row cottages. Excludes front wall/fence addition			CT 5124/271 CT 5167/647 CT 5509/744 CT 5869/414	a d	17513
58-60 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5655/983	a d	631
62-64 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5656/7	a d	632
66 Ward Street NORTH ADELAIDE	House & fence; Edwardian transitional masonry residence and masonry and iron fence			CT 5656/10	a d	17514
68-70 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5656/9	a d	633
94-96 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5205/116	a d	634
104 Ward Street NORTH ADELAIDE	Semi-detached office; Part of early Victorian two storey former residence			CT 5876/312	a d	17444

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
106 & 108 Ward Street NORTH ADELAIDE	Semi-detached offices; Pair of early Victorian two storey former residences			CT 5874/783 CT 5874/784	a d	17445
171-175 Ward Street (known as 177) (Rear of 63-65 Palmer Place) NORTH ADELAIDE	Former Stables & wall; Frontage and side wall returns visible from the street			CT 5864/174	a b d	17497
179-181 Ward Street (known as 175) (Rear of 60-62 Palmer Place) NORTH ADELAIDE	Offices; Frontage and side wall returns visible from the street			CT 5397/189	a b d	1586
182-184 Ward Street NORTH ADELAIDE	House; Edwardian Arts and Crafts style former residence			CT 5265/41	a d	17498
231-239 Ward Street (known as 235) NORTH ADELAIDE	House and walls; Two storey Edwardian/Inter-War residence, including interior and boundary walls			CT 5855/228	a d	534
265-267 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5190/834	a d	525
269-271 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5185/868	a d	526
273-275 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5912/216	a d	527
277-279 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5464/204	a d	528
282-290 Ward Street (known as 286) NORTH ADELAIDE	House, fence and wall; Two storey Victorian symmetrically fronted residence, including interior and masonry and iron fence and western boundary masonry wall			CT 5366/231	a d	535
292-300 Ward Street (known as 296) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5351/152	a d	394
305-309 Ward Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5390/572	a d	529
1-5 Wellington Square NORTH ADELAIDE	House, fence & wall; Victorian symmetrically fronted residence and masonry and iron front fence and side boundary masonry wall			CT 5389/796	a d	17483
41-45 Wellington Square NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5377/557	a d	489
42 & 44 Wellington Square NORTH ADELAIDE	Semi-detached houses; Frontage and side wall returns visible from the street			CT 5499/353 CT 5855/898	a d	490
46 Wellington Square NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5119/851	a d	491
50 Wellington Square NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5127/613	a d	492
55 & 57-59 Wellington Square NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5100/892 CT 5101/367	a d	493
56-60 Wellington Square NORTH ADELAIDE	House; Two storey Victorian asymmetrically fronted residence			CT 5233/289	a d	494
61-71 Wellington Square NORTH ADELAIDE	House; Inter-War/Post-War Old English revival style residence			CT 5790/916	a d	495
62-80 Wellington Square NORTH ADELAIDE	Three row cottages (including former Primitive Methodist Manse); Original external fabric on front and sides.	Allotments 91 & 92	FP 171207	CT 5356/324		

Property Address	Description of Place and Elements of Heritage Value	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
82-84 Wellington Square NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5865/141	a d	496
86-88 Wellington Square NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5865/138	a d	497
90-92 Wellington Square NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5377/678	a d	498
94-96 Wellington Square NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5273/409	a d	499
98-100 Wellington Square NORTH ADELAIDE	House & fence; Victorian bay fronted residence and the masonry and iron front fence			CT 5598/928	a d	17484
12-14 West Pallant Street NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5493/652	a d	793
16-20 West Pallant Street (known as 18) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5273/14	a d	794
29-33 West Pallant Street (known as 31) NORTH ADELAIDE	House; Frontage and side wall returns visible from the street			CT 5019/523 CT 5019/524 CT 5019/525	a d e	795

TABLE Adel/3

Local Heritage Places (Townscape)

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
10 Ada Street ADELAIDE	House			CT 2596/109		828
12a Ada Street ADELAIDE	Attached House			CT 2633/43		829
14-16 Ada Street ADELAIDE	Attached Houses			CT 4042/14		830
15 Ada Street ADELAIDE	House			CT 3336/174		831
17 Ada Street ADELAIDE	House			CT 2825/34		832
19-21 Ada Street ADELAIDE	Attached Houses			CT 1865/194 CT 3370/9		833
22-24 Ada Street ADELAIDE	Attached Houses			CT 2478/139 CT 2478/138		834
23-27 Ada Street ADELAIDE	Row Houses			CT 3106/62 CT 4155/969		835
26-30 Ada Street ADELAIDE	Row Houses			CT 2460/91 CT 2460/92 CT 4210/352		836
14 Alfred Street ADELAIDE	Row House			CT 2280/13		1142
16 Alfred Street ADELAIDE	Row House			CT 2280/14		1143
18 Alfred Street ADELAIDE	Row House			CT 2176/149		1144
20 Alfred Street ADELAIDE	Attached House			CT 4140/651		1145
22 Alfred Street ADELAIDE	Attached House			CT 4140/652		1146
24-26 Alfred Street ADELAIDE	Attached Houses			CT 0475/171 CT 4084/807		1147
28 Alfred Street ADELAIDE	House			CT 2897/159		1603
33 Alfred Street ADELAIDE	House			CT 4113/389 CT 4113/390		1148
34-36 Alfred Street ADELAIDE	Attached Houses			CT 2379/194 CT 4315/357		1149
44 Alfred Street ADELAIDE	House			CT 0575/168		1150
50 Alfred Street 21-25 Bailey Street ADELAIDE	House			CT 2737/59		1151
52 Alfred Street 22-26 Bailey Street ADELAIDE	House			CT 4057/521		1152
53 Alfred Street ADELAIDE	House			CT 3209/94		1154
54 Alfred Street ADELAIDE	House			CT 4349/429		1153
55-57 Alfred Street ADELAIDE	Former Attached Houses			CT 5877/358 CT 5877/370		1155
56 Alfred Street ADELAIDE	House			CT 4143/772		1156
58 Alfred Street ADELAIDE	House			CT 2030/189		1157
59 Alfred Street ADELAIDE	House			CT 5405/113		1158
37-39 Angus Street ADELAIDE	Office			CT 3553/102		220
63-69 Angus Street 2-12 Moore Street ADELAIDE	Royalty Theatre			CT 2931/71		229
74-80 Angus Street 26-40 Chancery Lane ADELAIDE	Former Angus Hotel			CT 4254/880		230
75 Angus Street ADELAIDE	Terrace House			CT 4394/824		231

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
77 Angas Street ADELAIDE	Terrace House			CT 4028/676		232
79 Angas Street ADELAIDE	Terrace House			CT 5101/625		233
279-281 Angas Street ADELAIDE	Attached House			CT 5103/87		1069
318 Angas Street ADELAIDE	House			CT 4273/573		837
320 Angas Street ADELAIDE	House			CT 4108/396		838
12-14 Arthur Street ADELAIDE	Attached Houses			CT 4317/197 CT 4317/198		1159
17 Arthur Street ADELAIDE	Attached House			CT 2225/174		1160
19 Arthur Street ADELAIDE	Attached House			CT 2225/173		1161
28-42 Austin Street ADELAIDE	Former Warehouse			CT 899/160		88
19 Bailey Street ADELAIDE	House			CT 4381/643		1162
11-13 Bentham Street ADELAIDE	Farmers' Trustee House			CT 5737/189		124
15-19 Bentham Street ADELAIDE	Offices			CT 5602/435		125
11 Blackburn Street ADELAIDE	House			CT 1835/143		954
12 Blackburn Street ADELAIDE	House			CT 1883/69		955
13 Blackburn Street ADELAIDE	House			CT 4274/137		956
14 Blackburn Street ADELAIDE	House			CT 2296/150		957
15-17 Blackburn Street ADELAIDE	Attached Houses			CT 4308/787 CT 2781/74		958
16-16a Blackburn Street ADELAIDE	Attached Houses			CT 2378/83 CT 4150/386		959
18-20 Blackburn Street ADELAIDE	House			CT 4150/890		960
19-23 Blackburn Street ADELAIDE	Row Houses			CT 5527/137 CT 5872/784 CT 6124/29		961
22 Blackburn Street ADELAIDE	Terrace House			CT 3659/38		962
23a Blackburn Street ADELAIDE	House			CT 4297/450		963
24-28 Blackburn Street ADELAIDE	House			CT 4212/90 CT 4096/737 CT 2536/187 CT 4094/45		964
25-27 Blackburn Street ADELAIDE	House			CT 5061/518 CT 4297/448		965
29 Blackburn Street ADELAIDE	House			CT 3332/69		966
22 Byron Place ADELAIDE	Row House			CT 2359/37		187
22a Byron Place ADELAIDE	Row House			CT 2450/101		188
24 Byron Place ADELAIDE	Row House			CT 3819/184		189
26 Byron Place ADELAIDE	Row House			CT 4183/425		190
28 Byron Place ADELAIDE	Row House			CT 0577/145		191
15-17 Cairns Street ADELAIDE	Row Houses			CT 2673/111 CT 1552/50 CT 1798/46		967
20-22 Cairns Street ADELAIDE	Attached Houses			CT 1647/9		968
26-28 Cairns Street ADELAIDE	Attached Houses			CT 1647/8		969
16 Cardwell Street ADELAIDE	Attached House			CT 4320/663		1070
26 Cardwell Street ADELAIDE	House			CT 2385/152		1071

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
28-30 Cardwell Street ADELAIDE	Row Houses			CT 4381/247 CT 2385/151 CT 4009/680		1072
54-56 Cardwell Street 2 - 4 Hume Street ADELAIDE	Semi-Detached Houses			CT 4267/497		1073
61-63 Carrington Street ADELAIDE	Office			CT 5090/292		1085
84-90 Carrington Street, 34-30 Moore Street ADELAIDE	Saracens Head Hotel			CT 5020/883 CT 5020/884 CT 5020/885		1086
98 Carrington Street ADELAIDE	House			CT 3014/199		1087
100 Carrington Street ADELAIDE	House			CT 3014/198		1088
101-103 Carrington Street ADELAIDE	Row Houses			CT 1443/199		1089
116-120 Carrington Street, 32-40 Queen Street ADELAIDE	Former Terrace			CT 2356/82		1090
233-235 Carrington Street ADELAIDE	Attached Houses			CT 4196/112 CT 4196/111		970
237-239 Carrington Street ADELAIDE	Attached Houses			CT 4196/113 CT 4196/114		971
245-249 Carrington Street ADELAIDE	Row Houses			CT 4217/279 CT 4349/59 CT 3554/187		972
255 Carrington Street ADELAIDE	House			CT 4171/927		973
258-260 Carrington Street ADELAIDE	House			CT 4371/682		974
283-285 Carrington Street 82-90 Cardwell Street ADELAIDE	Attached Houses			CT 4298/201 CT 4298/202		975
287-289 Carrington Street ADELAIDE	Attached Houses			CT 3465/68 CT 3465/69		976
291 & 295 Carrington Street ADELAIDE	Row Houses			CT 4325/852 CT 2429/153		977
294-296 Carrington Street ADELAIDE	Attached Houses			CT 2632/192 CT 2632/193		978
298 Carrington Street ADELAIDE	House			CT 2632/194		979
301-303 Carrington Street ADELAIDE	Attached Houses			CT 2537/184 CT 4343/574		980
305-307 Carrington Street ADELAIDE	Attached Houses			CT 2453/140 CT 4273/37		981
309 Carrington Street ADELAIDE	House			CT 1141/132		982
332-340 Carrington Street ADELAIDE	Row Houses			CT 4380/178 CT 4320/745 CT 2656/173 CT 2656/175 CT 2656/172 CT 2656/171 CT 4302/354		839
333-339 Carrington Street 2-8 Corryton Street ADELAIDE	Row Houses			CT 2642/11 CT 2642/9 CT 4041/917 CT 2642/12		17458
342 Carrington Street ADELAIDE	House			CT 4347/950		840

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
344 Carrington Street ADELAIDE	House			CT 4358/46		841
353 Carrington Street (known as 351), 2-6 Kate Court ADELAIDE	House			CT 4198/400		842
360 Carrington Street (known as 358) ADELAIDE	House			CT 4135/390		843
360a-362 Carrington Street (known as 360-362) ADELAIDE	Attached Houses			CT 4135/387 CT 4135/388		844
366 Carrington Street ADELAIDE	House			CT 4135/389		845
393-397 Carrington Street 1-9 Tomsey Street ADELAIDE	Attached Houses			CT 2637/04 CT 2637/03		846
419 Carrington Street ADELAIDE	House			CT 982/28		847
421 Carrington Street ADELAIDE	House			CT 4396/647		848
423-425 Carrington Street ADELAIDE	Attached Houses			CT 2416/110 CT 2416/109		849
10-14 Castle Street ADELAIDE	Row Houses			CT 4153/313 CT 4273/612 CT 4153/312		983
11 Castle Street ADELAIDE	House			CT 3104/136		984
22 Castle Street ADELAIDE	House			CT 4273/610		985
23a-25 Castle Street , 34-40 Ely Place ADELAIDE	Attached Houses			CT 2386/135 CT 2386/134		986
24-26 Castle Street, 22-30 Ely Place ADELAIDE	Attached Houses			CT 3157/2 CT 3157/3		987
14 Cavan Place ADELAIDE	Stable			CT 4178/240		1163
10-20 Charlotte Street, 2-10 Charlotte Place ADELAIDE	Row Houses			CT 4343/898 CT 4343/899 CT 4343/902 CT 4343/903 CT 4343/901 CT 4343/904 CT 4343/900		988
12-14 Charlotte Place ADELAIDE	Attached Houses			CT 4015/99 CT 4356/238		989
26 Charlotte Place ADELAIDE	House			CT 4202/159		990
28 Charlotte Place ADELAIDE	House			CT 4203/806		991
16-18 Chatham Street ADELAIDE	Attached Houses			CT 3210/186		1164
20 Chatham Street ADELAIDE	House			CT 4113/461		1165
22 Chatham Street ADELAIDE	House			CT 4312/416		1166
28 Chatham Street ADELAIDE	House			CT 4155/792		1167
17-19 Chesser Street 9-17 French Street ADELAIDE	Offices			CT 4123/619		132
17 Claxton Street ADELAIDE	House			CT 4273/344		1168
17 Collins Street ADELAIDE	House			CT 3728/75		1169
19 Collins Street 12-20 Halls Place ADELAIDE	House			CT 4328/731		1170
18-20 Coromandel Place 1-3 French Street ADELAIDE	Historian Hotel			CT 4193/13		133
12-14 Corryton Street ADELAIDE	Attached Houses			CT 2264/93 CT 4035/206		850

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
16-18 Corryton Street ADELAIDE	Attached Houses			CT 2273/49 CT 2273/50		851
20-22 Corryton Street ADELAIDE	Attached Houses			CT 1634/10 CT 4173/605		852
24 Corryton Street ADELAIDE	House			CT 4266/921		853
32 Corryton Street ADELAIDE	House			CT 4095/150		1592
52a-70 Corryton Street ADELAIDE	Row Houses			CT 2571/51 CT 2571/54 CT 2571/57 CT 3552/57 CT 2503/157 CT 3552/58 CT 2571/52 CT 3001/150 CT 2571/53 CT 4087/461 CT 2742/58 CT 2565/26 CT 2571/55 CT 2559/109		854
54 Currie Street ADELAIDE	Commerce House			CT 5509/940		120
82-86 Currie Street 19-23 Kingston Street ADELAIDE	Duke of York Hotel			CT 4349/342		121
17-20 East Terrace 300 Rundle Street ADELAIDE	Former East End Market Shops & Offices			CT 4388/396		168
12-14 Eden Street ADELAIDE	Attached Houses			CT 5592/279 CT 5892/358		1074
18-20 Eden Street ADELAIDE	Attached Houses			CT 5599/278		1075
9-13a Edward Street ADELAIDE	Attached Houses			CT 4237/769 CT 2855/45 CT 4237/768 CT 4226/87		1175
12 Edward Street ADELAIDE	House			CT 0239/9		1171
14 Edward Street ADELAIDE	House			CT 1676/90		1172
15 Edward Street ADELAIDE	House			CT 3697/95		1176
17-19 Edward Street ADELAIDE	Row Houses			CT 2219/15 CT 2219/14		1177
18 Edward Street ADELAIDE	House			CT 2507/152		1173
20 Edward Street ADELAIDE	House			CT 4020/27		1174
112-116 Flinders Street ADELAIDE	Restaurant			CT 5509/158		165
36-40 Franklin Street 21-39 Bentham Street ADELAIDE	Former Eudunda Farmers Building			CT 4395/126		1565
66 Gawler Place ADELAIDE	Shop (former bank)			CT 3108/124 CT 2898/25		129
14-20 George Court ADELAIDE	Row Houses			CT 3695/188 CT 2584/83 CT 2816/144		1178
21-23 George Court ADELAIDE	Attached Houses			CT 2336/185		1180
22-24 George Court ADELAIDE	Attached Houses			CT 2796/67 CT 4134/696		1179
20-22 Gilbert Place ADELAIDE	Quelltaler House			CT 4149/13		92
178-180 Gilbert Street ADELAIDE	Attached Houses			CT 4162/434 CT 4162/433		1181

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
181-183 Gilbert Street ADELAIDE	Attached Houses			CT 4174/856 CT 4214/269		1182
182-184 Gilbert Street ADELAIDE	Attached Houses			CT 4367/650 CT 3191/78		1183
185-187 Gilbert Street, 2-10 Weil Street ADELAIDE	Attached Houses			CT 1370/164 CT 4062/577		1194
186 Gilbert Street ADELAIDE	House			CT 4396/893		1184
188 Gilbert Street , 36-40 Hamley Street ADELAIDE	House			CT 2517/127		1185
204 Gilbert Street ADELAIDE	House			CT 1885/200		1604
228 Gilbert Street, 36-40 Little Gilbert Street ADELAIDE	House			CT 4074/173		1186
231 Gilbert Street ADELAIDE	House			CT 2281/53		1195
235 Gilbert Street ADELAIDE	Row House			CT 2278/57		1187
238 Gilbert Street ADELAIDE	House			CT 1831/30		1188
240 Gilbert Street ADELAIDE	House			CT 2262/138		1189
242 Gilbert Street ADELAIDE	House			CT 5027/851		1190
269 Gilbert Street ADELAIDE	House			CT 1613/200		1196
271-273 Gilbert Street ADELAIDE	House			CT 3519/94		1197
275-279 Gilbert Street ADELAIDE	Row Houses			CT 4363/702 CT 2297/34 CT 2297/35		1198
290 Gilbert Street, 34-40 O'Brien Street ADELAIDE	Former House			CT 0757/103		1191
302 Gilbert Street ADELAIDE	Attached House			CT 2326/66		1192
306-306a Gilbert Street ADELAIDE	Attached Houses			CT 0690/128		1193
65-69 Gilles Street ADELAIDE	Former Hotel (part Pulteney Grammar)			CT 4081/351		1599
137-139 Gilles Street ADELAIDE	Row Houses			CT 4046/975 CT 1585/140		1094
142 Gilles Street ADELAIDE	House			CT 1693/173		1091
146 Gilles Street ADELAIDE	House			CT 4298/193		1092
148 Gilles Street , Johns Lane ADELAIDE	House			CT 1693/174		1093
210-212 Gilles Street ADELAIDE	Attached Houses			CT 2184/79 CT 2184/80		992
214-216 Gilles Street ADELAIDE	Attached Houses			CT 4044/702 CT 4044/701		993
218-220 Gilles Street ADELAIDE	House			CT 4264/484		994
221 Gilles Street ADELAIDE	House			CT 4317/661		995
222-224 Gilles Street ADELAIDE	House			CT 4245/902		996
233-235 Gilles Street, 2-8 Charlotte Street ADELAIDE	House			CT 1713/174		997
237-239 Gilles Street ADELAIDE	Attached Houses			CT 2096/109 CT 2096/110		998
250-252 Gilles Street ADELAIDE	Attached Houses			CT 4134/886 CT 5075/199		999
253-255 Gilles Street ADELAIDE	House			CT 1834/148		1000

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
254 Gilles Street ADELAIDE	Attached House			CT 2278/94		1001
256 Gilles Street, 1-3 Ely Place ADELAIDE	Attached House			CT 2278/93		1002
257-259 Gilles Street ADELAIDE	House			CT 4157/386		1003
263 Gilles Street ADELAIDE	House			CT 4347/913		1004
284-286 Gilles Street, 152-160 Cardwell Street ADELAIDE	Former Shop and Residence			CT 2536/77		1005
294-294a Gilles Street ADELAIDE	Attached Houses			CT 2312/104		1593
297-299 Gilles Street ADELAIDE	Row Houses			CT 4219/328 CT 2354/100 CT 2354/97		1006
303 Gilles Street ADELAIDE	House			CT 1409/194		1007
307a Gilles Street ADELAIDE	Attached House			CT 2515/53		1008
334-336 Gilles Street 74-80 Corryton Street ADELAIDE	Attached Houses			CT 3906/154 CT 3906/155		855
337 Gilles Street ADELAIDE	House			CT 2121/33		856
338-340 Gilles Street ADELAIDE	Attached Houses			CT 3901/82 CT 3901/80		857
339 Gilles Street ADELAIDE	House			CT 2099/188		858
341 Gilles Street ADELAIDE	House			CT 2389/133		859
342-344 Gilles Street ADELAIDE	Attached Houses			CT 3901/81 CT 3901/79		860
343 Gilles Street ADELAIDE	House			CT 2037/35		861
346-348 Gilles Street ADELAIDE	House			CT 2681/14		862
349 Gilles Street ADELAIDE	House			CT 4146/460		863
350 Gilles Street ADELAIDE	House			CT 4347/978		864
351 Gilles Street ADELAIDE	House			CT 4193/489		865
352 Gilles Street ADELAIDE	House			CT 0332/166		866
354-356 Gilles Street ADELAIDE	Attached Houses			CT 1938/143 CT 1938/144		867
360 Gilles Street ADELAIDE	House			CT 3355/11		868
362-366 Gilles Street ADELAIDE	House			CT 4132/599		869
366a-368 Gilles Street 33-39 Power Street ADELAIDE	House			CT 966/23		870
374-376 Gilles Street 34-40 Power Street ADELAIDE	Attached Houses			CT 2563/15 CT 3020/50		871
380 Gilles Street ADELAIDE	House			CT 3663/193		872
382 Gilles Street ADELAIDE	House			CT 0869/26		873
384-388 Gilles Street 1-9 Royal Avenue ADELAIDE	House			CT 3855/98		874
398 Gilles Street ADELAIDE	Attached House			CT 3234/77		875
429 Gilles Street ADELAIDE	House			CT 4081/85		876
9-13 Gladstone Street ADELAIDE	Row Houses			CT 4124/61 CT 4124/62 CT 4124/63		877

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
10-20 Gladstone Street ADELAIDE	Row Houses			CT 3334/44 CT 3340/25 CT 3328/52 CT 3399/144 CT 4365/157 CT 4113/123 CT 4075/866 CT 3451/22		878
15-17 Gladstone Street ADELAIDE	Attached Houses			CT 4144/986 CT 4144/987		879
17a-19 Gladstone Street ADELAIDE	Attached Houses			CT 3828/175		880
65a-67 Gouger Street (2-6 Compton Street) ADELAIDE	Restaurant			CT 3257/97		152
78-80 Gouger Street ADELAIDE	Attached Shop			CT 4102/448		153
82-84a Gouger Street ADELAIDE	Attached Shop			CT 3580/90		154
91-93a Gouger Street 1-7 Field Street ADELAIDE	Restaurant			CT 2078/19		155
223-227 Gouger Street ADELAIDE	Offices			CT 2617/11		192
16 Grattan Street ADELAIDE	House			CT 4036/847		193
20-22 Grattan Street ADELAIDE	Attached Houses			CT 2278/59		194
24 Grattan Street ADELAIDE	Attached House			CT 4194/559		195
26 Grattan Street ADELAIDE	Attached House			CT 3333/33		196
113-119 Grenfell Street ADELAIDE	Wyatt House			CT 4314/356		130
196-198 Grenfell Street 35 - 39 Union Street ADELAIDE	Crown & Anchor Hotel			CT 4376/273		169
26-30 Grote Street ADELAIDE	Sarnia Building			CT 2219/4		134
61-63 Grote Street ADELAIDE	Shops			CT 4363/299		156
65-67 Grote Street ADELAIDE	Shops and restaurant			CT 4216/203		157
114 Grote Street ADELAIDE	Restaurant			CT 2286/199		158
16-18 Halifax Street ADELAIDE	Halifax House			CT 3409/6		227
76-82 Halifax Street ADELAIDE	Row Houses			CT 133/107 CT 4395/738 CT 2133/108 CT 1881/190 CT 4268/761		1095
111-117 Halifax Street 1-7 Stephen Street ADELAIDE	Row Houses			CT 0107/60		1096
193 Halifax Street, 2-8 Castle Street ADELAIDE	House			CT 1713/53		1009
196-198 Halifax Street ADELAIDE	Attached Houses			CT 3384/25		1010
200 Halifax Street ADELAIDE	House			CT 2961/26		1011
206-208 Halifax Street ADELAIDE	House			CT 4141/572 CT 4141/571		1012
212-214 Halifax Street ADELAIDE	House			CT 2630/27		1013
216-218 Halifax Street ADELAIDE	House			CT 4259/343		1014
298 Halifax Street ADELAIDE	House			CT 2210/85		881

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
300 Halifax Street ADELAIDE	House			CT 4305/232		882
302-304 Halifax Street ADELAIDE	House			CT 2130/67		883
306-310 Halifax Street 33-39 Kate Court ADELAIDE	House			CT 2135/196		884
314-316 Halifax Street 34-40 Kate Court ADELAIDE	House			CT 1618/173		885
315 Halifax Street ADELAIDE	House			CT 4177/404		886
317-319 Halifax Street ADELAIDE	Attached Houses			CT 4293/745 CT 2724/116		887
318-320 Halifax Street ADELAIDE	Attached Houses			CT 4379/43 CT 4046/37		888
321-323 Halifax Street ADELAIDE	House			CT 0100/92		889
322-324 Halifax Street ADELAIDE	Attached Houses			CT 3004/54 CT 3004/55		890
325 Halifax Street ADELAIDE	House			CT 4364/320		891
327 Halifax Street 1-7 Power Street ADELAIDE	House			CT 4364/321		892
344-346 Halifax Street ADELAIDE	Attached Houses			CT 2639/171 CT 2639/172		893
345 Halifax Street ADELAIDE	Attached House			CT 4341/312		894
348 Halifax Street ADELAIDE	Attached Houses			CT 1646/199		895
350 Halifax Street ADELAIDE	House			CT 0175/202		896
351-353 Halifax Street ADELAIDE	Attached Houses			CT 4341/310 CT 4341/309		897
354 Halifax Street ADELAIDE	House			CT 2442/87		898
356-358 Halifax Street, 33-39 Tomsey Street ADELAIDE	House			CT 4170/922		899
357-361 Halifax Street ADELAIDE	Attached Houses			CT 2559/7 CT 4065/797		900
363-367 Halifax Street, 1-9 St. John Street ADELAIDE	Attached Houses			CT 4156/760 CT 4396/823		901
364-366 Halifax Street, 36-40 Tomsey Street ADELAIDE	former Shop and Residence			CT 4251/559 CT 4251/560		902
376 Halifax Street ADELAIDE	House			CT 1825/100		903
380 Halifax Street ADELAIDE	House			CT 3144/166		904
15 Hallett Street ADELAIDE	House			CT 1132/152		1097
21-21a Hallett Street ADELAIDE	Attached Houses			CT 2352/41 CT 2496/46		1098
22-24 Hallett Street ADELAIDE	Attached Houses			CT 4006/613 CT 3894/67		1100
23-25 Hallett Street ADELAIDE	Attached Houses			CT 2423/7 CT 2423/8		1099
26 Hallett Street ADELAIDE	House			CT 2560/77		1101
28-30 Hallett Street ADELAIDE	Attached Houses			CT 2775/13 CT 2204/116		1102
32-34 Hallett Street ADELAIDE	Attached Houses			CT 4220/691 CT 4220/692		1103
32 Halls Place, 22-30 Halls Place ADELAIDE	Attached Houses			CT 2544/141 CT 2544/140		1199

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
14-14a Hamilton Place ADELAIDE	Attached Houses			CT 4340/318		1119
17 Hamilton Place ADELAIDE	House			CT 1993/26		1120
18 Hamilton Place ADELAIDE	Attached House			CT 1577/72		1121
18a-20 Hamilton Place ADELAIDE	Attached Houses			CT 2405/178 CT 2405/179		1122
14-16 Harriett Street ADELAIDE	Attached Houses			CT 4006/706 CT 3698/147		1015
18-20 Harriett Street ADELAIDE	Attached Houses			CT 4176/223 CT 2272/23		1016
22-24 Harriett Street ADELAIDE	Attached Houses			CT 2183/154 CT 2183/155		1017
26-28 Harriett Street ADELAIDE	Attached Houses			CT 1161/177		1018
32 Harriett Street ADELAIDE	House			CT 4332/452		1019
12-14 Hindley Street 33-30 Gresham Street ADELAIDE	Former Miller Anderson Building			CT 5087/668		97
13-15 Hindley Street 2-8 Gilbert Street ADELAIDE	Paringa Building			CT 4205/856		98
16-22 Hindley Street ADELAIDE	Former Miller Anderson Building			CT 5236/300		99
42-46 Hindley Street 32-40 Bank Street ADELAIDE	Restaurant			CT 4141/985		100
73 Hindley Street ADELAIDE	Shop			CT 1929/57		101
73a Hindley Street ADELAIDE	Shop			CT 4107/477		102
111-115 Hindley Street 1-11 Rosina Street ADELAIDE	Rio's Nightclub			CT 4302/295		103
125-127 Hindley Street ADELAIDE	Royal Admiral Hotel			CT 4308/149		104
160-162 Hindley Street 34-40 Morphett Street ADELAIDE	New Century Hotel			CT 4354/543		105
15-23 Hurtle Square ADELAIDE	Terrace House			CT 4314/715 CT 277/70 CT 4314/714 CT 4314/716		1079
29-31 Hurtle Square ADELAIDE	Terrace House			CT 4155/515		1080
95-99 Hutt Street ADELAIDE	Feeney House			CT 732/125		21946
122-130 Hutt Street 301-303 Angas Street ADELAIDE	Former House			CT 5795/386 NUA 425/1		251
143-147 Hutt Street, 33-39 Hume Street ADELAIDE	Dormer House			CT 2487/156		282
168-170 Hutt Street ADELAIDE	Terrace Shops			CT 4379/191		283
178 Hutt Street ADELAIDE	Terrace Shop			CT 4395/258		284
198a Hutt Street ADELAIDE	Terrace Shop and Residence			CT 3181/145		285
200 Hutt Street ADELAIDE	Shop			CT 5233/818		286
227-229 Hutt Street ADELAIDE	Attached Houses			CT 2434/49 CT 2434/50		287
254 Hutt Street ADELAIDE	House			CT 1631/44		288
258 Hutt Street ADELAIDE	House			CT 1631/44		1575
260 Hutt Street ADELAIDE	House			CT 1631/44		289

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
10-16 James Street ADELAIDE	Row Houses			CT 4064/700 CT 4367/790 CT 2428/8 CT 2428/10		905
18-18a James Street ADELAIDE	Attached House			CT 3160/18 CT 3160/19		906
20 James Street ADELAIDE	Attached House			CT 2197/52		907
22 James Street ADELAIDE	Attached House			CT 4219/61		908
12 Kate Court ADELAIDE	Attached House			CT 4200/309		909
14 Kate Court ADELAIDE	Attached House			CT 2524/161		910
17 Kate Court ADELAIDE	House			CT 1825/79		911
18-20 Kate Court ADELAIDE	House			CT 3897/46		912
19 Kate Court ADELAIDE	House			CT 2348/31		913
21-21a Kate Court ADELAIDE	Attached Houses			CT 2241/162 CT 2241/163		914
22-26 Kate Court ADELAIDE	Row Houses			CT 15/869 CT 2217/34 CT 4045/387		915
23-25 Kate Court ADELAIDE	Attached Houses			CT 3559/160 CT 2038/13		916
27-29 Kate Court ADELAIDE	House			CT 4390/912		917
28-30 Kate Court ADELAIDE	Attached Houses			CT 2128/25 CT 2128/26		918
13-13a & 17 Kenton Street ADELAIDE	Row Houses			CT 5296/781 CT 5729/333 CT 5739/964		1076
14 Kenton Street ADELAIDE	House			CT 5442/292		1077
111 King William Street ADELAIDE	Office (former Mutual Chambers)			CT 2055/83		93
262-300 King William Street ADELAIDE	Court building			NUA 0409/1		17463
318-320 King William Street 2-10 Carrington Street ADELAIDE	Former Kings Hall			CT 5010/375 CT 5010/377 CT 5010/378 CT 5010/379 CT 5010/376		135
13-17 Leigh Street ADELAIDE	Aston House			CT 5509/937		106
14 Leigh Street ADELAIDE	Part shop (part former Hooper's)			CT 5509/941		107
20-24 Leigh Street ADELAIDE	Leigh Chambers			CT5509/943	a	27073
27 Leigh Street ADELAIDE	Woodchester House			CT 5509/939		122
12 Little Gilbert Street ADELAIDE	House			CT 1616/7		1200
13 Little Gilbert Street ADELAIDE	House			CT 4178/241		1201
14-16 Little Gilbert Street ADELAIDE	Attached Houses			CT 3685/199		1202
18 Little Gilbert Street ADELAIDE	House			CT 3408/186		1203
25 Little Gilbert Street ADELAIDE	House			CT 2153/183		1204
29 Little Gilbert Street ADELAIDE	House			CT 1499/181		1205

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
30 Little Gilbert Street ADELAIDE	House			CT 4063/245		1206
31 Little Gilbert Street ADELAIDE	House			CT 4166/149		1207
32 Little Gilbert Street ADELAIDE	House			CT 4354/233		1208
33 Little Gilbert Street ADELAIDE	House			CT 4362/157		1209
10-12 Little Sturt Street ADELAIDE	Attached Houses			CT 3281/190 CT 3787/42		1210
16 Little Sturt Street ADELAIDE	Attached House			CT 2275/14		1211
16a Little Sturt Street ADELAIDE	House			CT 3022/22		1212
17-19 Little Sturt Street ADELAIDE	House			CT 4377/810 CT 4377/811		1213
18-20 Little Sturt Street ADELAIDE	Attached Houses			CT 2916/9 CT 2916/10		1214
21 Little Sturt Street ADELAIDE	House			CT 4377/813		1215
22-26 Little Sturt Street ADELAIDE	Row Houses			CT 4125/792 CT 4155/594 CT 1870/186		1216
27 Little Sturt Street ADELAIDE	House			CT 4306/739		1217
10-12 Louisa Street ADELAIDE	Attached Houses			CT 3338/149		1020
14-20 Louisa Street ADELAIDE	Row Houses			CT 3797/112 CT 4202/908 CT 4256/748 CT 1760/135		1021
17 Louisa Street, 32-40 Charlotte Place ADELAIDE	House			CT 2594/66		1022
26-28 Louisa Street ADELAIDE	Attached Houses			CT 0810/95 CT 1926/128		1023
13-15 Marion Street ADELAIDE	Row Houses			CT 4311/166 CT 4270/283 CT 4351/224		919
19 Marion Street ADELAIDE	House			CT 4029/452		920
21-23 Marion Street ADELAIDE	Attached Houses			CT 2394/20 CT 2059/88		921
24-26 Marion Street ADELAIDE	Attached Houses			CT 4008/933 CT 4008/932		922
27-29 Marion Street ADELAIDE	House			CT 1808/153		923
28 Marion Street ADELAIDE	House			CT 4155/354		924
30 Marion Street ADELAIDE	House			CT 4217/590		925
20 Market Street ADELAIDE	Attached House			CT 5089/22		221
22 Market Street ADELAIDE	Attached House			CT 5089/23		222
24 Market Street ADELAIDE	House			CT 4088/953		223
26-30a Market Street ADELAIDE	Row Houses			CT 4375/46 CT 2233/167 CT 4396/333		224
18-24 Maxwell Street ADELAIDE	Row Houses			CT 2710/155 CT 2686/4 CT 2694/176 CT 2710/154 CT 4089/849		1218

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
26 Maxwell Street, 22-30 O'Brien Street ADELAIDE	House			CT 4103/654		1219
28-32 Maxwell Street ADELAIDE	Row Houses			CT 2481/151 CT 4131/189 CT 1664/113		1220
34-36 Maxwell Street ADELAIDE	Attached Houses			CT 2181/87 CT 2181/88		1221
38 Maxwell Street, 22-30 O'Brien Street ADELAIDE	House			CT 0374/89		1222
5 McLaren Street ADELAIDE	House			CT 2860/81		1024
7 McLaren Street ADELAIDE	House			CT 2355/194		1025
8-10 McLaren Street ADELAIDE	Attached Houses			CT 4202/355 CT 4196/110		1026
9-11 McLaren Street ADELAIDE	Attached Houses			CT 4321/974 CT 2346/35		1027
12 McLaren Street ADELAIDE	House			CT 4196/109		1028
13-15 McLaren Street ADELAIDE	Attached Houses			CT 4242/377 CT 4242/378		1029
17-19 McLaren Street ADELAIDE	Attached Houses			CT 2403/169 CT 2403/170		1030
18 McLaren Street ADELAIDE	House			CT 4196/105		1031
20-22 McLaren Street ADELAIDE	House			CT 3958/128		1032
21-23 McLaren Street ADELAIDE	Attached Houses			CT 5011/911 CT 5011/912 CT 5011/913		1033
24 McLaren Street ADELAIDE	House			CT 2078/187		1034
25-35 McLaren Street ADELAIDE	Row Houses			CT 3181/111 CT 3161/185 CT 3181/112 CT 3173/80 CT 4101/738		1035
28-30 McLaren Street ADELAIDE	Attached Houses			CT 4200/274 CT 4044/11		1036
32 McLaren Street ADELAIDE	House			CT 4345/525		1037
38-40 McLaren Street ADELAIDE	Attached Houses			CT 4327/474 CT 4389/53		1038
42-44 McLaren Street ADELAIDE	Attached Houses			CT 4065/592 CT 4141/760		1039
48 McLaren Street ADELAIDE	House			CT 4395/790		1040
49-51 McLaren Street ADELAIDE	Row Houses			CT 4232/57 CT 3203/100 CT 4232/59		1041
50-52 McLaren Street ADELAIDE	Row Houses			CT 3222/67 CT 3222/69 CT 4357/872		1042
53-55 McLaren Street, 103-107 Cardwell Street ADELAIDE	Attached Houses			CT 4232/60 CT 4232/61		1043
54-56 McLaren Street, 91-99 Cardwell Street ADELAIDE	Attached Houses			CT 4063/336 CT 4063/337		1044
61-63 McLaren Street, 104-108 Cardwell Street ADELAIDE	Attached Houses			CT 564/124 CT 2149/81		1045

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
62 McLaren Street , 92-100 Cardwell Street ADELAIDE	House			CT 2713/92		1046
64 McLaren Street ADELAIDE	House			CT 1846/27		1047
65 McLaren Street ADELAIDE	House			CT 0566/93		1048
66 McLaren Street ADELAIDE	House			CT 3438/20		1049
68 McLaren Street ADELAIDE	House			CT 4308/87		1050
71-73 McLaren Street ADELAIDE	Attached Houses			CT 4189/709 CT 2095/47		1051
80-82 McLaren Street ADELAIDE	Attached Houses			CT 4087/53 CT 4277/782		1052
81 McLaren Street ADELAIDE	House			CT 2656/34		1053
84 McLaren Street ADELAIDE	House			CT 1982/35		1054
86-88 McLaren Street ADELAIDE	Attached Houses			CT 4348/171 CT 2400/157		1055
10-14 Millers Court ADELAIDE	Westcare Mission			CT 1857/34		1605
5-11 Mocatta Place ADELAIDE	Terrace House			CT 5104/838		1104
247 Morphett Street ADELAIDE	Halifax House			CT 5647/507		21947
11-19 Murrays Lane ADELAIDE	Row Houses			CT 4100/434 CT 2783/195 CT 4195/7 CT 2803/21 CT 4100/435 CT 4203/6		1223
12-14 Murrays Lane ADELAIDE	Row Houses			CT 4059/93 CT 4059/94 CT 4059/95		1224
16-20 Murrays Lane ADELAIDE	Row Houses			CT 4059/96 CT 4059/97 CT 4059/98		1225
196 North Terrace ADELAIDE	Tobin House			CT 4331/706		89
27 O'Brien Street ADELAIDE	House			CT 4315/231		1226
11-13 Oakley Street ADELAIDE	Attached House			CT 2305/107		198
12 Oakley Street ADELAIDE	Row House			CT 1915/28		199
15 Oakley Street ADELAIDE	Attached House			CT 4305/189		200
17 Oakley Street ADELAIDE	Attached House			CT 4035/235		201
17a Oakley Street ADELAIDE	Attached House			CT 0680/192		202
19 Oakley Street ADELAIDE	Attached House			CT 2415/126		204
20 Oakley Street ADELAIDE	Row House			CT 1763/13		203
21 Oakley Street ADELAIDE	Attached House			CT 2415/127		205
23a Oakley Street ADELAIDE	Attached House			CT 2505/180		206
25 Oakley Street ADELAIDE	Attached House			CT 2482/170		207
27 Oakley Street ADELAIDE	Attached House			CT 2482/169		208
51 Pirie Street ADELAIDE	Bank			CT 4233/179		127
248 Pirie Street ADELAIDE	Former Hotel			CT 0820/4		244
11-19 Princess Street ADELAIDE	Attached Houses			CT 5783/118		234
20 Princess Street ADELAIDE	House			CT 4116/581		236
5-9 Prospect Place ADELAIDE	House			CT 4250/845		1569

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
431-435 Pulteney Street ADELAIDE	former House			CT 4244/689		1081
437-439 Pulteney Street, 152-160 Gilles Street ADELAIDE	Astor Hotel			CT 4287/653		1082
11-19 Regent Street North ADELAIDE	Row House			CT 5599/278		21945
21 Regent Street ADELAIDE	House			CT 3282/157		1056
23 Regent Street ADELAIDE	House			CT 4110/691		1057
25 Regent Street ADELAIDE	House			CT 4110/692		1058
27 Regent Street ADELAIDE	Shop			CT 1392/133		1059
29 Regent Street ADELAIDE	former House			CT 2551/187		1060
59 Regent Street South ADELAIDE	Box Factory Community Centre			CT 4197/727		1595
61-65 Regent Street South ADELAIDE	Row Houses			CT 4197/727		1596
67 Regent Street South ADELAIDE	House			CT 4197/727		1597
27-29 Roper Street ADELAIDE	Former Wheelwright Arms Hotel (Designated site comprises that part of the CT to a depth of half Town Acre 299 from the Wakefield Street alignment)			CT 4196/399		1570
9 Royal Avenue ADELAIDE	House			CT 4031/614		926
10 Royal Avenue ADELAIDE	House			CT 4388/705		927
13 Royal Avenue ADELAIDE	House			CT 1714/117		928
14 Royal Avenue ADELAIDE	House			CT 4245/983		929
16 Royal Avenue ADELAIDE	House			CT 5077/243		17459
17 Royal Avenue ADELAIDE	House			CT 1771/31		930
18 Royal Avenue ADELAIDE	House			CT 1750/113		931
21 Royal Avenue ADELAIDE	House			CT 3630/152		932
22 Royal Avenue ADELAIDE	House			CT 2444/4		933
23 Royal Avenue ADELAIDE	House			CT 3710/72		934
24 Royal Avenue ADELAIDE	House			CT 2702/120		935
25 Royal Avenue ADELAIDE	House			CT 5242/349		17460
26 Royal Avenue ADELAIDE	House			CT 5851/620		17461
27 Royal Avenue ADELAIDE	House			CT 4183/592		936
28 Royal Avenue ADELAIDE	House			CT 2100/123		937
21-23 Rundle Mall ADELAIDE	Former Sturt Theatre			CT 1855/155		114
41 Rundle Mall ADELAIDE	Shop			CT 3683/106		115
99a Rundle Mall ADELAIDE	Shop			CT 3522/51		116
124-126 Rundle Mall ADELAIDE	Shop			CT 4038/563		117
128-130 Rundle Mall ADELAIDE	Richmond Arcade and Hotel			CT 4278/679		118
198-200 Rundle Street ADELAIDE	Shops			CT 1815/76 CT 4128/475		170
214a-216 Rundle Street ADELAIDE	Shops			CT 4147/200		171

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
218 Rundle Street 35-39 Frome Street ADELAIDE	Restaurant			CT 1732/108		172
227 Rundle Street ADELAIDE	Shop			CT 1446/57		173
244 Rundle Street ADELAIDE	Shop			CT 4040/485		174
252 Rundle Street ADELAIDE	Former Westpac Bank			CT 4375/144		175
258-258a Rundle Street ADELAIDE	Shops			CT 4375/146		176
284 Rundle Street ADELAIDE	Restaurant			CT 5172/550		177
296-298 Rundle Street ADELAIDE	Shops			CT 4388/396		178
15 Russell Street ADELAIDE	Row House			CT 3229/39		1123
17 Russell Street ADELAIDE	Row House			CT 3266/191		1124
19 Russell Street ADELAIDE	Row House			CT 3229/40		1125
31 Russell Street ADELAIDE	House			CT 3558/126		1126
2 Sanders Place ADELAIDE	House			CT 4123/142		1600
3-7 Sanders Place ADELAIDE	Row Houses			CT 2044/50 CT 4073/23 CT 2045/172		1107
6-10 Sanders Place ADELAIDE	Row Houses			CT 2211/166 CT 2211/165 CT 2211/167		1105
36-38 Sanders Place ADELAIDE	Row Houses			CT 4132/889 CT 4367/449		1106
253 South Terrace ADELAIDE	Former House			CT 4007/955		951
257-260 South Terrace ADELAIDE	Terrace House			CT 4052/882 CT 2750/134		952
307-309 South Terrace 32-40 Blackburn Street ADELAIDE	House			CT 1281/124		953
15 St John Street ADELAIDE	House			CT 4379/546		938
19 St John Street ADELAIDE	House			CT 4015/31		939
21 St John Street ADELAIDE	House			CT 4108/400		940
22 St John Street ADELAIDE	House			CT 1474/37		941
24 St John Street ADELAIDE	House			CT 1161/52		942
29 St John Street ADELAIDE	House			CT 2131/54		943
11-15 St. Lukes Place ADELAIDE	Row Houses			CT 2477/91		1227
1-7a Stafford Street 22-26 Owen Street ADELAIDE	Row Houses			CT 1907/32		1127
11 Stafford Street ADELAIDE	House			CT 3236/12		1128
11-19 Stephens Street ADELAIDE	Row Houses			CT 4021/349 CT 2083/135 CT 1167/51 CT 3663/106 CT 1929/23		1108
18-20 Stephens Street ADELAIDE	House			CT 2123/199 CT 2123/198		1109
21 Stephens Street ADELAIDE	House			CT 2177/185		1110
22-28 Stephens Street, 24-28 Sanders ADELAIDE	Place Row Houses			CT 2062/119 CT 4318/769 CT 1127/24 CT 2398/103		1111

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
23-25 Stephens Street, 16-20 Sanders Place ADELAIDE	Attached Houses			CT 2159/98 CT 3427/3		1112
29-33 Stephens Street, 17-19 Sanders Place ADELAIDE	Row Houses			CT 2863/95 CT 3635/66 CT 3635/67		1113
94 Sturt Street, 33-39 Russell Street ADELAIDE	Former Hotel			CT 3558/129		1129
117-121 Sturt Street ADELAIDE	Attached Houses			CT 4216/133 CT 3823/11		1131
122 Sturt Street ADELAIDE	House			CT 2581/7		1132
124 Sturt Street ADELAIDE	House			CT 2297/152		1133
156-158 Sturt Street ADELAIDE	Attached Houses			CT 2206/109		1228
162 Sturt Street, 32-40 George Court ADELAIDE	Former House			CT 2229/99		1229
181-183 Sturt Street ADELAIDE	Former Shop and Residence			CT 4203/685		1230
188-190 Sturt Street, 39 Gray Court ADELAIDE	Former Shop and Residence			CT 4196/400		1231
193, Sturt Street 1-7 Little Gilbert Street ADELAIDE	House			CT 4204/31		1232
218-220 Sturt Street ADELAIDE	House			CT 0629/31		1233
222 Sturt Street ADELAIDE	House			CT 4218/866		1234
226 Sturt Street ADELAIDE	House			CT 1069/76		1235
228 Sturt Street, 2-10 Arthur Street ADELAIDE	House			CT 3592/57		1236
241-243 Sturt Street ADELAIDE	Former Attached Houses			CT 1946/191		1606
57 Symonds Place ADELAIDE	House			CT 1124/79		1114
47-51 Tam-O-Shanter Place 22-26 Devonshire Place ADELAIDE	ETSA Warehouse			CT 1833/70		248
20-22 Tomsey Street ADELAIDE	Attached Houses			CT 4151/563 CT 3647/168		944
32 Tucker Street ADELAIDE	House			CT 4295/25		245
38 Tucker Street ADELAIDE	House			CT 4008/43		246
44 Tucker Street ADELAIDE	House			CT 4249/104		247
11-29 Union Street ADELAIDE	Market Facade (designated site comprises that part of the CT to a depth of 4 metres from the Union Street alignment)			CT 4266/681		1346
22-24 Vincent Street ADELAIDE	Attached Houses			CT 2453/29 CT 2453/30		945
24a Vincent Street ADELAIDE	Attached House			CT 3457/72		946
25 Vincent Place ADELAIDE	House			CT 4360/809		947
26 Vincent Street ADELAIDE	Attached House			CT 4357/73		948
28-30 Vincent Street ADELAIDE	Attached Houses			CT 4183/831 CT 4183/830		950
74-78 Wakefield Street 29-39 Divett Place ADELAIDE	Wakefield Hotel			CT 4296/609		237

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
267-271 Wakefield Street ADELAIDE	House			CT 4352/792		240
273-275 Wakefield Street ADELAIDE	House			CT 1971/169		241
281-285 Wakefield Street ADELAIDE	Office (former house) designated site comprises that part of the CT to a depth of half town acre 352 from the Wakefield Street alignment			CT 2223/105		242
11-13 Wakeham Street ADELAIDE	Attached Houses			CT 4221/767 CT 4221/766		1061
15-19a Wakeham Street ADELAIDE	Row Houses			CT 4070/462 CT 4165/174 CT 4100/805 CT 4280/980 CT 2276/129		1062
123 Waymouth Street 2-10 Cannon Street ADELAIDE	Shakespeare Chambers			CT 4192/218		140
190-194 Waymouth Street ADELAIDE	Offices			CT 4219/623		141
251 Waymouth Street 2-8 Shannon Place ADELAIDE	Former Warehouse			CT 3677/145		209
268 Waymouth Street ADELAIDE	House			CT 0328/64		210
284-286 Waymouth Street ADELAIDE	Former West Terrace Hotel; Prince Court			CT 4211/972		211
11-15 Weil Street ADELAIDE	Row Houses			CT 4170/849 CT 4159/585 CT 4170/848 CT 4170/850		1237
14 Weil Street ADELAIDE	Attached House			CT 2231/120		1238
14a-16 Weil Street ADELAIDE	Attached Houses			CT 2410/172 CT 4272/407		1239
22 Whitmore Square ADELAIDE	Former Terrace House			CT 3355/195		1136
24-28 Whitmore Square ADELAIDE	Former Terrace House			CT 3355/195		1137
30-36 Whitmore Square ADELAIDE	Former Terrace House			CT 2416/195 CT 2416/196 CT 4050/200 CT 4050/199		1138
62-70 Whitmore Square ADELAIDE	William Booth Home			CT 4349/983		1601
72-74 Wright Street 35-39 Market Street ADELAIDE	Office (Former Deaf and Dumb Mission)			CT 4346/353		1706
88 Wright Street 34-40 Compton Street ADELAIDE	Old Queens Arms Hotel			CT 4254/652		225
89 Wright Street 2-4 Russell Street ADELAIDE	Former Shop			CT 1920/9		1134
116 Wright Street ADELAIDE	House			CT 4228/990		212
119-121 Wright Street ADELAIDE	Former Row Houses			CT 4245/892 CT 4245/893 CT 4245/891		1135
120 Wright Street ADELAIDE	House			CT 4228/991		213

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
122-124 Wright Street ADELAIDE	House			CT 5150/979		214
134 Wright Street ADELAIDE	House			CT 0238/227		215
162-170 Wright Street 317-319 Morphett Street ADELAIDE	Gothic Hotel			CT 4369/543		1139
174-180 Wright Street, 33-39 Bartels Street ADELAIDE	Former Attached Houses			CT 5365/816		1140
202-212 Wright Street, 2-10 Millers Court ADELAIDE	Row Houses			CT 1857/34		1607
215 Wright Street ADELAIDE	House			CT 1757/45		1240
216 Wright Street, 1-9 Millers Court ADELAIDE	Former House			CT 4312/173		1241
217 Wright Street ADELAIDE	House			CT 0488/6		1242
218 Wright Street ADELAIDE	Former House			CT 0701/81		1243
219-219a Wright Street ADELAIDE	Row Houses			CT 2331/195 CT 2331/196		1244
221 Wright Street ADELAIDE	House			CT 4375/220		1245
261-275 Wright Street ADELAIDE	Row Houses			CT 2114/143 CT 2119/62 CT 2119/63 CT 2119/64 CT 2114/144 CT 2119/65		1246
279-291 Wright Street ADELAIDE	Row Houses			CT 4063/84 CT 4063/85 CT 4063/88 CT 4063/89 CT 4341/975		1247

TABLE Adel/4

Local Heritage Places (City Significance)

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
154-160 Carrington Street ADELAIDE	Terrace House			CT 2691/167		1083
* 14-18a Claxton Street ADELAIDE	Row Houses			CT 2835/189 CT 2835/190 CT 2835/191 CT 2835/192		1248
* 20 Claxton Street ADELAIDE	House			CT 1579/18		1249
* 22-24 Claxton Street ADELAIDE	Semi-detached Houses			CT 4326/920 CT 4326/919		1250
* 26 Claxton Street ADELAIDE	House			CT 4262/324		1251
* 28 Claxton Street ADELAIDE	House			CT 4341/144		1252
* 32 Claxton Street ADELAIDE	House			CT 1805/137		1253
8 Compton Street ADELAIDE	Former Shop			CT 3353/66		159
42-48 Currie Street ADELAIDE	Anglican Church Office (formerly Bickfords Building) (Conservation site comprises that part of the GM reference east of the Leigh Street alignment)			CT 5572/507 GM 240/1		126
corner East Terrace and Botanic Road, Rundle Park ADELAIDE	War Horse Memorial Trough and Obelisk					1609
25 Eliza Street ADELAIDE	Workshop			CT 3658/66		160
142-160 Flinders Street ADELAIDE	Former St Paul's Rectory			CT 4334/432		1598
217-219 Flinders Street ADELAIDE	Offices and Laboratories (Flinders Hall Former St Paul's School)			CT 4171/478		249
88-92 Franklin Street ADELAIDE	Hotel Franklin			CT 4259/530		161
* 285-291 Gilbert Street ADELAIDE	Terrace Houses			CT 2268/16 CT 2279/50 CT 4249/220		1254
* 293 Gilbert Street ADELAIDE	House			CT 1104/197		1255
* 294-300 Gilbert Street ADELAIDE	Mark's Cottages			CT 688/171		1256
265-269 Gilles Street ADELAIDE	Shop and Terrace Houses			CT 2008/91 CT 2008/90 CT 3963/102		1063
* 309-315 Gilles Street ADELAIDE	Terrace Houses			CT 3918/49 CT 3918/50 CT 3918/51 CT 3918/52		290
440 Gilles Street ADELAIDE	House			CT 1225/84		827
Gouger Street ADELAIDE	The Central Market (Former City Market Buildings) (Conservation site comprises that part of the CT to a 12 metre depth of Town Acre 380 from the Gouger Street alignment)			CT 4349/599		1567
122-130 Gouger Street ADELAIDE	Shops and Studio			CT 4340/584 CT 4050/580		163

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
11-19 Gray Street ADELAIDE	Row Houses			CT 4257/957		144
20 Gray Street ADELAIDE	Row House			CT 3553/105		145
22 Gray Street ADELAIDE	Row House			CT 3486/121		146
24 Gray Street ADELAIDE	Row House			CT 3493/168		147
26 Gray Street ADELAIDE	Row House			CT 3418/127		148
28 Gray Street ADELAIDE	Row House			CT 3359/54		149
30 Gray Street ADELAIDE	Row House			CT 3310/14		150
63-69 Grenfell Street ADELAIDE	Wiggs' Building			CT 4257/465		131
134-140 Grenfell Street ADELAIDE	Hindmarsh Buildings			CT 1472/33		167
Grote Street ADELAIDE	The Central Market (Former City Market Buildings) (Conservation site comprises that part of the CT to a 12 metre depth of Town Acre 333 from the Grote Street alignment)			CT 4349/599		1568
96-100 Grote Street ADELAIDE	Church of Christ and Church Hall			CT 1751/38		1566
116 Grote Street ADELAIDE	Office and Hall (Former Seventh Day Adventist Church and Liquor Trades Hall)			CT 981/187		162
Hackney Road Botanic Park ADELAIDE	Carriageway entrance gates					1264
86-88 Halifax Street ADELAIDE	Attached Houses			CT 1172/62 CT 1172/61		1115
171-173 Halifax Street ADELAIDE	Offices (former Shop)			CT 4127/883		1064
* 274-280 Halifax Street 199 Hutt Street ADELAIDE	Shops and Offices			CT 4197/782		291
25-27 Harriett Street ADELAIDE	House			CT 1651/23		1065
17-19 Hindley Street ADELAIDE	Tattersalls Hotel			CT 3712/30		109
21-23a Hindley Street ADELAIDE	Adelaide City Central Motel (former Wine Saloon)			CT 4196/946 CT 4320/636		110
58-60 Hindley Street ADELAIDE	Princes Berkeley Hotel			CT 3868/114		111
74-78 Hindley Street ADELAIDE	Shops			CT 4322/182		112
280-290 Hindley Street ADELAIDE	Canadian Lodge			CT 2567/118		151
36-40 Hindmarsh Square ADELAIDE	Griffin's Head Hotel			CT 4197/957		166
101-119 Hutt Street ADELAIDE	Naval Military & Air Force Club			CT 5623/432		1571
* 201 Hutt Street ADELAIDE	House			CT 3270/178		292
* 205 Hutt Street ADELAIDE	House			CT 2384/139		293
* 213 Hutt Street ADELAIDE	House			CT 1569/109		294
* 215 Hutt Street ADELAIDE	House			CT 2384/140		295
King William Road Elder Park ADELAIDE	Memorial to Jah Gardener					1260

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
2-12 King William Street ADELAIDE	Westpac Bank (former Bank of New South Wales)			CT 1753/82		90
29-31a King William Street ADELAIDE	Former Kithers Building			CT 4201/12		94
107-109 King William Street ADELAIDE	Ambassadors Hotel			CT 1983/40		95
302 King William Street ADELAIDE	Attached Shop			CT 2121/126		136
302a King William Street ADELAIDE	Attached Shop			CT 2121/127		137
304 King William Street ADELAIDE	Attached Shop			CT 2121/129		138
304a & 306 King William Street ADELAIDE	Attached Shop			CT 2121/128		139
401 King William Street ADELAIDE	Brecknock Hotel			CT 4185/231		228
18 Leigh Street ADELAIDE	Restaurant			CT 5509/944		113
9-19 Light Square ADELAIDE	Former Goldsbrough Mort Warehouse			CT 4183/840		142
21 Market Street ADELAIDE	Adelaide Democratic Club			CT 2631/163		226
274-276 Morphett Street ADELAIDE	Attached Shops (Excludes that part of the CT to a depth of 15.5 metres from the Gouger Street alignment)			CT 4198/553		164
293 Morphett Street ADELAIDE	House and Former Shop			CT 3658/43		216
North Terrace ADELAIDE	*Government House Gate House, Piers and Walling			CT 5760/637		1572
82-90 North Terrace ADELAIDE	Holy Trinity Church Hall			CT 3452/150		91
182-184 North Terrace ADELAIDE	Queen Adelaide Club			CT 1376/39		1564
* 29-31 O'Brien Street ADELAIDE	Keith Sheridan and Simpson Cottages			CT 688/171		1257
31-35 Pirie Street ADELAIDE	Epworth Building			CT 3752/40		128
261-269 Pirie Street ADELAIDE	Tivoli Hotel			CT 4092/842		250
192-200 Pulteney Street ADELAIDE	Former Saint Paul's Anglican Church			CT 4334/432		239
316-320 Pulteney Street ADELAIDE	Earl of Aberdeen Hotel			CT 5122/148		1084
22-26 Queen Street ADELAIDE	Terrace Houses			CT 2077/104 CT 4048/180 CT 2160/31		1116
26-30 Roper Street ADELAIDE	Offices (Former Blacksmith's Shop) (Conservation site comprises that part of the CT to a depth of half Town Acre 298 from the Roper Street alignment)			CT 3305/150		238
6a-8 Rundle Mall ADELAIDE	Shops and Offices			CT 1686/63		96
57 Rundle Mall ADELAIDE	Birk's Building			CT 5509/467		119
229a Rundle Street ADELAIDE	Shops and Offices			CT 1500/99		179

Property Address	Description of Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPTI ID
231a and b Rundle Street ADELAIDE	Shops and Offices			CT 1493/91		180
233a Rundle Street ADELAIDE	Shops and Offices			CT 1405/124		181
235 Rundle Street ADELAIDE	Shops and Offices			CT 1405/123		182
235a Rundle Street ADELAIDE	Shops and Offices			CT 1405/122		183
237 Rundle Street ADELAIDE	Shops and Offices			CT 1504/23		184
246-248 Rundle Street ADELAIDE	Exeter Hotel			CT 4144/751		185
271-273 Rundle Street ADELAIDE	Former ANZ Bank			CT 1207/25		186
South Terrace South Park Lands ADELAIDE	Glover Playground Pavilion					1608
174 South Terrace ADELAIDE	House			GM 153/438		1117
205 South Terrace ADELAIDE	Former House (part Pulteney Grammar School)			CT 3544/48		1118
2-8 Spencer Street ADELAIDE	Outbuilding			CT 4282/272		217
* 175-177 Sturt Street ADELAIDE	Shop			CT 3597/30		1258
* 221-239 Sturt Street ADELAIDE	Former Sturt Street School			NUA 0547/1		1259
152-160 Wakefield Street ADELAIDE	St Stephen's Lutheran Church			CT 606/15		243
14-16 Wakeham Street ADELAIDE	Semi-detached Houses and Walling			CT 162/105 CT 164/228 CT 2539/160		1066
21-21a Wakeham Street ADELAIDE	Semi-detached House,			CT 2505/176 CT 2453/44		1067
23-25 Wakeham Street ADELAIDE	Semi-detached Houses			CT 2475/100 CT 2562/2		1068
82 Waymouth Street ADELAIDE	Former Tolley's Warehouse			CT 4316/427		123
127-133 Waymouth Street ADELAIDE	Federation Trading (former Aerated Bread Factory)			CT 4186/236		143
261-265 Waymouth Street ADELAIDE	Shops (Former Terrace Houses)			CT 1816/177		219
273-277 Waymouth Street ADELAIDE	Shop and Residence			CT 4282/271 CT 4282/270		218
* 31-39 Whitmore Square , 142-152 Sturt Street ADELAIDE	St Luke's Rectory			CT 642/85		1602
Sir Edwin Smith Avenue Angas Gardens NORTH ADELAIDE	Statue of His Majesty King George V and Pedestal					1265
Victor Richardson Road , off King William Road, Adelaide Oval NORTH ADELAIDE	Victor Richardson Gates					1610

TABLE Adel/5

Significant Trees

Property Address	Certificate of Title	Location on site	Tree Ref No	Species and common name	Section 23(4a) Criteria
Naval, Military and Airforce Club, 282 – 300 Angas Street, Adelaide	5623/432	19.6m from right hand boundary, 7m from kerb on Hutt Street	201	<i>Araucaria bidwillii</i> Bunya bunya pine	a,f
Naval, Military and Airforce Club, 282 – 300 Angas Street, Adelaide	5623/432	12.2m from right hand boundary, 11.5m from kerb on Hutt Street	202	<i>Lagunaria patersonii</i> Pyramid tree	a,f
Naval, Military and Airforce Club, 282 – 300 Angas Street, Adelaide	5623/432	38.4m from right hand boundary, 9.3m from kerb on Hutt Street	825	<i>Araucaria cunninghamii</i> Hoop pine, Moreton Bay pine	a,f
165-179 Archer Street, North Adelaide (175) (also known as 55 Walter Street)	5861/687 5708/488	4m from right hand boundary, 30m from kerb	594	<i>Phoenix canariensis</i> Canary date palm	a,f
22-30 Bagot Street, North Adelaide	5007/331	1.5m from right hand boundary, 30m from kerb	399	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
111-113 Brougham Place, North Adelaide	5790/36	15.7m from right hand boundary, 18m from kerb	390	<i>Celtis occidentalis</i> Hackberry, sugarberry	a,f
118-120 Brougham Place, North Adelaide	5063/174, (5063/167)	4m from right hand boundary, 28m from kerb	393	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
28A-30 Barnard Street, North Adelaide	5856/780	7.5m from right hand boundary, 42.4m from kerb	295	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,f
31-39 Barnard Street, North Adelaide	5774/428	22m from right hand boundary, 12m from kerb	297	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
68-70 Barnard Street, North Adelaide	5790/985	1m from right hand boundary, 50m from kerb	298	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,f
101-113 Barnard Street, North Adelaide	5744/220	14m from right hand boundary, 4m from kerb	301	<i>Bauhinia</i> sp.	a,f
117-119 Barnard Street, North Adelaide	5846/893	6m from right hand boundary, 18.5m from kerb	303	<i>Melia azedarach</i> White cedar	a,f
118-120 Barnard Street, North Adelaide	5475/242	16m from right hand boundary, 15m from kerb	304	<i>Agonis flexuosa</i> Willow-myrtle	a,f
173-177 Barton Terrace West, North Adelaide (also known as 174 Barton Terrace West)	5530/746	4m from right hand boundary, 6m from kerb	499	<i>Lophostemon confertus</i> Queensland box brush	a,f
169-172 Barton Terrace West, North Adelaide	5017/307	30m from right hand boundary, 20m from kerb	502	<i>Eucalyptus camaldulensis</i> River Red Gum	g,h,i,k,l
27-29 Boulton Street, North Adelaide	5285/209 5293/66	1m from right hand boundary, 22m from kerb	702	<i>Fraxinus oxycarpa</i> Desert ash	a,f
21-26 Brougham Place, North Adelaide	5116/436	15.4m from right hand boundary, 7.4m from kerb on Ward Street	740	<i>Eucalyptus camaldulensis</i> River Red Gum	a,b,c,e,f
Lincoln College, 28-47 Brougham Place, North Adelaide (also known as 83-93 Ward Street)	5360/495	4.5m from right hand boundary, 43.6m from kerb on Brougham Place	353	<i>Celtis occidentalis</i> Hackberry, sugarberry	a,f
Lincoln College, 28-47 Brougham Place, North Adelaide (also known as 83-93 Ward Street)	5360/495	90m from right hand boundary, 16m from kerb on Brougham Place	743	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f

Property Address	Certificate of Title	Location on site	Tree Ref No	Species and common name	Section 23(4a) Criteria
Lincoln College, 28-47 Brougham Place, North Adelaide (also known as 83-93 Ward Street)	5360/495	91m from right hand boundary, 20m from kerb on Brougham Place	744	<i>Erythrina caffra</i> Strait coral tree, South African kaffir boom	a,f
Lincoln College, 28-47 Brougham Place, North Adelaide (also known as 83-93 Ward Street)	5360/495	4m from right hand boundary, 37.6m from kerb on Brougham Place	745	<i>Araucaria heterophylla</i> Norfolk Island pine	a,f
75-80 Brougham Place, North Adelaide	5112/961	4m from right hand boundary, 8m from kerb	689	<i>Dracaena draco</i> Dragon tree	a,f
161-167 Brougham Place, North Adelaide	5735/621	1m from right hand boundary, 9m from kerb on Brougham Place	452	<i>Platanus x acerifolia</i> London plane	a,f
161-167 Brougham Place, North Adelaide	5735/621	8m from right hand boundary, 6m from kerb on Brougham Place	453	<i>Celtis occidentalis</i> Hackberry, sugarberry	a,f
Parkview Townhomes, 168 Brougham Place, North Adelaide	5295/387	6m from right hand boundary, 9m from kerb	455	<i>Cedrus deodara</i> Deodar, Himalayan cedar	a,f
St Ann's College, 186-190 Brougham Place, North Adelaide (also known as 292-300 Melbourne Street)	5772/994 5852/548	53m from right hand boundary, 10m from kerb on Brougham Place	461	<i>Ulmus glabra</i> 'Lutescens' Golden elm	a,f
St Ann's College, 186-190 Brougham Place, North Adelaide (also known as 292-300 Melbourne Street)	5772/994 5852/548	1.5m from right hand boundary, 34m from kerb on Brougham Place	463	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
St Ann's College, 186-190 Brougham Place, North Adelaide (also known as 292-300 Melbourne Street)	5772/994 5852/548	89m from right hand boundary, 9m from kerb on Brougham Place	464	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
St Ann's College, 186-190 Brougham Place, North Adelaide (also known as 292-300 Melbourne Street)	5772/994 5852/548	36m from right hand boundary, 9m from kerb on Brougham Place	465	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
St Ann's College, 186-190 Brougham Place, North Adelaide (also known as 292-300 Melbourne Street)	5772/994 5852/548	1m from right hand boundary, 43m from kerb on Brougham Place	466	<i>Brachychiton populneus</i> Kurrajong	a,f
St Ann's College, 186-190 Brougham Place, North Adelaide (also known as 292-300 Melbourne Street)	5772/994 5852/548	38m from right hand boundary, 39.5m from kerb on Brougham Place	467	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
St Ann's College, 186-190 Brougham Place, North Adelaide (also known as 292-300 Melbourne Street)	5772/994 5852/548	10m from right hand boundary, 15m from kerb on Brougham Place	468	<i>Cupressus sempervirens</i> 'Stricta' Roman or upright Italian cypress	f
191-195 Brougham Place, North Adelaide	5787/644	3m from right hand boundary, 6m from kerb	458	<i>Brachychiton acerifolia</i> Illawarra Flame Tree	a,f
217-220 Brougham Place, North Adelaide	984/123	6m from right hand boundary, 7m from kerb	855	<i>Chamaerops humilis</i> Dwarf fan-palm, mediterranean palm	a,f
217-220 Brougham Place, North Adelaide	984/123	13m from right hand boundary, 7m from kerb	856	<i>Chamaerops humilis</i> Dwarf fan-palm, mediterranean palm	a,f
68-74 Buxton Street, North Adelaide (72)	5284/62	23.5m from right hand boundary, 43m from kerb	846	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
77-95 Buxton Street, North Adelaide (85) (also known as 4-14 Figtree Court, 1-3 Rosman Court)	5053/709	40m from right hand boundary, 45m from kerb	878	<i>Ficus macrophylla</i> Moreton Bay fig	a,f

Property Address	Certificate of Title	Location on site	Tree Ref No	Species and common name	Section 23(4a) Criteria
St Lawrences Church, 122-150 Buxton Street, North Adelaide (also known as 121-139 Hill Street)	5811/436, (5451/445)	64m from right hand boundary, 8m from kerb on Buxton Street	331	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
St Lawrences Church, 122-150 Buxton Street, North Adelaide (also known as 121-139 Hill Street)	5811/436, (5451/445)	75m from right hand boundary, 8m from kerb on Buxton Street	334	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
Grey Ward Children's Centre, Off 1-15 Chatham Street, Adelaide	5493/753	7m from right hand boundary, 30m from kerb on Wright Street	812	<i>Ficus microcarpa</i> Laurel fig	a,f
28-30 Childers Street, North Adelaide	5038/625	4m from right hand boundary, 48m from kerb	552	<i>Eucalyptus camaldulensis</i> River Red Gum	a,b,c,e,f
45-47 Childers Street, North Adelaide	5816/472	12m from right hand boundary, 70m from kerb	554	<i>Brachychiton populneus</i> Kurrajong	a,f
52 Childers Street, North Adelaide	3493/166	7m from right hand boundary, 41.5m from kerb	557	<i>Araucaria heterophylla</i> Norfolk Island pine	a,f
108 Childers Street, North Adelaide (also Known as 2-8 Hack Street)	5136/30	3m from right hand boundary, 35m from kerb	565	<i>Fraxinus oxycarpa</i> Desert ash	a,f
122-124 Childers Street, North Adelaide	5124/926	0.5m from right hand boundary, 12.5m from kerb	336	<i>Populus nigra 'italica'</i> Lombardy poplar, Italian poplar, Pyramidal poplar	a,f
122-124 Childers Street, North Adelaide	5124/926	0.5m from right hand boundary, 15.5m from kerb	906	<i>Populus nigra 'italica'</i> Lombardy poplar, Italian poplar, Pyramidal poplar	a,f
122-124 Childers Street, North Adelaide	5124/926	0.5m from right hand boundary, 9.5m from kerb	907	<i>Populus nigra 'italica'</i> Lombardy poplar, Italian poplar, Pyramidal poplar	a,f
151-155 (153) Childers Street, North Adelaide	5804/224 5845/885	4m from right hand boundary, 10m from kerb	908	<i>Cedrus deodara</i> Deodar, Himalayan cedar	a,f
166-170 Childers Street, North Adelaide	5066/578	8.5m from right hand boundary, 15m from kerb	338	<i>Camphor officinarum</i> Camphor Laurel	a,f
Kumanka, 202-220 Childers Street, North Adelaide (206)	5446/521	29m from right hand boundary, 46m from kerb	352	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
13-19 Dunn Street, North Adelaide	5007/73	1m from right hand boundary, 36m from kerb	783	<i>Olea europaea</i> Common olive	a,f
89 East Terrace, Adelaide	5207/683	1m from right hand boundary, 5m from kerb	125	<i>Schinus molle var. areira</i> Pepper tree	a,f
91 East Terrace, Adelaide	5172/10	17m from right hand boundary, 24m from kerb	102	<i>Washingtonia robusta</i> Mexican fan palm	a,f
91 East Terrace, Adelaide	5172/10	3m from right hand boundary, 5m from kerb	119	<i>Washingtonia robusta</i> Mexican fan palm	g,l
91 East Terrace, Adelaide	5172/10	12m from right hand boundary, 7m from kerb	121	<i>Washingtonia robusta</i> Mexican fan palm	g,l
91 East Terrace, Adelaide	5172/10	2m from right hand boundary, 5m from kerb	124	<i>Washingtonia robusta</i> Mexican fan palm	g,l
Rymill House, 93-100 East Terrace, Adelaide (also known as 302-320 Flinders Street and 24-40 Hutt Street)	5518/1	12.5m from right hand boundary, 7m from kerb	100	<i>Quercus ilex</i> Holm oak, holly oak	a,f

Property Address	Certificate of Title	Location on site	Tree Ref No	Species and common name	Section 23(4a) Criteria
Rymill House, 93-100 East Terrace, Adelaide (also known as 302-320 Flinders Street and 24-40 Hutt Street)	5518/1	54m from right hand boundary, 41m from kerb	101	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,c,f
Rymill House, 93-100 East Terrace, Adelaide (also known as 302-320 Flinders Street and 24-40 Hutt Street)	5518/1	24m from right hand boundary, 14.5m from kerb	120	<i>Washingtonia robusta</i> Mexican fan palm	g,l
Rymill House, 93-100 East Terrace, Adelaide (also known as 302-320 Flinders Street and 24-40 Hutt Street)	5518/1	54m from right hand boundary, 51m from kerb	145	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,f
Rymill House, 93-100 East Terrace, Adelaide (also known as 302-320 Flinders Street and 24-40 Hutt Street)	5518/1	38m from right hand boundary, 8m from kerb	829	<i>Araucaria cunninghamii</i> Hoop pine, Moreton Bay pine	a,f
176-180 East Terrace, Adelaide	5781/291	4m from right hand boundary, 6m from kerb on northern frontage	113	<i>Arbutus unedo</i> Strawberry tree	a,f
217-219 East Terrace, Adelaide (also known as 1-9 Wilson Street)	5482/783	On right hand boundary, 44.5m from kerb on East Terrace	118	<i>Brachychiton populneus</i> Kurrajong	a,f
232-247 East Terrace, Adelaide (233)	5028/835	4m from right hand boundary, 6.3m from kerb on northern frontage	126	<i>Lagunaria patersonii</i> Pyramid tree	a,f
232-247 East Terrace, Adelaide (240)	5028/835	40m from right hand boundary, 6.5m from kerb on northern frontage	127	<i>Brachychiton</i> sp.	g,l
232-247 East Terrace, Adelaide (240)	5028/835	49.5m from right hand boundary, 6.5m from kerb on northern frontage	128	<i>Brachychiton</i> sp.	g,l
248-253 East Terrace, Adelaide	5256/16	7.5m from right hand boundary, 22.3m from kerb	146	<i>Syzygium australe</i> syn. <i>Paniculatum</i> Brush cherry, , scrub-cherry, creek lilly-pilly	a,c,f
18-20 Finnis Court, North Adelaide	5133/559	8m from right hand boundary, 15m from kerb on Finnis Court	799	<i>Celtis occidentalis</i> Hackberry, sugarberry	a,f
14-24 Finnis Street, North Adelaide	5343/156 5343/157	23m from right hand boundary, 4m from kerb	785	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,f
42 Finnis Street, North Adelaide	5395/312	2m from right hand boundary, 5m from kerb	787	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	g,l
42 Finnis Street, North Adelaide	5395/312	2m from right hand boundary, 5m from kerb	788	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	g,l
42 Finnis Street, North Adelaide	5395/312	2m from right hand boundary, 5m from kerb	789	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	g,l
Kathleen Lumley College, Voting Records, 51 Finnis Street, North Adelaide	1702/33 5872/319	37m from right hand boundary, 40m from kerb on Finnis Street	775	<i>Platanus x acerifolia</i> London plane	a,f
Kathleen Lumley College, Voting Records, 51 Finnis Street, North Adelaide	1702/33 5872/319	70m from right hand boundary, 30m from kerb	841	<i>Ulmus parvifolia</i> Chinese elm	a,f
82-86 Finnis Street, North Adelaide	5679/149	7m from right hand boundary, 10m from kerb on Finnis Street	794	<i>Cedrus atlantica</i> 'Glaucous' Blue atlas cedar	a,f

Property Address	Certificate of Title	Location on site	Tree Ref No	Species and common name	Section 23(4a) Criteria
St Mary's Dominican Convent, 255 – 299 Franklin Street, Adelaide	5842/466	90m from right hand boundary, 40m from kerb	1	<i>Cupressus macrocarpa</i> Monterey cypress	a,f
89 Gilles Street, Adelaide	5494/502	6m from right hand boundary, 40m from kerb	20	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,c,f
413-427 Gilles Street, Adelaide (427)	5035/692 (5035/691)	50m from right hand boundary, 5m from kerb	70	<i>Eucalyptus nicholii</i> Narrow-leaf black peppermint, willow-leaf	a,f
424-428 Gilles Street, Adelaide	5278/435	20m from right hand boundary, 6m from kerb	98	<i>Eucalyptus camaldulensis</i> River red gum	a,b,c,e,f
430-438 Gilles Street, Adelaide (vacant block to east of 432)	5109/127	4m from right hand boundary, 6m from kerb	73	<i>Eucalyptus cladocalyx</i> Sugar gum	a,d,f
430-438 Gilles Street, Adelaide (432)	5109/127	22m from right hand boundary, 40m from kerb	143	<i>Pinus halepensis</i> Aleppo pine	a,f
430-438 Gilles Street, Adelaide (432)	5109/127	1m from right hand boundary, 40m from kerb	144	<i>Ficus macrophylla</i> Moreton Bay fig	a,f
North Adelaide Primary School, 57-59 Gover Street, North Adelaide	3288/190	50m from right hand boundary, 6m from kerb	720	<i>Araucaria heterophylla</i> Norfolk Island pine	a,f
North Adelaide Primary School, 57-59 Gover Street, North Adelaide	3288/190	35m from right hand boundary, 35m from kerb	721	<i>Fraxinus oxycarpa</i> Desert ash	a,f
North Adelaide Primary School, 57-59 Gover Street, North Adelaide	3288/190	30m from right hand boundary, 35m from kerb	884	<i>Erythrina indica</i> Indian coral-tree	a,f
211-215 Gover Street, North Adelaide	5742/137	11m from right hand boundary, 8m from kerb	545	<i>Robinia pseudoacacia</i> Black locust, false-acacia	a,f
211-215 Gover Street, North Adelaide	5742/137	1.5m from right hand boundary, 14m from kerb	546	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
100-104 Hill Street, North Adelaide	5315/338	3.5m from right hand boundary, 9m from kerb	518	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
106-108 Hill Street, North Adelaide	5775/620	0.5m from right hand boundary, 17m from kerb	519	<i>Washingtonia robusta</i> Mexican fan palm	a,f
35 Hurtle Square, Adelaide	5856/49	5.5m from right hand boundary, 33.8m from kerb	22	<i>Corymbia citriodora</i> Lemon-scented gum	a,f
37 Hurtle Square, Adelaide	5774/793	2.7m from right hand boundary, 30.8m from kerb	23	<i>Arecastrum romanzoffianum</i>	l
187-189 Hutt Street, Adelaide	5782/246	8m from right hand boundary, 20m from kerb	137	<i>Ginkgo biloba</i> Maidenhair tree	a,f
251-251A Hutt Street, Adelaide (also known as OFF 261 Hutt Street)	5849/705	9.3m from right hand boundary, 28m from kerb	138	<i>Phoenix canariensis</i> Canary date palm	a,f
21-37 Jeffcott Street, North Adelaide (also known as 11-19 Strangways Terrace)	5016/176	5.8m from right hand boundary, 22m from kerb on Jeffcott Street	643	<i>Eucalyptus saligna</i> Sydney blue gum	a,f
21-37 Jeffcott Street, North Adelaide (also known as 11-19 Strangways Terrace)	5016/176	34m from right hand boundary, 5.5m from kerb on Strangways Terrace	644	<i>Eucalyptus camaldulensis</i> River Red Gum	a,b,c,e,f
39-45 Jeffcott Street, North Adelaide (also known as 20-23 Strangways Terrace)	5068/493	25m from right hand boundary, 12m from kerb on Jeffcott Street	647	<i>Erythrina caffra</i> Strait coral tree, South African kaffir boom	a,f
44-46 Jeffcott Street, North Adelaide	5855/313	9.5m from right hand boundary, 27m from kerb	844	<i>Washingtonia robusta</i> Mexican fan palm	a,f

Property Address	Certificate of Title	Location on site	Tree Ref No	Species and common name	Section 23(4a) Criteria
52-60 Jeffcott Street, North Adelaide (2/60)	ST-5422/1	11.5m from right hand boundary, 14m from kerb	845	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
55-59 Jeffcott Street, North Adelaide	5059/356	19.3m from right hand boundary, 13.7m from kerb	649	<i>Brachychiton populneus</i> Kurrajong	a,f
117 Jeffcott Street, North Adelaide	5537/217	5m from right hand boundary, 2m from kerb on Frederick Place	507	<i>Fraxinus oxycarpa</i> Desert ash	a,f
Lutheran Seminary, 102-120 Jeffcott Street, North Adelaide (also known as 7-9 Ward Street)	5388/373	2m from right hand boundary, 47m from kerb on Jeffcott Street	651	<i>Corymbia citriodora</i> Lemon-scented gum	a,f
Lutheran Seminary, 102-120 Jeffcott Street, North Adelaide (also known as 7-9 Ward Street)	5388/373	52.5m from right hand boundary, 57m from kerb on Jeffcott Street	652	<i>Platanus x acerifolia</i> London plane	a,f
Lutheran Seminary, 102-120 Jeffcott Street, North Adelaide (also known as 7-9 Ward Street)	5388/373	32.5m from right hand boundary, 15.6m from kerb on Jeffcott Street	655	<i>Phoenix canariensis</i> Canary date palm	a,f
Lutheran Seminary, 102-120 Jeffcott Street, North Adelaide (also known as 7-9 Ward Street)	5388/373	17m from right hand boundary, 105m from kerb on Jeffcott Street	656	<i>Ulmus glabra</i> 'Lutescans' Golden elm	a,f
217-219 Jeffcott Street, North Adelaide (known as 217 Jeffcott Street)	5370/599	1m from right hand boundary, 32m from kerb	854	<i>Celtis occidentalis</i> Hackberry, sugarberry	a,f
St Mark's College, 97-113 Kermode Street, North Adelaide (also known as Downer House, 45-48 Pennington Terrace)	5778/198 5813/743 5714/224 5324/114 5324/115 5329/291	77m from right hand boundary, 95m from kerb on Kermode Street	407	<i>Ulmus parvifolia</i> Chinese elm	a,f
St Mark's College, 97-113 Kermode Street, North Adelaide (also known as Downer House, 45-48 Pennington Terrace)	5778/198 5813/743 5714/224 5324/114 5324/115 5329/291	70m from right hand boundary, 66.5m from kerb on Kermode Street	409	<i>Platanus x acerifolia</i> London plane	a,f
St Mark's College, 97-113 Kermode Street, North Adelaide (also known as Downer House, 45-48 Pennington Terrace)	5778/198 5813/743 5714/224 5324/114 5324/115 5329/291	72m from right hand boundary, 66.5m from kerb on Kermode Street	415	<i>Platanus x acerifolia</i> London plane	a,f
St Mark's College, 97-113 Kermode Street, North Adelaide (also known as Downer House, 45-48 Pennington Terrace)	5778/198 5813/743 5714/224 5324/114 5324/115 5329/291	25.5m from right hand boundary, 37m from kerb on Kermode Street	416	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
St Mark's College, 97-113 Kermode Street, North Adelaide (also known as Downer House, 45-48 Pennington Terrace)	5778/198 5813/743 5714/224 5324/114 5324/115 5329/291	55m from right hand boundary, 90.5m from kerb on Kermode Street	418	<i>Syzygium paniculatum</i> Brush-cherry, scrub-cherry, creek lilly-pilly	a,f
St Mark's College, 97-113 Kermode Street, North Adelaide (also known as Downer House, 45-48 Pennington Terrace)	5778/198 5813/743 5714/224 5324/114 5324/115 5329/291	40m from right hand boundary, 46m from kerb on Kermode Street	419	<i>Cinnamomum camphora</i> Camphor tree	a,f
138-140 Kermode Street, North Adelaide (known as 140 Kermode Street)	5147/535	1m from right hand boundary, 25m from kerb	857	<i>Sophora japonica</i> Pagoda tree	a,f

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St Peter's Cathedral, 22-30 King William Road, North Adelaide	5526/917 5196/656 5213/158	21.7m from right hand boundary, 34m from kerb on King William Road	400	<i>Platanus x acerifolia</i> London plane	a,f
St Peter's Cathedral, 22-30 King William Road, North Adelaide	5526/917 5196/656 5213/158	34.5m from right hand boundary, 29m from kerb on King William Road	401	<i>Platanus x acerifolia</i> London plane	a,f
St Peter's Cathedral, 22-30 King William Road, North Adelaide	5526/917 5196/656 5213/158	72.4m from right hand boundary, 27m from kerb on Pennington Terrace	402	<i>Platanus x acerifolia</i> London plane	a,f
St Peter's Cathedral, 22-30 King William Road, North Adelaide	5526/917 5196/656 5213/158	26.5m from right hand boundary, 15.5m from kerb on King William Road	403	<i>Ulmus procera</i> English elm	a,f
St Peter's Cathedral, 22-30 King William Road, North Adelaide	5526/917 5196/656 5213/158	68.7m from right hand boundary, 14.5m from kerb on Pennington Terrace	858	<i>Platanus x acerifolia</i> London plane	a,f
51-60 (56) Kingston Terrace, North Adelaide (also known as 82-100 Stanley Street)	5052/45	29m from right hand boundary of the units, 6m from kerb on Kingston Terrace	767	<i>Corymbia ficifolia</i> Red-flowering gum	a,f
101-108 Kingston Terrace, North Adelaide	5814/376	30m from right hand boundary, 6m from kerb	482	<i>Ginkgo biloba</i> Maidenhair tree	a,f
109-112 Kingston Terrace, North Adelaide	5544/440	24m from right hand boundary, 30m from kerb	483	<i>Ulmus glabra</i> 'Lutescans' Golden elm	a,f
22 Lakeman Street, North Adelaide (also known as OFF 12 Lakeman Street)	2425/169	14m from right hand boundary, 8.4m from kerb	430	<i>Cupressus sempervirens</i> Candle pine, pencil pine	a,f
59-60 LeFevre Terrace, North Adelaide (also known as 1-13 Tynte Street)	5149/54	0.5m from right hand boundary, 11.5m from kerb on LeFevre Terrace	361	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
59-60 LeFevre Terrace, North Adelaide (also known as 1-13 Tynte Street)	5149/54	0.5m from right hand boundary, 7.4m from kerb on LeFevre Terrace	362	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
70 LeFevre Terrace, North Adelaide	5784/950	0.5m from right hand boundary, 30m from kerb	828	<i>Washingtonia robusta</i>	a,f
91-92 LeFevre Terrace, North Adelaide	5107/208	9m from right hand boundary, 21m from kerb	372	<i>Celtis australis</i> Nettle tree	a,f
93-95 LeFevre Terrace, North Adelaide	5107/207	1m from right hand boundary, 30m from kerb	373	<i>Araucaria heterophylla</i> Norfolk Island pine	a,f
46 MacKinnon Parade, North Adelaide	3450/121	5m from right hand boundary, 4m from kerb	496	<i>Olea europaea</i> Common olive	a,f
169-170 MacKinnon Parade, North Adelaide	5295/396	5m from right hand boundary, 43m from kerb	779	<i>Cupressus sempervirens</i> 'Stricta'	a,f
169-170 MacKinnon Parade, North Adelaide	5295/396	14m from right hand boundary, 5m from kerb	778	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
169-170 MacKinnon Parade, North Adelaide	5295/396	11m from right hand boundary, 57m from kerb	780	<i>Melia Azedarac</i> White cedar	f
313-319 Melbourne Street, North Adelaide (also known as 175-176 Brougham Place)	5135/604	1m from right hand boundary, 10m from kerb on Brougham Place	456	<i>Phoenix canariensis</i> Canary date palm	a,f
175 MacKinnon Parade, North Adelaide	ST- 5298/554	25m from right hand boundary, 28m from kerb	782	<i>Phoenix canariensis</i> Canary date palm	f
84-86 Margaret Street, North Adelaide (84)	5792/199	5m from right hand boundary, 25m from kerb	735	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f

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84-86 Margaret Street, North Adelaide (84)	5792/199	2.7m from right hand boundary, 1.7m from kerb	736	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
85 Margaret Street, North Adelaide	5787/536	4m from right hand boundary, 3m from kerb	737	<i>Washingtonia robusta</i> Mexican fan palm	f
125 Melbourne Street, North Adelaide	5558/478	4m from right hand boundary, 45m from kerb	874	<i>Melia azedarach</i> White cedar	a
182-184 Melbourne Street, North Adelaide (also known as 1-11 Frederick Street and 1-3 Sherwood Close)	5609/687	10m from right hand boundary, 32m from kerb on Melbourne Street	230	<i>Fraxinus</i> 'Raywood' Claret ash	a,f
185-187 Melbourne Street, North Adelaide	5248/779	8m from right hand boundary, 4m from kerb	231	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
185-187 Melbourne Street, North Adelaide	5248/779	4m from right hand boundary, 41m from kerb	232	<i>Juglans regia</i> Black walnut	a,f
191-195 Melbourne Street, North Adelaide (known as 195 Melbourne Street)	5018/549 5052/487	8m from right hand boundary, 27m from kerb	235	<i>Juglans regia</i> Black walnut	a,f
191-195 Melbourne Street, North Adelaide (known as 191 Melbourne Street)	5018/549 5052/549	20m from right hand boundary, 25m from kerb	891	<i>Castanospermum australe</i> Black bean, Moreton Bay chestnut	a,f
198-200 Melbourne Street, North Adelaide (also known as OFF 31 Old street)	4397/237	7m from right hand boundary, 66m from kerb on Melbourne Street	236	<i>Corymbia citriodora</i> Lemon-scented gum	a,f
213-215 Melbourne Street, North Adelaide	5545/515	6m from right hand boundary, 7.5m from kerb	238	<i>Cupressus sempervirens</i> 'Stricta' Roman or upright Italian cypress	g,l
213-215 Melbourne Street, North Adelaide	5545/515	2m from right hand boundary, 4m from kerb	239	<i>Cupressus sempervirens</i> 'Stricta' Roman or upright Italian cypress	g,l
231-235 Melbourne Street, North Adelaide	5379/118	3m from right hand boundary, 53m from kerb	243	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a
231-235 Melbourne Street, North Adelaide	5379/118	10.2m from right hand boundary, 41m from kerb	244	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,f
231-235 Melbourne Street, North Adelaide	5379/118	53m from right hand boundary, 5m from kerb	911	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,f
241-245 Melbourne Street, North Adelaide	5789/10	20m from right hand boundary, 5m from kerb	245	<i>Brachychiton discolor</i> Scrub bottle-tree, white kurrajong, Queensland lacebark	a,f
246-250 Melbourne Street, North Adelaide (also known as 1-11 New Street)	5005/766	6m from right hand boundary, 20m from kerb	247	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
246-250 Melbourne Street, North Adelaide (also known as 1-11 New Street)	5005/766	23m from right hand boundary, 34m from kerb on Melbourne Street	248	<i>Arbutus unedo</i> Strawberry tree	a,f
258-264 Melbourne Street, North Adelaide	5439/702	17m from right hand boundary, 5m from kerb	250	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
258-264 Melbourne Street, North Adelaide	5439/702	6m from right hand boundary, 4m from kerb	252	<i>Ficus rubiginosa</i> Rusty fig, Port Jackson fig	a,f
261-263 Melbourne Street, North Adelaide	5198/4	7m from right hand boundary, 11m from kerb	253	<i>Pistacia chinensis</i> Chinese pistachio	a,f

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Deepacres, 283-291 Melbourne Street, North Adelaide (also known as 287 Melbourne Street)	5044/985	5.5m from right hand boundary, 14m from kerb on Melbourne Street	255	<i>Populus nigra</i> 'Italica' Lombardy poplar, Italian poplar, Pyramidal poplar	g,l
Deepacres, 283-291 Melbourne Street, North Adelaide (also known as 287 Melbourne Street)	5044/985	6m from right hand boundary, 27.5m from kerb on Melbourne Street	256	<i>Populus nigra</i> 'Italica' Lombardy poplar, Italian poplar, Pyramidal poplar	g,l
Deepacres, 283-291 Melbourne Street, North Adelaide (also known as 287 Melbourne Street)	5044/985	2.5m from right hand boundary, 13.6m from kerb on Melbourne Street	257	<i>Populus nigra</i> 'Italica' Lombardy poplar, Italian poplar, Pyramidal poplar	g,l
Deepacres, 283-291 Melbourne Street, North Adelaide (also known as 287 Melbourne Street)	5044/985	3.5m from right hand boundary, 11.4m from kerb on Melbourne Street	258	<i>Populus nigra</i> 'Italica' Lombardy poplar, Italian poplar, Pyramidal poplar	g,l
Deepacres, 283-291 Melbourne Street, North Adelaide (also known as 287 Melbourne Street)	5045/1	6m from right hand boundary, 28m from kerb on Melbourne Street	890	<i>Populus nigra</i> 'Italica' Lombardy poplar, Italian poplar, Pyramidal poplar	g,l
Deepacres, 283-291 Melbourne Street, North Adelaide (also known as 287 Melbourne Street)	5045/1	3m from right hand boundary, 4m from kerb on Melbourne Street	893	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
21-23 Molesworth Street, North Adelaide (also known as 31 Barnard Lane)	5751/236	7m from right hand boundary, 60m from kerb	318	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
11-13 Mills Terrace, North Adelaide	5177/728	2m from right hand boundary, 14m from kerb	522	<i>Celtis occidentalis</i> Hackberry, sugarberry	a,f
38-40 Mills Terrace, North Adelaide	5597/544	4m from right hand boundary, 67m from kerb	870	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,f
St Helens, 46-50 Mills Terrace, North Adelaide	5804/422	10m from right hand boundary, 55m from kerb	526	<i>Erythrina caffra</i> Strait coral tree, South African kaffir boom	a,f
Sidegarth, 75-85 Mills Terrace, North Adelaide	5498/995	1m from right hand boundary, 21m from kerb on northern frontage	530	<i>Araucaria heterophylla</i> Norfolk Island pine	a,f
86-90 Mills Terrace, North Adelaide	5655/647	4m from right hand boundary, 10m from kerb	531	<i>Cinnamomum camphora</i> Camphor tree	a,f
146-147 Mills Terrace, North Adelaide	5848/755	7m from right hand boundary, 6m from kerb	535	<i>Cupressus glabra</i> Smooth Arizona cypress	a,f
61 Molesworth Street, North Adelaide	1315/49	28m from right hand boundary, 40m from kerb	859	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
61 Molesworth Street, North Adelaide	1315/49	25m from right hand boundary, 40m from kerb	860	<i>Jacaranda mimosifolia</i> Jacaranda	f
74-78 Molesworth Street, North Adelaide	5462/174	1m from right hand boundary, 30m from kerb	320	<i>Washingtonia robusta</i> Mexican fan palm	f
St Dominic's Priory, 131-139 Molesworth Street, North Adelaide	5640/2, 5847/151, 5847/149	155m from right hand boundary, 7.5m from kerb	317	<i>Corymbia citriodora</i> Lemon-scented gum	a,f
St Dominic's Priory, 131-139 Molesworth Street, North Adelaide	5640/2, 5847/151, 5847/149	35m from right hand boundary, 65.7m from kerb	862	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,f
St Dominic's Priory, 131-139 Molesworth Street, North Adelaide	5640/2, 5847/151, 5847/149	73m from right hand boundary, 77.7m from kerb	879	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f

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St Dominic's Priory, 131-139 Molesworth Street, North Adelaide	5640/2	96m from right hand boundary, 77.7m from kerb	880	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	a,f
172 Molesworth Street, North Adelaide	5534/707	1m from right hand boundary, 8m from kerb	322	<i>Salix babylonica</i> Weeping willow	a,f
Gleeson House, 11-20 Montefiore Hill, North Adelaide (part of Aquinas College)	5740/660	1.8m from right hand boundary, 37m from kerb on Palmer Place	661	<i>Fraxinus</i> 'Raywood' Claret ash	a,f
Aquinas College, Montefiore, 1-10 Montefiore Hill, North Adelaide	167/211	52m from right hand boundary, 5m from kerb on Palmer Place	663	<i>Syzygium paniculatum</i> Brush-cherry, scrub-cherry, creek lilly-pilly	a,f
13-19 New Street, North Adelaide	5238/735	1m from right hand boundary, 1m from kerb on New Street	259	<i>Brachychiton populneus</i> Kurrajong	a,f
Holy Trinity Church, 84 – 90 North Terrace, Adelaide	5799/241	30m from right hand boundary, 15m from kerb	204	<i>Brachychiton populneus</i> Kurrajong	a, f
Holy Trinity Church 84 – 90 North Terrace, Adelaide	5799/241	1m from right hand boundary, 15m from kerb	826	<i>Eucalyptus cladocalyz</i> Sugar gum	a, f
263 North Terrace, Adelaide	5085/918	2m from right hand boundary, 4m from kerb	208	<i>Washingtonia robusta</i> Mexican fan palm	g,l,l
Ayers House, 287 – 300 North Terrace, Adelaide	5147/367	8m from right hand boundary, 35m from kerb	214	<i>Jacaranda mimosifolia</i>	a,f
Ayers House, 287 – 300 North Terrace, Adelaide	5147/367	20m from right hand boundary, 30m from kerb	215	<i>Photinia serrulata</i> Chinese hawthorn	a,f
Hotel Adelaide International, 1-19 O'Connell Street, North Adelaide (also known as 61-69 Brougham Place and 121-137 Ward Street and Australia Lane)	5118/156 5118/185 5118/569 5118/588 5118/804	55.5m from right hand boundary, 37.5m from kerb on Brougham Place	221	<i>Strelitzia nicholai</i> Giant Bird of Paradise	a,f
26-27 Palmer Place, North Adelaide	5669/453	15.6m from right hand boundary, 16m from kerb on Palmer Place	670	<i>Grevillea robusta</i> Silky oak	a,f
Christ Church, 31-40 Palmer Place, North Adelaide (also known as 36-40 Palmer Place, Christchurch Lane and 62-80 Jeffcott Street)	LT-X/30	22m from right hand boundary, 10m from kerb on Palmer Place	833	<i>Platanus x acerifolia</i> London plane	a,f
Bishops Court, 41-50 Palmer Place, North Adelaide (also known as 45 Palmer Place, Christchurch Lane and 201-219 Ward Street)	5141/72	29m from right hand boundary, 5m from kerb on Palmer Place	678	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
Bishops Court, 41-50 Palmer Place, North Adelaide (also known as 45 Palmer Place, Christchurch Lane and 201-219 Ward Street)	5141/72	1m from right hand boundary, 47.5m from kerb on Palmer Place	683	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
Bishops Court, 41-50 Palmer Place, North Adelaide (also known as 45 Palmer Place, Christchurch Lane and 201-219 Ward Street)	5141/72	27.5m from right hand boundary, 45.5m from kerb on Palmer Place	684	<i>Pinus canariensis</i> Canary Islands pine	a,f
Duncraig, 55-59 Palmer Place, North Adelaide	5101/655	1m from right hand boundary, 31.5m from kerb	687	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
81-83 Palmer Place, North Adelaide	5250/323	1m from right hand boundary, 47.5m from kerb	382	<i>Populus</i> sp.	a,f
Memorial Hospital, 1-10 Pennington Terrace, North Adelaide (also known as 1-23 Kermod Street and 1-20 Sir Edwin Smith Avenue)	5301/672 5301/673 5301/674	105m from right hand boundary, 8m from kerb on Sir Edwin Smith Avenue	437	<i>Ulmus glabra</i> 'Camperdown' Form of Wych Elm	a,f

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Memorial Hospital, 1-10 Pennington Terrace, North Adelaide (also known as 1-23 Kermode Street and 1-20 Sir Edwin Smith Avenue)	5301/672 5301/673 5301/674	1m from right hand boundary, 23m from kerb on Sir Edwin Smith Avenue	438	<i>Casuarina cunninghamiana</i> River oak, River sheaok	a,f
Memorial Hospital, 1-10 Pennington Terrace, North Adelaide (also known as 1-23 Kermode Street and 1-20 Sir Edwin Smith Avenue)	5301/672 5301/673 5301/674	53m from right hand boundary, 4m from kerb on Sir Edwin Smith Avenue	440	<i>Syzygium paniculatum</i> Brush-cherry, scrub-cherry, creek lilly-pilly	a,f
Memorial Hospital, 1-10 Pennington Terrace, North Adelaide (also known as 1-23 Kermode Street and 1-20 Sir Edwin Smith Avenue)	5301/672 5301/673 5301/674	8m from right hand boundary, 6m from kerb on Sir Edwin Smith Avenue	442	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
Memorial Hospital, 1-10 Pennington Terrace, North Adelaide (also known as 1-23 Kermode Street and 1-20 Sir Edwin Smith Avenue)	5301/672 5301/673 5301/674	17m from right hand boundary, 5m from kerb on Sir Edwin Smith Avenue	444	<i>Washingtonia robusta</i> Mexican fan palm	a,f
Memorial Hospital, 1-10 Pennington Terrace, North Adelaide (also known as 1-23 Kermode Street and 1-20 Sir Edwin Smith Avenue)	5301/672 5301/673 5301/674	125m from right hand boundary, 6m from kerb on Sir Edwin Smith Avenue	445	<i>Syzygium paniculatum</i> Brush-cherry, scrub-cherry, creek lilly-pilly	a,f
Religious Friends Meeting House, 41 Pennington Terrace, North Adelaide (also known as 40a Pennington Terrace)	1683/116 5868/205	14.7m from right hand boundary, 28m from kerb	834	<i>Olea europaea</i> Common olive	a,f
Hawker House, 54-57 Pennington Terrace, North Adelaide	5360/544	28m from right hand boundary, 10m from kerb	420	<i>Pittosporum undulatum</i> Sweet pittosporum	a,f
74 Regent Street South, Adelaide	5153/228	27.5m from right hand boundary, 2m from kerb	139	<i>Brachychiton discolor</i> scrub bottle-tree, white kurrajong, Queensland lacebark	a,f
18 Ruthven Avenue, Adelaide	5113/650	4m from right hand boundary, 3m from kerb	163	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
Parkholme, 17-28 South Terrace, Adelaide (19)	5068/948	51m from right hand boundary, 43m from kerb	2	<i>Erythrina indica</i> Indian coral-tree	g,l
50-53 South Terrace, Adelaide	1260/117	1m from right hand boundary, 39m from kerb	12	<i>Araucaria cunninghamii</i> Hoop pine, Moreton Bay pine	a,f
Pulteney Grammar School, 177-203 South Terrace, Adelaide (also known as 1-13 Dumfries Place, 51-79 Gilles Street, 2-20 Osmond Street and 70-80 Symonds Place)	3845/174 5450/285	56.5m from right hand boundary, 58m from kerb on South Terrace	7	<i>Fraxinus angustifolia</i> Narrow-leaf ash	a,f
Pulteney Grammar School, 177-203 South Terrace, Adelaide (also known as 1-13 Dumfries Place, 51-79 Gilles Street, 2-20 Osmond Street and 70-80 Symonds Pl)	3845/174 5450/285	56.5m from right hand boundary, 66m from kerb on South Terrace	10	<i>Fraxinus angustifolia</i> Narrow-leaf ash	g,l
Pulteney Grammar School, 177-203 South Terrace, Adelaide (also known as 1-13 Dumfries Place, 51-79 Gilles Street, 2-20 Osmond Street and 70-80 Symonds Place)	3845/174 5450/285	84.5m from right hand boundary, 66m from kerb on South Terrace	11	<i>Erythrina indica</i> Indian coral-tree	a,f
St Andrews, 353-364 (360) South Terrace, Adelaide (also known as 391-407 Gilles Street and 41-79 St John Lane)	5700/262 5150/218	2m from right hand boundary, 30m from kerb	489	<i>Pinus canariensis</i> Canary Islands pine	a,f
St Andrews, 353-364 (360) South Terrace, Adelaide (also known as 391-407 Gilles Street and 41-79 St John Lane)	5700/262 5150/218	50m from right hand boundary, 6m from kerb	490	<i>Ficus rubiginosa</i> Rusty fig, Port Jackson fig	g

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367-374 South Terrace, Adelaide (371)	5053/401 (5053/388)	10m from right hand boundary, 6m from kerb on South Terrace	59	<i>Casuarina cunninghamiana</i>	a,f
Ochiltree House, 383-390 South Terrace, Adelaide	5110/903	1m from right hand boundary, 60m from kerb	64	<i>Gleditsia tricanthos</i> Honey locust	a,f
42-58 (56) St John Lane, Adelaide (also known as 413-427 Gilles Street)	5035/692	6m from right hand boundary, 4m from kerb	66	<i>Pinus pinea</i> Stone pine	a,f
60 St Johns Lane, Adelaide (also known as 367-374 South Terrace)	5053/401	73m from right hand boundary, 49.8m from kerb on St Johns Lane	67	<i>Quercus robur</i> English oak, common oak	a,f
60 St Johns Lane, Adelaide (also known as 367-374 South Terrace)	5053/401	73m from right hand boundary, 37m from kerb on St Johns Lane	68	<i>Quercus canariensis</i> Algerian oak, canary oak	a
60 St Johns Lane, Adelaide (367-374 South Terrace)	5053/401	86m from right hand boundary, 21.5m from kerb on St Johns Lane	69	<i>Melia azedarach</i> White cedar	a,f
51-53 Stanley Street, North Adelaide	5409/343	7m from right hand boundary, 30m from kerb	910	<i>Prunus dulcis</i> Almond tree	a,f
82-100 Stanley Street, North Adelaide (also known as 51-60 Kingston Terrace)	5052/67	3m from right hand boundary, 35m from kerb on Stanley Street	752	<i>Ulmus procera</i> English elm	g,l
82-100 Stanley Street, North Adelaide (also known as 51-60 Kingston Terrace)	5052/67	3m from right hand boundary, 39m from kerb on Stanley Street	836	<i>Ulmus procera</i> English elm	g,l
82-100 Stanley Street, North Adelaide (also known as 51-60 Kingston Terrace)	5052/67	3m from right hand boundary, 47m from kerb on Stanley Street	837	<i>Ulmus procera</i> English elm	g,l
248-250 Stanley Street, North Adelaide	5630/896	3m from right hand boundary, 7m from kerb	479	<i>Fraxinus 'Raywood'</i> Claret ash	a,f
Sturt Street School, 221-239 Sturt Street, Adelaide	5808/465	7m from right hand boundary, 45m from kerb	806	<i>Eucalyptus camaldulensis</i> River red gum	g,h,i,k,l
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	8m from right hand boundary, 19m from kerb on Strangways Terrace	622	<i>Washingtonia robusta</i> Mexican fan palm	g,l
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	62m from right hand boundary on Jeffcott Street, 22m from kerb on Jeffcott Street	623	<i>Washingtonia robusta</i> Mexican fan palm	g,l
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	60.3m from right hand boundary, 15m from kerb on Jeffcott Street	624	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	56.5m from right hand boundary, 8m from kerb on Jeffcott Street	625	<i>Washingtonia robusta</i> Mexican fan palm	g,l
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	17m from right hand boundary, 7m from kerb on Jeffcott Street	627	<i>Platanus x acerifolia</i> London plane	a,f
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	57m from right hand boundary, 25m from kerb on Jeffcott Street	628	<i>Washingtonia robusta</i> Mexican fan palm	g,l
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	17.5m from right hand boundary, 7m from kerb on Jeffcott Street	629	<i>Platanus x acerifolia</i> London plane	a,f
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	39m from right hand boundary, 24.6m from kerb on Jeffcott Street	631	<i>Washingtonia robusta</i> Mexican fan palm	g,l

Property Address	Certificate of Title	Location on site	Tree Ref No	Species and common name	Section 23(4a) Criteria
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	31m from right hand boundary, 9m from kerb on Strangeways Terrace	632	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	54m from right hand boundary, 40m from kerb on Jeffcott Street	633	<i>Phoenix dactylifera</i> Date palm	a,f
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	8m from right hand boundary, 7m from kerb	634	<i>Platanus x acerifolia</i> London plane	a,f
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	62.2m from right hand boundary, 31.6m from kerb on Jeffcott Street	635	<i>Platanus x acerifolia</i> London plane	a,f
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	63.6m from right hand boundary, 40m from kerb on Jeffcott Street	636	<i>Platanus x acerifolia</i> London plane	a,f
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	61m from right hand boundary, 55m from kerb on Jeffcott Street	637	<i>Washingtonia robusta</i> Mexican fan palm	g,l
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	57m from right hand boundary, 62m from kerb on Jeffcott Street	638	<i>Washingtonia robusta</i> Mexican fan palm	g,l
Carclew, 1-10 Strangways Terrace, North Adelaide	5500/480	61.2m from right hand boundary, 49.2m from kerb on Jeffcott Street	882	<i>Platanus x acerifolia</i> London plane	a,f
Carclew, 1-10 Strangways Terrace, North Adelaide (also known as 11-20 Montefiore Hill and 1-19 Jeffcott Street)	5500/480	1m from right hand boundary, 13.8m from kerb on Strangways Terrace	904	<i>Lagunaria patersonii</i> Pyramid tree	a,f
Carclew, 1-10 Strangways Terrace, North Adelaide (also known as 11-20 Montefiore Hill and 1-19 Jeffcott Street)	5500/480	20.4m from right hand boundary, 20.5m from kerb on Strangways Terrace	905	<i>Washingtonia robusta</i> Mexican fan palm	g,l
53-56 Strangways Terrace, North Adelaide	5729/411	5m from right hand boundary, 14m from kerb	690	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
57-60 Strangways Terrace, North Adelaide	5349/641	25m from right hand boundary, 8m from kerb	692	<i>Photinia sp.</i>	a,f
57-60 Strangways Terrace, North Adelaide	5349/641	20m from right hand boundary, 9m from kerb	872	<i>Photinia sp.</i>	a,f
Calvary Hospital, 81-100 Strangways Terrace, North Adelaide	5187/583	2m from right hand boundary, 25m from kerb on Strangways Terrace	270	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
Calvary Hospital, 81-100 Strangways Terrace, North Adelaide	5187/583	149m from right hand boundary, 6m from kerb on Strangways Terrace	271	<i>Celtis australis</i>	a,f
Calvary Hospital, 81-100 Strangways Terrace, North Adelaide	5187/583	62m from right hand boundary, 8m from kerb on Barnard Street	272	<i>Schinus molle var. areira</i> Pepper tree	a,f
Calvary Hospital, 81-100 Strangways Terrace, North Adelaide	5187/583	69m from right hand boundary, 11m from kerb on Barnard Street	273	<i>Araucaria cunninghamii</i> Hoop pine, Moreton Bay pine	a,f
Calvary Hospital, 81-100 Strangways Terrace, North Adelaide	5187/583	2m from right hand boundary, 54m from kerb on Barnard Street	871	<i>Gleditsia triacanthos inermis</i> 'Sunburst' Form of honey locust	a
Channel 10, 124-129 Strangways Terrace, North Adelaide	5159/995	11m from right hand boundary, 11m from kerb	276	<i>Pinus canariensis</i> Canary Islands pine	a,f
Channel 10, 124-129 Strangways Terrace, North Adelaide	5159/995	1m from right hand boundary, 24.5m from kerb on Strangways Terrace	277	<i>Ficus microcarpa</i> Laurel fig	a,f

Property Address	Certificate of Title	Location on site	Tree Ref No	Species and common name	Section 23(4a) Criteria
Channel 10, 124-129 Strangways Terrace, North Adelaide	5159/995	42m from right hand boundary, 20m from kerb on Strangways Terrace	279	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
Channel 10, 124-129 Strangways Terrace, North Adelaide	5159/995	38m from right hand boundary, 20m from kerb on Strangways Terrace	280	<i>Washingtonia filifera</i> Desert fan palm, petticoat palm	a,f
Channel 10, 124-129 Strangways Terrace, North Adelaide	5159/995	36.6m from right hand boundary, 6m from kerb on Strangways Terrace	281	<i>Arbutus unedo</i> Strawberry tree	a,f
Channel 10, 124-129 Strangways Terrace, North Adelaide	5159/995	38m from right hand boundary, 12m from kerb on Strangways Terrace	284	<i>Ficus rubiginosa</i> Rusty fig, Port Jackson fig	a,f
131-133 Strangways Terrace, North Adelaide	5535/967	1.5m from right hand boundary, 6m from kerb	286	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
137-140 Strangways Terrace, North Adelaide	5793/248	2m from right hand boundary, 7m from kerb	290	<i>Erythrina caffra</i> Strait coral tree, South African kaffir boom	a,f
137-140 Strangways Terrace, North Adelaide	5793/248	12m from right hand boundary, 6m from kerb	873	<i>Erythrina caffra</i> Strait coral tree, South African kaffir boom	a,f
147-150 Strangways Terrace, North Adelaide	5413/583	6m from right hand boundary, 20m from kerb	291	<i>Casuarina cunninghamiana</i> River oak, River sheoak	a,f
155-156 Strangways Terrace, North Adelaide	5081/588	1m from right hand boundary, 12m from kerb	888	<i>Fraxinus 'Raywood'</i> Claret ash	a,f
aSturt Street School, 221-239 Sturt Street, Adelaide	5808/465	7m from right hand boundary, 45m from kerb	807	<i>Eucalyptus camaldulensis</i> River red gum	g,h,i,k,l
Lucy Morice Kindergarten, 80-88 Sussex Street, North Adelaide	5828/966, 5453/868	21m from right hand boundary, 9m from kerb	760	<i>Melia azedarach</i> White cedar	a,f
Lucy Morice Kindergarten, 80-88 Sussex Street, North Adelaide	5828/966, 5453/868	6m from right hand boundary, 3m from kerb	763	<i>Acer negundo</i> Box-elder maple	a,f
38-40 Tynte Street, North Adelaide	3439/122	4.8m from right hand boundary, 36.3m from kerb	706	<i>Ulmus glabra 'Lutescans'</i> Golden elm	a,f
38-40 Tynte Street, North Adelaide	3439/122	.5m from right hand boundary, 38.3m from kerb	883	<i>Magnolia grandiflora</i> Bull bay, Southern or Laurel magnolia	a,f
Channel 9, 194-196 Tynte, North Adelaide Street (also known as 1-7 Mansfield Street)	5326/566	14m from right hand boundary, 36m from true kerb	603	<i>Erythrina indica</i> Indian coral-tree	a,f
North Adelaide Baptist Church, 144-156 Tynte Street, North Adelaide	675/127 5686/939	20m from right hand boundary, 12m from kerb	885	<i>Lagunaria patersonii</i> Pyramid tree	a,f
Daniel O'Connell Hotel, 165-169 Tynte Street, North Adelaide	5138/104	3m from right hand boundary, 41m from kerb	615	<i>Schinus molle var. areira</i> Pepper tree	a,f
St Stephen's Lutheran Church 152 – 160 Wakefield Street, Adelaide	606/15	30 from right hand boundary, 6m from kerb	155	<i>Robinia pseudoacacia</i> Black locust, false-acacia	a,f
277 – 279 Wakefield Street, Adelaide	5389/843	4m from right hand boundary, 6m from kerb	136	<i>Washingtonia robusta</i> Mexican fan palm	a,f
277 – 279 Wakefield Street, Adelaide	5389/843	4m from right hand boundary, 4m from kerb	899	<i>Washingtonia robusta</i> Mexican fan palm	a,f
335-337 Wakefield Street, Adelaide	5598/761	25.2m from right hand boundary, 64 from kerb	135	<i>Schinus molle var. areira</i> Pepper tree	a,f

Property Address	Certificate of Title	Location on site	Tree Ref No	Species and common name	Section 23(4a) Criteria
66 Ward Street, North Adelaide	5656/10	11m from right hand boundary, 32m from kerb	693	<i>Fraxinus oxycarpa</i> Desert ash	a,f
86-88 Ward Street, North Adelaide (also known as 2-8 Boulton Street)	5835/916	14.5m from right hand boundary, 22.5m from kerb on Ward Street	695	<i>Jacaranda mimosifolia</i> Jacaranda	a,f
182-184 Ward Street, North Adelaide (also known as Ward Court)	5265/41	12.4m from right hand boundary, 0.5m from kerb on Ward Court	620	<i>Fraxinus oxycarpa</i> Desert ash	a,f
282-290 Ward Street, North Adelaide	5366/231	27m from right hand boundary, 13.5m from kerb	263	<i>Lagunaria patersonii</i> Pyramid tree	a,f
292-300 Ward Street, North Adelaide (296)	5351/152	23m from right hand boundary, 57m from kerb	264	<i>Fraxinus 'Raywood'</i> Claret ash	a,f
Bishop's House, 91 – 100 West Terrace, Adelaide	5358/422	4m from right hand boundary, 60m from kerb	186	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	g,l
Bishop's House, 91 – 100 West Terrace, Adelaide	5358/422	5m from right hand boundary, 60m from kerb	187	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	g,l
Bishop's House, 91 – 100 West Terrace, Adelaide	5358/422	10m from right hand boundary, 70m from kerb	188	<i>Schinus molle</i> var. <i>areira</i> Pepper tree	g,l
Bishop's House, 91 – 100 West Terrace, Adelaide	5358/422	4m from right hand boundary, 6m from kerb	190	<i>Olea europaea</i> Common olive	g,l
Bishop's House, 91 – 100 West Terrace, Adelaide	5358/422	8m from right hand boundary, 60m from kerb	191	<i>Olea europaea</i> Common olive	g,l
Bishop's House, 91 – 100 West Terrace, Adelaide	5358/422	1m from right hand boundary, 50m from kerb	192	<i>Phoenix canariensis</i> Canary date palm	g,l,l

TABLE Adel/6

Bicycle Parking Provisions

Type of Development	Bicycle parking space standard for employees and/or residents	Bicycle parking space standard for customers, visitors and/or shoppers
Aged Care Facility Low Care High Care Nursing home Retirement Home	1 per 7 people the facility is capable of accommodating.	1 per 60 people the facility is capable of accommodating.
Café/Restaurant Restaurant	1 per 20 employees.	1 per 50 seats
Child Care Centre	1 per 20 employees.	1 per 40 children
Community Centre Non-residential club	1 per 1500 square metres of gross leasable floor area.	2 + 1 per 1500 square metres of gross leasable floor area
Consulting Rooms Medical centre/day surgery	1 per 20 employees.	1 per 20 consulting rooms.
Educational Establishment “School”	1 per 20 full-time time employees.	Additional 10 percent of total employee parking spaces.
Educational Establishment “University”	1 per 20 employees plus 1 per 10 full time students.	1 per 20 employees.
Hospital	1 per 15 beds.	1 per 30.
Indoor Recreational Facility	1 per 4 employees.	1 per 200 square metres of gross leasable floor area.
Licensed Premises Licensed Entertainment Premises	1 per 20 employees. 1 per 60 square metres total floor area.	1 per 40 square metres bar floor area. 1 per 120 square metres lounge and beer garden floor area. 1 per 60 square metres dining room floor area. 1per 40 square metres gaming room floor area.
Major Sports Ground	1 per 1500 spectator seats.	1 per 250 spectator seats.
Motel	1 per 20 employees.	2 for the first 40 rooms, plus 1 for every additional 40 rooms.
Multi-level Car Parking Station	1 per 20 employees, plus 5 percent of the total number of proposed car parking spaces.	N/A
Offices/Ancillary Retail Services Bank Office Service premises Warehouse office Civic Admin office	1 per 200 square metres of gross leasable floor area.	2, plus 1 per 1000 square metres of gross leasable floor area.

Type of Development	Bicycle parking space standard for employees and/or residents	Bicycle parking space standard for customers, visitors and/or shoppers
All Low, Medium, and High Scale Residential	1 for every dwelling/apartment with a total floor area less than 150 square metres. 2 for every dwelling/apartment with a total floor area greater than 150 square metres.	1 for every 10 dwellings
Retail Drive-in shopping centre Show room (bulky goods) Shop Hardware & show rooms	1 per 300 square metres of gross leasable floor area.	1 per 600 square metres of gross leasable floor area.
Serviced Apartment	1 per 20 employees.	2 for the first 40 rooms, plus 1 for every additional 40 rooms.

Note: The total number of bicycle parking spaces to be provided is the sum of that for employees and/or residents plus customers, visitors and/or shoppers.

TABLE Adel/7

On-site Car Parking Provisions
City Living, Adelaide Historic (Conservation) and North Adelaide Historic (Conservation) Zones

Type of Development	Minimum Provision of Car Park Spaces	Maximum Provision of Car Park Spaces
Hospital	1.5 spaces per bed	-
Hotel/Licensed Premises	1 for every 2 square metres of building floor area available to the public in a bar, plus 1 for every 6 square metres of building floor area available to the public in a lounge, dining room or beer garden	-
Offices/Ancillary Retail Services	3 per 100 square metres building floor area	-
Low Scale Residential	1 space per dwelling up to 200 square metres building floor area. 2 spaces per dwelling greater than 200 square metres building floor area. Multi-unit dwellings should provide 1 visitor space for each 4 dwellings	
Medium to High Scale Residential or Serviced Apartment	1 space per dwelling up to 200 square metres building floor area. At least 2 spaces per dwelling greater than 200 square metres building floor area	-
Non-residential development (excluding hotel/licensed premises, offices/ancillary retail services and restaurant/café)	5 spaces per 100 square metres of gross leasable floor area	-
Restaurant/Cafe	1 space for every 3 restaurant/café seats.	-

PARKING FOR PEOPLE WITH A DISABILITY - MINIMUM RATE FOR RESERVED SPACES

General Requirement

1 car parking space in every 15 spaces provided with any form of development should function as a car parking space suitable for use by people with disabilities and other people with small children and prams so they can easily be loaded/unloaded from vehicle side doors.

People with Disabilities

Every second parking space provided for people with special needs shall be reserved for the exclusive use of people with disabilities (i.e. 1 in 30 spaces).

Capital City, Main Street, City Frame, I1 Institutional (St Andrews) and Mixed Use Zones

In mixed use buildings, where there is a combination of more than one of the following land uses, the provision of vehicle parking at the following rates may be reduced in number and shared where the operating hours of commercial activities complement the residential use of the site:

Type of Development	Minimum Provision of Car Park Spaces	Maximum Provision of Car Park Spaces
Hospital	In the City Frame, Main Street Zones: 1.5 spaces per bed.	-
Low Scale Residential	In the Main Street (O'Connell), Main Street (Hutt), Main Street (Melbourne East) and Mixed Use (Melbourne West) Zones: 1 space per dwelling up to 200 square metres building floor area. At least 2 spaces per dwelling greater than 200 square metres building floor area. Multi-unit dwellings should provide 1 visitor space for each 4 dwellings.	-
Medium to High Scale Residential or Serviced Apartment	In the Main Street (O'Connell), Main Street (Hutt), Main Street (Melbourne East) and Mixed Use (Melbourne West) Zones: 1 space per dwelling up to 200 square metres building floor area. At least 2 spaces per dwelling greater than 200 square metres building floor area.	Within the Primary Pedestrian Area shown on Map Adel/1 (Overlay 2A) : 1 space for each dwelling with a total floor area less than 75 square metres 2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres 3 spaces for each dwelling with a total floor area greater than 150 square metres. Multi-unit dwelling: 1 visitor space for each 6 dwellings.
Non-residential development (excluding tourist accommodation)	In the City Frame, Institutional (St Andrew's), Main Street and Mixed Use Zones: 3 spaces per 100 square metres of gross leasable floor area	In the City Frame, Institutional (St Andrew's), Main Street and Mixed Use Zones: 5 spaces per 100 square metres
Tourist Accommodation	In the City Frame, Main Street and Mixed Use Zones: 1 space for every 4 bedrooms up to 100 bedrooms and 1 space for every 5 bedrooms over 100 bedrooms	In the City Frame, Main Street and Mixed Use Zones: 1 space for every 2 bedrooms up to 100 bedrooms and 1 space for every 4 bedrooms over 100 bedrooms

PARKING FOR PEOPLE WITH A DISABILITY - MINIMUM RATE FOR RESERVED SPACES

General Requirement

1 car parking space in every 15 spaces provided with any form of development should function as a car parking space suitable for use by people with disabilities and other people with small children and prams so they can easily be loaded/unloaded from vehicle side doors.

People with Disabilities

Every second parking space provided for people with special needs shall be reserved for the exclusive use of people with disabilities (i.e. 1 in 30 spaces).

SCHEDULE 1: DEFINITIONS

acoustic engineer: an engineer eligible for membership of both the Institution of Engineers Australia and the Australian Acoustical Society.

adult entertainment premises: the use of land for the exhibition, display, or performance of any entertainment or act which is sexually explicit such as nude dancing or lap dancing, and to which admittance by minors is restricted by law.

adult products and services premises: the use of land or premises for a tattooist, or for the sale, exchange, hire, exhibition, loan, delivery or display, or to otherwise render accessible or available to the public, sexually explicit material including:

- (a) publications classified as restricted or prohibited under the Classification (Publications, Films and Computer Games) Act 1995; and/or
- (b) material compounds, objects or devices (other than contraception and medical treatments) designed to be used in connection with sexual behaviour or activities; and/or
- (c) films, video films or tapes, any other form of optical or electronic records from which a visual image may be produced or any other pictorial matter, the sale, delivery, exhibition, advertisement or display of which is restricted or prohibited under the Classification (Publications, Films & Computer Games) Act, 1995.

It does not include premises used for prostitution.

bedroom: a room or space capable of being used as a bedroom.

building floor area: the sum of the gross horizontal areas of each and every floor of a building contained within the inner faces of the outer walls measured at a height of 1.5 metres above the floor. It includes the areas occupied by internal walls and columns, party walls between adjoining properties, staircases, lobbies, corridors and toilets, but excludes any area permanently set aside for the parking, manoeuvring, unloading or loading of vehicles together with ramps or other means of access. It also excludes the accommodation of mechanical or electrical plant or equipment servicing the building, lift shafts, vertical service ducts and space devoted to a required pedestrian link as identified in [Map Adel/1 \(Overlay 2A\)](#) or in any Zone or Policy Area.

building level: that portion of a building which is situated between the top of any floor and the top of the floor next above it and if there is no floor above, that portion between the top of the floor and the ceiling above it. It does not include a floor located more than 1.5 metres below the median natural or finished ground level or the roof top location of plant and mechanical equipment.

culture: the collection of distinctive traits, spiritual and material, intellectual and affective, which characterise a society or social group. It comprises, besides arts and letters, modes of life, human rights, value systems, traditions and beliefs.

cultural heritage: the living, hunting, weaving, singing and dancing of the first people of the Tandanya Plain, the Kaurna, were the original human expressions of the arts and living culture of this place. Successive waves of people from other places have met with, changed, intermingled with and enriched those cultures to create a rich multi-layered and diverse heritage of cultural practices.

design technique: a quantitative or measurable performance standard that indicates one way in which compliance with a Principle of Development Control may be achieved.

formal recreational area: any area which is fenced or marked whether permanent or otherwise, which is used for an organised sport.

heritage place (other than heritage place – North Adelaide): a State heritage place or a local heritage place. A local heritage place may be classified as either a Local Heritage Place, Local Heritage Place (Townscape) or Local Heritage Place (City Significance)

heritage place – North Adelaide:

- (a) a State heritage place listed on the Register of State Heritage Places or is a provisional entry on that Register; or
- (b) a local heritage place identified as follows:
 - (i) within a Table in each Policy Area of the North Adelaide Historic (Conservation) Zone and illustrated on Policy Area [Maps Adel/37 to 45](#).
 - (ii) in a Table in each Main Street Zone and illustrated on a Figure within each Main Street Zone;

For reference, State heritage places are identified in a similar manner to local heritage places. For the description of the heritage value of a State heritage place, refer to the Register of State Heritage Places.

In relation to a local heritage place, the elements of heritage value comprise:

- (a) all exterior parts of the original building(s) or structure(s) on the site, including external walls and roof forms, but not including alterations and additions that are not characteristic of the building period, style or type as defined in Schedule 2 and elements specifically excluded in the relevant Zone or Policy Area Table;
- (b) original building elements, materials and details, including chimneys, verandahs, balconies and door and window joinery that are characteristic of the building period, style or type as defined in Schedule 2, unless specifically excluded in the relevant Zone or Policy Area Table;
- (c) any non-original elements that are characteristic of the building period, style or type as defined in Schedule 2, unless specifically excluded in the relevant Zone or Policy Area Table; and
- (d) any interiors or other elements described in the relevant Zone or Policy Area Table;

except where the elements of heritage value are described in the relevant Zone or Policy Area Table as: “Frontage and side wall returns visible from the street”, in which case the elements of heritage value for such places shall be so limited.

informal recreational area: any area which is unfenced, or unmarked that is not used for an organised sport.

landscaped open space: open space at ground level having a minimum horizontal dimension of one metre which incorporates substantial landscape planting and is designed, developed, maintained and capable of being used as a garden, grassed, or paved area for pedestrian use and enjoyment, or a swimming pool. It includes a driveway within the site of a single dwelling, but does not include a parking area or any shared area for vehicles, a service area, or any area used for storage of refuse or waste.

licensed entertainment premises: the use of land for premises licensed under liquor licensing legislation where live entertainment is provided, but does not include premises where any entertainment or act is sexually explicit in nature such as nude dancing or lap dancing.

low scale residential development: residential development up to 3 building levels as well as any space at the roof level of a building of 3 levels, such as a roof deck, patio, garden, as well as any minor ancillary habitable or non-habitable room.

main face: the main face of a building means the closest external wall or walls of a room to the street frontage (or in the case of a building which has frontage to more than one street, the primary street frontage) excluding minor protrusions”

medium to high scale residential or serviced apartment development: residential development or serviced apartment development of 4 or more building levels.

minor protrusion: minor protrusion includes a porch, portico, eave, balcony protruding from a building or similar of like scale”.

minor street: a street with a road reserve narrower than 15 metres in width.

noise sensitive development: development that may be adversely affected by noise, such as residential, health care, aged care and educational activities.

plot ratio: the ratio between the total building floor area or areas of a building or buildings, and the area of the allotment(s) upon which such building or buildings are or are intended to be erected.

special event: means a community, cultural arts, entertainment, recreational, sporting or other similar event that is held over a limited period of time.

third party advertising: includes an advertisement display relating to the following:

- (a) any goods, services or products of a class not provided, produced or sold to a significant extent on the land or in the building at which or upon which the advertisement display is situated;
- (b) any occurrence, events or competitions which are not carried on the land or in the building at or upon which the advertisement display is situated; or
- (c) the location, nature or details of any activity or business not situated on the land or in the building at or upon which the advertisement display is situated.

SCHEDULE 2: HOUSE PERIODS, STYLES AND TYPES IN NORTH ADELAIDE

Early Victorian Houses (1840s to 1860s)

In the initial period of settlement, corresponding with the early Victorian period, houses were typically small, low scale and of a simple form. Small houses such as this were built on or close to the street alignment and were constructed of rubble walling of limestone and bluestone, or of locally fired bricks. Generally these small cottages were straight fronted with a symmetrical arrangement of a central door and windows either side. Variations in form included a front wall built up as a parapet, with a low hipped roof behind, or end gable walls, with a simple ridged roof line between the gable ends. As well as freestanding single storey houses, some examples of two storey and attached row dwellings from this period also remain in the city and North Adelaide. Verandahs were sometimes added at a later date but the low scale of these buildings often made this difficult.

Fences typically were timber pickets, paling or corrugated iron with timber capping.

Victorian Houses (1870s to 1890s)

During this period of intensive development in North Adelaide, solid masonry houses of a range of forms and scale were constructed in large numbers. The detail on these houses is specifically derived from 'classical' Italianate sources, but the forms were varied, and included single fronted, symmetrically fronted, and asymmetrically fronted houses, some with bay fronted projections. Each of these forms could be single or two storey and all were built in a variety of sizes and scale. Houses in this period characteristically had verandahs with the roof most commonly of concave or convex form, and were typically constructed of bluestone, limestone or sandstone, often with side and rear walls of brick or rubble. Roofs were generally hipped in form, but with the asymmetrical style, the roof to the projecting bay could be gable ended or hipped. The vertically proportioned window and door surrounds were highlighted with either moulded render or brick dressings. The cast iron or timber posts to the verandahs were elaborated with moulded capitals and trim, and cast iron brackets and frieze decoration was used widely. Windows and doors were timber framed, and doors were typically four panelled, with fanlights and often sidelights.

Fences were typically of masonry base and piers with cast iron panels or railings, although evidence of timber railing can still be found. Smaller houses continued to use timber picket fencing.

Edwardian Houses (1900 to 1920s)

Houses of this period reflected new sources of design and architectural approach current in Britain, Europe and to some degree, North America. The emphasis on a straightforward, often symmetrical, form was overwhelmed by a more picturesque approach to roof forms and elevations. Sources of styles for this period included Queen Anne, Arts & Crafts and Art Nouveau styles, which were often transmuted into a particularly Australian style as this period coincided with the Federation era. The earlier houses in this period continued with some transitional use of materials such as ashlar stone with brick dressings or moulded render, but with verandahs with convex (or bullnose) profile. Later in the period distinctive 'rock face' sandstone (or freestone) was used the wall material. Houses of face brick walling with decorative brick detailing were also constructed during this period. Other characteristic features of houses of this period include prominent strapped gables and detailing, tall brick chimneys, and verandahs that were often incorporated under the main pitch of the roof. During this period imported unglazed terracotta Marseilles roof tiles were introduced, although corrugated iron also continued to be used for roof cladding. Windows and doors continued to be constructed of timber, but windows were often grouped and doors were often divided into three or four horizontal panels.

Inter-War Houses (1920s to 1942)

In the period between the First World War and Second World War new styles developed, particularly the Bungalow (based on the Californian version) and Tudor Revival styles. Bungalows incorporated a broad spreading roof and verandah with typical masonry columns supporting verandah elements and the expansive two storey version was often known as a Gentlemen's Bungalow. The roof tiles used were Australian-made Wunderlich tiles of the same profile as earlier Marseilles tiles. The Tudor Revival style displayed steeply pitched roofs with half timber gable ends and variations of the verandah porch treatment. Other styles which were built in North Adelaide during this period included Spanish Mission (or more often 'Mediterranean') and Art Deco/Moderne, although these are not as common. During this period, timber joinery remained characteristic of the housing styles, but there was some use of metal framed windows.

Fencing was typically low masonry walls, built from materials matching the main building.

Housing development essentially stopped in North Adelaide during the period 1942 to 1950 as a result of the materials shortages caused by the Second World War.

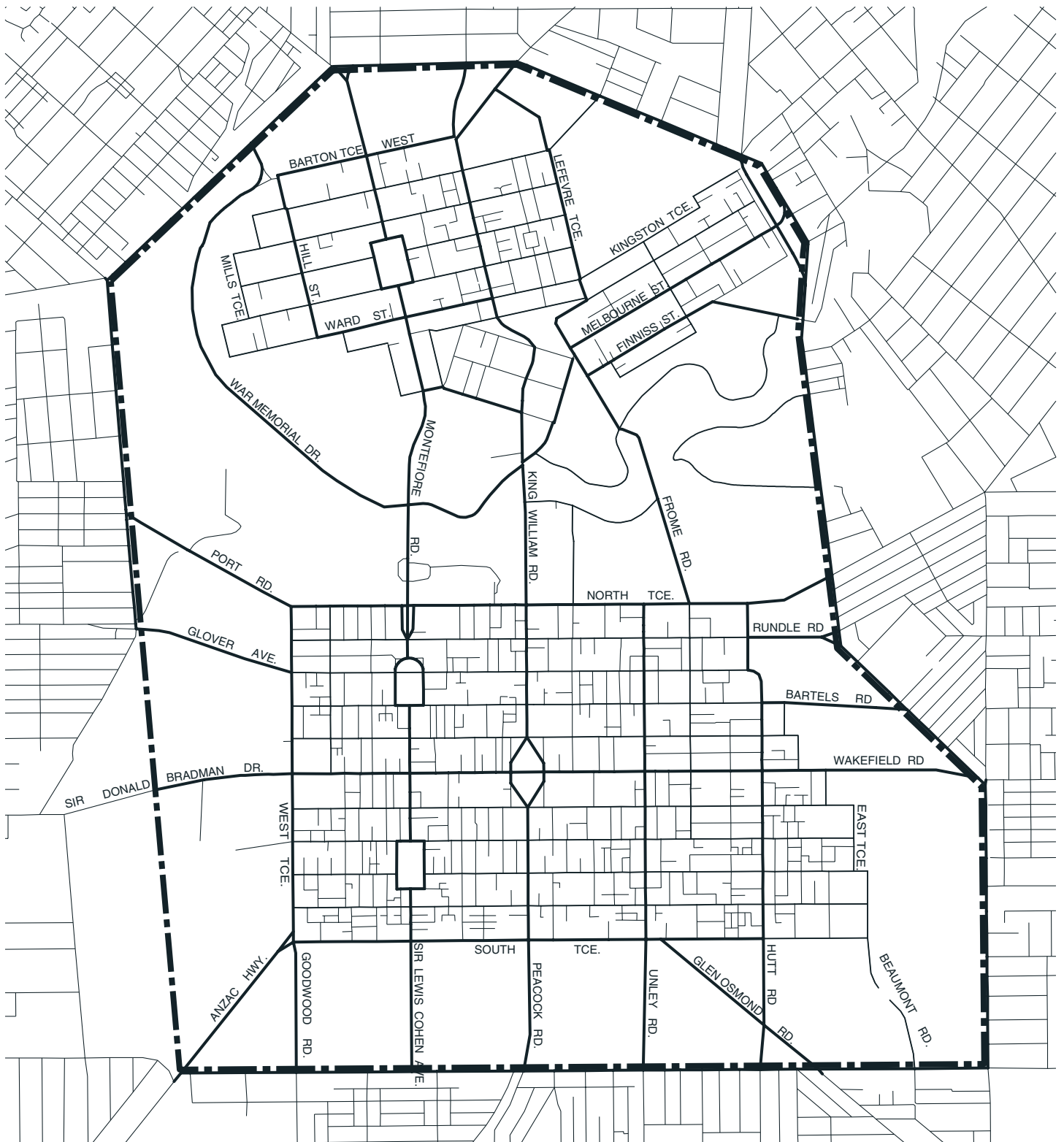
Post War Housing (1950s plus)

During this period a range of new styles became popular. The main styles constructed in North Adelaide were Old English and Georgian Revival styles. Houses in these styles were constructed both before and after the Second World War and were either infill or replaced earlier houses.

The Old English Revival style used elements which made some reference to Elizabethan/Tudor architectural details including brick or white rendered walls to simulate limewash, steeply pitched roof form and tall chimneys.

The Georgian Revival style was based on an interpretation of English Georgian architecture, using a symmetrical elevation with rendered or brick walls, fanlight above central entrance door, hipped roof form and generally classically derived proportions and details. This style had no verandah but often displayed an entrance portico.

Some later notable architecturally designed residences, which were based on the post-war International Style, illustrate the avant garde trend of domestic architecture in the 1960s. These houses were generally cubiform and were constructed with flat roofs, with large areas of glass in smooth masonry walls. Cantilevered elements and recessed porch areas were typical of the style.



Scale 1:26,000
 0metres 500 1000

--- Development Plan Boundary

ADELAIDE (CITY) **DEVELOPMENT PLAN BOUNDARY** **MAP Adel/1**



- Primary City Access
- - - Secondary City Access
- Local Connector
- . - . - Development Plan Boundary









Scale 1:26,000
0metres 500 1000

ADELAIDE (CITY) **CITY ROAD NETWORK** **MAP Adel/1 (Overlay 1)**

Consolidated - 30 April 2020



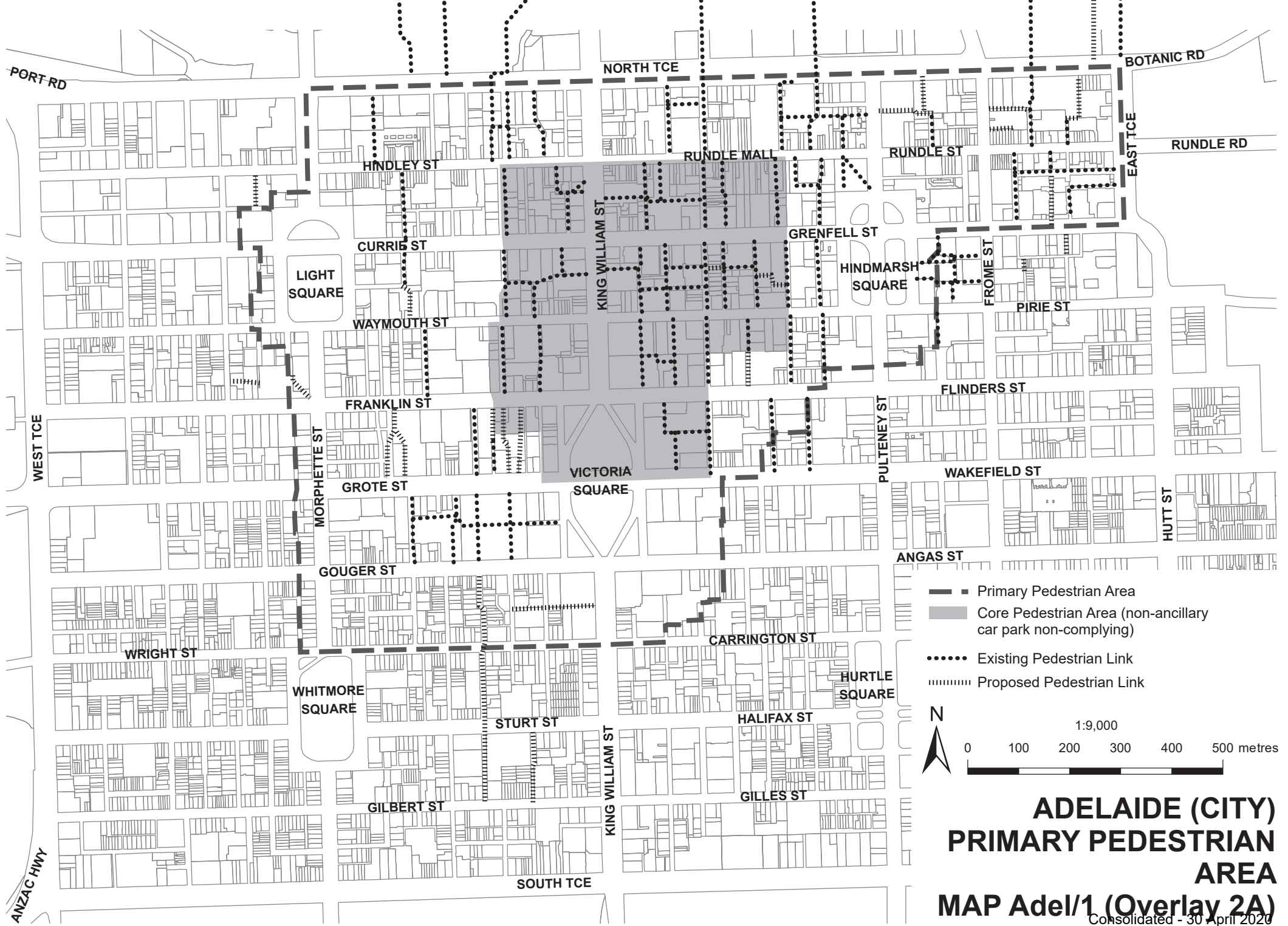
-  Primary Pedestrian Area [See Map Adel /1 (Overlay 2A) for detail]
-  Core Pedestrian Area (non-ancillary car park non-complying)
-  Secondary Pedestrian Area
-  Localised Walking Route
-  Major Walking Route
-  Development Plan Boundary



Scale 1:26,000
0metres 500 1000

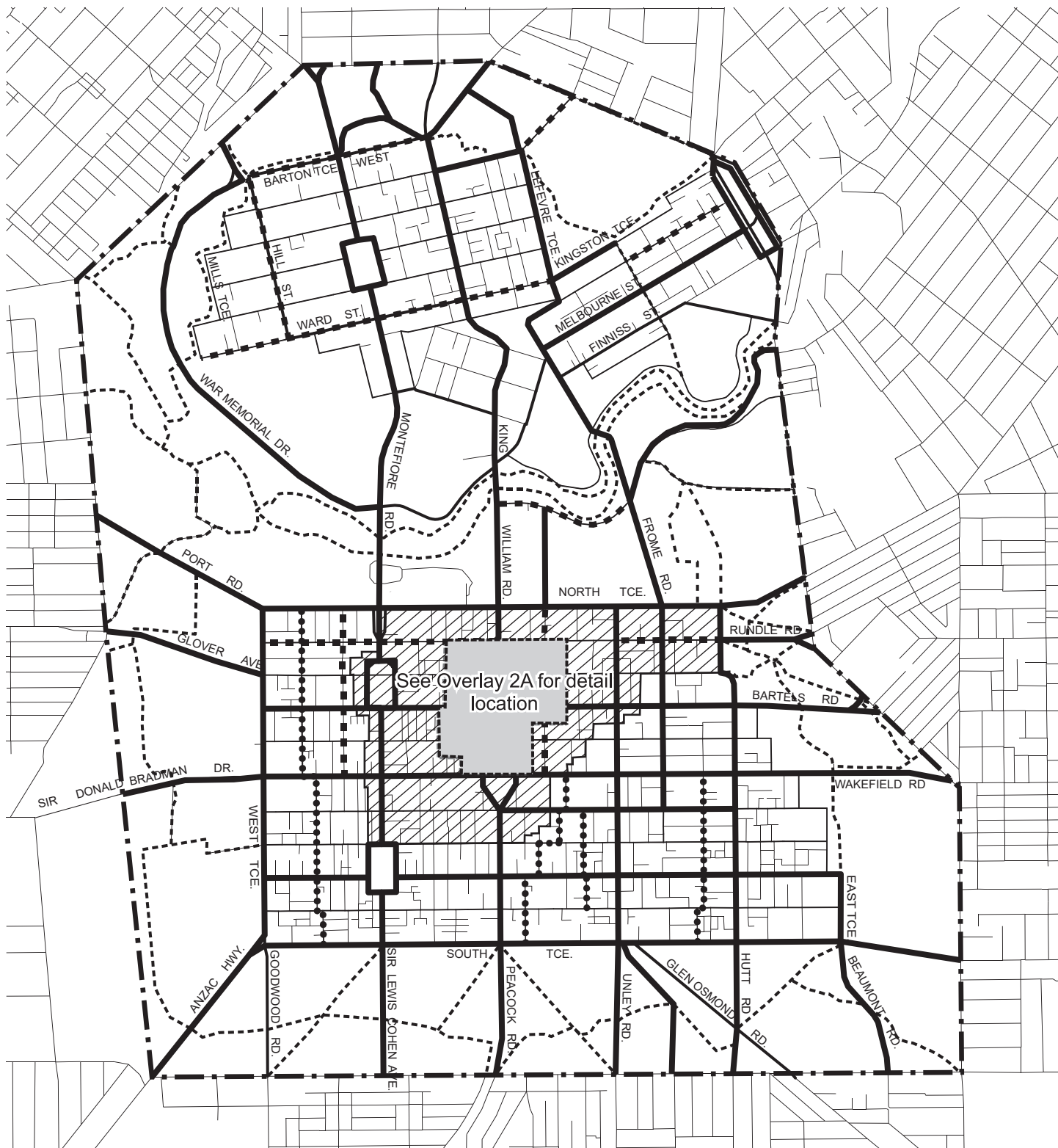
ADELAIDE (CITY) **PEDESTRIAN NETWORK** **MAP Adel/1 (Overlay 2)**

Consolidated - 30 April 2020



ADELAIDE (CITY) PRIMARY PEDESTRIAN AREA MAP Adel/1 (Overlay 2A)

Consolidated - 30 April 2020



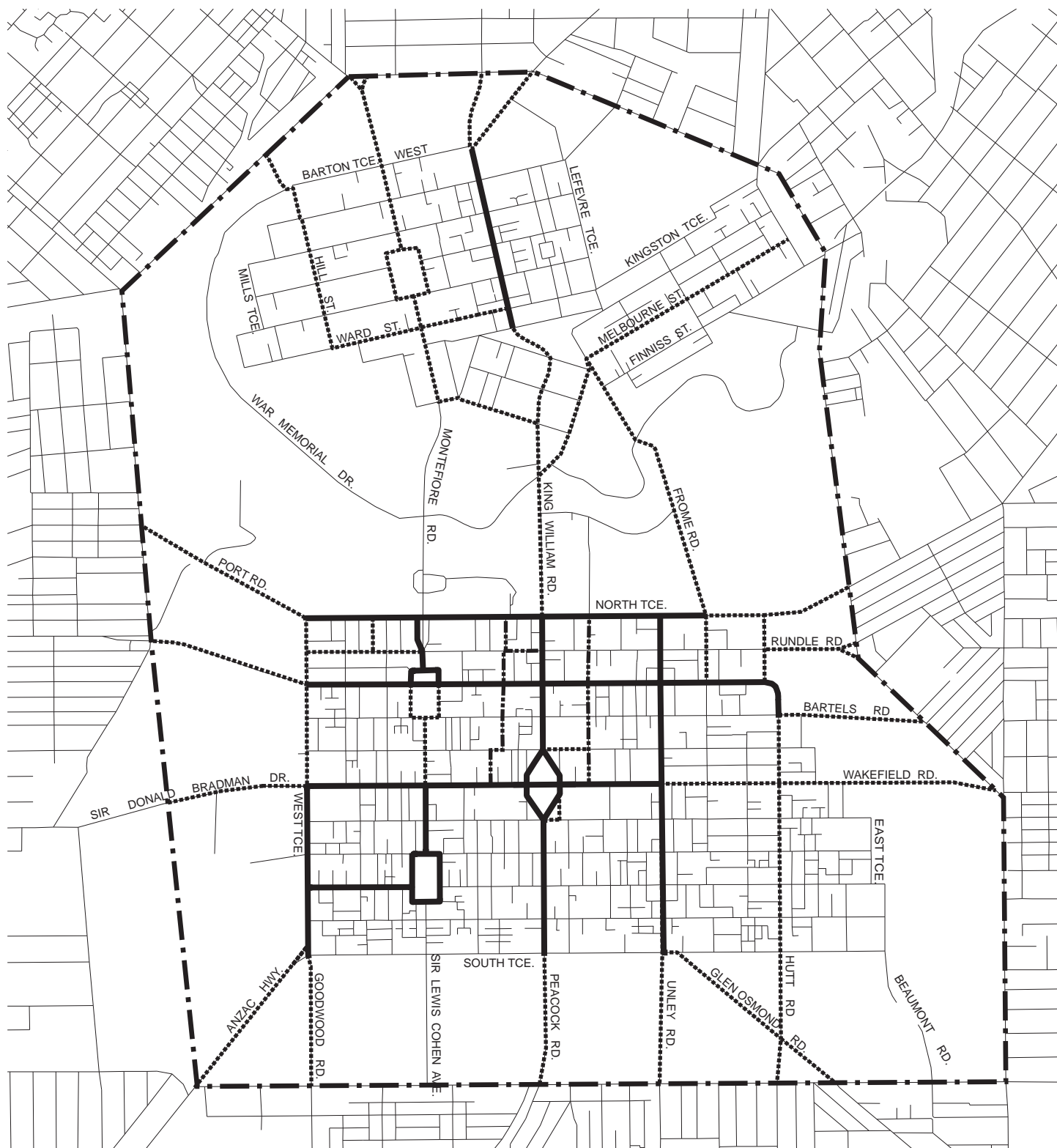
- Primary Bicycle Network
- Important Secondary Road
- Important Secondary Route
- Recreational Route
- Primary Pedestrian Area [See Map Adel /1 (Overlay 2A) for detail]
- Core Pedestrian Area (non-ancillary car park non-complying)
- Development Plan Boundary



Scale 1:26,000
0metres 500 1000

ADELAIDE (CITY) **BICYCLE NETWORK** **MAP Adel/1 (Overlay 3)**

Consolidated - 30 April 2020



- High Concentration Public Transport Route
- Public Transport Pedestrian Route
- Bus Route

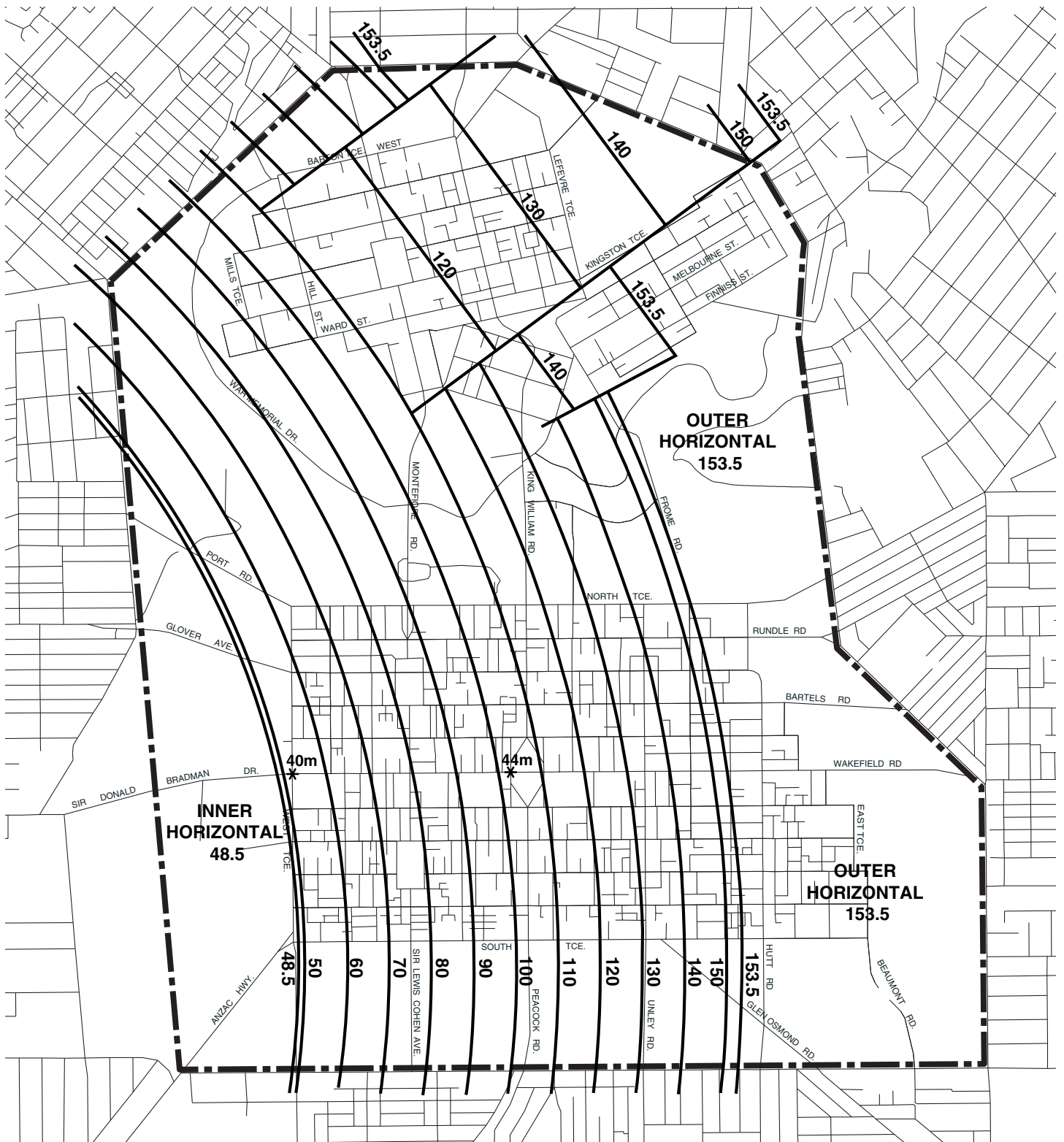
- Development Plan Boundary



Scale 1:26,000
0metres 500 1000

ADELAIDE (CITY) **PUBLIC TRANSPORT NETWORK** **MAP Adel/1 (Overlay 4)**

Consolidated - 30 April 2020



Referral to the Department of Transport and Regional Services through Adelaide Airport Limited is required where a development would exceed the Obstacle Limitation Surface (OLS) contours on this map.

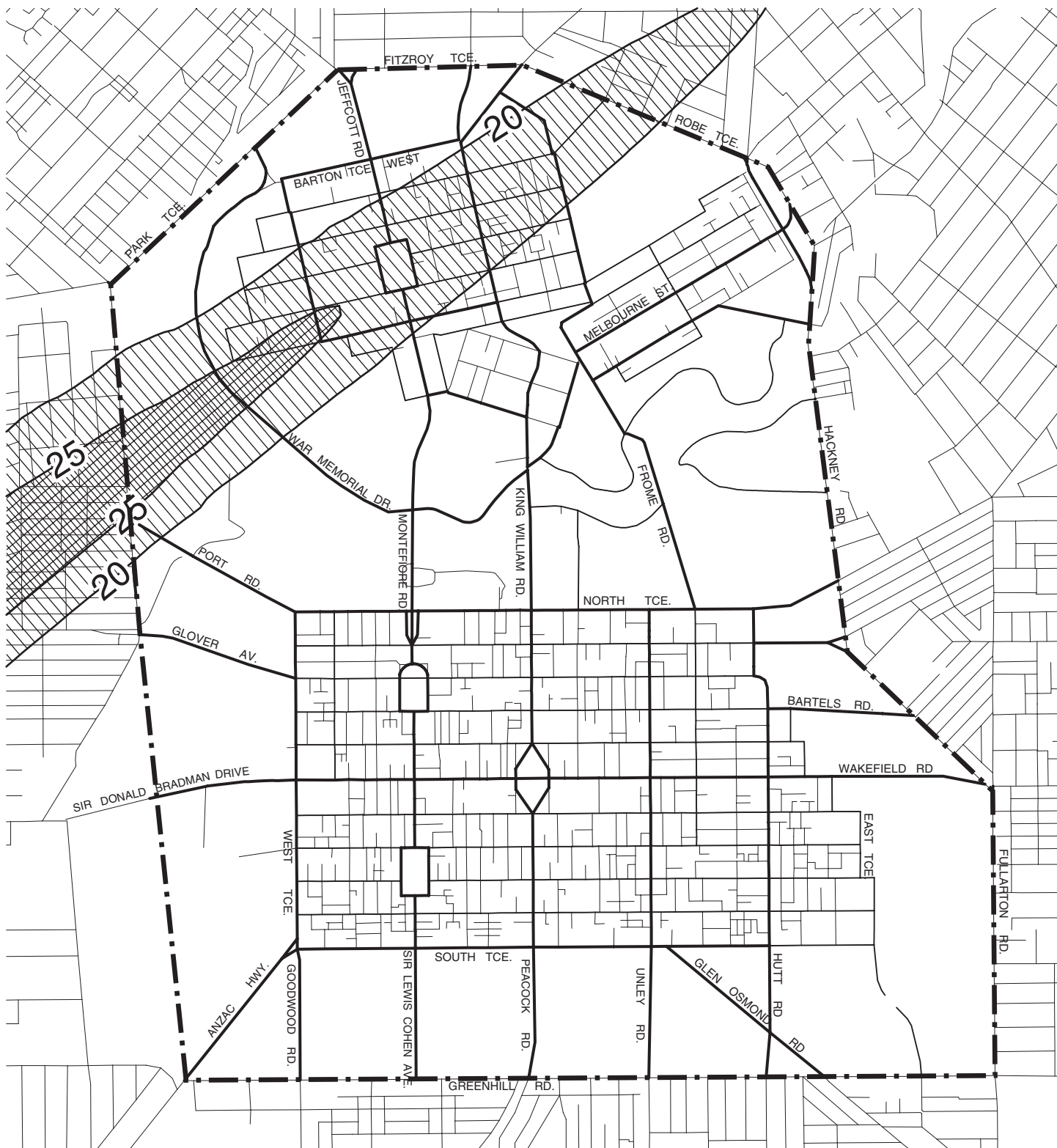
- 100** OLS Values in Australian Height Datum (AHD)
- OLS Contour Boundary
- * 40m** Indicative ground level in AHD. Note: Ground level varies throughout the Council area and accurate ground level in AHD would need to be confirmed
- - -** Development Plan Boundary



Scale 1:26,000
0metres 500 1000

Note: Approval is required under the Commonwealth Airports Act 1996 for structures and the like that penetrate prescribed air space (as defined in the Airports Act 1996)

ADELAIDE (CITY) AIRPORT BUILDING HEIGHTS MAP Adel/1 (Overlay 5)



Areas within ANEF contours

ANEF LEVEL

20-25

25+

--- Development Plan Boundary



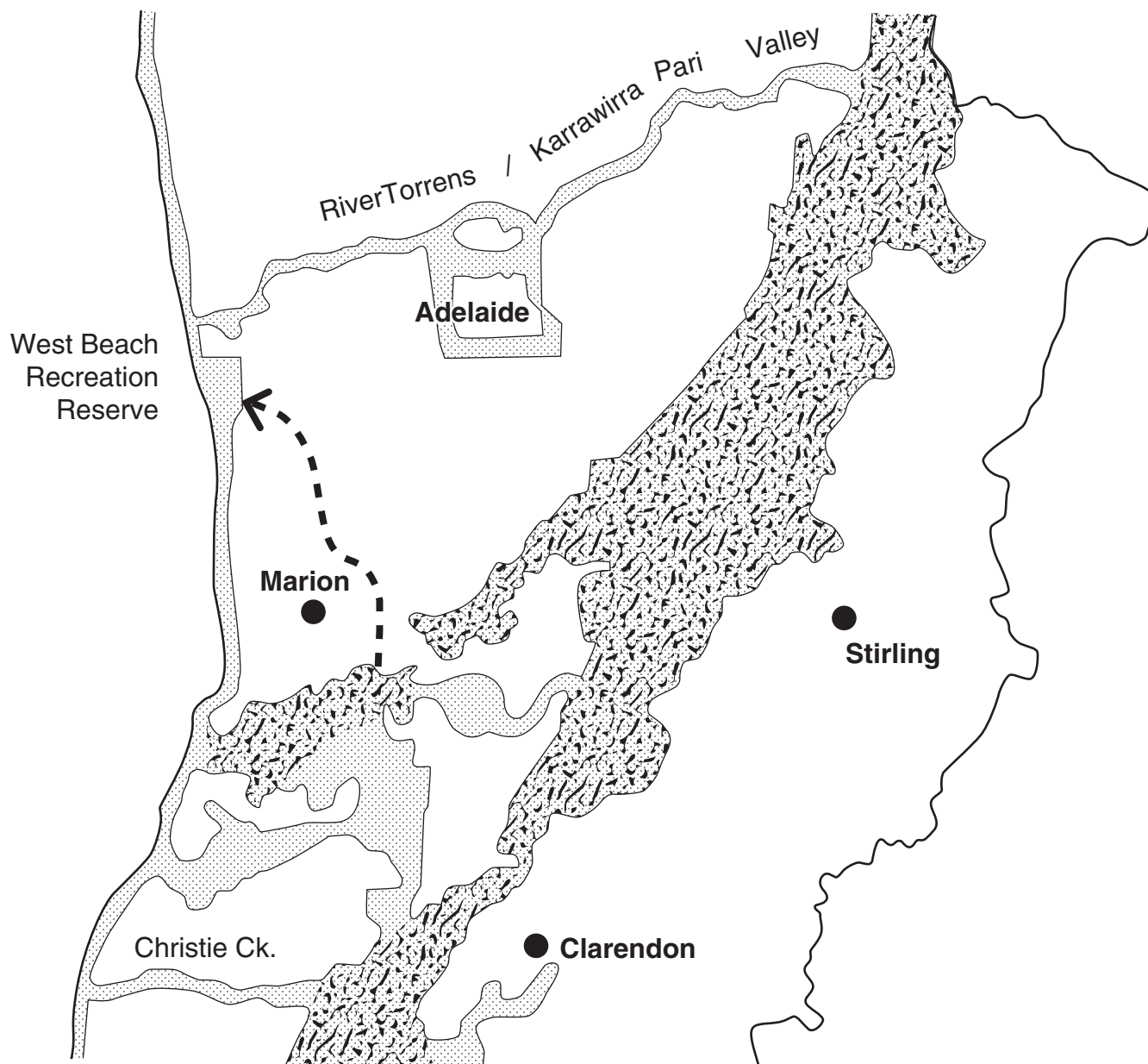
Scale 1:26,000

0metres 500 1000






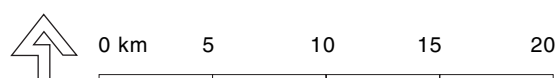
ADELAIDE (CITY) **AIRCRAFT NOISE EXPOSURE FORECAST** **MAP Adel/1 (Overlay 6)**

Consolidated - 30 April 2020



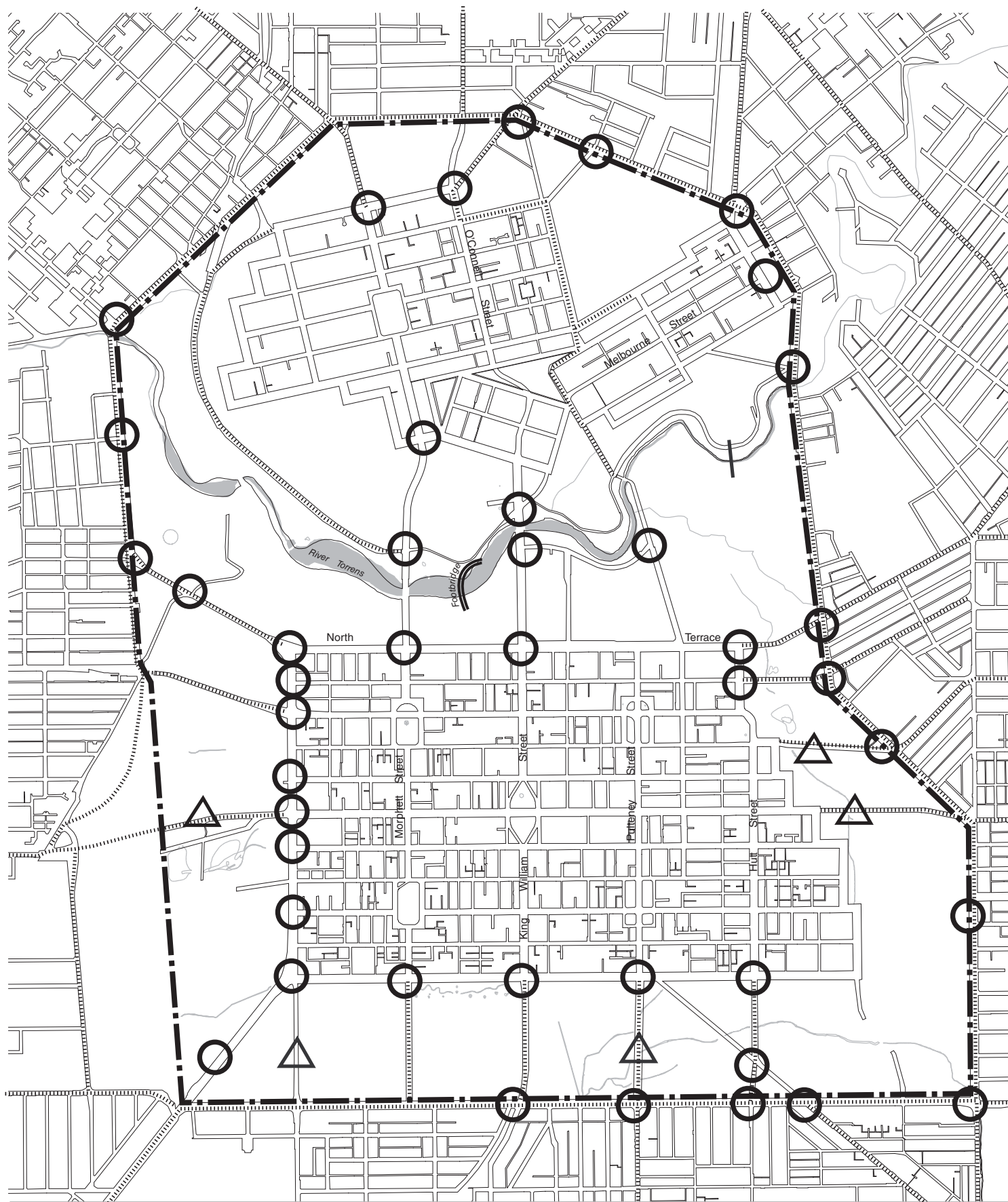
NOTE: This Map is indicative only. The State Government and Councils will undertake studies of each area resulting in detailed zoning maps to designate the boundary of MOSS and the policies relating to various areas (The inclusion of private land in MOSS does not indicate an intention to purchase that land).

-  Metropolitan Open Space System
-  Metropolitan Open Space System / Hills Face Zone
-  - Metropolitan Open Space System - Proposed



ADELAIDE (CITY) **METROPOLITAN OPEN** **SPACE SYSTEM** **MAP Adel/1 (Overlay 7)**

Consolidated - 30 April 2020



- Shared Main Bicycle / Pedestrian Paths
- - - Pedestrian Only Paths
- On-Road Bicycle Lanes
- Metropolitan Cycling Network
- Existing Traffic Lights
- △ Proposed Traffic / Pedestrian Lights
- == Proposed Adelaide Oval Footbridge



Scale 1:26,000

0metres 500 1000



ADELAIDE (CITY) **PROPOSED PEDESTRIAN /** **CYCLE ROUTES** **MAP Adel/1 (Overlay 8)**

Consolidated: 30 April 2022



- Predominantly Natural Landscape
- Predominantly Cultural Landscape
- Predominantly Recreational Landscape



Scale 1:26,000

0metres 500 1000



ADELAIDE (CITY) **FUTURE LANDSCAPE CHARACTER** **MAP Adel/1 (Overlay 9)**

Consolidated 30 April 2020



Priority Return Areas to Park Lands Use Subject to Agreements



Possible Future Return to Park Lands Use Subject to Agreement



Government Reserves / Other Uses



Park Lands Under Care and Control of Adelaide City Council



Development Plan Boundary



Scale 1:26,000

0metres 500 1000



ADELAIDE (CITY) **ALIENATED LAND 1999** **MAP Adel/1 (Overlay 10)**

Consolidated 30 April 2020



- Future Focus for Sports Activities
- Provision for Water Craft Activities

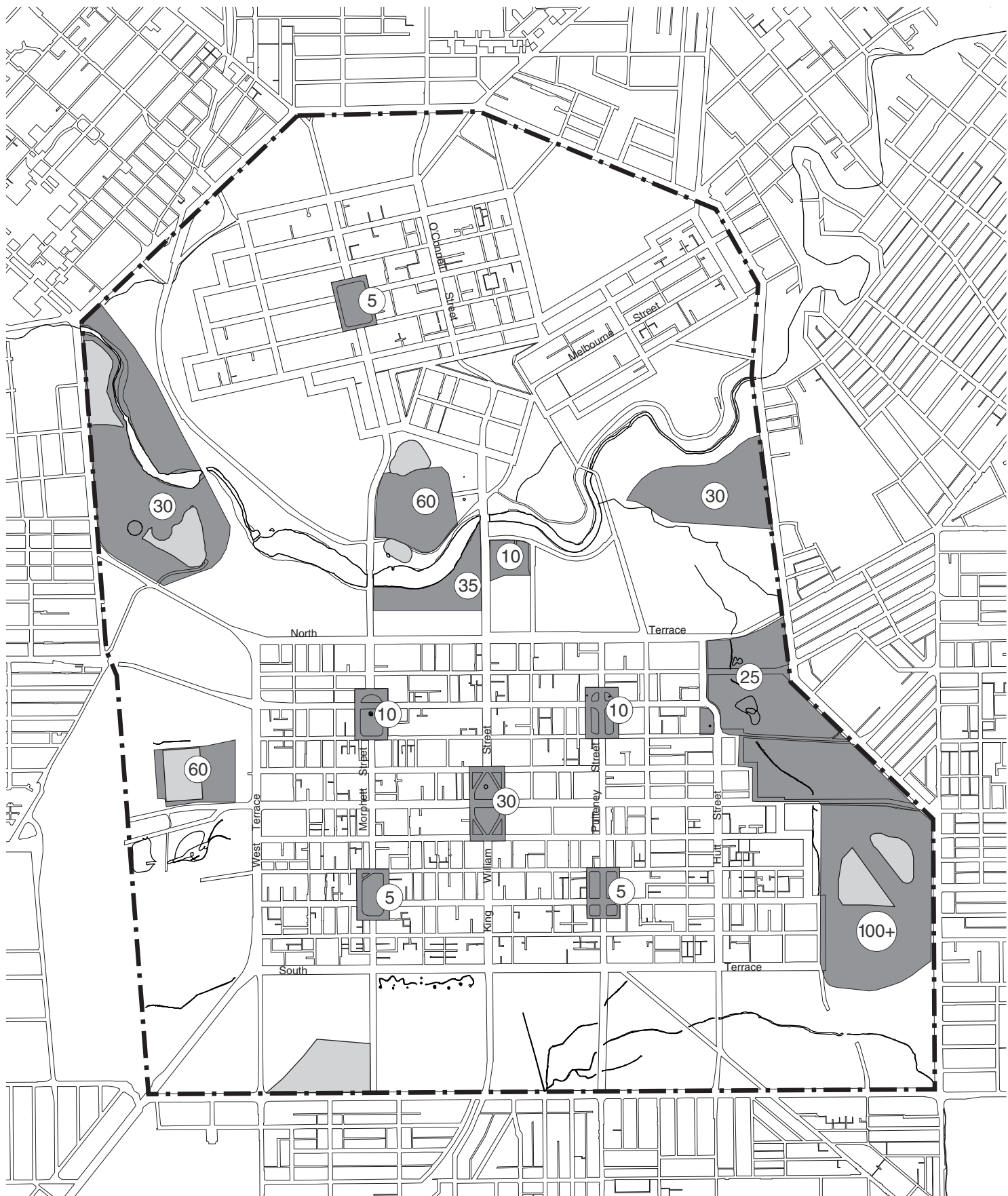





Scale 1:26,000
 0metres 500 1000

--- Development Plan Boundary

ADELAIDE (CITY) **PROPOSED SPORT CONSOLIDATION** **MAP Adel/1 (Overlay 11)**

Consolidated 30 April 2020



-  Major Events Venue
-  Capacity in Thousands
-  Occasional Major Event Car Parking

--- Development Plan Boundary

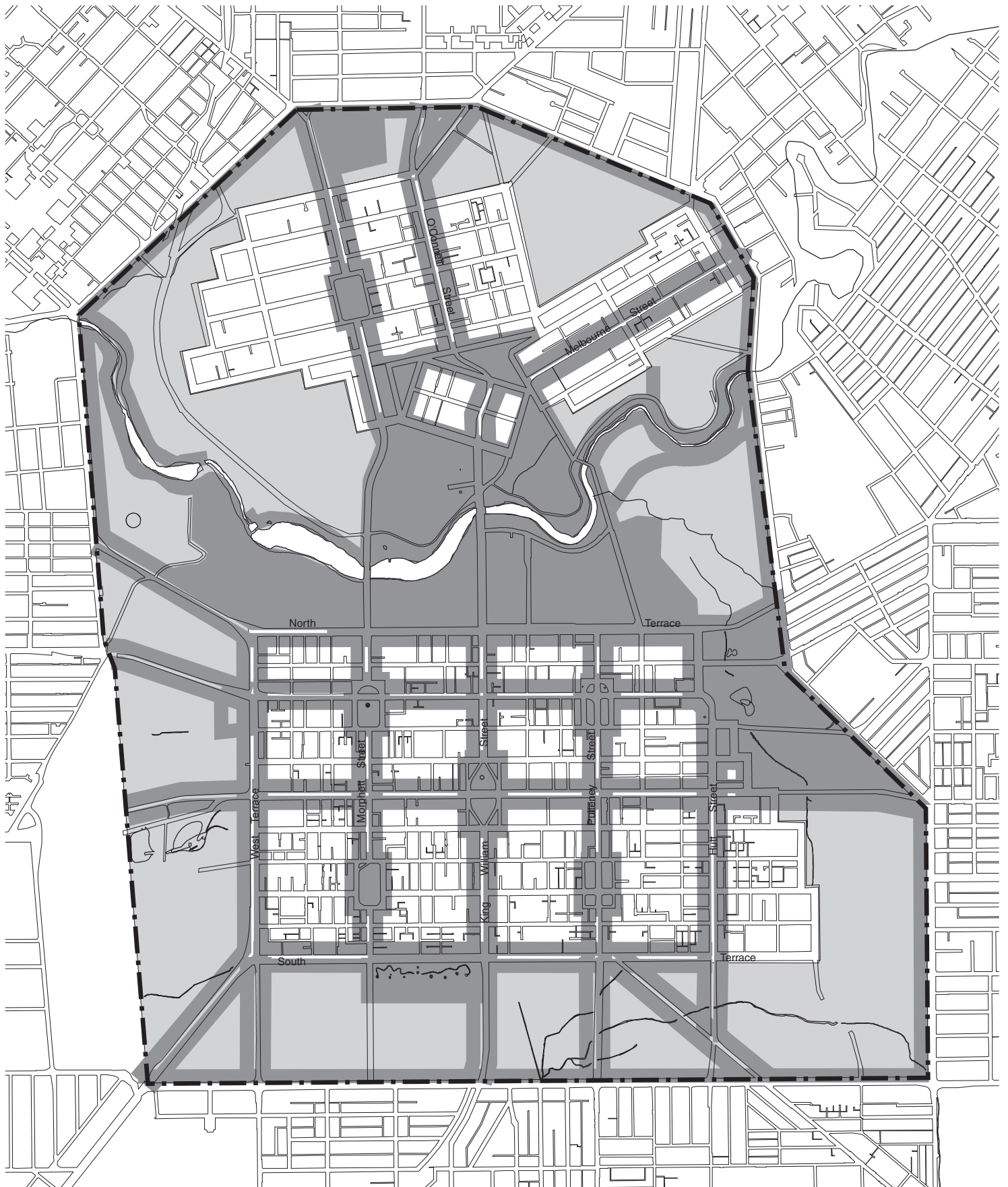


Scale 1:26,000

0metres 500 1000

ADELAIDE (CITY) **SPECIAL EVENTS PARKS** **MAP Adel/1 (Overlay 12)**

Consolidated - 30 April 2020



- Precincts of Higher Coverage / Amenity / Safety
- Precincts of Lower Coverage / Amenity / Safety

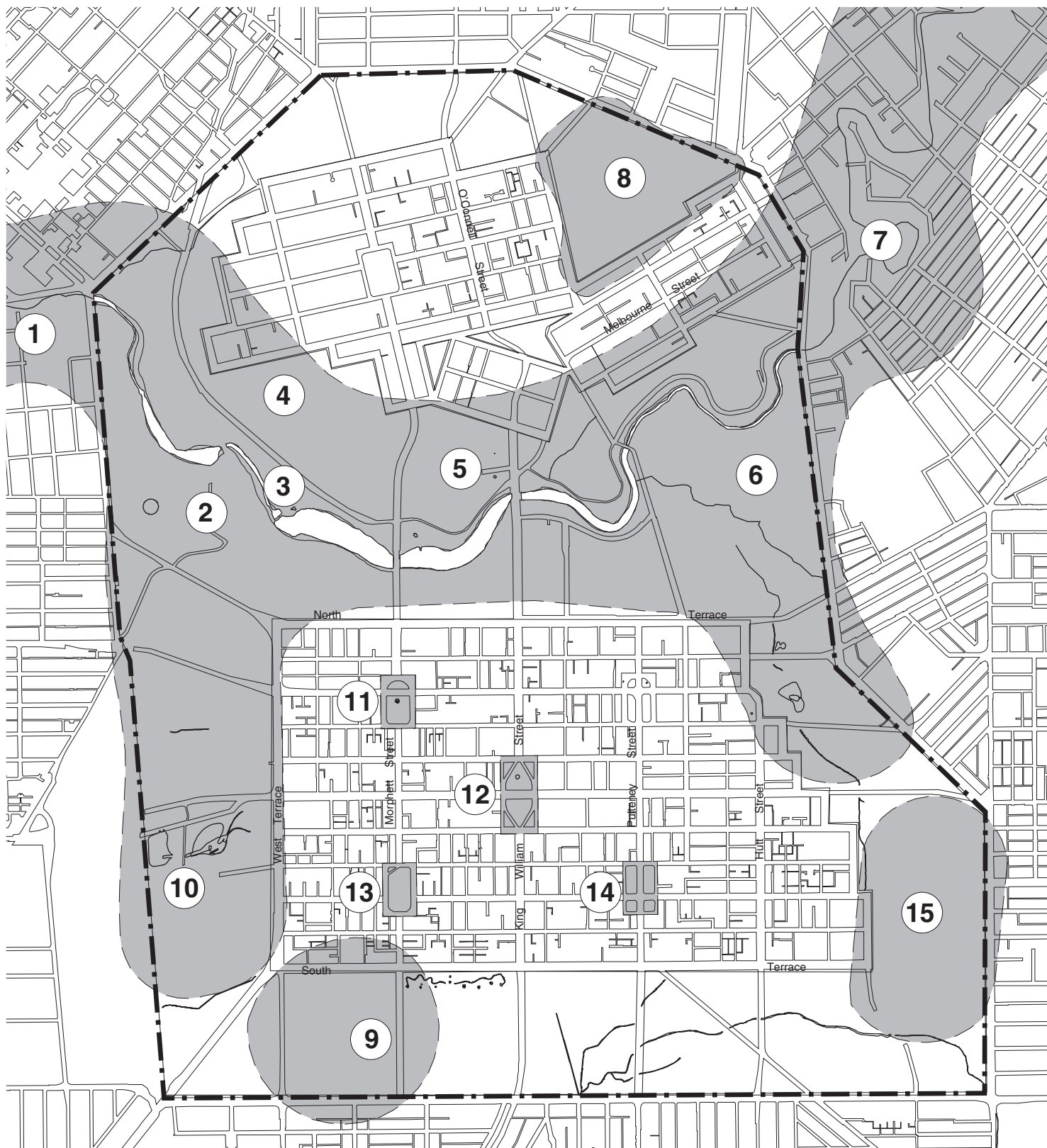
Development Plan Boundary



Scale 1:26,000
 0metres 500 1000

ADELAIDE (CITY) **PROPOSED LIGHTING FRAMEWORK** **MAP Adel/1 (Overlay 13)**

Consolidated 30 April 2020



--- Development Plan Boundary

Areas of Significance

- 1 Hindmarsh (Karra(K)undunga) Kaurna Burial Site
- 2 Adelaide Gaol and Bonython Park (initial site for Native Location 1837)
- 3 Native Location (1837)
- 4 Major Camping Area near Colony Store
- 5 Major Living Area (1840s)
- 6 Major Camping Area (1840s – 1900)
- 7 Tennyson Bridge Burial Ground (Major Burial ground after Colonisation)
- 8 Proposed Aboriginal Reserve with Identifying Tags (1846)
- 9 Campsite used on the way to and from Glenelg
- 10 Cemetary and Campsite
- 11 West End, many Indigenous Families lived in this part of the City (1930 – 1960)
- 12 Victoria Square Major Meeting Area, Aboriginal Flag first flown 1971
- 13 Frequented (1930s – 1940s)
- 14 Meeting Area
- 15 Meeting Area

Derived from Tarndanyunga Kaurna Yerta, a report on indigenous cultural significance of the Adelaide Park Lands
Steve Hemming & Rhonda Harris 1998



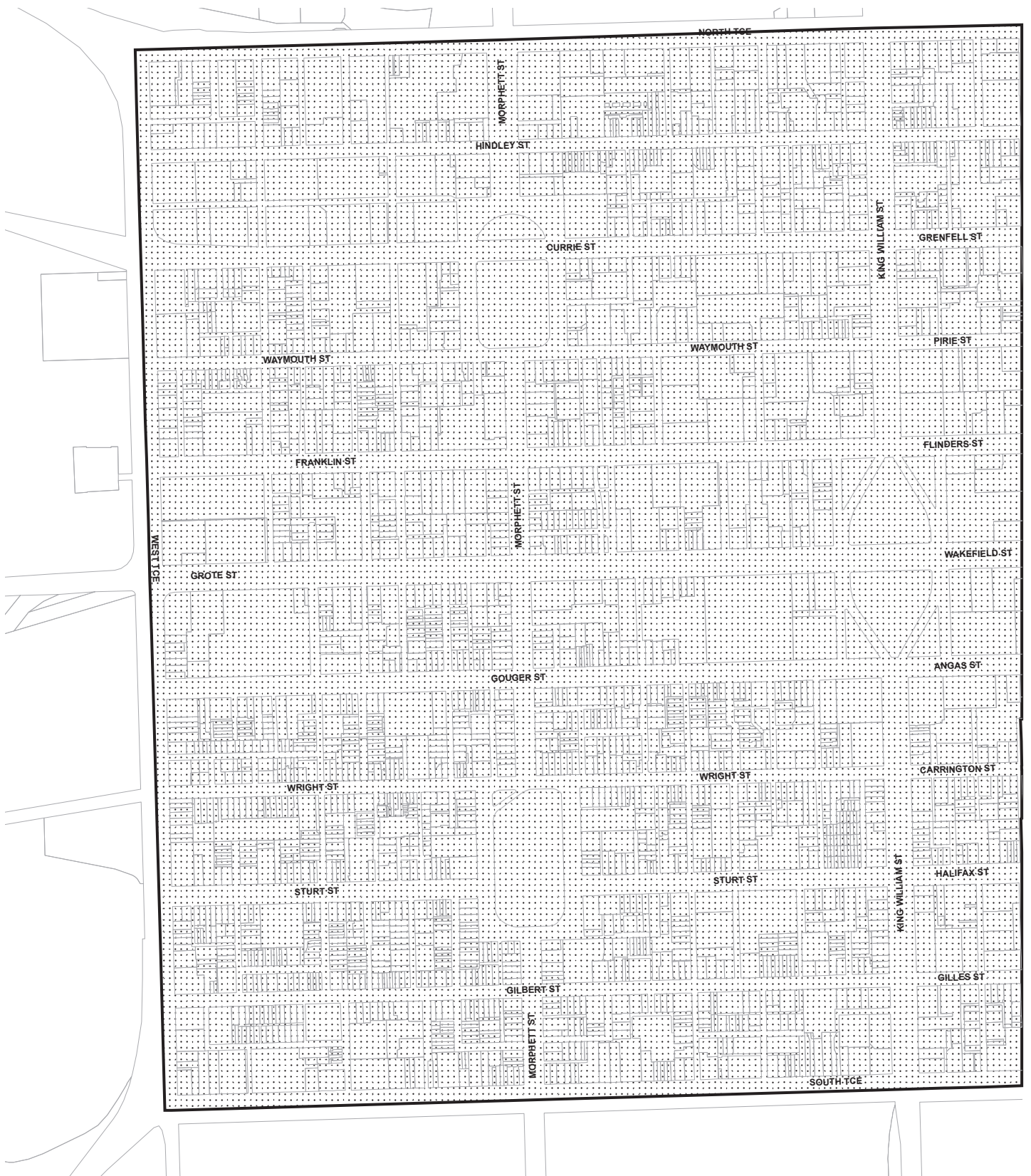
Scale 1:26,000

0metres 500 1000



ADELAIDE (CITY) **INDIGENOUS** **CULTURAL SIGNIFICANCE** **MAP Adel/1 (Overlay 14)**

Consolidated 30 April 2020

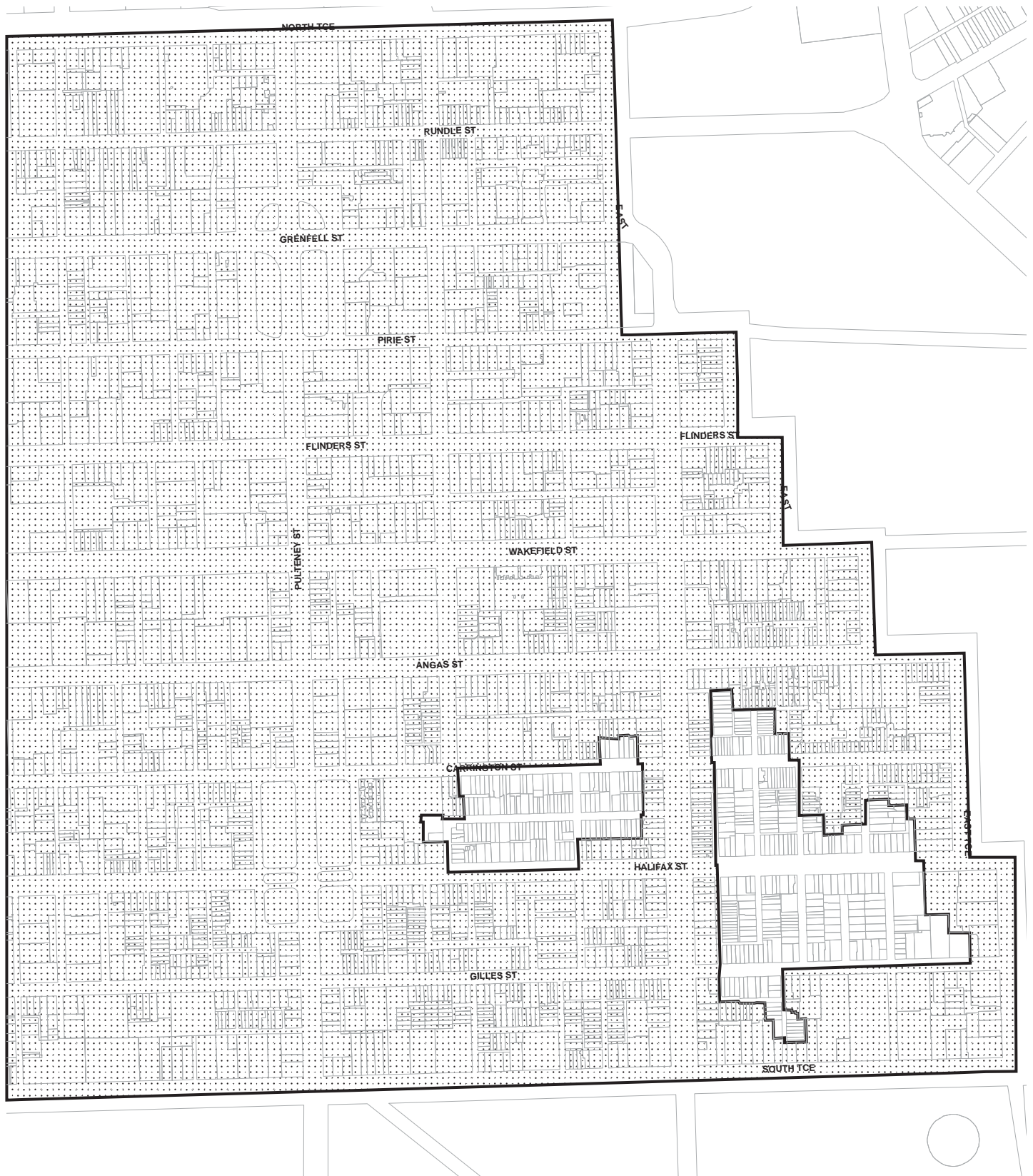


 Designated Area



0 120 240 360 480 600 metres

ADELAIDE (CITY) **AFFORDABLE HOUSING** **MAP Adel/1 (Overlay 15a)**



 Designated Area



0 120 240 360 480 600 metres

ADELAIDE (CITY) **AFFORDABLE HOUSING** **MAP Adel/1 (Overlay 15b)**

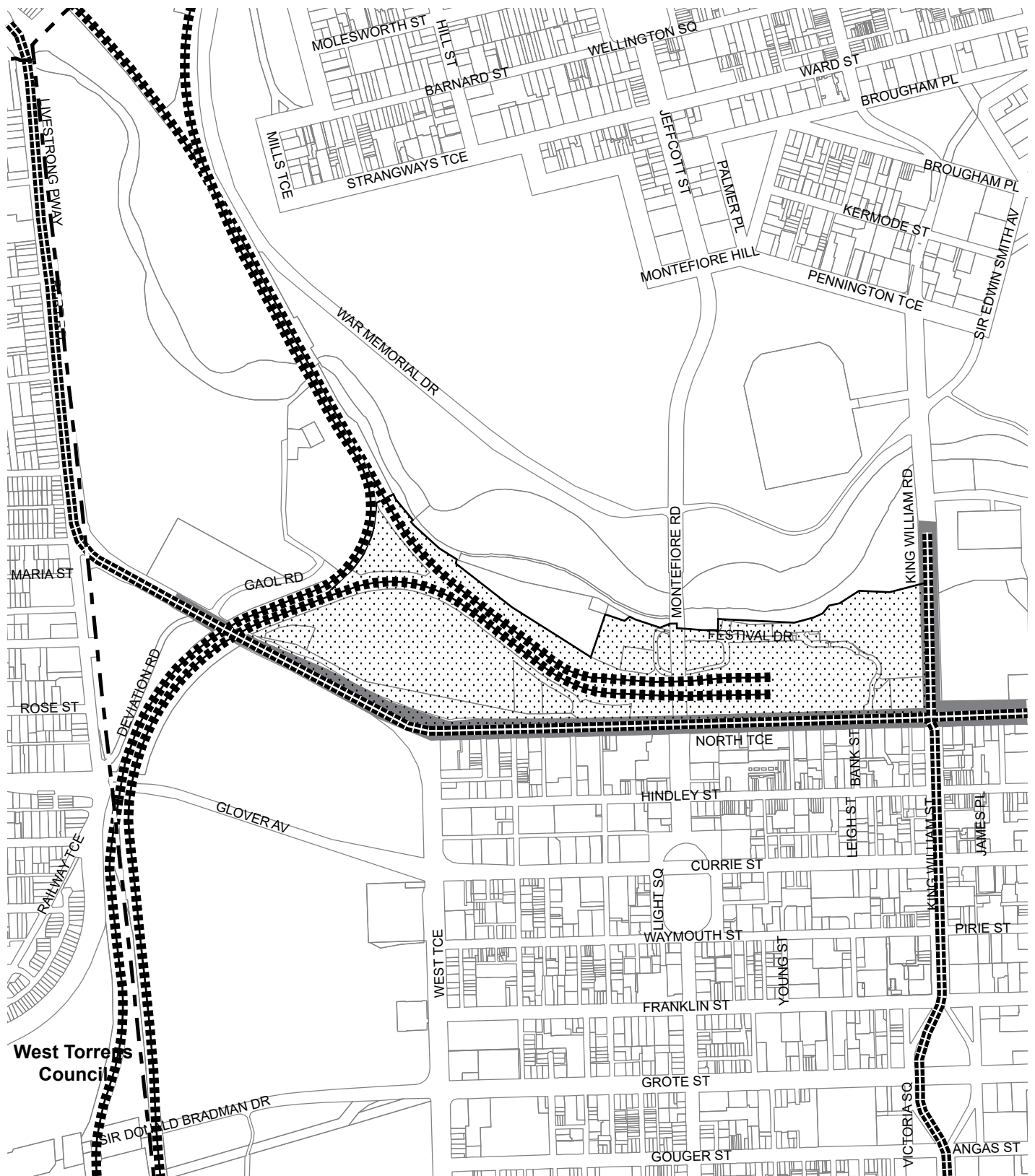


 Designated Area



ADELAIDE (CITY) **AFFORDABLE HOUSING** **MAP Adel/1 (Overlay 15c)**

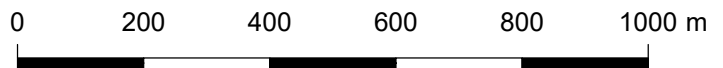
Consolidated - 30 April 2020








West Torrens
Council



1:12,000



ADELAIDE (CITY) **NOISE AND AIR EMISSIONS** **MAP Adel/1 (Overlay 16)**

-  Train Corridor
-  Tram Corridor
-  Designated Road: Type B road
-  Designated Area
-  Development Plan Boundary

Consolidated - 30 April 2020

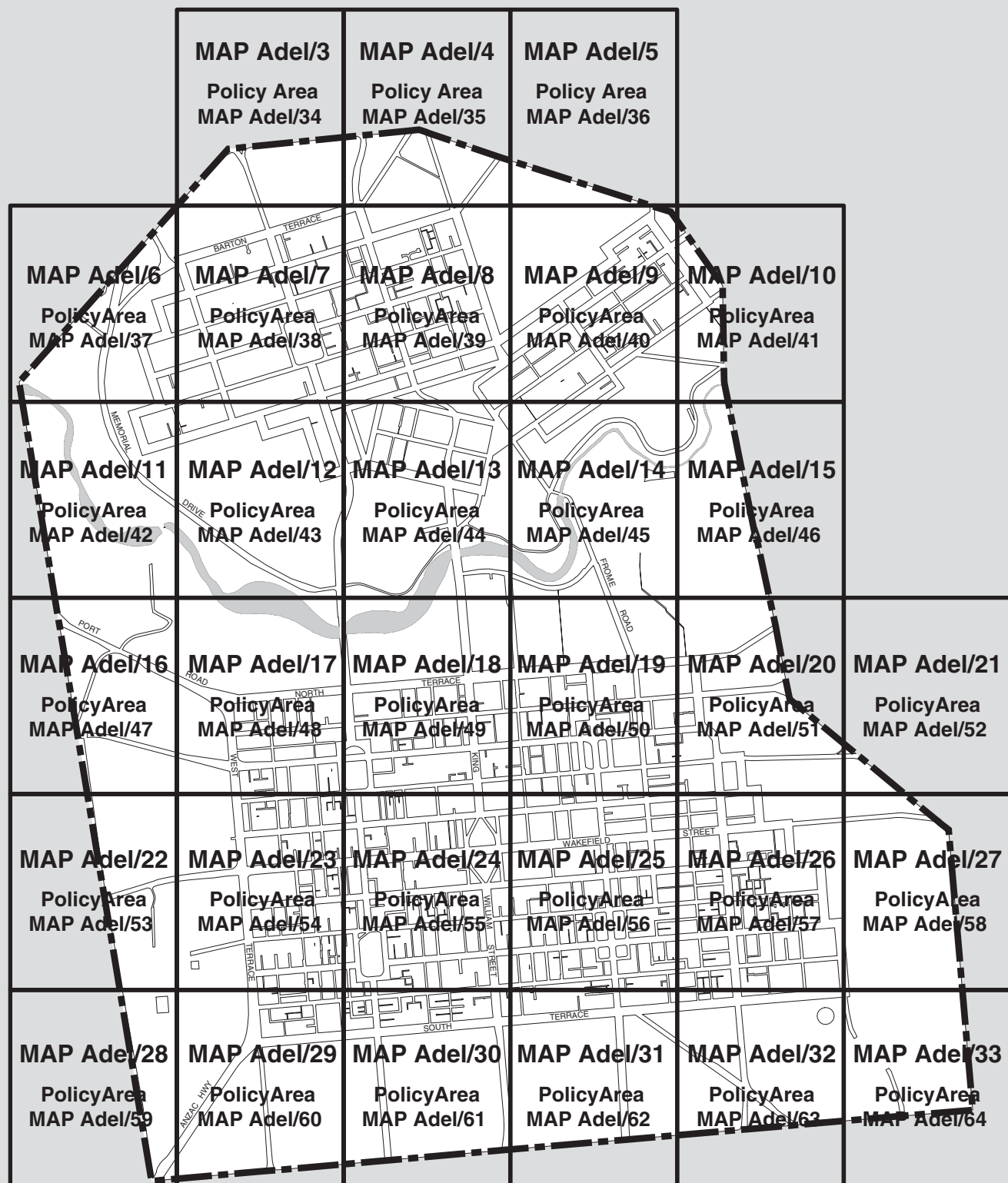


0 100 200 300 400 500 m

ADELAIDE (CITY)
NOISE AND AIR EMISSIONS
MAP Adel/1 (Overlay 17)

Consolidated - 30 April 2020

-  Tram Corridor
-  Designated Road: Type B road
-  Designated Area
-  Development Plan Boundary



For the purposes of the Development Plan unless otherwise clearly indicated, the Zone/Policy Area boundaries depicted on or intended to be fixed by Maps Adel/3 to NPSP/64 inclusive shall be read as conforming in all respects (as the case may require) to the sectional or subdivisional boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said Zone/Policy Area boundaries are shown or otherwise as indicated.

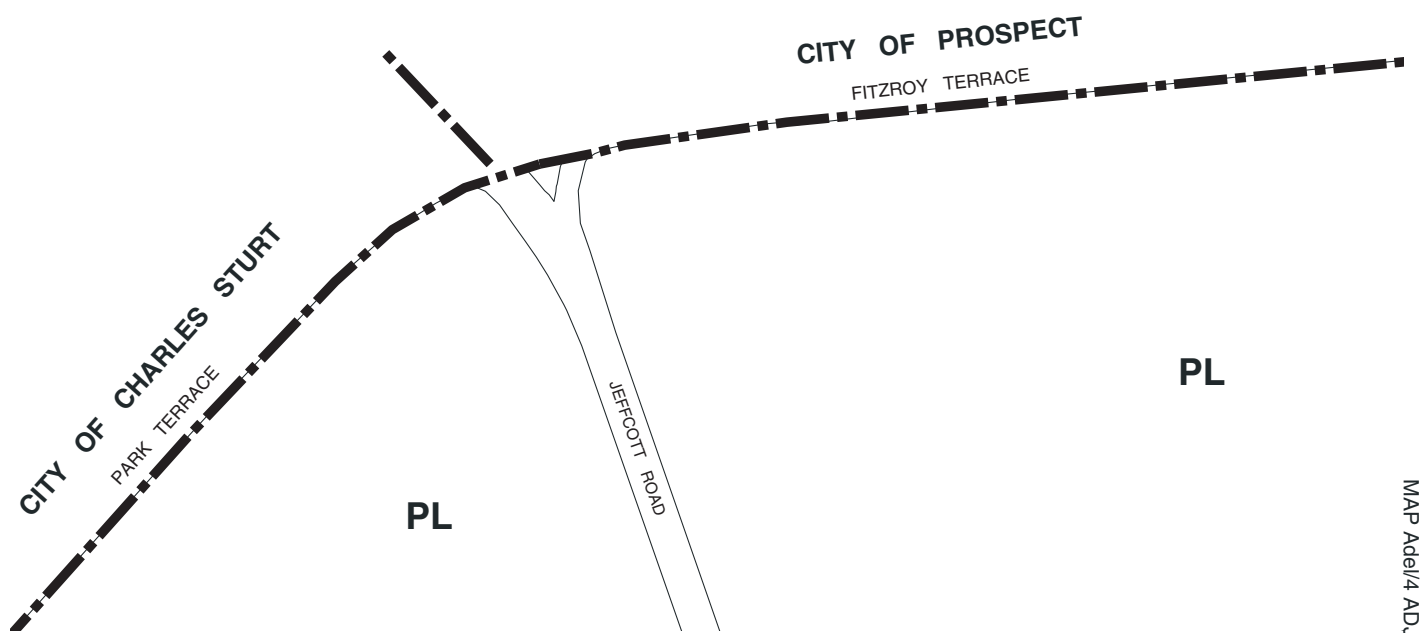


0 metres 500 1000

ADELAIDE (CITY) INDEX MAP Adel/2

— — Development Plan Boundary

Consolidated - 30 April 2020



NOTE : For Policy Areas See MAP Adel/34
 PL Park Lands Zone

Scale 1:4150
 0metres 100 200 300



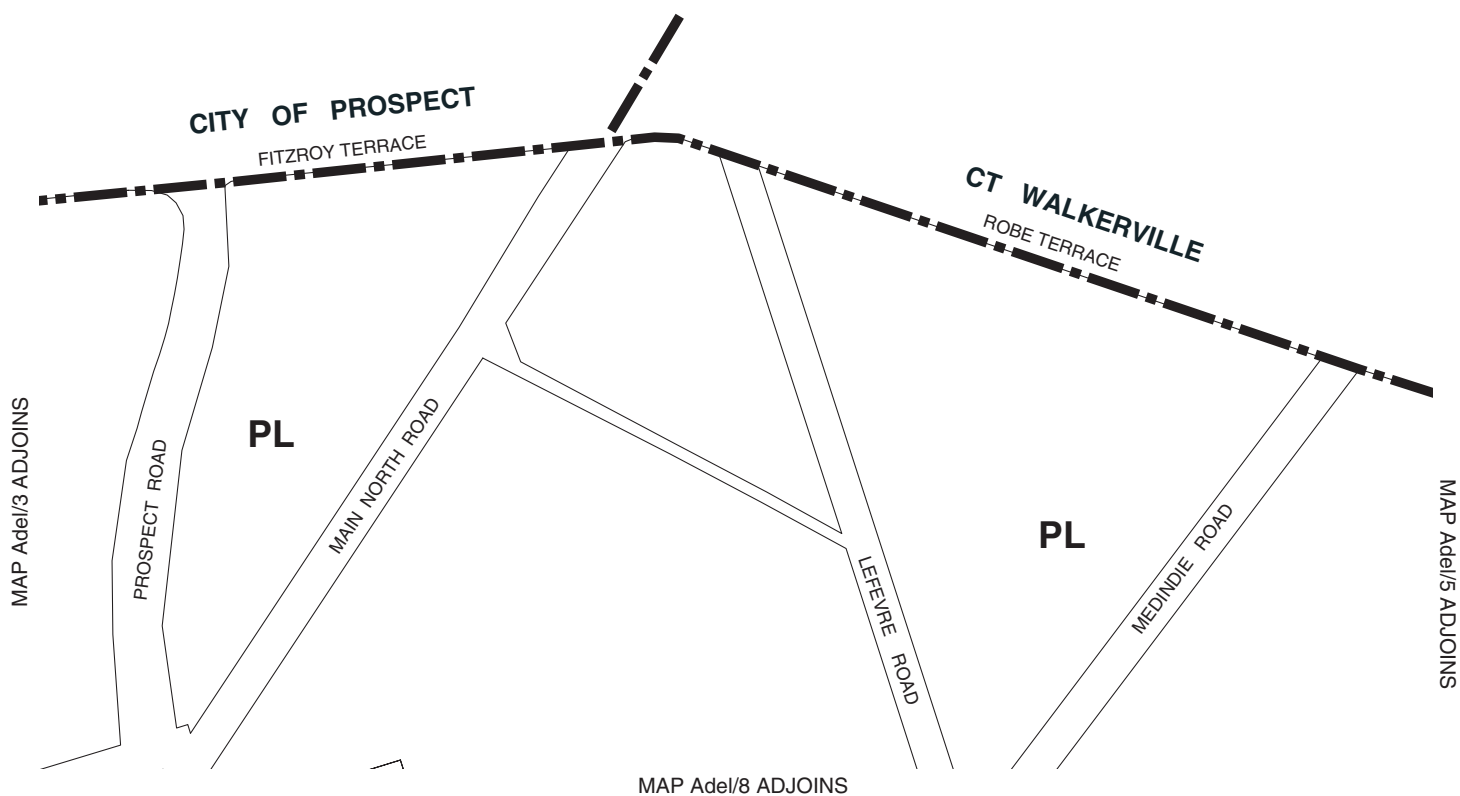
MAP Adel/4 ADJOINS

MAP Adel/7 ADJOINS

— Zone Boundary
 - - - Development Plan Boundary

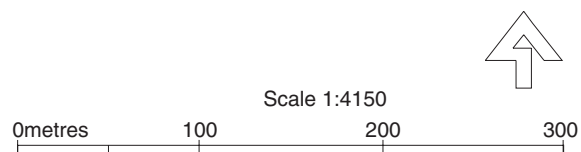
ADELAIDE (CITY) ZONES MAP Adel/3

Consolidated - 30 April 2020



NOTE : For Policy Areas See MAP Adel/35

PL Park Lands Zone



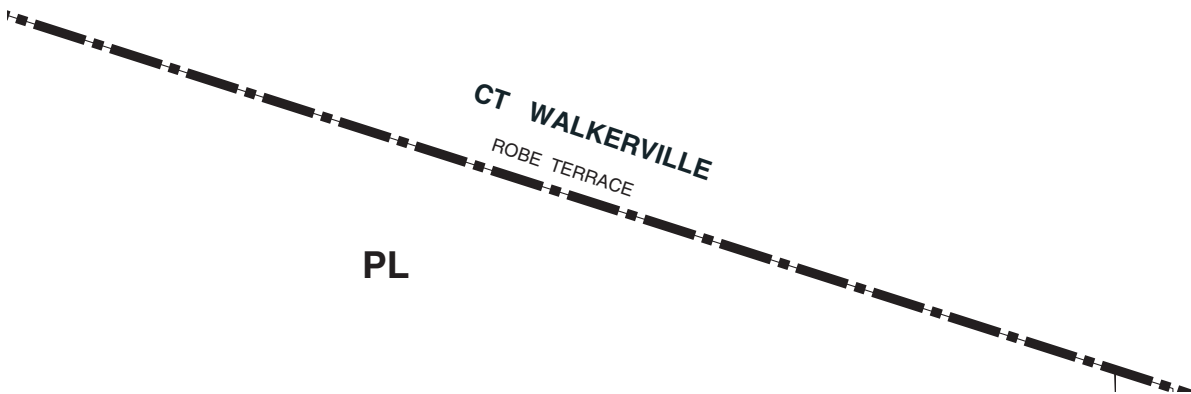
ADELAIDE (CITY) ZONES

MAP Adel/4

Consolidated - 30 April 2020

— Zone Boundary
- - - Development Plan Boundary

MAP Adel/4 ADJOINS



MAP Adel/11 ADJOINS

NOTE : For Policy Areas See MAP Adel/36
PL Park Lands Zone



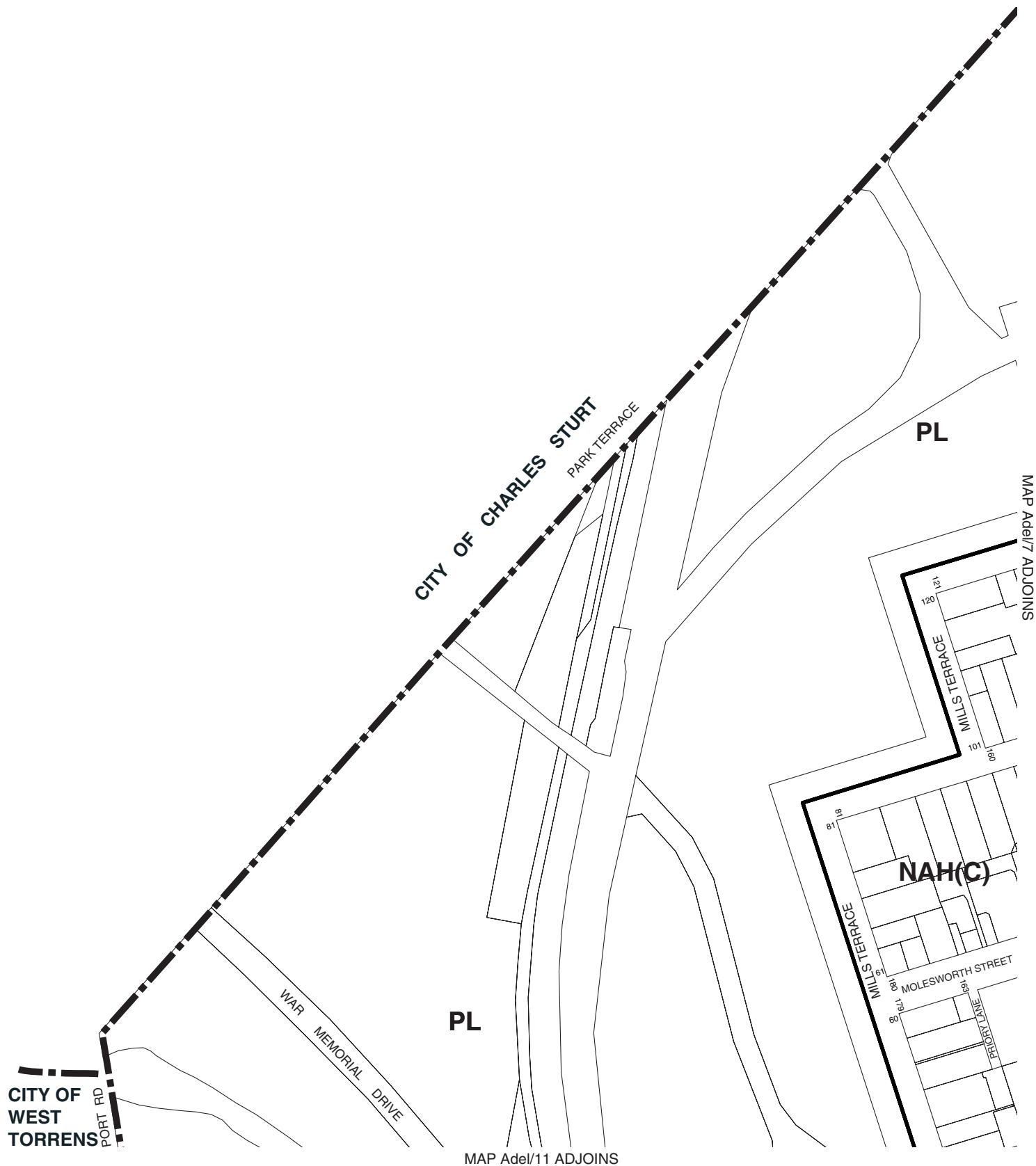
Scale 1:4150
0metres 100 200 300



Zone Boundary
Development Plan Boundary

ADELAIDE (CITY) ZONES MAP Adel/5

Consolidated - 30 April 2020



NOTE : For Policy Areas See MAP Adel/37

NAH(C) North Adelaide Historic (Conservation) Zone
PL Park Lands Zone



Scale 1:4150
 0metres 100 200 300

ADELAIDE (CITY) ZONES

MAP Adel/6
 Consolidated April 2000

— Zone Boundary
 - - - Development Plan Boundary

MAP Adel/3 ADJOINS

PL

BARTON TERRACE EAST

BARTON TERRACE WEST

CHILDERS STREET

NAH(C)

PL

MAP Adel/6 ADJOINS

NAH(C)

CHILDERS STREET

BUXTON STREET

BUXTON STREET

WELLINGTON SQUARE

TYNTE STREET

MOLESWORTH STREET

BARNARD STREET

NAH(C)

BARNARD STREET

MAP Adel/12 ADJOINS

NOTE : For Policy Areas See MAP Adel/38

NAH(C) North Adelaide Historic (Conservation) Zone
PL Park Lands Zone



Scale 1:4150

0metres 100 200 300

**ADELAIDE (CITY)
ZONES**

MAP Adel/7
Consolidated 30 April 2020

— Zone Boundary
— Development Plan Boundary



NOTE : For Policy Areas See MAP Adel/39

MS(O) Main Street (O'Connell) Zone
MU Mixed Use (Melbourne West) Zone
NAH(C) North Adelaide Historic (Conservation) Zone
PL Park Lands Zone

— Zone Boundary
 - - - Development Plan Boundary

**ADELAIDE (CITY)
 ZONES**

MAP Adel/8
 Consolidated 30 April 2020

CT WALKERVILLE

PARK TCE

PL

PL

NAH(C)

MS(ME)

NAH(C)

NAH(C)

MU

PL

NAH(C)

MAP Adel/14 ADJOINS

MAP Adel/10 ADJOINS

MAP Adel/8 ADJOINS

NOTE : For Policy Areas See MAP Adel/40

MS(ME) Main Street (Melbourne East) Zone
MU Mixed Use (Melbourne West) Zone
NAH(C) North Adelaide Historic (Conservation) Zone
PL Park Lands Zone



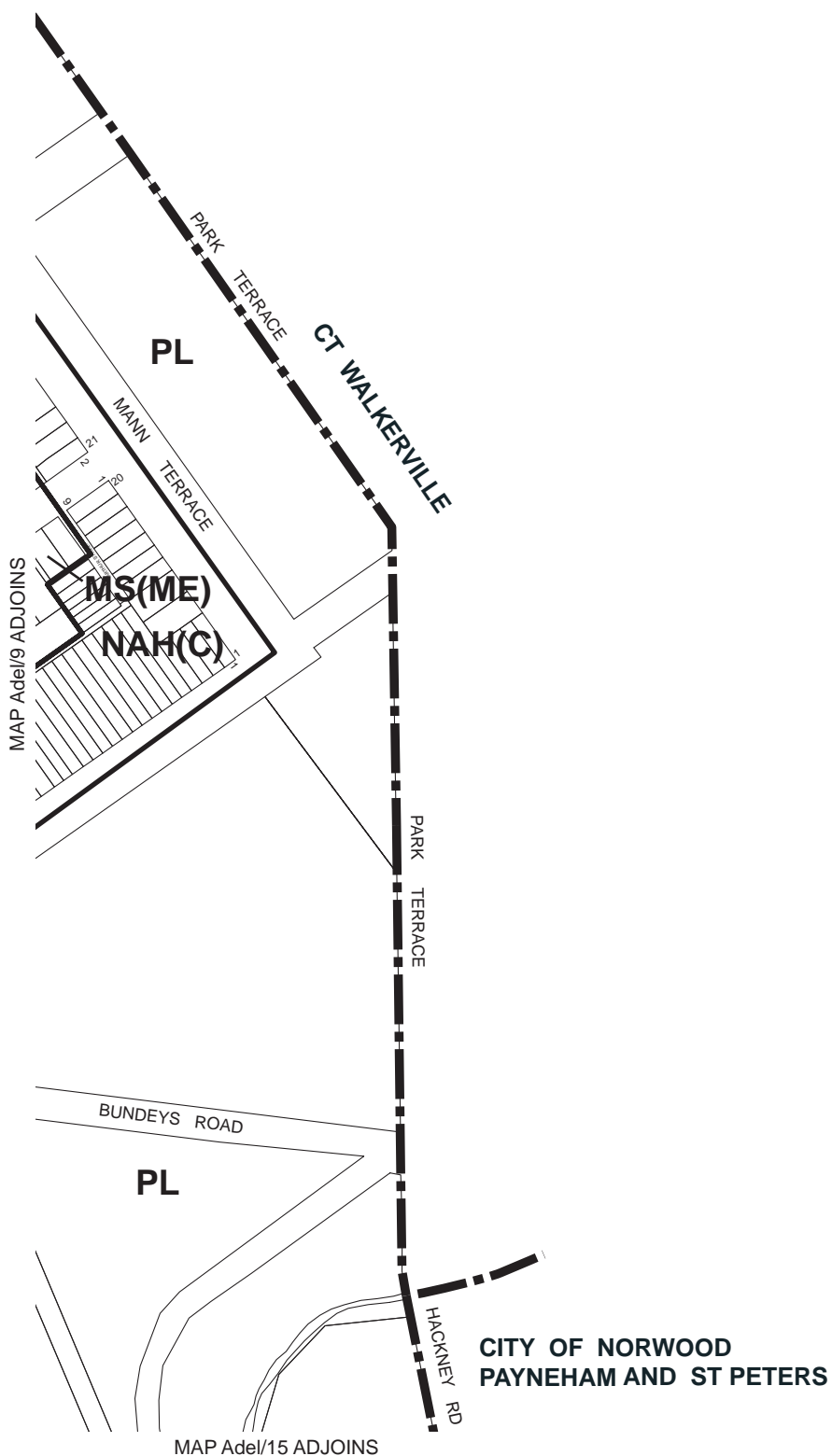
Scale 1:4150

0metres 100 200 300

ADELAIDE (CITY) ZONES

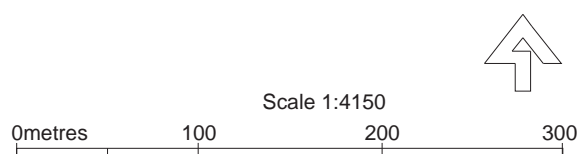
MAP Adel/9
Compiled - 2010

— Zone Boundary
 - - - Development Plan Boundary



NOTE : For Policy Areas See MAP Adel/41

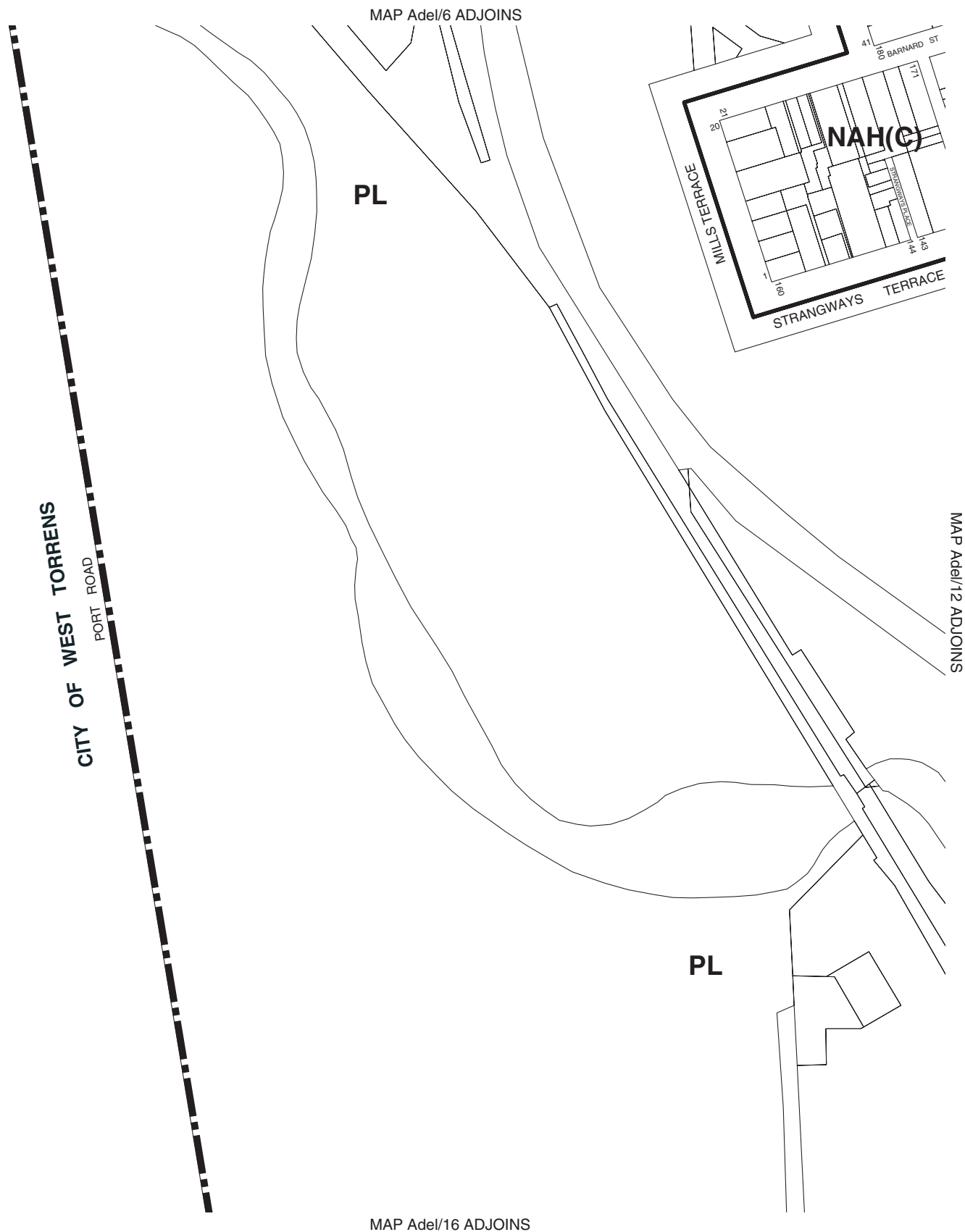
MS(ME) Main Street (Melbourne East) Zone
NAH(C) North Adelaide Historic (Conservation) Zone
PL Park Lands Zone



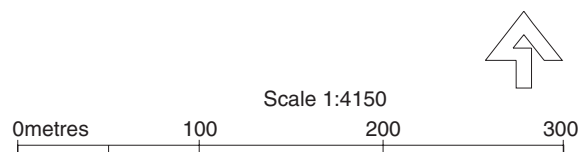
**ADELAIDE (CITY)
ZONES**

MAP Adel/10
Consolidated - 30 April 2020





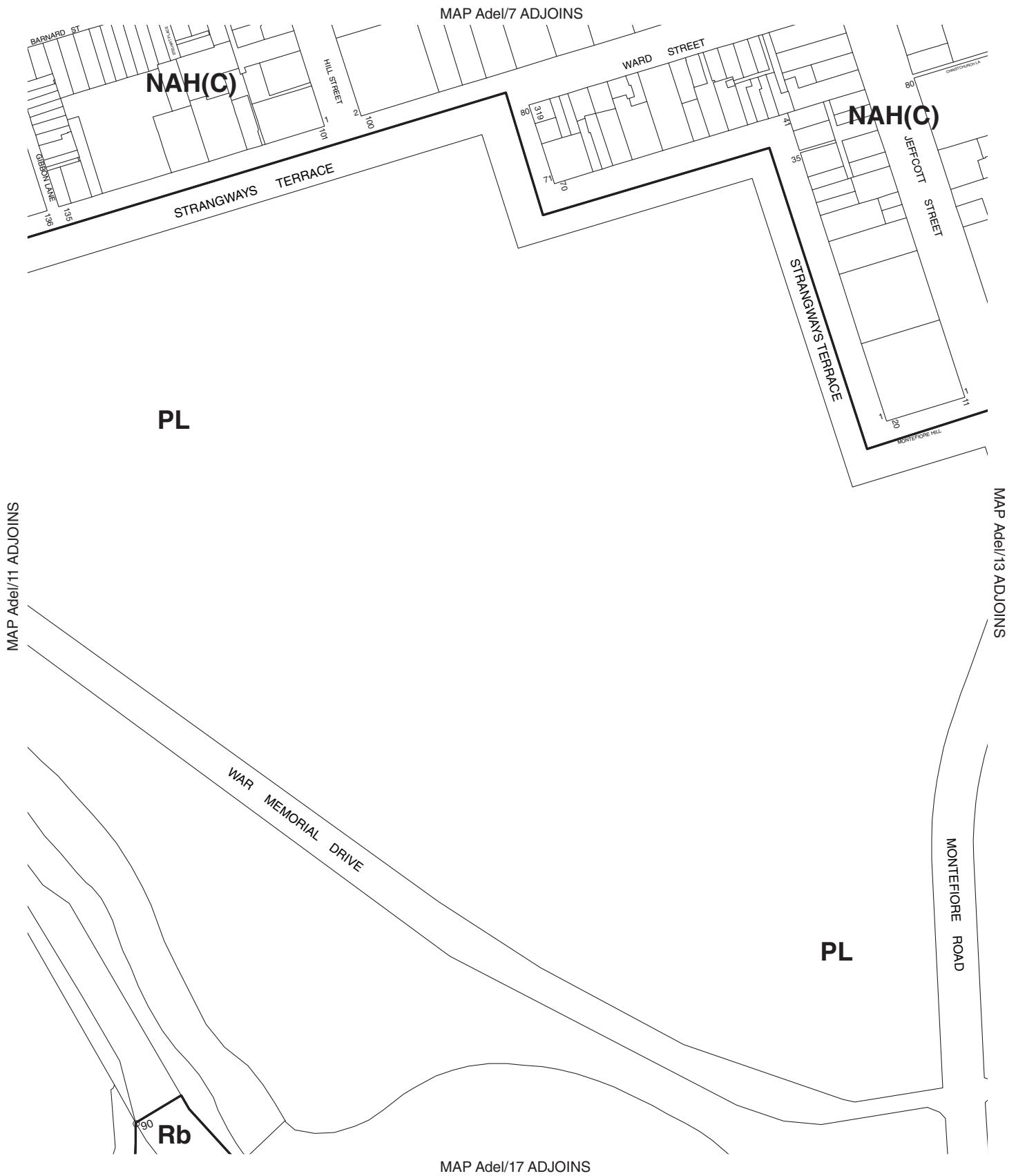
NOTE : For Policy Areas See MAP Adel/42
NAH(C) North Adelaide Historic (Conservation) Zone
PL Park Lands Zone



ADELAIDE (CITY) ZONES

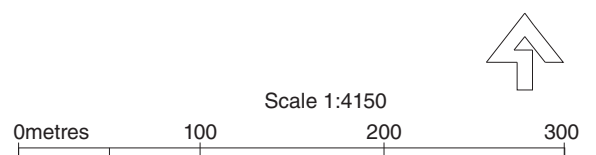
— Zone Boundary
 - - - Development Plan Boundary

MAP Adel/11
 Consolidated - 30 April 2020



NOTE : For Policy Areas See MAP Adel/43

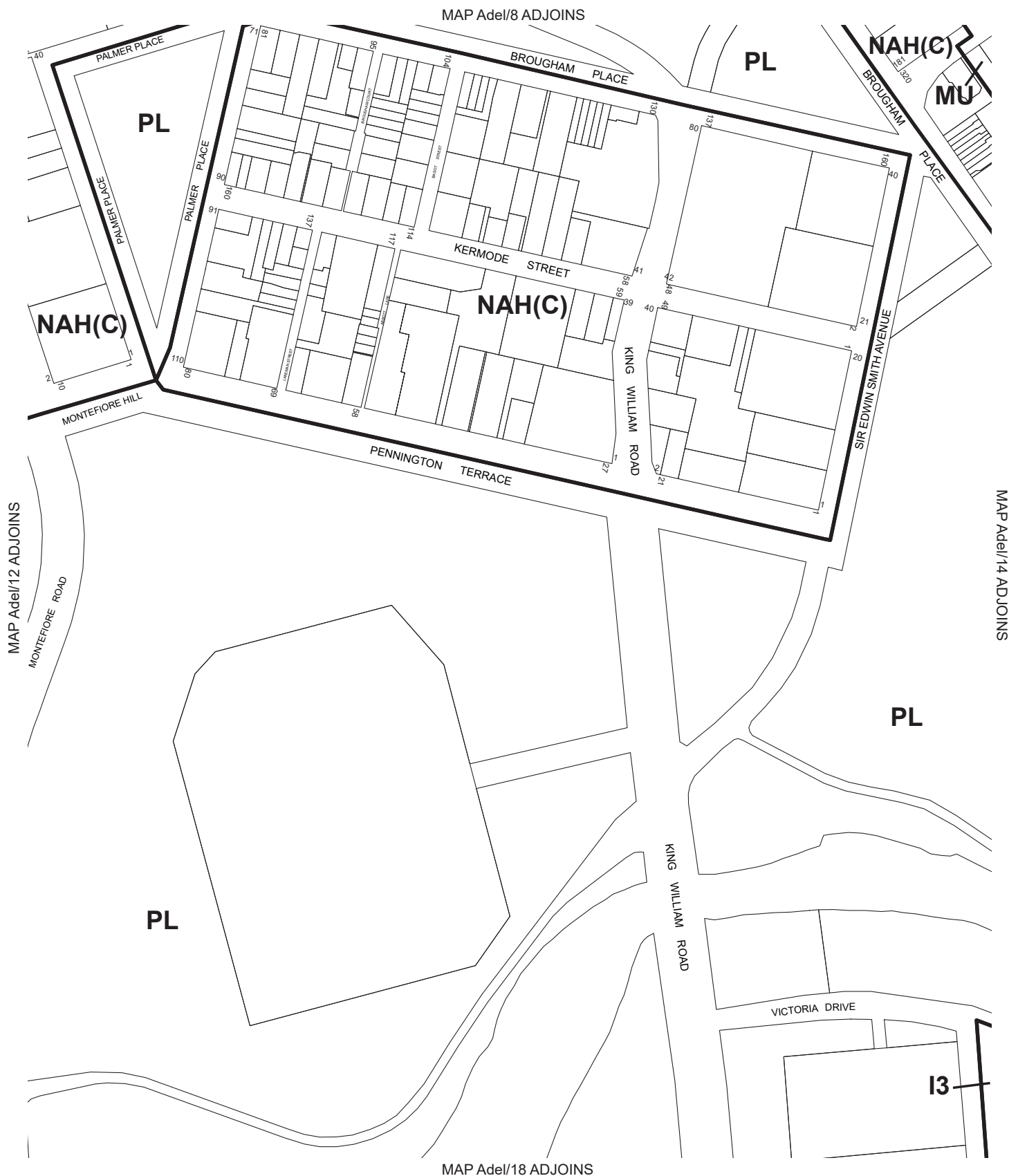
NAH(C) North Adelaide Historic (Conservation) Zone
PL Park Lands Zone
Rb Riverbank Zone



ADELAIDE (CITY) ZONES

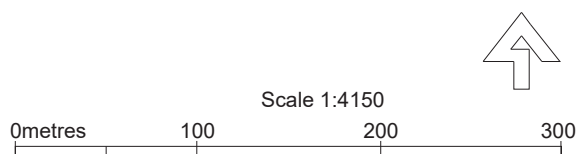
MAP Adel/12
Consolidated 30 April 2020

— Zone Boundary
— . . . Development Plan Boundary



NOTE : For Policy Areas See MAP Adel/44

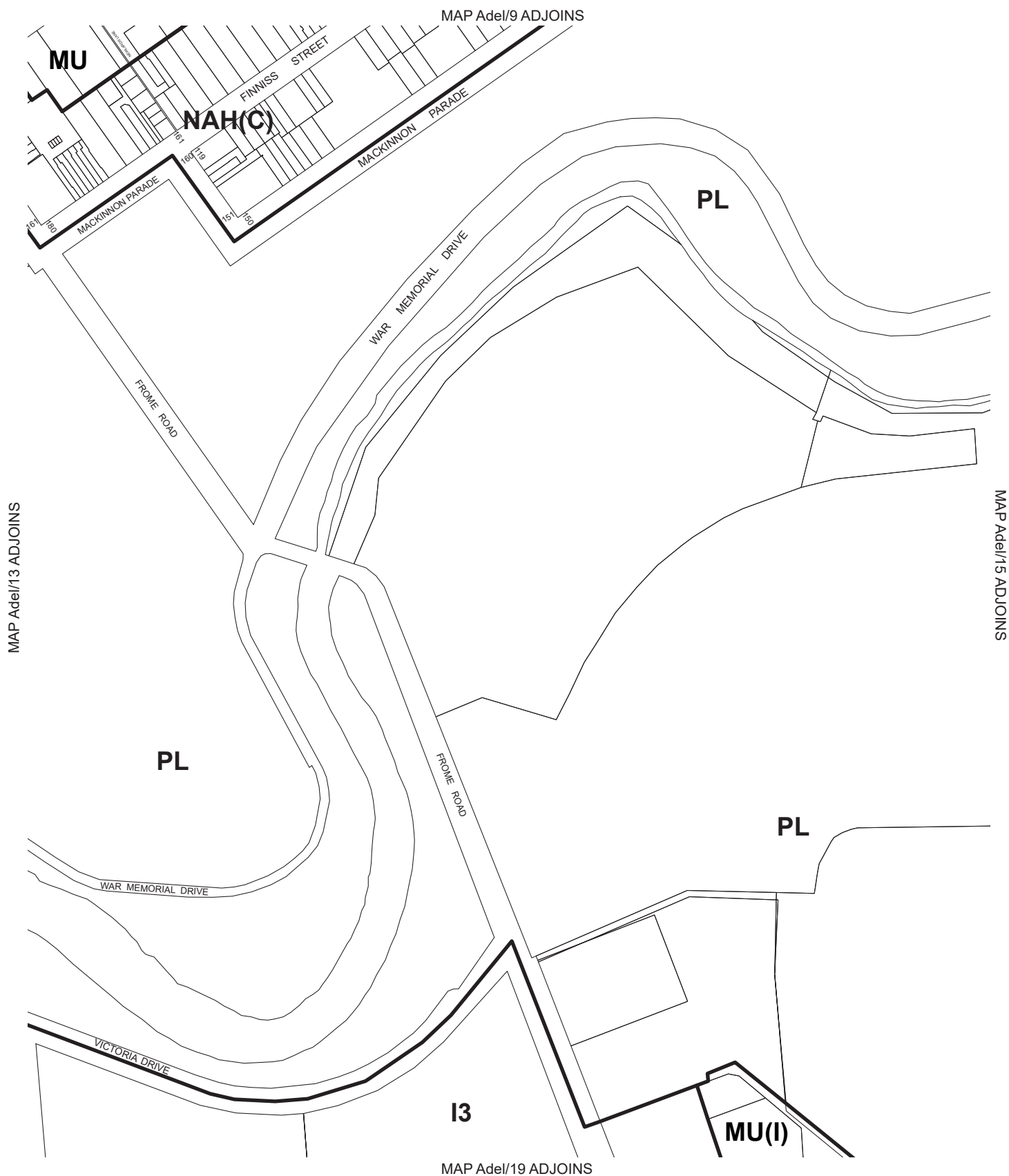
I3 Institutional (University) Zone
MU Mixed Use (Melbourne West) Zone
NAH(C) North Adelaide Historic (Conservation) Zone
PL Park Lands Zone



ADELAIDE (CITY) ZONES

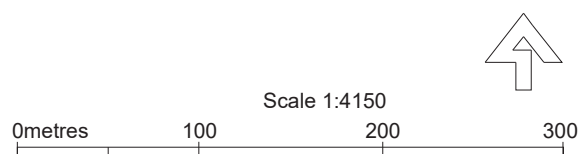
MAP Adel/13
 Consolidated April 2020

— Zone Boundary
 - - - Development Plan Boundary



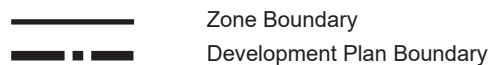
NOTE : For Policy Areas See MAP Adel/45

I3	Institutional (University) Zone
MU	Mixed Use (Melbourne West) Zone
MU(I)	Mixed Use (Innovation) Zone
NAH(C)	North Adelaide Historic (Conservation) Zone
PL	Park Lands Zone



ADELAIDE (CITY) ZONES



MAP Adel/14
Consolidated - 30 April 2020

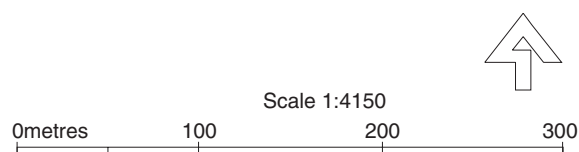




NOTE : For Policy Areas See MAP Adel/46

PL Park Lands Zone

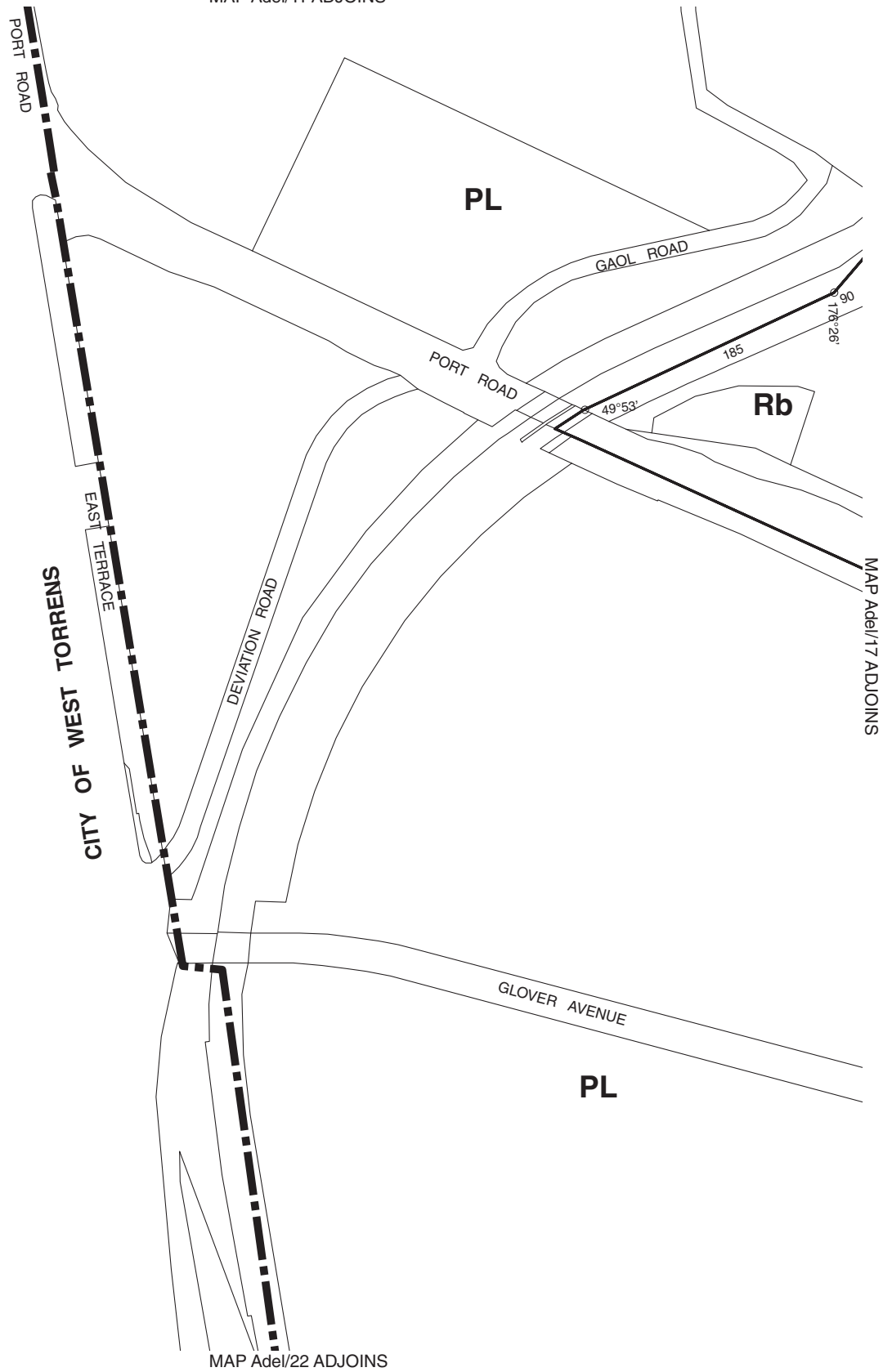
 Zone Boundary
 Development Plan Boundary



ADELAIDE (CITY) **ZONES** **MAP Adel/15**

Consolidated - 30 April 2020

MAP Adel/11 ADJOINS



NOTE : For Policy Areas See MAP Adel/47

PL Park Lands Zone
Rb Riverbank Zone

Scale 1:4150
0metres 100 200 300

**ADELAIDE (CITY)
ZONES**

MAP Adel/16
Consolidated - 30 April 2020

— Zone Boundary
- - - Development Plan Boundary



NOTE : For Policy Areas See MAP Adel/48

CC Capital City Zone
PL Park Lands Zone
Rb Riverbank Zone



Scale 1:4150
 0metres 100 200 300

ADELAIDE (CITY) ZONES

MAP Adel/17

Consolidated - 30 April 2020

— Zone Boundary
 - - - Development Plan Boundary



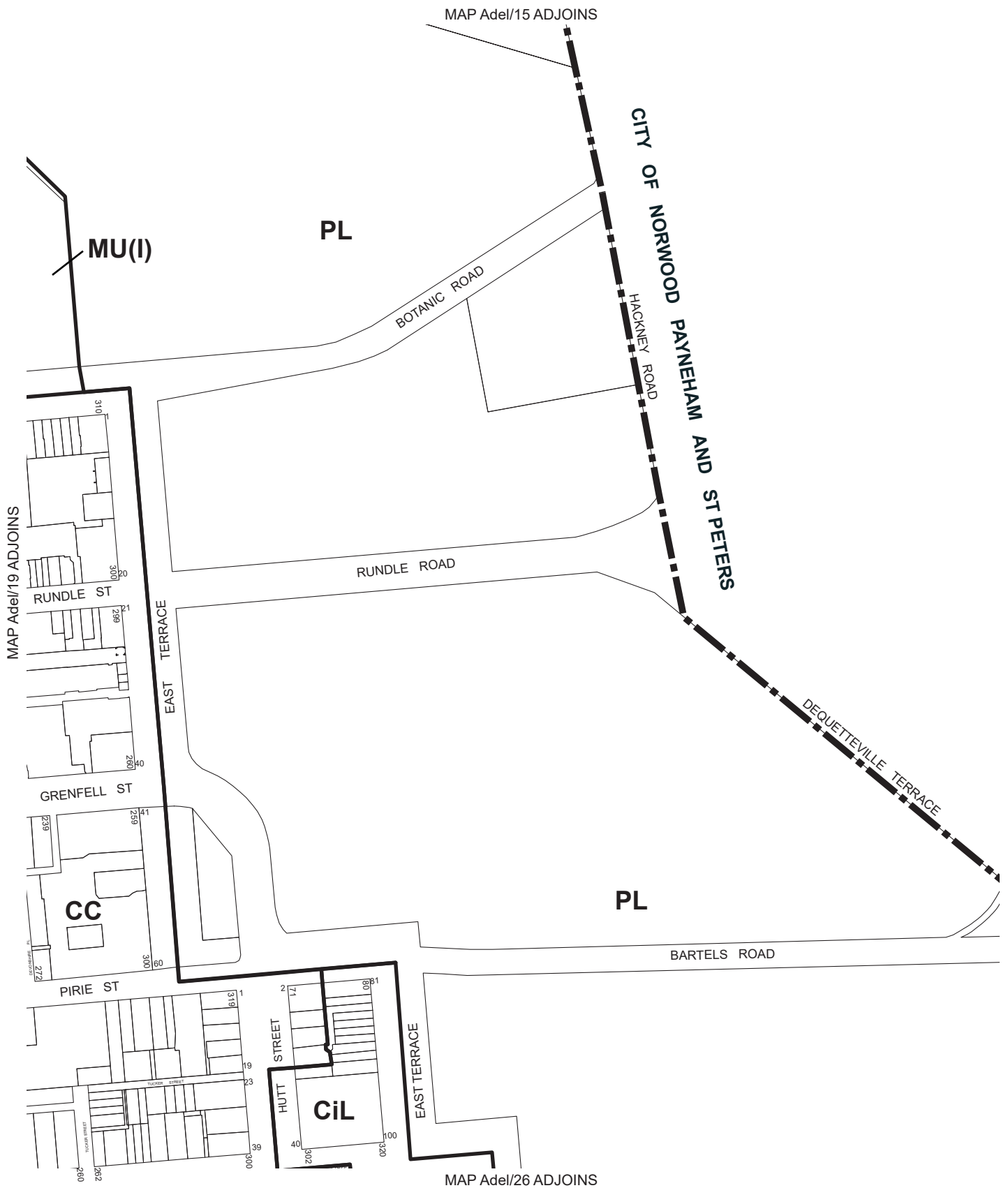
NOTE : For Policy Areas See MAP Adel/50

CC Capital City Zone
I2 Institutional (Government House) Zone
I3 Institutional (University) Zone
MU(I) Mixed Use (Innovation) Zone
PL Park Lands Zone

— Zone Boundary
 - - - Development Plan Boundary

ADELAIDE (CITY) ZONES MAP Adel/19

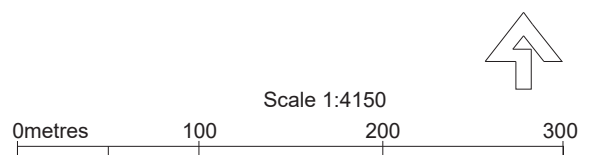
Consolidated - 30 April 2020



NOTE : For Policy Areas See MAP Adel/51

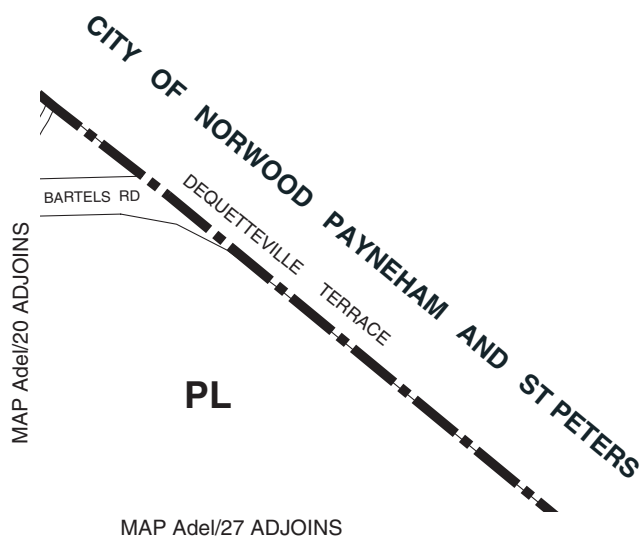
CC Capital City Zone
CiL City Living Zone
MU(I) Mixed Use (Innovation) Zone
PL Park Lands Zone

— Zone Boundary
 - - - Development Plan Boundary



ADELAIDE (CITY) ZONES MAP Adel/20

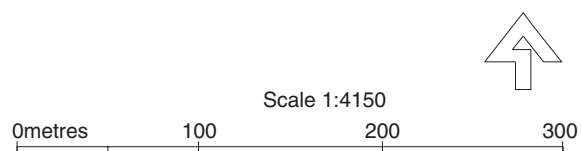
Consolidated - 30 April 2020



NOTE : For Policy Areas See MAP Adel/52

PL Park Lands Zone

— Zone Boundary
 - - - Development Plan Boundary



ADELAIDE (CITY) **ZONES** **MAP Adel/21**

MAP Adel/16 ADJOINS

CITY OF WEST TORRENS

PL

SIR DONALD BRADMAN DRIVE

MAP Adel/23 ADJOINS

MAP Adel/28 ADJOINS

NOTE : For Policy Areas See MAP Adel/53

PL Park Lands Zone



Scale 1:4150

0metres 100 200 300

ADELAIDE (CITY) ZONES MAP Adel/22

Consolidated - 30 April 2020

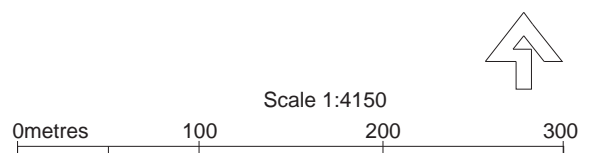
— Zone Boundary
- - - Development Plan Boundary



NOTE : For Policy Areas See MAP Adel/54

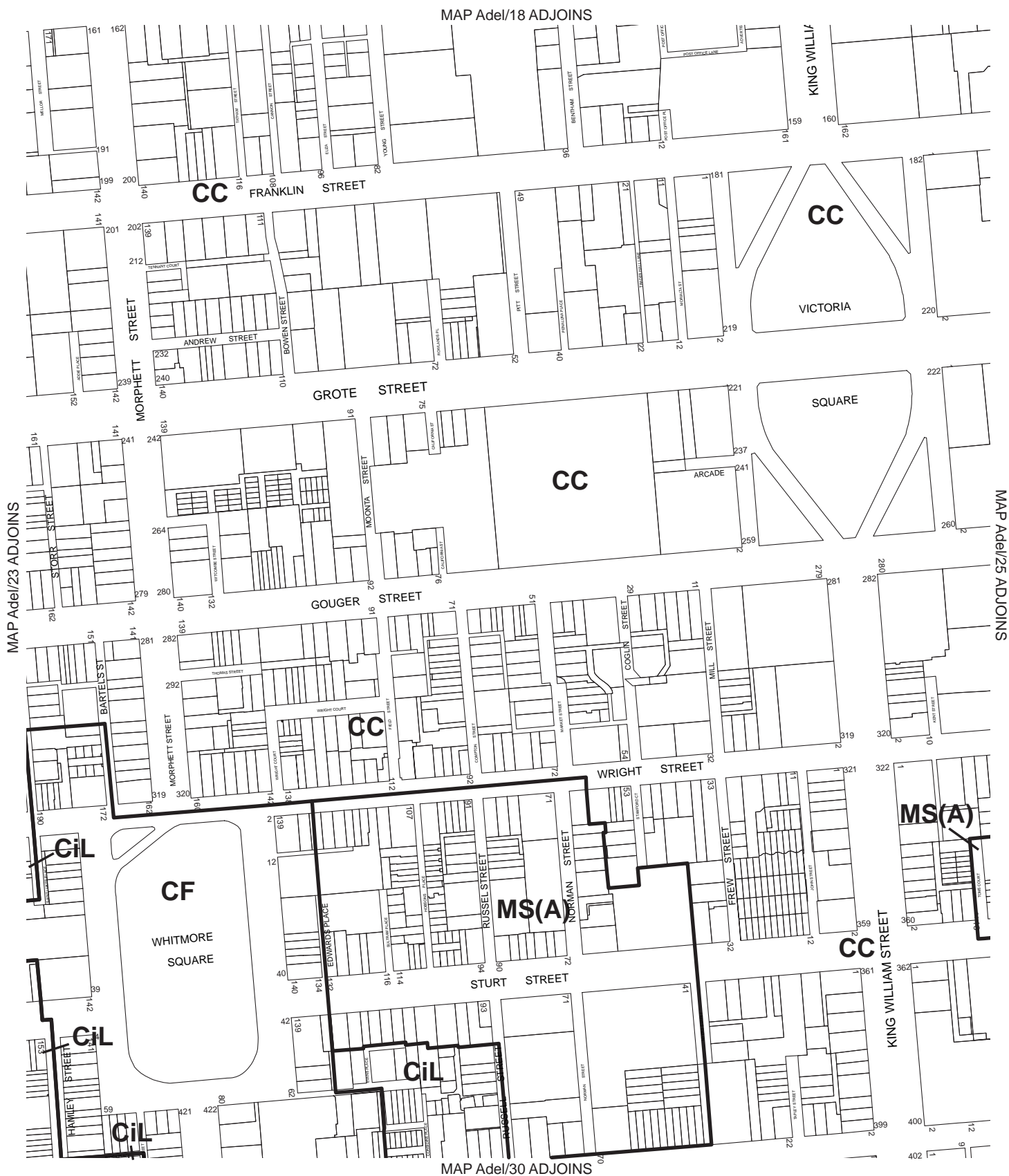
CC Capital City Zone
CF City Frame Zone
CiL City Living Zone
PL Park Lands Zone

 Zone Boundary
 Development Plan Boundary



ADELAIDE (CITY) ZONES MAP Adel/23

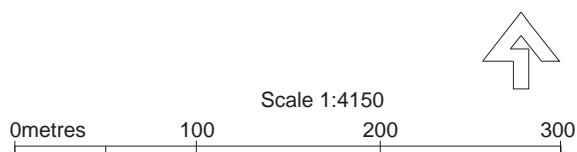
Consolidated - 30 April 2020



NOTE : For Policy Areas See MAP Adel/55

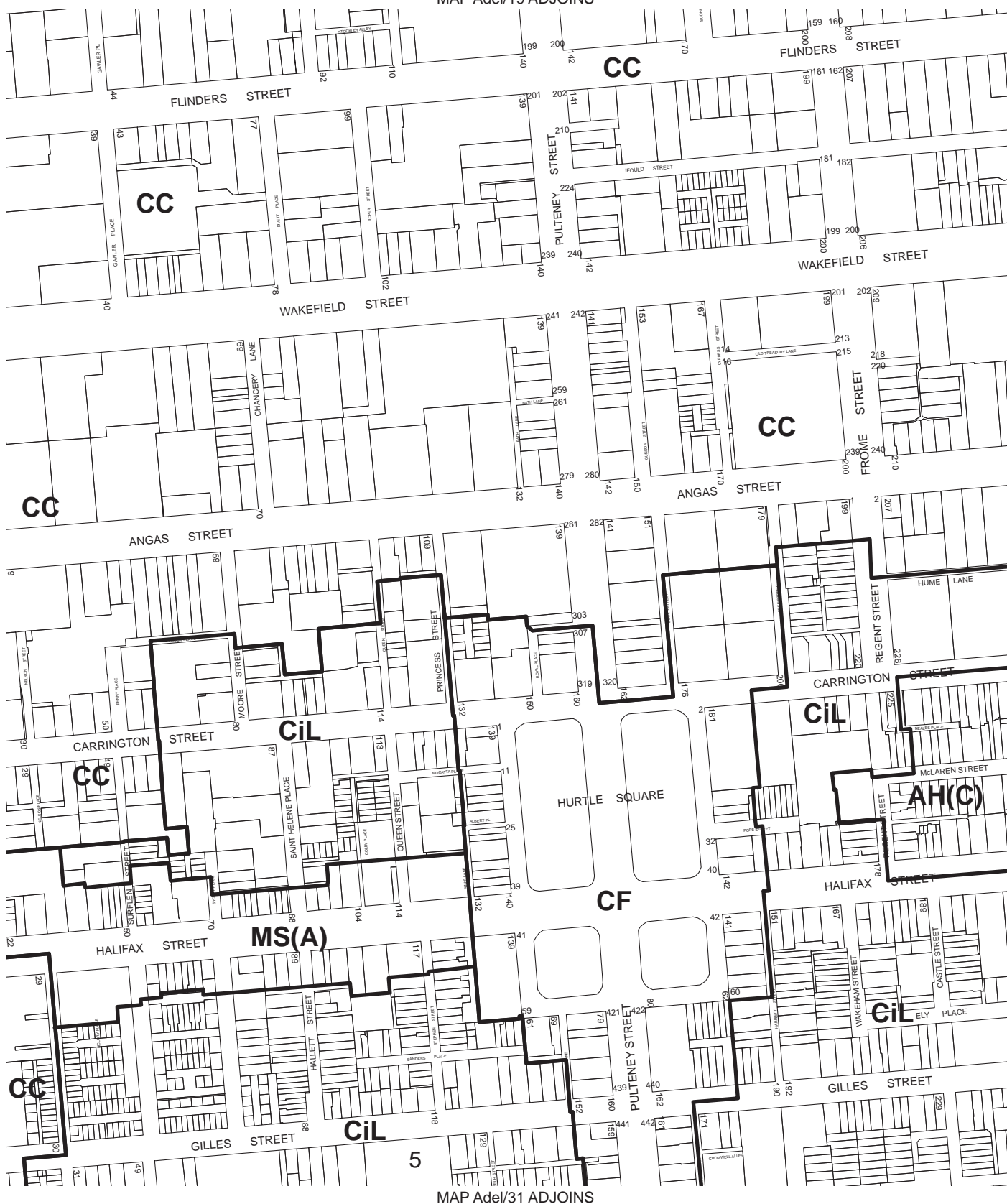
CC Capital City Zone
CF City Frame Zone
CiL City Living Zone
MS(A) Main Street (Adelaide) Zone

 Zone Boundary
 Development Plan Boundary



ADELAIDE (CITY) ZONES MAP Adel/24

Consolidated - 30 April 2020



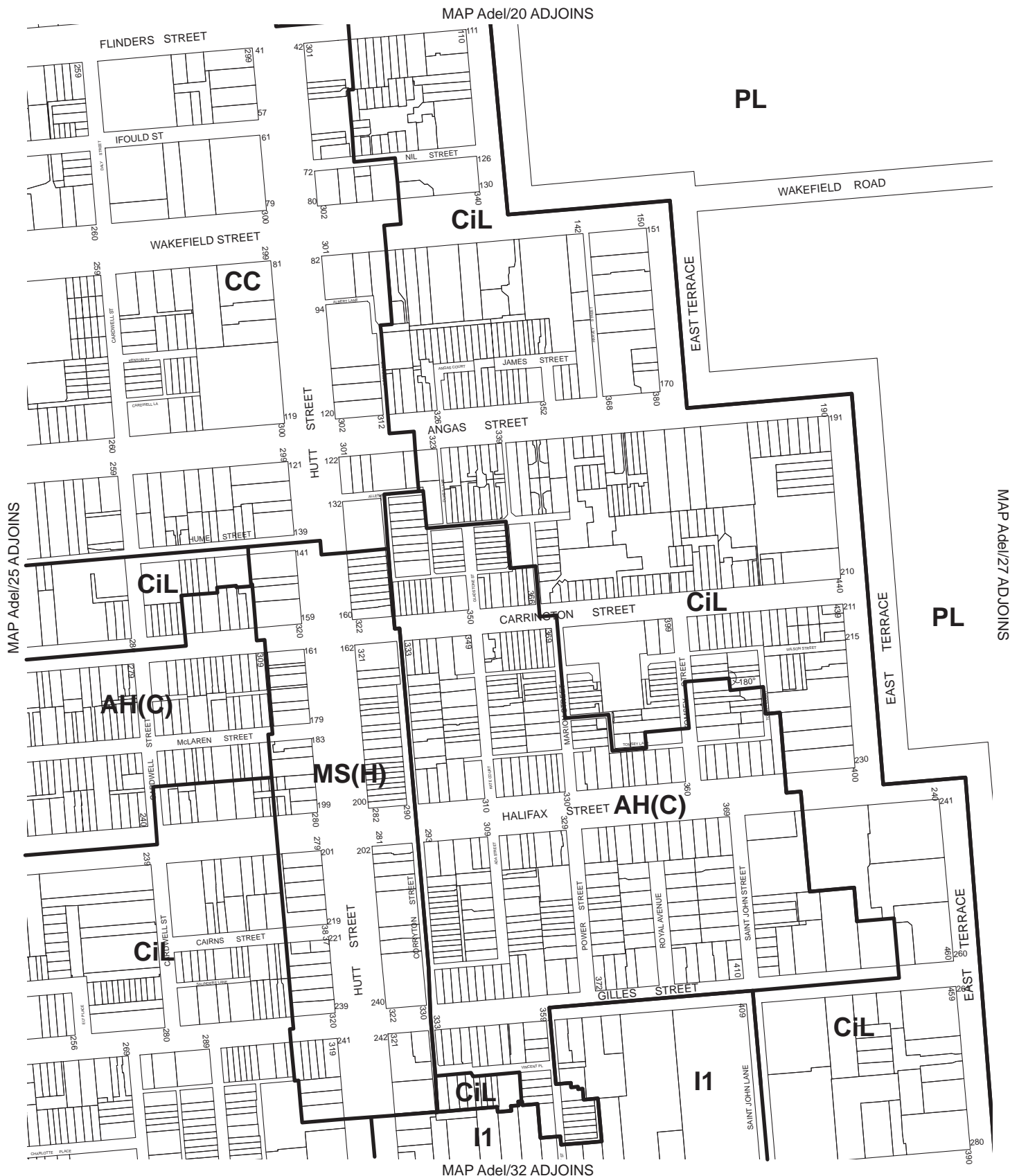
NOTE : For Policy Areas See MAP Adel/56

AH(C)	Adelaide Historic (Conservation) Zone
CC	Capital City Zone
CF	City Frame Zone
CiL	City Living Zone
MS(A)	Main Street (Adelaide) Zone

	Zone Boundary
	Development Plan Boundary

ADELAIDE (CITY) ZONES MAP Adel/25

Consolidated - 30 April 2020



NOTE : For Policy Areas See MAP Adel/57

AH(C) Adelaide Historic (Conservation) Zone
CC Capital City Zone
CiL City Living Zone
I1 Institutional (St Andrews) Zone
MS(H) Main Street (Hutt) Zone
PL Park Lands Zone

 Zone Boundary
 Development Plan Boundary

Scale 1:4150
 0metres 100 200 300

ADELAIDE (CITY) ZONES MAP Adel/26

Consolidated - 30 April 2020

MAP Adel/21 ADJOINS

CITY OF NORWOOD
PAYNEHAM AND ST PETERS

PL

WAKEFIELD ROAD

DEQUETTEVILLE
TERRACE

TERRACE

FULLARTON ROAD

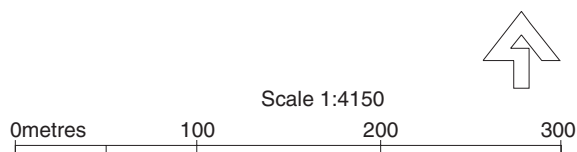
CITY OF BURNSIDE

PL

MAP Adel/33 ADJOINS

NOTE : For Policy Areas See MAP Adel/58

PL Park Lands Zone



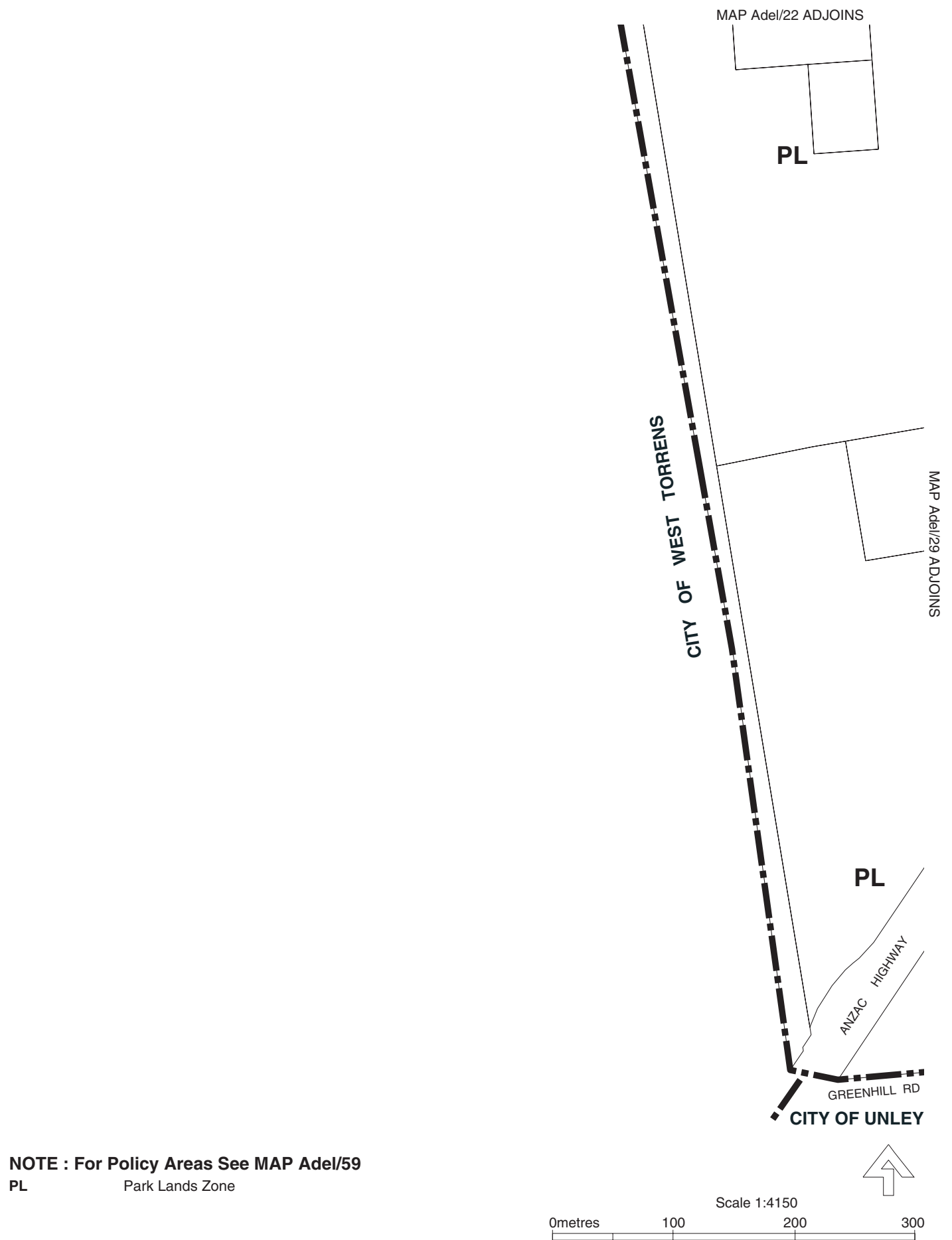
ADELAIDE (CITY) ZONES MAP Adel/27

Consolidated - 30 April 2020

— Zone Boundary
- - - Development Plan Boundary

MAP Adel/26 ADJOINS

EAST
TERRACE



ADELAIDE (CITY) ZONES

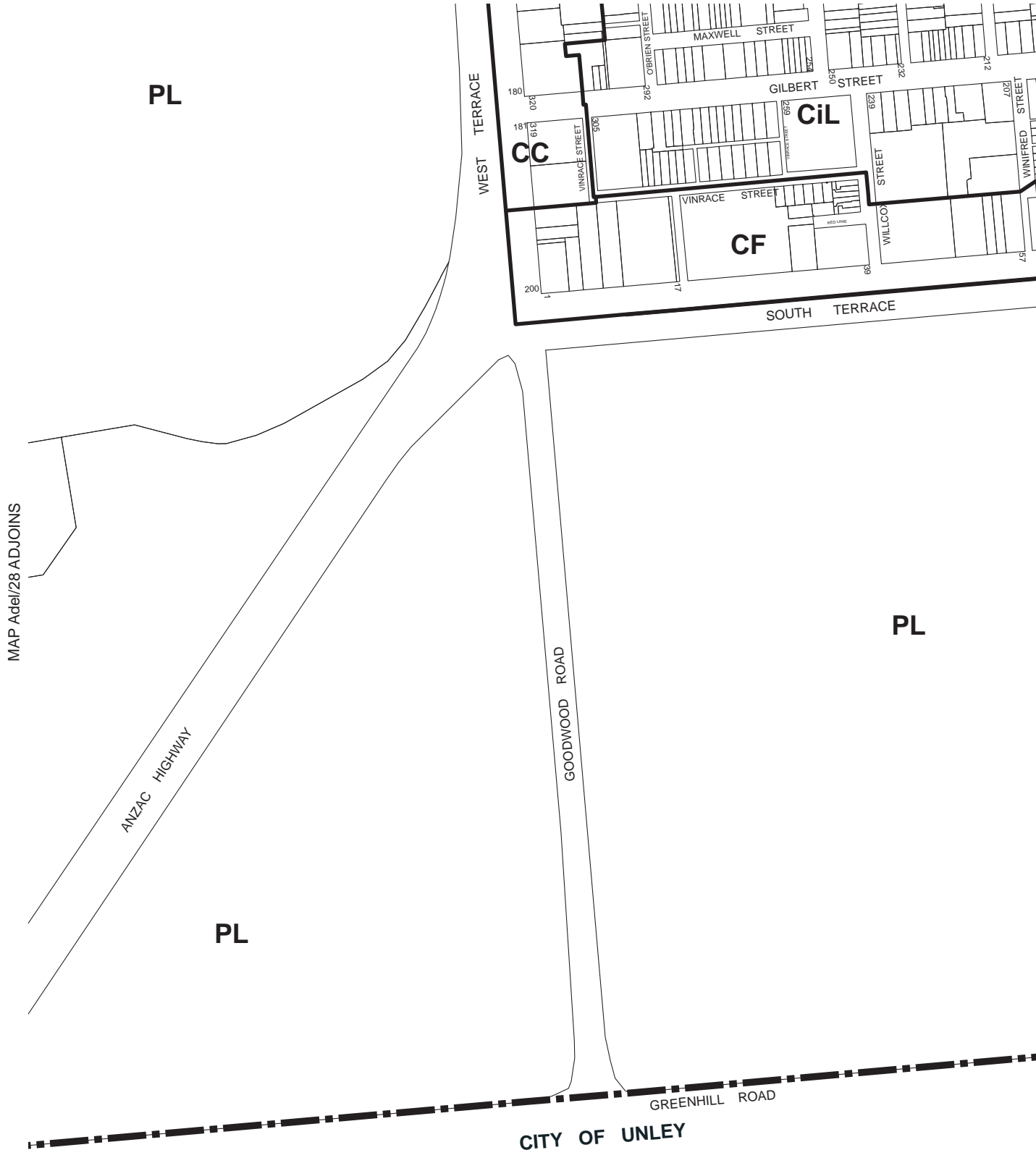
MAP Adel/28
Consolidated - 30 April 2020

— Zone Boundary
- - - Development Plan Boundary

MAP Adel/23 ADJOINS

MAP Adel/28 ADJOINS

MAP Adel/30 ADJOINS



NOTE : For Policy Areas See MAP Adel/60

CC Capital City Zone
CF City Frame Zone
CiL City Living Zone
PL Park Lands Zone



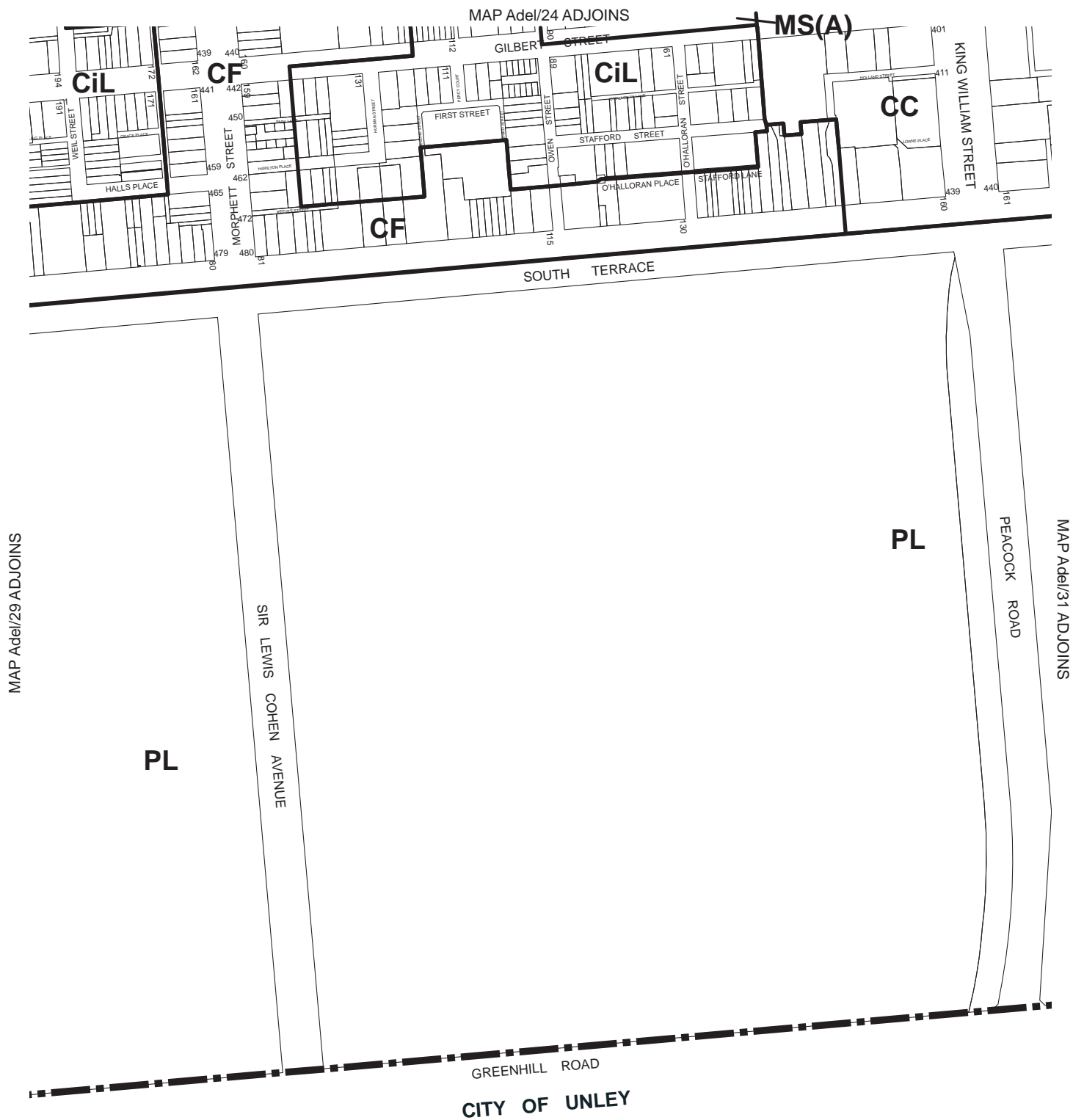
Scale 1:4150
0metres 100 200 300

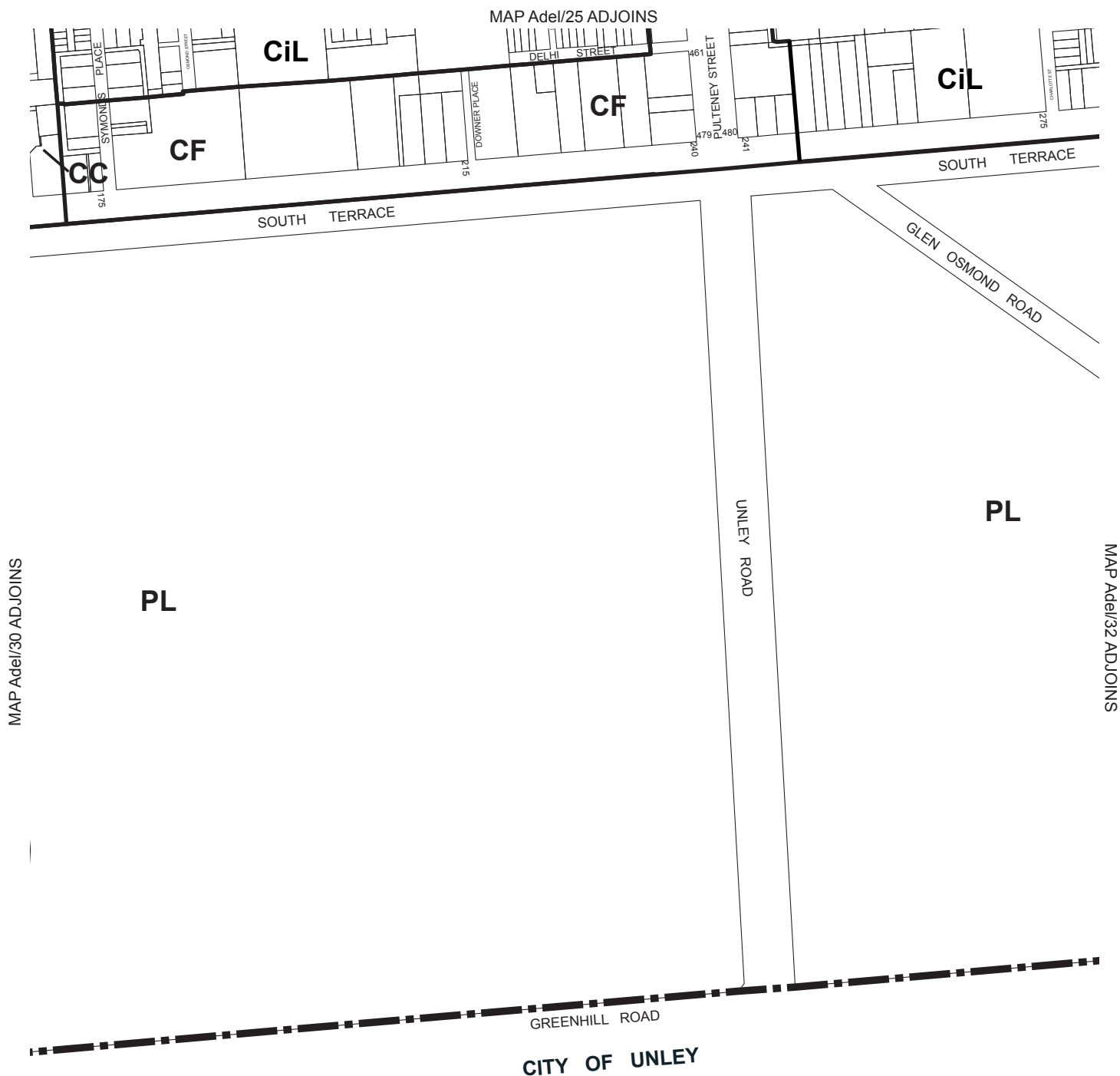
— Zone Boundary
- - - Development Plan Boundary

ADELAIDE (CITY) ZONES

MAP Adel/29

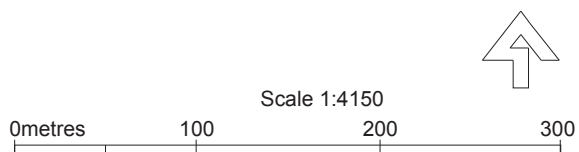
Consolidated - 30 April 2020





NOTE : For Policy Areas See MAP Adel/62

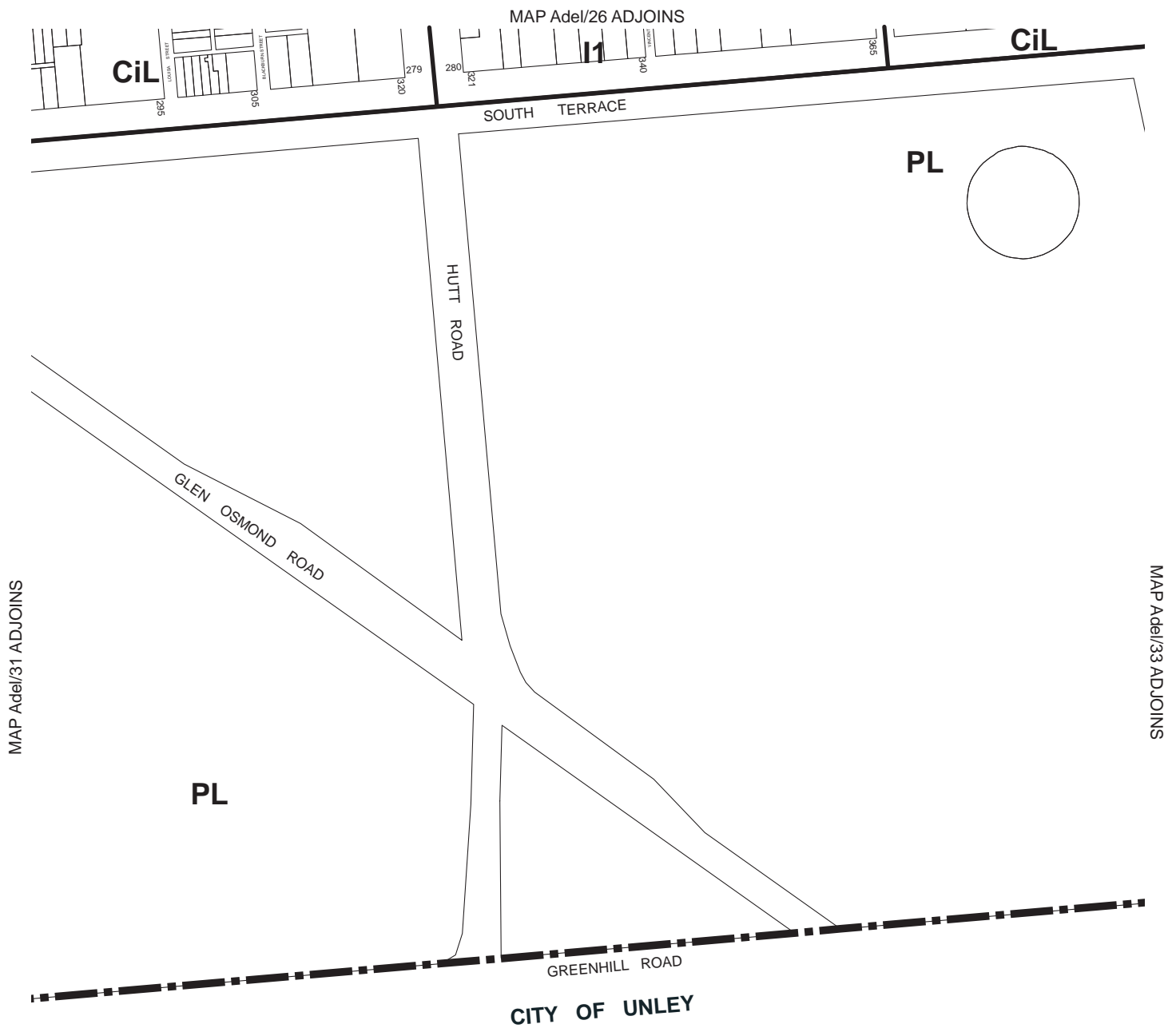
CC Capital City Zone
 CF City Frame Zone
 CiL City Living Zone
 PL Park Lands Zone



ADELAIDE (CITY) ZONES MAP Adel/31

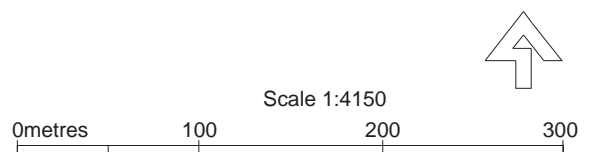
Consolidated - 30 April 2020

— Zone Boundary
 - - - Development Plan Boundary



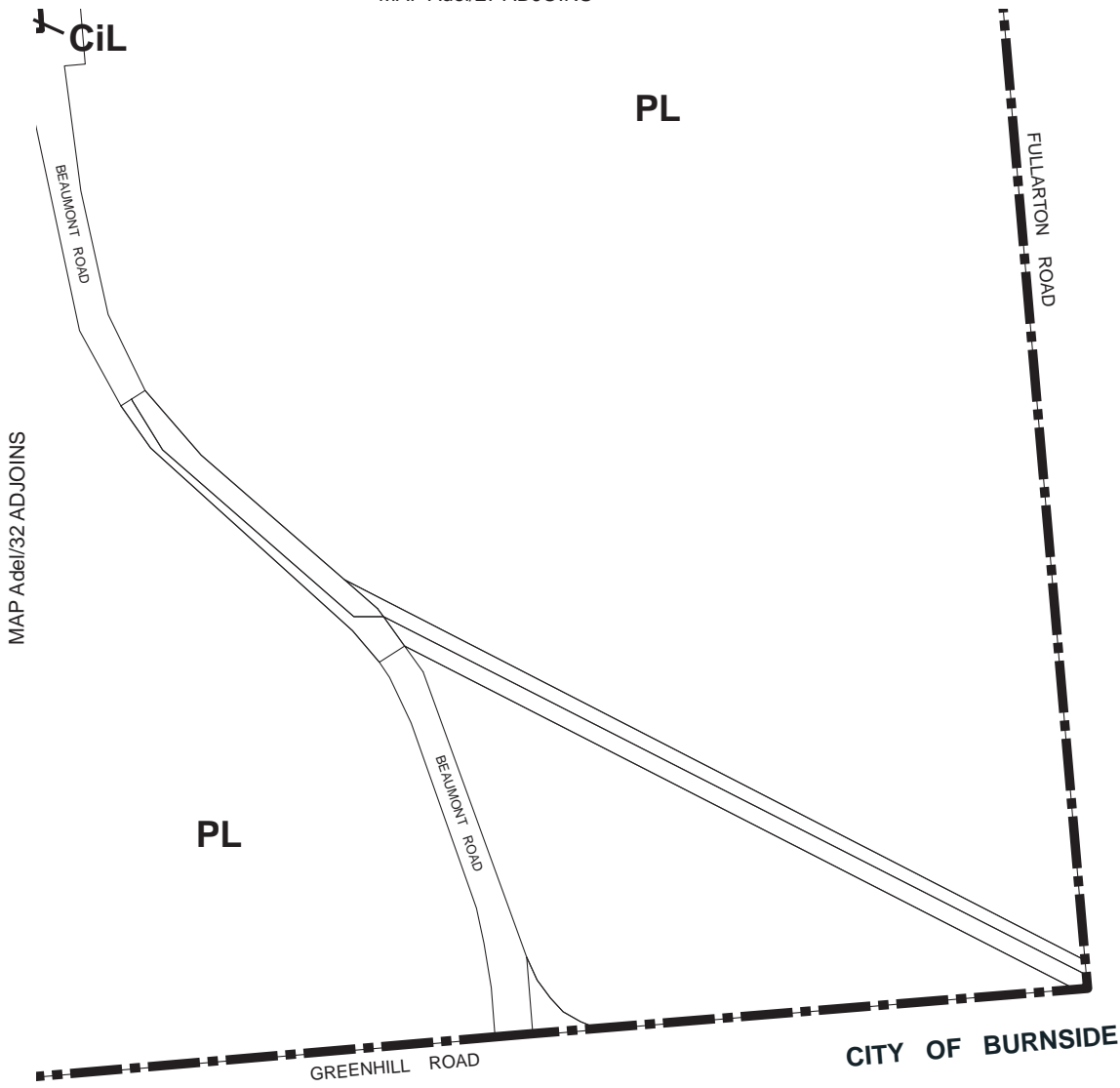
NOTE : For Policy Areas See MAP Adel/63

CiL City Living Zone
I1 Institutional (St Andrews) Zone
PL Park Lands Zone



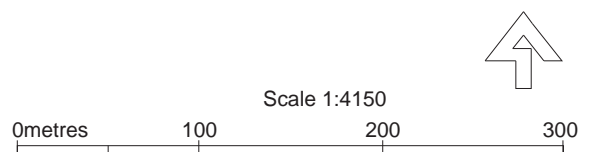
**ADELAIDE (CITY)
 ZONES
 MAP Adel/32
 Consolidated - 30 April 2020**

— Zone Boundary
- - - Development Plan Boundary



NOTE : For Policy Areas See MAP Adel/64

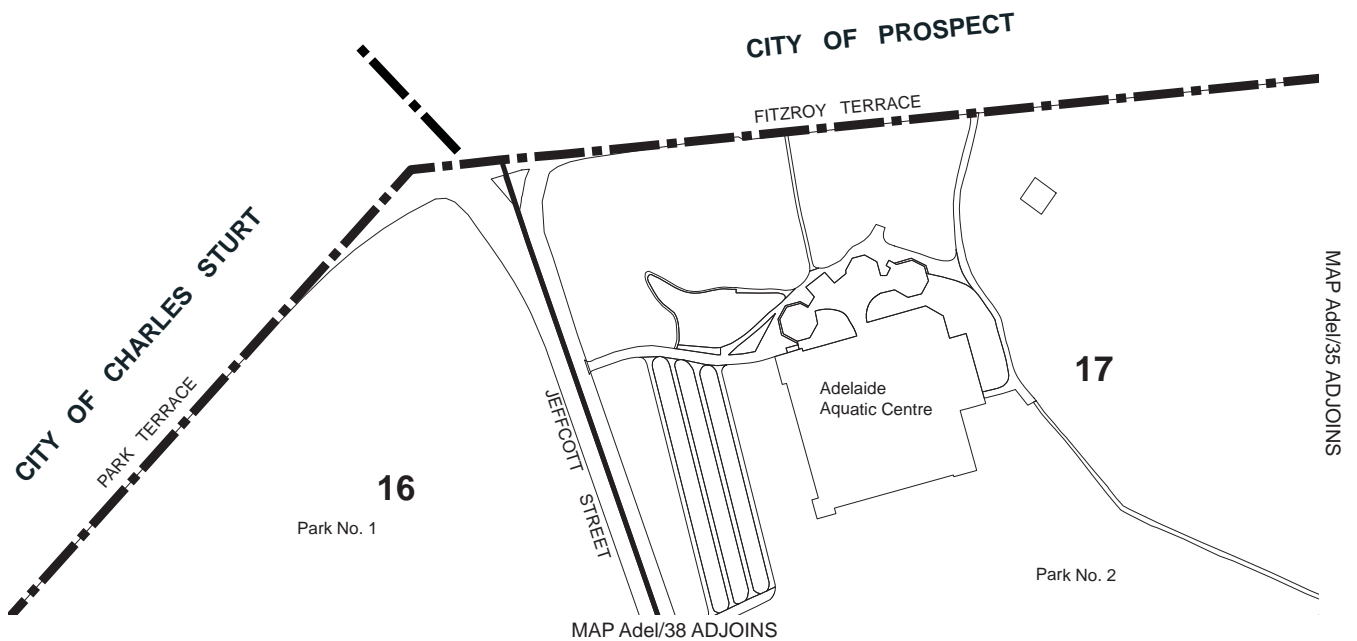
CiL City Living Zone
PL Park Lands Zone



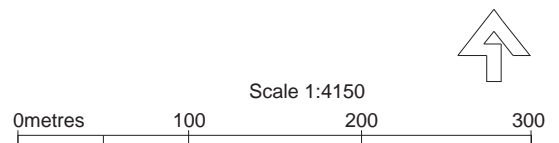
ADELAIDE (CITY) ZONES

MAP Adel/33
 Consolidated - 30 April 2020

— Zone Boundary
 - - - Development Plan Boundary

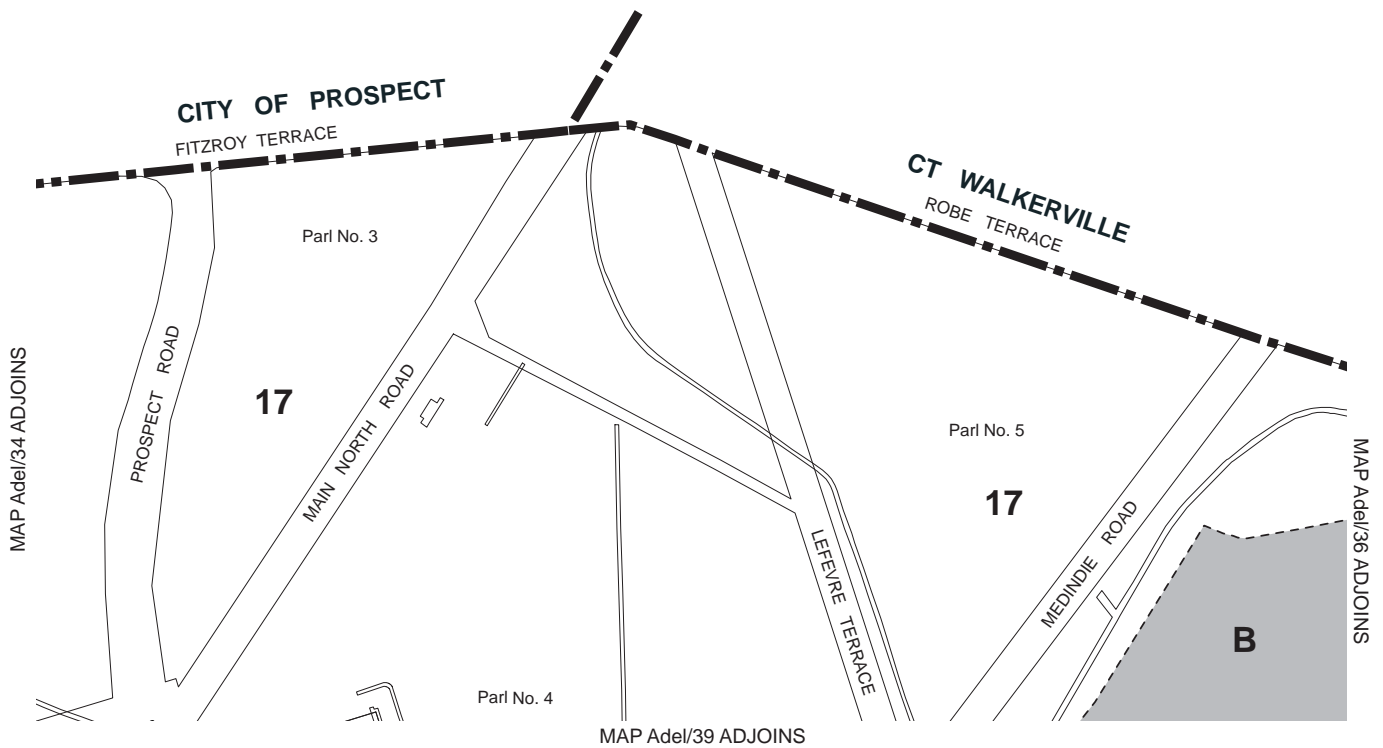


16 Golf Links Policy Area
17 Northern Park Lands Policy Area



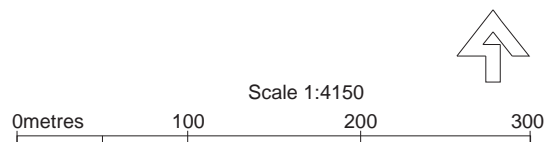
ADELAIDE (CITY) **POLICY AREAS** **MAP Adel/34** Consolidated - 30 April 2020

Policy Area Boundary
Development Plan Boundary



17
B

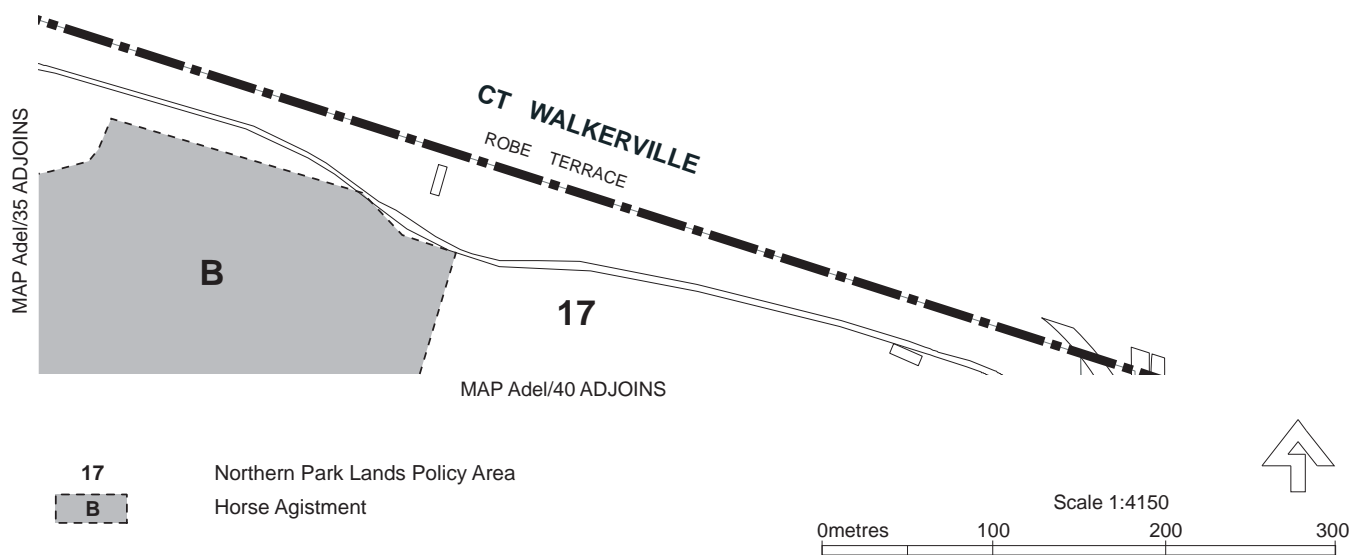
Northern Park Lands Policy Area
Horse Agistment



ADELAIDE (CITY) **POLICY AREAS** **MAP Adel/35**

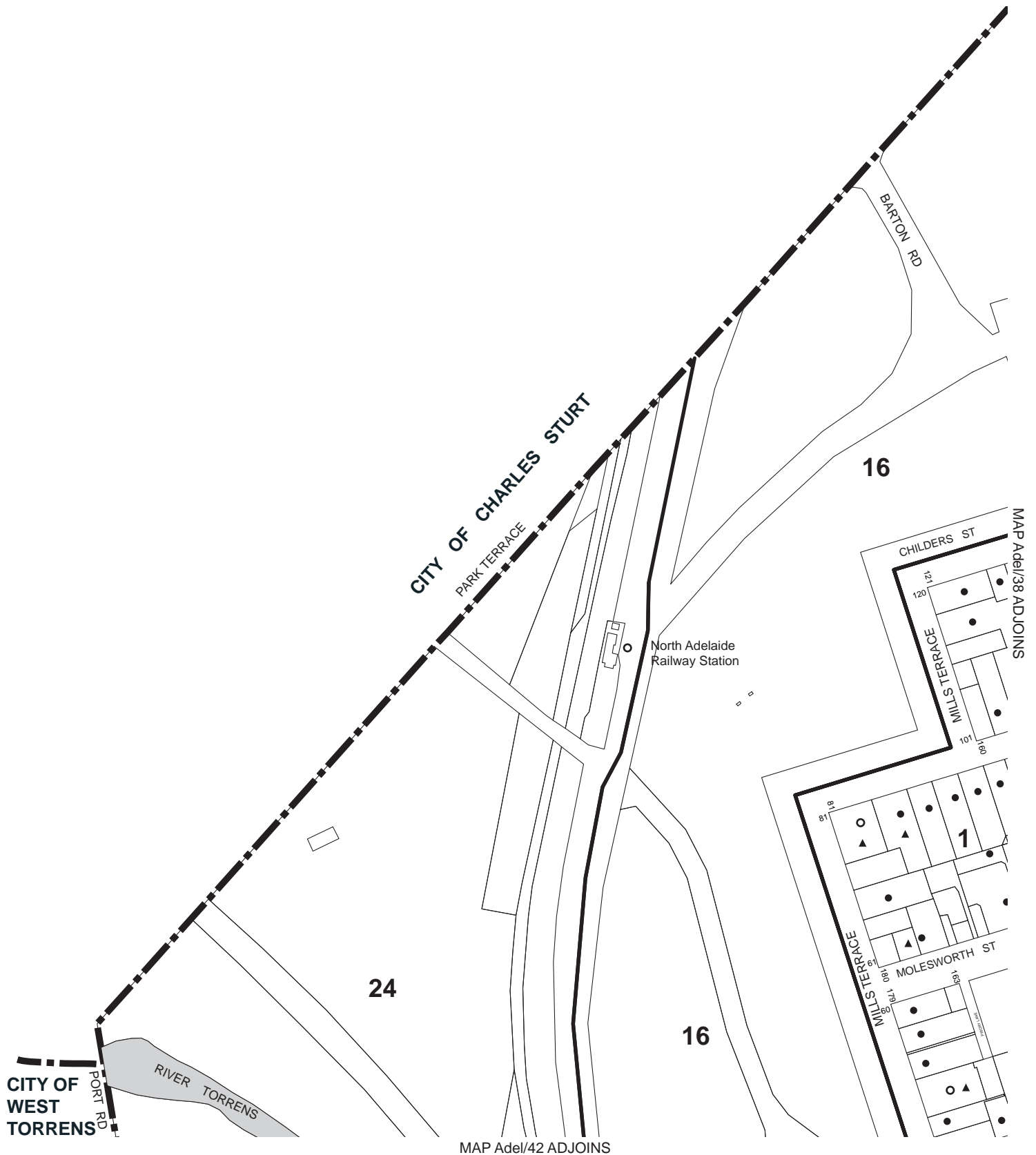
Consolidated - 30 April 2020

———— Policy Area Boundary
- - - - - Development Plan Boundary



ADELAIDE (CITY) **POLICY AREAS** **MAP Adel/36**

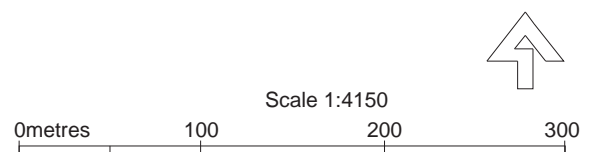
 Policy Area Boundary
 Development Plan Boundary



- 1** Hill Street Policy Area
- 16** Golf Links Policy Area
- 24** River Torrens West Policy Area

- State Heritage Place
- Local Heritage Place
- ▲ Significant Tree

- Policy Area Boundary
- - - Development Plan Boundary



ADELAIDE (CITY) POLICY AREAS MAP Adel/37

Consolidated - 30 April 2020

MAP Adel/34 ADJOINS

Park No.2

17

Park No.1

16



- 1 Hill Street Policy Area
- 2 Childers East Policy Area
- 3 Wellington Square Policy Area
- 4 Tynte Policy Area
- 5 Carclew Policy Area
- 15 Archer West Policy Area
- 16 Golf Links Policy Area
- 17 Northern Park Lands Policy Area

- State Heritage Place
- Local Heritage Place
- ▲ Significant Tree

Policy Area Boundary

Scale 1:4150
0metres 100 200 300

ADELAIDE (CITY)
POLICY AREAS
MAP Adel/38
Consolidated April 2020



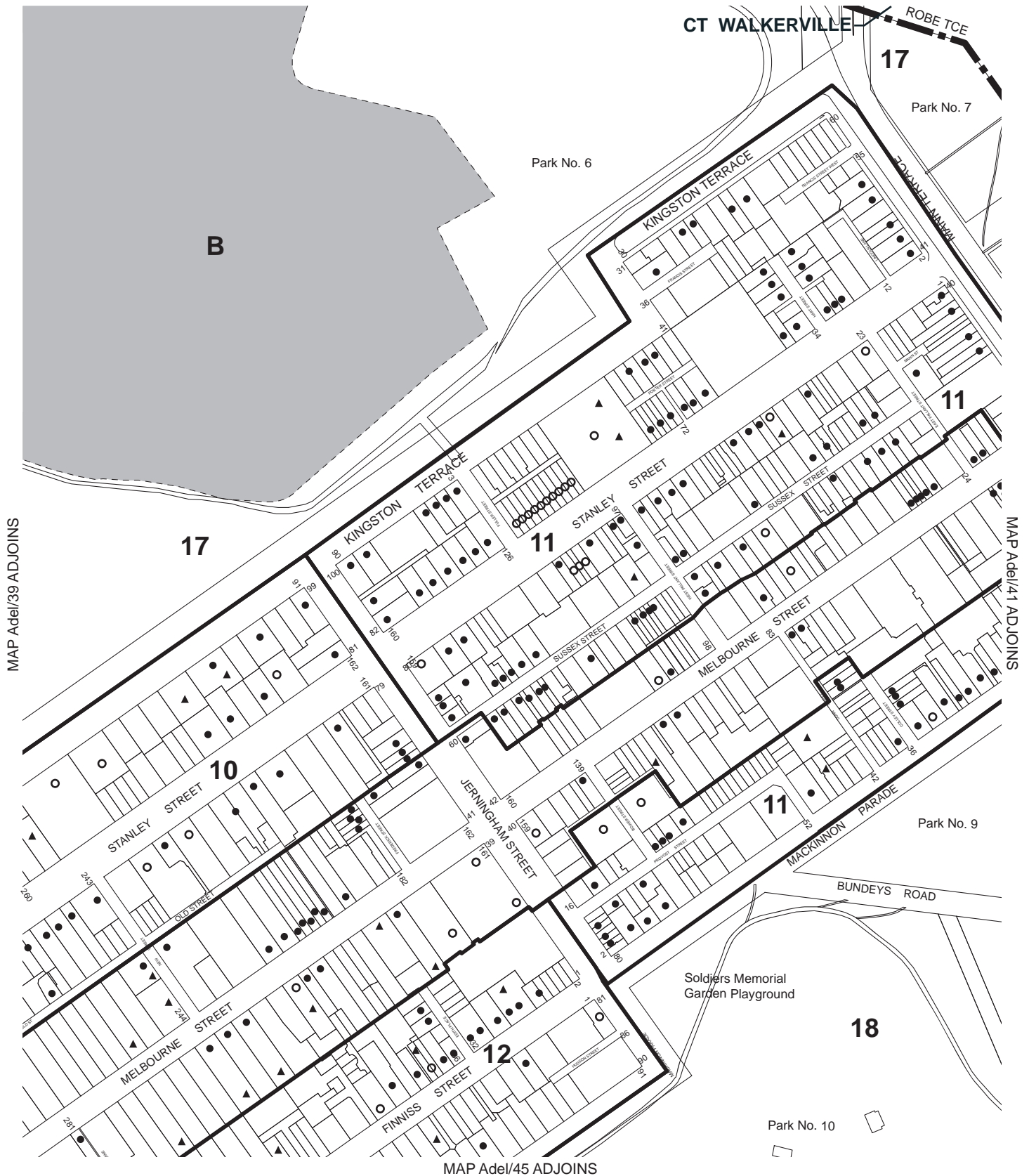
- 2 Childers East Policy Area
- 4 Tynte Policy Area
- 5 Carclew Policy Area
- 6 Margaret Street Policy Area
- 7 Lefevre Policy Area
- 8 Cathedral Policy Area
- 10 Stanley West Policy Area
- 15 Archer West Policy Area
- 17 Northern Park Lands Policy Area
- 26 Brougham and Palmer Gardens Policy Area

Policy Area Boundary

- B Horse Agistment
- State Heritage Place
- Local Heritage Place
- Significant Tree

ADELAIDE (CITY) **POLICY AREAS** **MAP Adel/39**

Consolidated - 30 April 2020



- 10 Stanley West Policy Area
- 11 Kentish Arms Policy Area
- 12 Finnis Policy Area
- 17 Northern Park Lands Policy Area
- 18 River Torrens East Policy Area



Horse Agistment



State Heritage Place



Local Heritage Place



Significant Tree



Policy Area Boundary



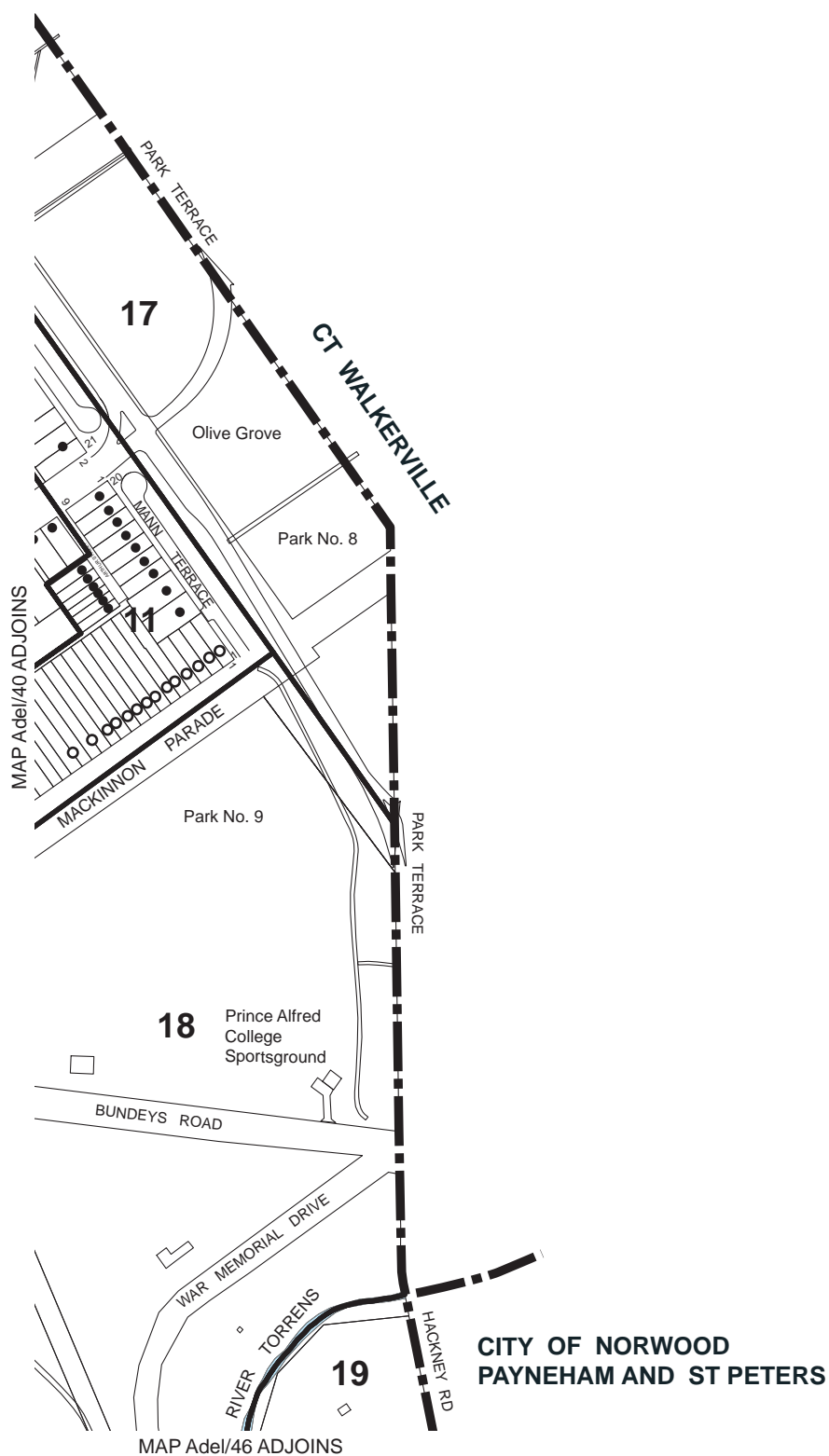
Development Plan Boundary

Scale 1:4150
0metres 100 200 300



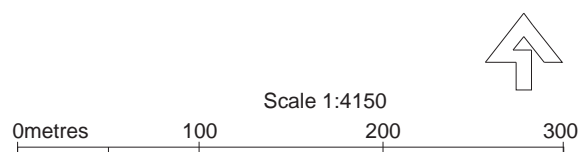
ADELAIDE (CITY) POLICY AREAS

MAP Adel/40
Consolidated - 30 April 2020



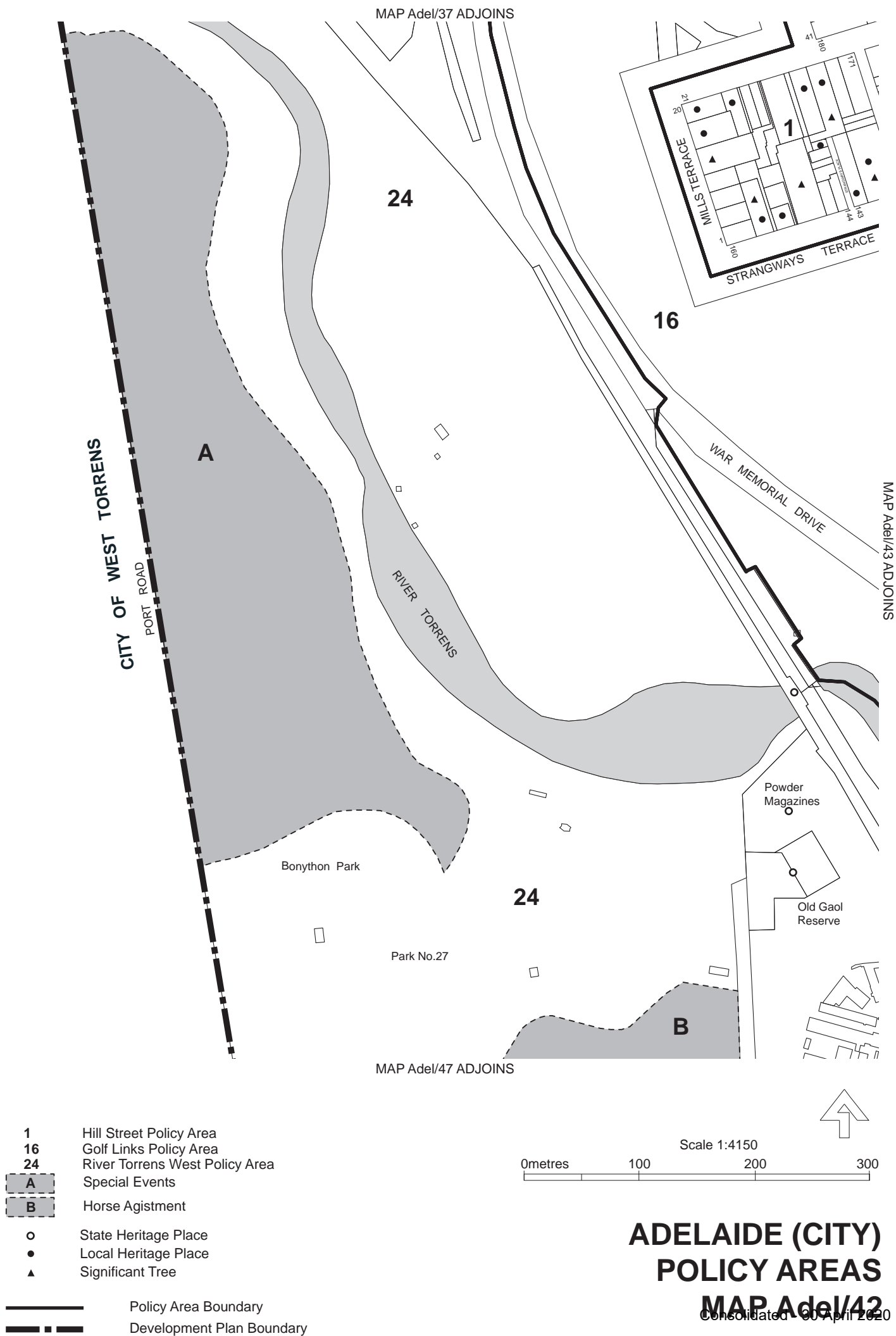
- 11 Kentish Arms Policy Area
- 17 Northern Park Lands Policy Area
- 18 River Torrens East Policy Area
- 19 Botanic Park Policy Area
- State Heritage Place
- Local Heritage Place

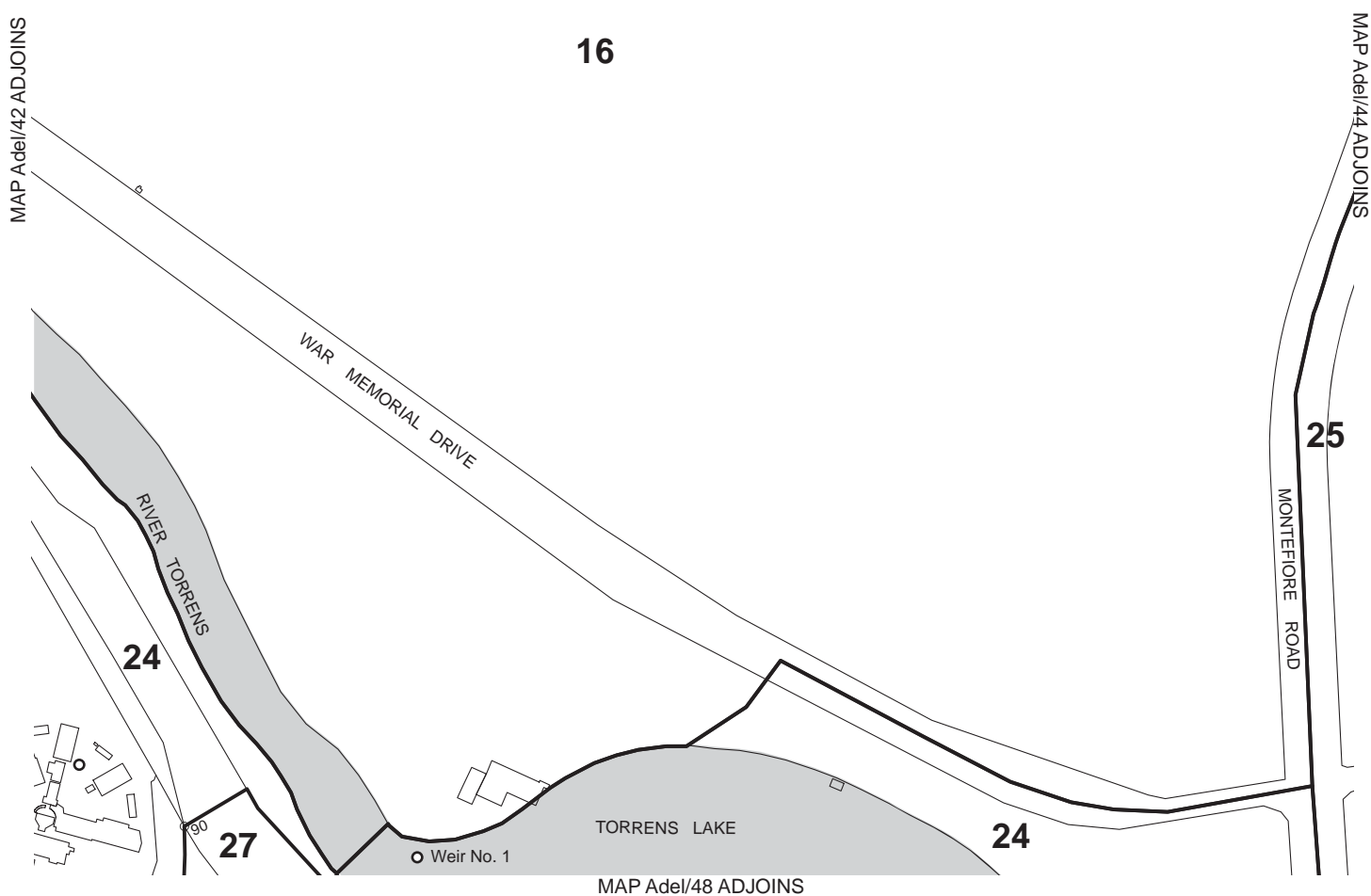
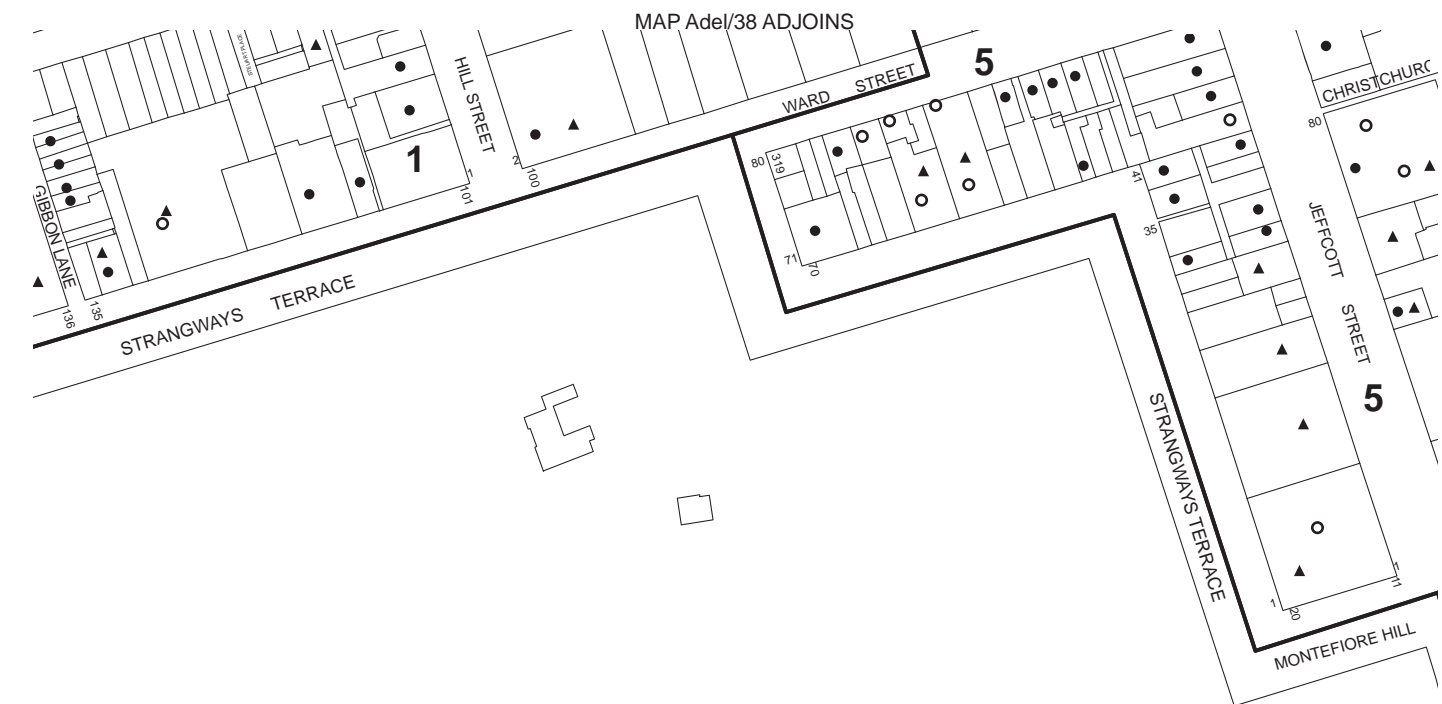
 Policy Area Boundary
 Development Plan Boundary



ADELAIDE (CITY) POLICY AREAS

MAP Adel/41
 Consolidated - 30 April 2020





- 1 Hill Street Policy Area
- 5 Carclew Policy Area
- 16 Golf Links Policy Area
- 24 River Torrens West Policy Area
- 25 Adelaide Oval Policy Area
- 27 Health Policy Area

- State Heritage Place
- Local Heritage Place
- ▲ Significant Tree

— Policy Area Boundary

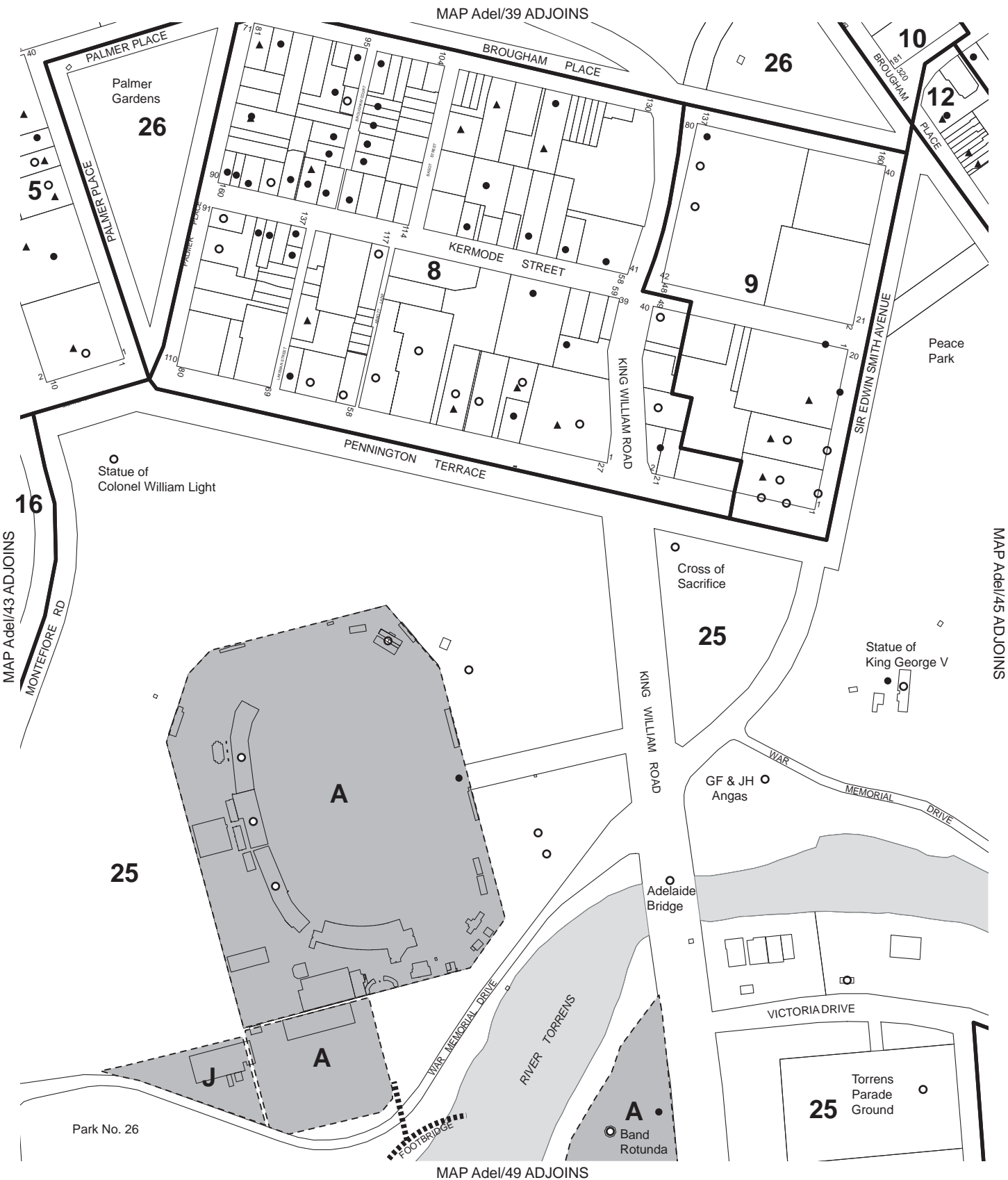
Scale 1:4150

0metres 100 200 300



ADELAIDE (CITY) **POLICY AREAS**

MAP Adel/43
Consolidated 30 April 2020



- 5 Carclew Policy Area
- 8 Cathedral Policy Area
- 9 Womens & Childrens Policy Area
- 10 Stanley West Policy Area
- 12 Finnis Policy Area
- 16 Golf Links Policy Area
- 25 Adelaide Oval Policy Area
- 26 Brougham and Palmer Gardens Policy Area



- Special Events
- Memorial Drive Leisure Centre



- Proposed Pedestrian Link



- Policy Area Boundary

- State Heritage Place
- Local Heritage Place
- ▲ Significant Tree



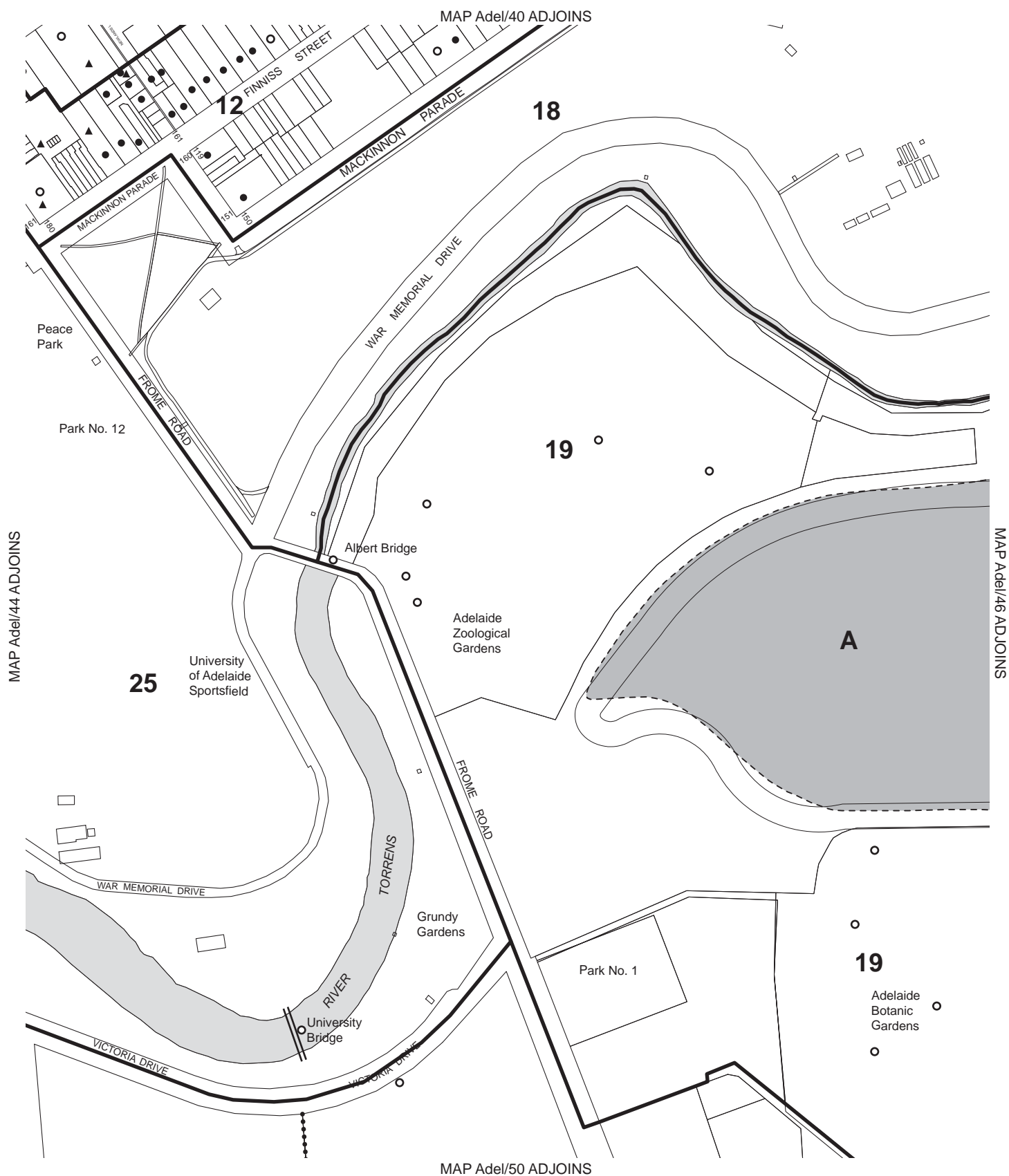
Scale 1:4150

0metres 100 200 300

ADELAIDE (CITY) POLICY AREAS

MAP Adel/44

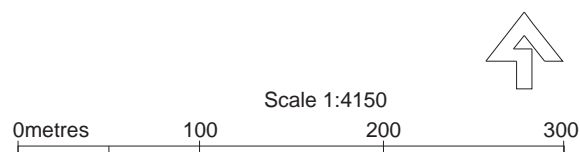
Consolidated - 30 April 2020



- 12** Finniss Policy Area
- 18** River Torrens East Policy Area
- 19** Botanic Park Policy Area
- 25** Adelaide Oval Policy Area

- A** Special Events
- Existing Pedestrian Link
- State Heritage Place
- Local Heritage Place
- ▲ Significant Tree

Policy Area Boundary



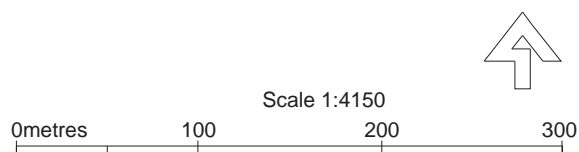
ADELAIDE (CITY) POLICY AREAS MAP Adel/45

Consolidated - 30 April 2020



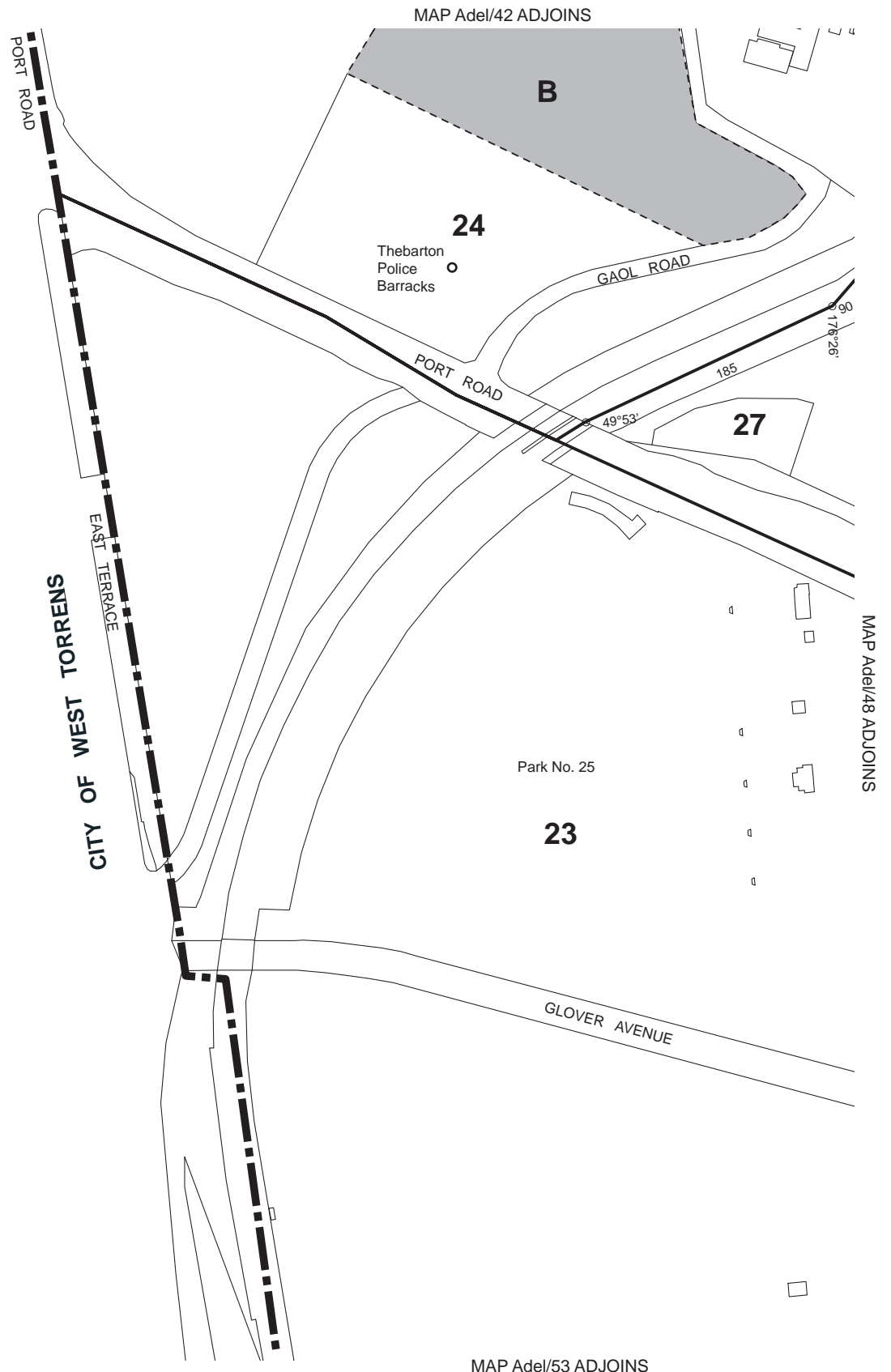
- 18 River Torrens East Policy Area
 19 Botanic Park Policy Area
 A Special Events

- State Heritage Place
 ● Local Heritage Place
 — Policy Area Boundary
 - - - Development Plan Boundary



ADELAIDE (CITY) POLICY AREAS MAP Adel/46

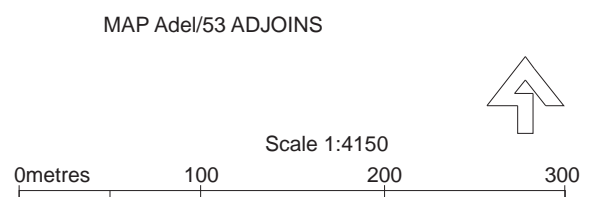
Consolidated - 30 April 2020



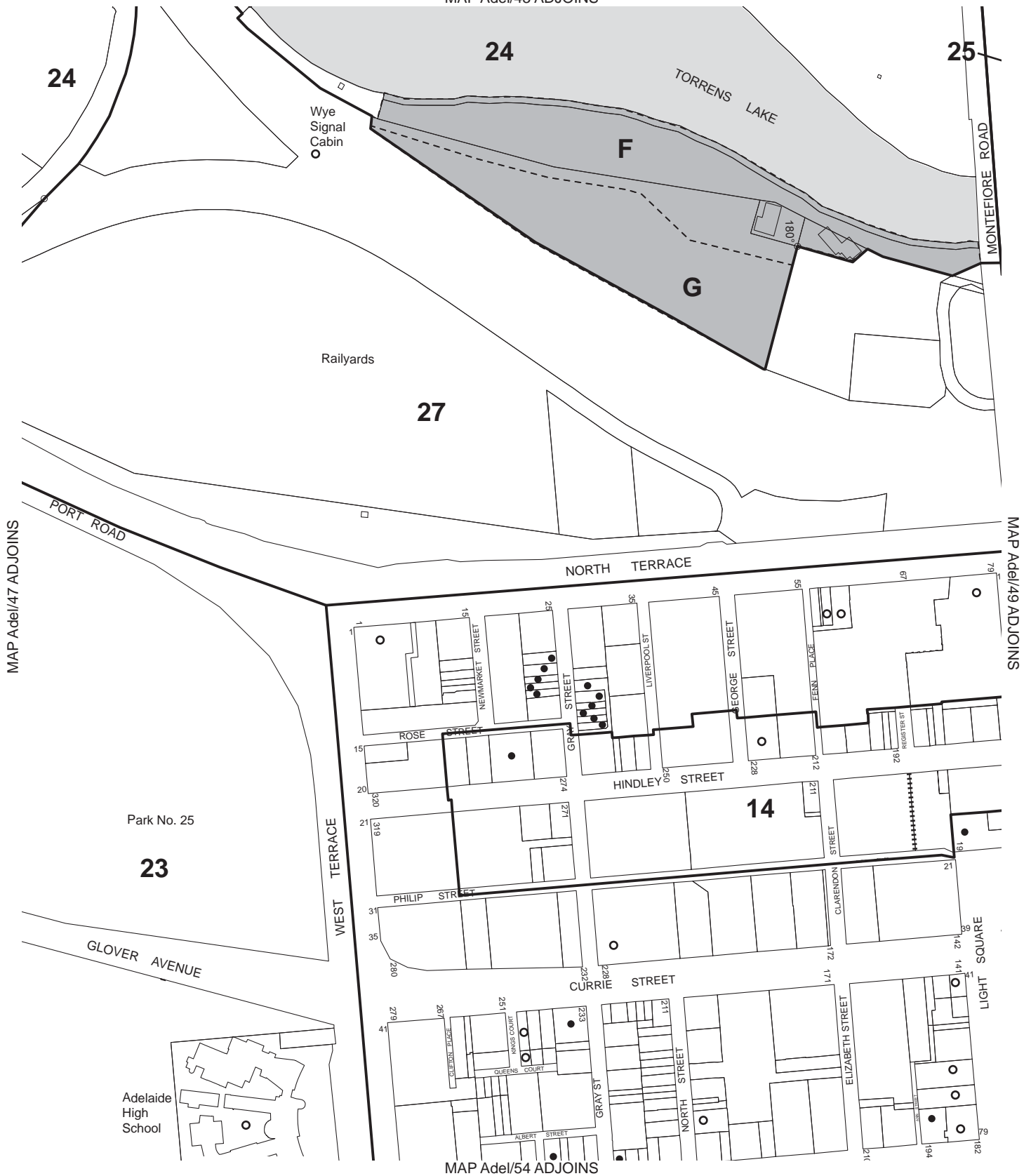
- 23** Western Park Lands Policy Area
24 River Torrens West Policy Area
27 Health Policy Area

- B** Horse Agistment
o State Heritage Place

- Policy Area Boundary
 - - - Development Plan Boundary



ADELAIDE (CITY) POLICY AREAS MAP Adel/47 Consolidated - 30 April 2020



- 14 Main Street Policy Area
- 23 Western Park Lands Policy Area
- 24 River Torrens West Policy Area
- 25 Adelaide Oval Policy Area
- 27 Health Policy Area

- F** Riverbank West
- G** Car Park
- Proposed Pedestrian Link
- State Heritage Place
- Local Heritage Place
- Policy Area Boundary

Scale 1:4150
0metres 100 200 300

ADELAIDE (CITY) POLICY AREAS MAP Adel/48 Consolidated - 30 April 2020



- 13** Central Business Policy Area
- 14** Main Street Policy Area
- 24** River Torrens West Policy Area
- 25** Adelaide Oval Policy Area
- 27** Health Policy Area
- 28** Entertainment Policy Area



Special Events

Area I



State Heritage Place

Local Heritage Place

Significant Tree



Pedestrian Link



Pedestrian and Cycling Link



Policy Area Boundary

Scale 1:4150

0metres 100 200 300

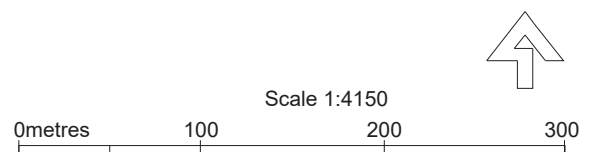
ADELAIDE (CITY) POLICY AREAS MAP Adel/49

Consolidated - 30 April 2020



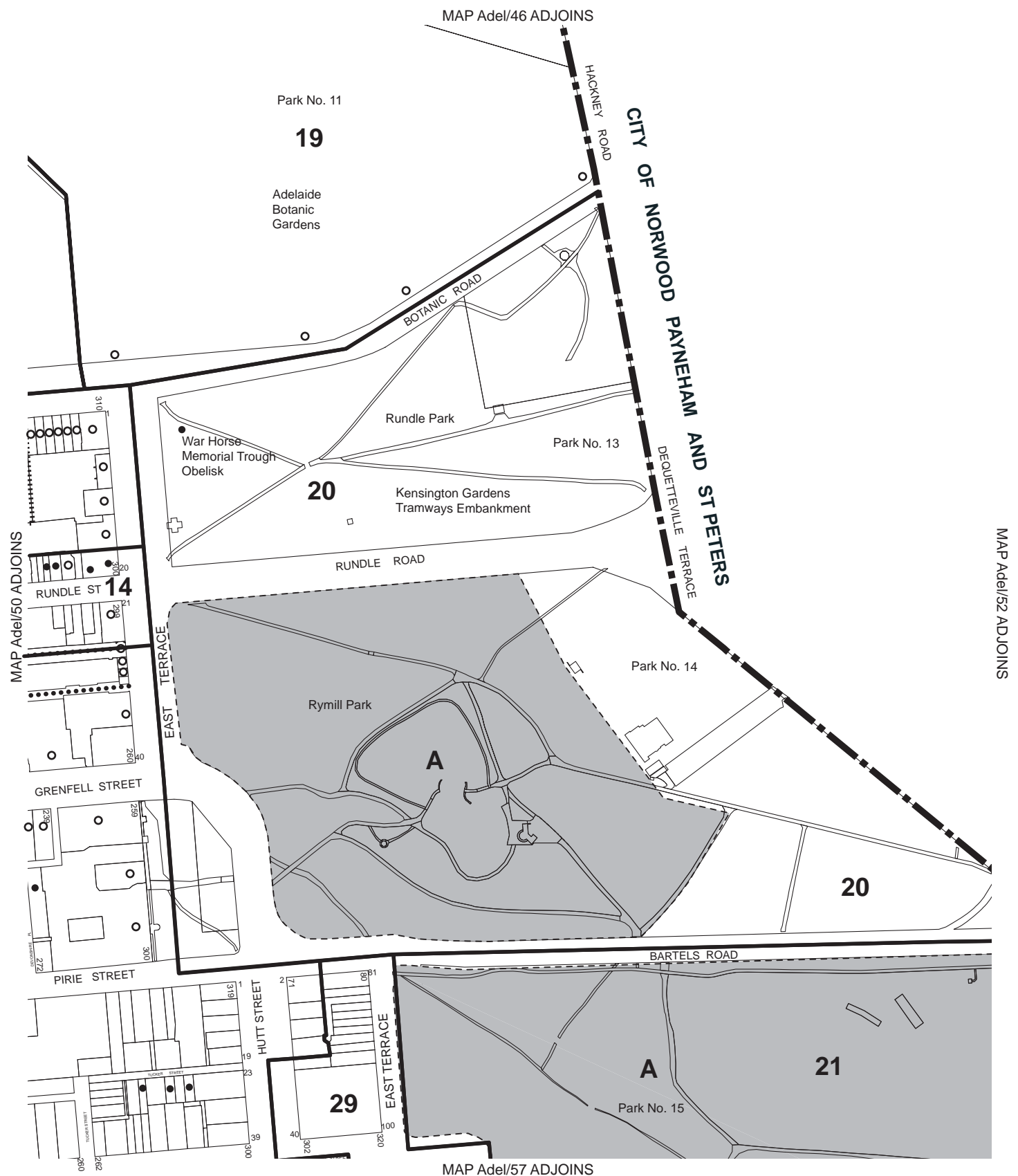
- 13** Central Business Policy Area
- 14** Main Street Policy Area
- 19** Botanic Park Policy Area
- 25** Adelaide Oval Policy Area
- State Heritage Place
- Local Heritage Place
- ▲ Significant Tree

- Existing Pedestrian Link
- Proposed Pedestrian Link
- Policy Area Boundary



ADELAIDE (CITY) **POLICY AREAS** **MAP Adel/50**

Consolidated - 30 April 2020



- 14** Main Street Policy Area
- 19** Botanic Park Policy Area
- 20** Rundle and Rymill Parks Policy Area
- 21** Eastern Park Lands Policy Area
- 29** East Terrace Policy Area



Special Events



State Heritage Place



Local Heritage Place



Existing Pedestrian Link



Proposed Pedestrian Link



Policy Area Boundary



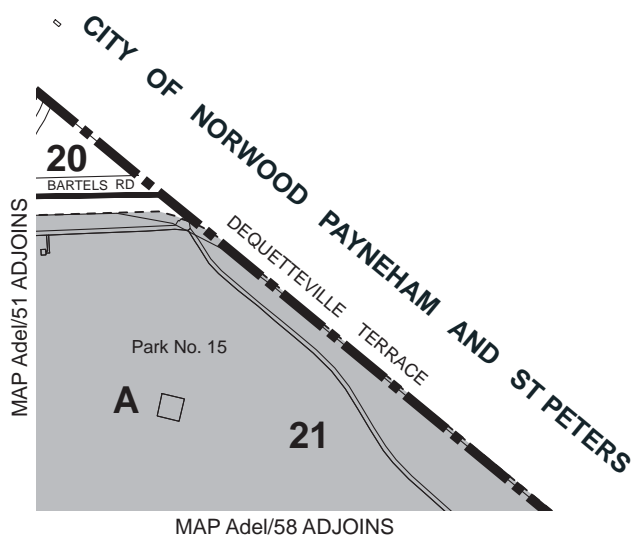
Development Plan Boundary

Scale 1:4150
0metres 100 200 300



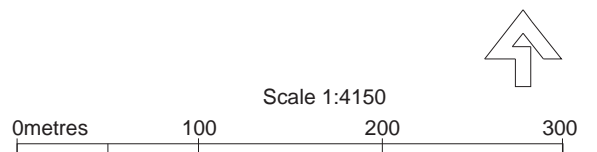
ADELAIDE (CITY) **POLICY AREAS** **MAP Adel/51**

Consolidated - 30 April 2020



- | | |
|-------------------------------------|--------------------------------------------------------------------------------------------------------|
| <p>20</p> <p>21</p> <p>A</p> | <p>Rundle and Rymill Parks Policy Area</p> <p>Eastern Park Lands Policy Area</p> <p>Special Events</p> |
|-------------------------------------|--------------------------------------------------------------------------------------------------------|

- | | |
|-------------------------------|--------------------------------------------------------------|
| <p>—————</p> <p>— · — · —</p> | <p>Policy Area Boundary</p> <p>Development Plan Boundary</p> |
|-------------------------------|--------------------------------------------------------------|



ADELAIDE (CITY) **POLICY AREAS** **MAP Adel/52**

MAP Adel/47 ADJOINS

Park No. 24

A

CITY OF WEST TORRENS

SIR DONALD BRADMAN DRIVE

23

CATHOLIC CEMETERY ROAD

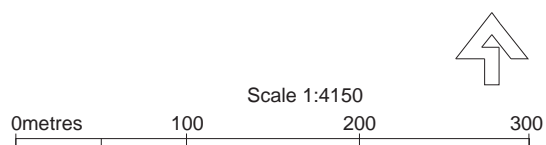
MAP Adel/54 ADJOINS

Roman Catholic
Chapel

C

MAP Adel/59 ADJOINS

- 23 Western Park Lands Policy Area
A Special Events
C West Terrace Cemetery
o State Heritage Place



ADELAIDE (CITY) POLICY AREAS MAP Adel/53

- Policy Area Boundary
Development Plan Boundary

Consolidated - 30 April 2020



- 22 Southern Park Lands Policy Area
 23 Western Park Lands Policy Area
 33 South West Policy Area

Maximum height of 2 storeys

A Special Events
 C West Terrace Cemetery

Proposed Pedestrian Link

Policy Area Boundary

- State Heritage Place
 ● Local Heritage Place
 ▲ Significant Tree

Scale 1:4150
0metres 100 200 300

ADELAIDE (CITY) POLICY AREAS MAP Adel/54

Consolidated - 30 April 2020

MAP Adel/49 ADJOINS

MAP Adel/54 ADJOINS

MAP Adel/56 ADJOINS

MAP Adel/61 ADJOINS



- 13** Central Business Policy Area
- 14** Main Street Policy Area
- 32** South Central Policy Area
- 33** South West Policy Area
- State Heritage Place
- Local Heritage Place
- Policy Area Boundary
- Maximum height of 2 storeys

- Existing Pedestrian Link
- Proposed Pedestrian Link

Scale 1:4150

0metres 100 200 300



ADELAIDE (CITY) **POLICY AREAS** **MAP Adel/55**

Consolidated - 30 April 2020

MAP Adel/50 ADJOINS

MAP Adel/55 ADJOINS

MAP Adel/57 ADJOINS

MAP Adel/62 ADJOINS

- 13 Central Business Policy Area
- 30 South Terrace Policy Area
- 31 South East Policy Area
- 32 South Central Policy Area



Maximum height of 2 storeys



State Heritage Place



Local Heritage Place



Significant Tree



Existing Pedestrian Link



Proposed Pedestrian Link

Policy Area Boundary

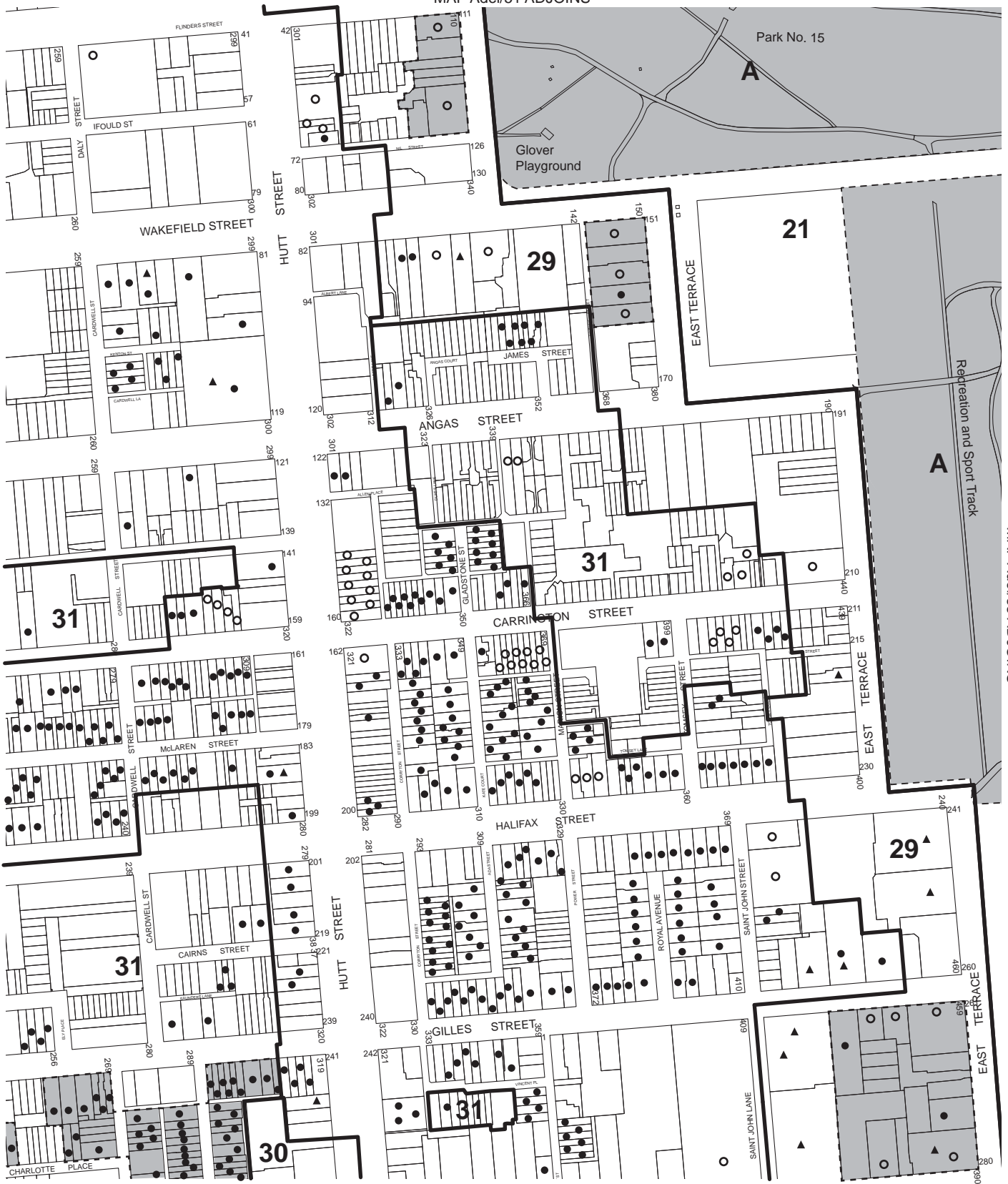
Scale 1:4150

0metres 100 200 300



ADELAIDE (CITY) POLICY AREAS MAP Adel/56

Consolidated - 30 April 2020



- 21** Eastern Park Lands Policy Area
- 29** East Terrace Policy Area
- 30** South Terrace Policy Area
- 31** South East Policy Area



Maximum height of 2 storeys

Special Events

State Heritage Place

Local Heritage Place

Significant Tree

Policy Area Boundary

Scale 1:4150
0metres 100 200 300



ADELAIDE (CITY) **POLICY AREAS** **MAP Adel/57**

Consolidated - 30 April 2020

MAP Adel/52 ADJOINS

Park No. 15

A

21

WAKEFIELD ROAD

DEQUETTEVILLE
TERRACE

**CITY OF NORWOOD
PAYNEHAM AND ST PETERS**

Old
Grandstand

CITY OF BURNSIDE
FULLARTON ROAD

Victoria Park Race Course

21

Park No. 16

MAP Adel/64 ADJOINS

MAP Adel/57 ADJOINS

EAST
TERRACE

21

A

o

Eastern Park Lands Policy Area

Special Events

State Heritage Place



Scale 1:4150

0metres 100 200 300



Policy Area Boundary

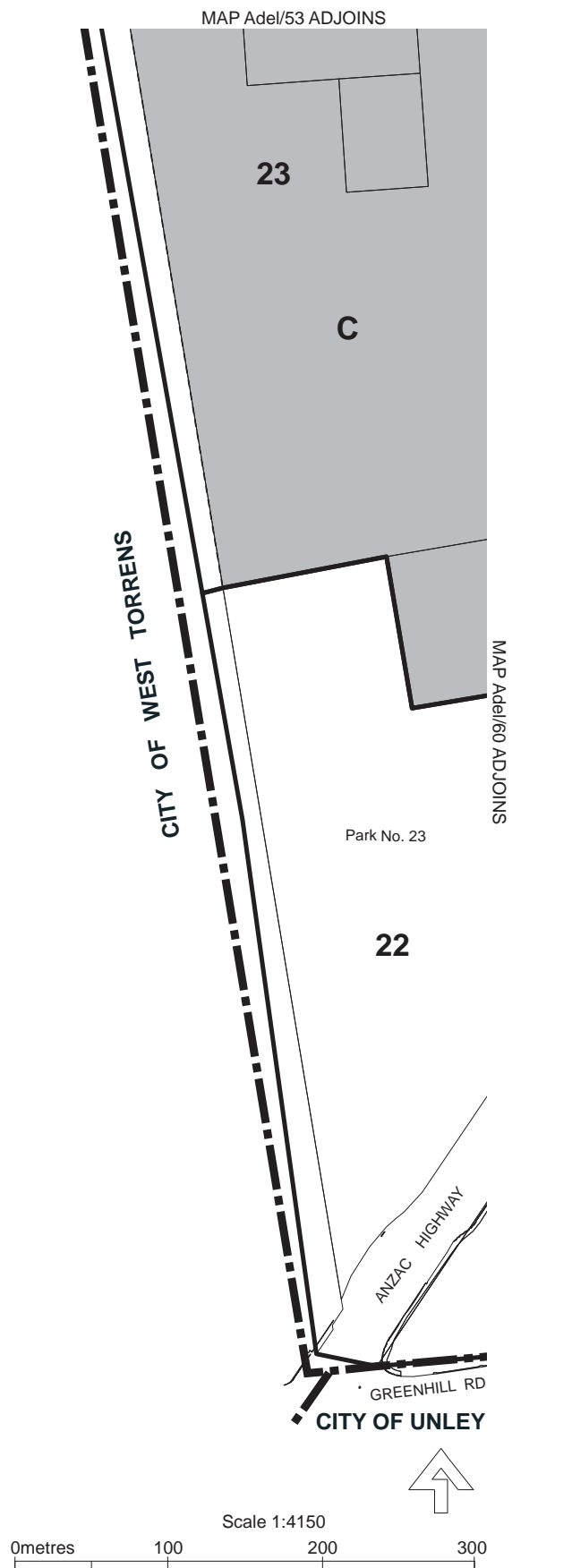
Development Plan Boundary

ADELAIDE (CITY) POLICY AREAS MAP Adel/58

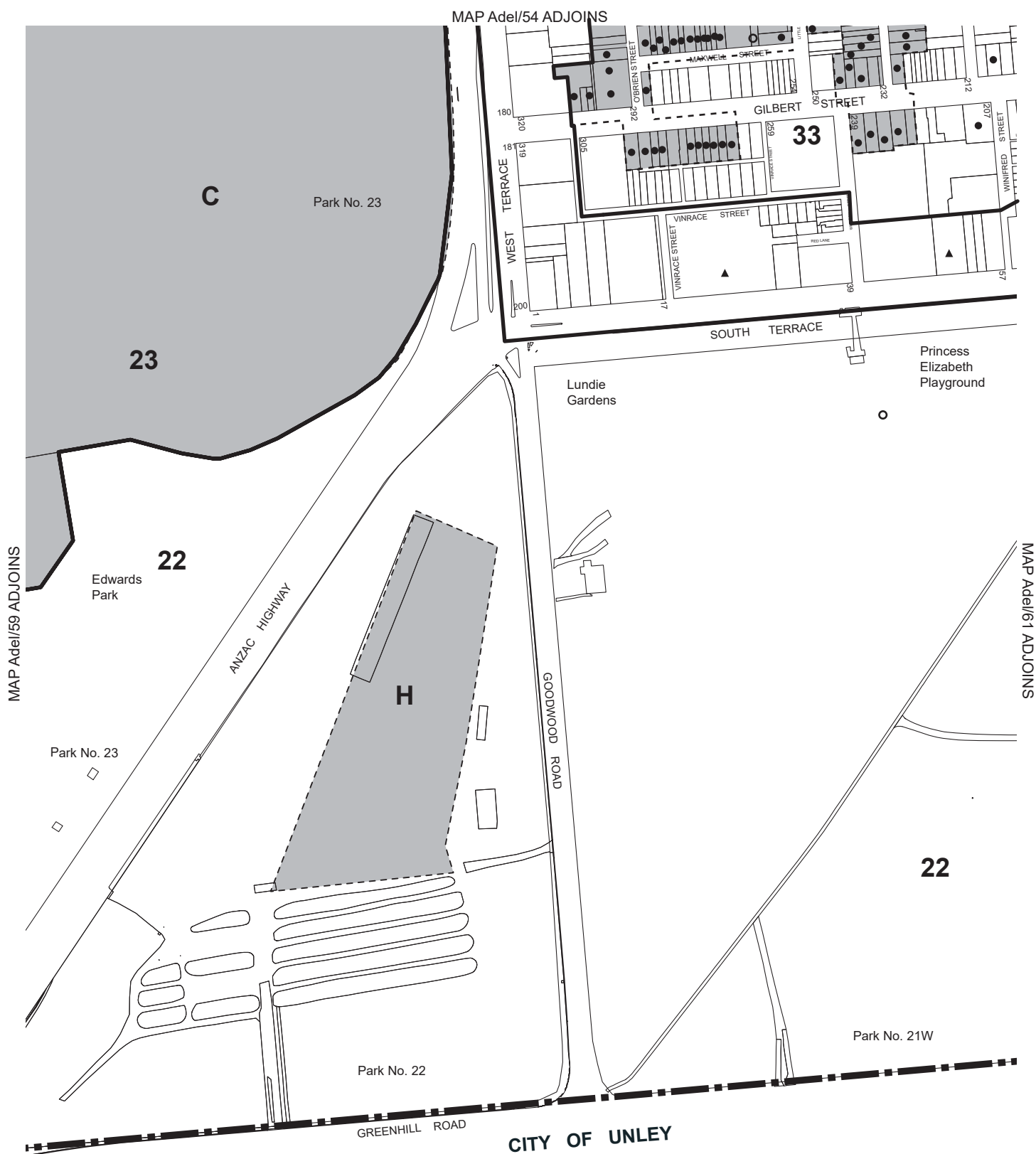
Consolidated - 30 April 2020

- 22** Southern Park Lands Policy Area
- 23** Western Park Lands Policy Area
- C** West Terrace Cemetary

-  Policy Area Boundary
-  Development Plan Boundary

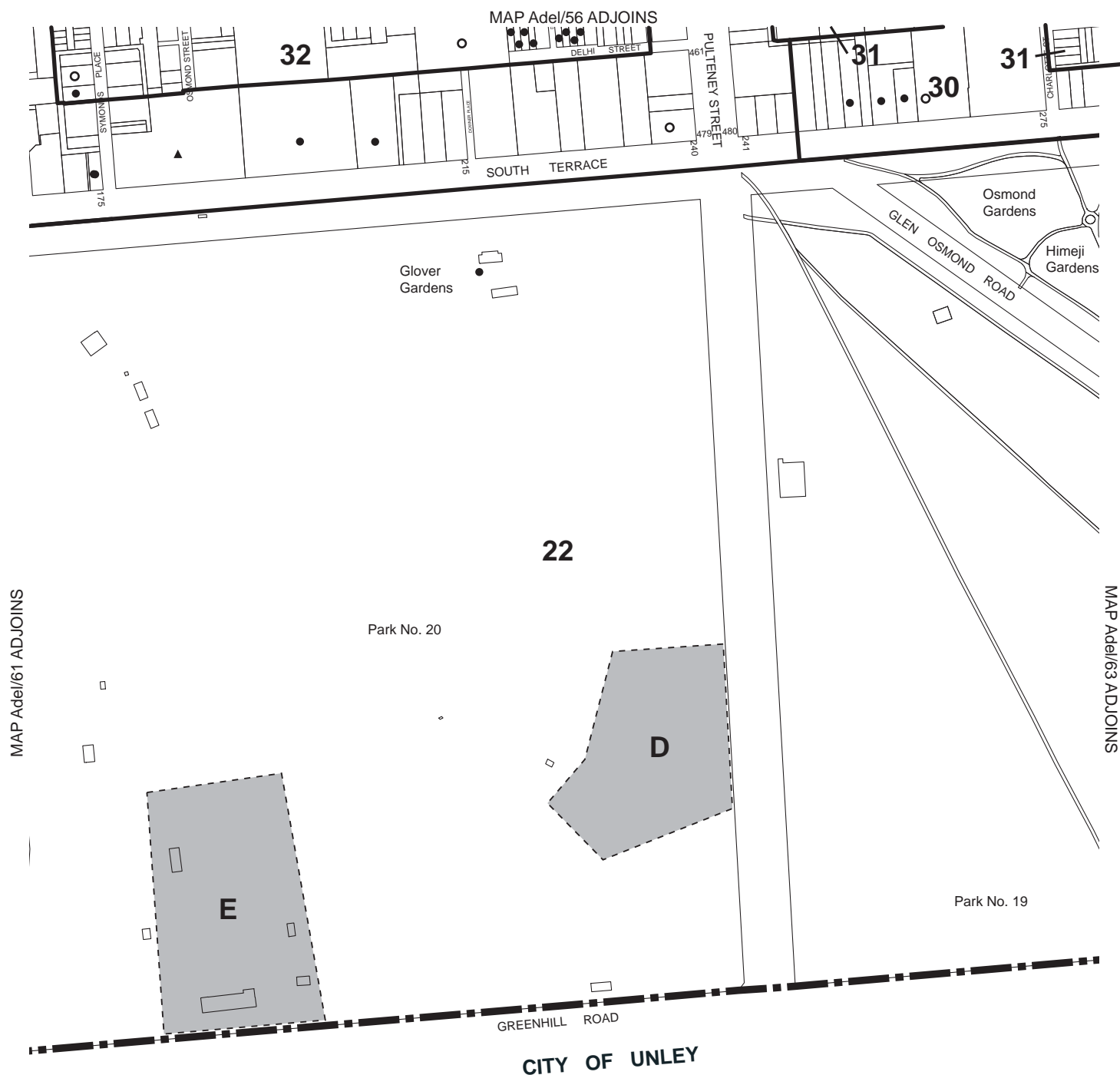


ADELAIDE (CITY) POLICY AREAS MAP Adel/59 Consolidated - 30 April 2020



ADELAIDE (CITY) POLICY AREAS MAP Adel/60

Consolidated - 30 April 2020



- 22 Southern Park Lands Policy Area
- 30 South Terrace Policy Area
- 31 South East Policy Area
- 32 South Central Policy Area



BMX Track

Hockey Pitch / Tennis Courts / Bowling Club

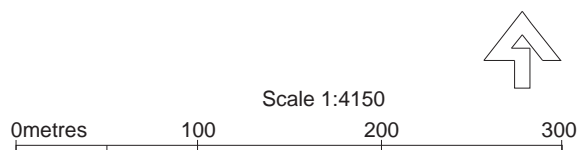
Note: D and E representations are indicative only

- Local Heritage Place
- State Heritage Place
- ▲ Significant Tree



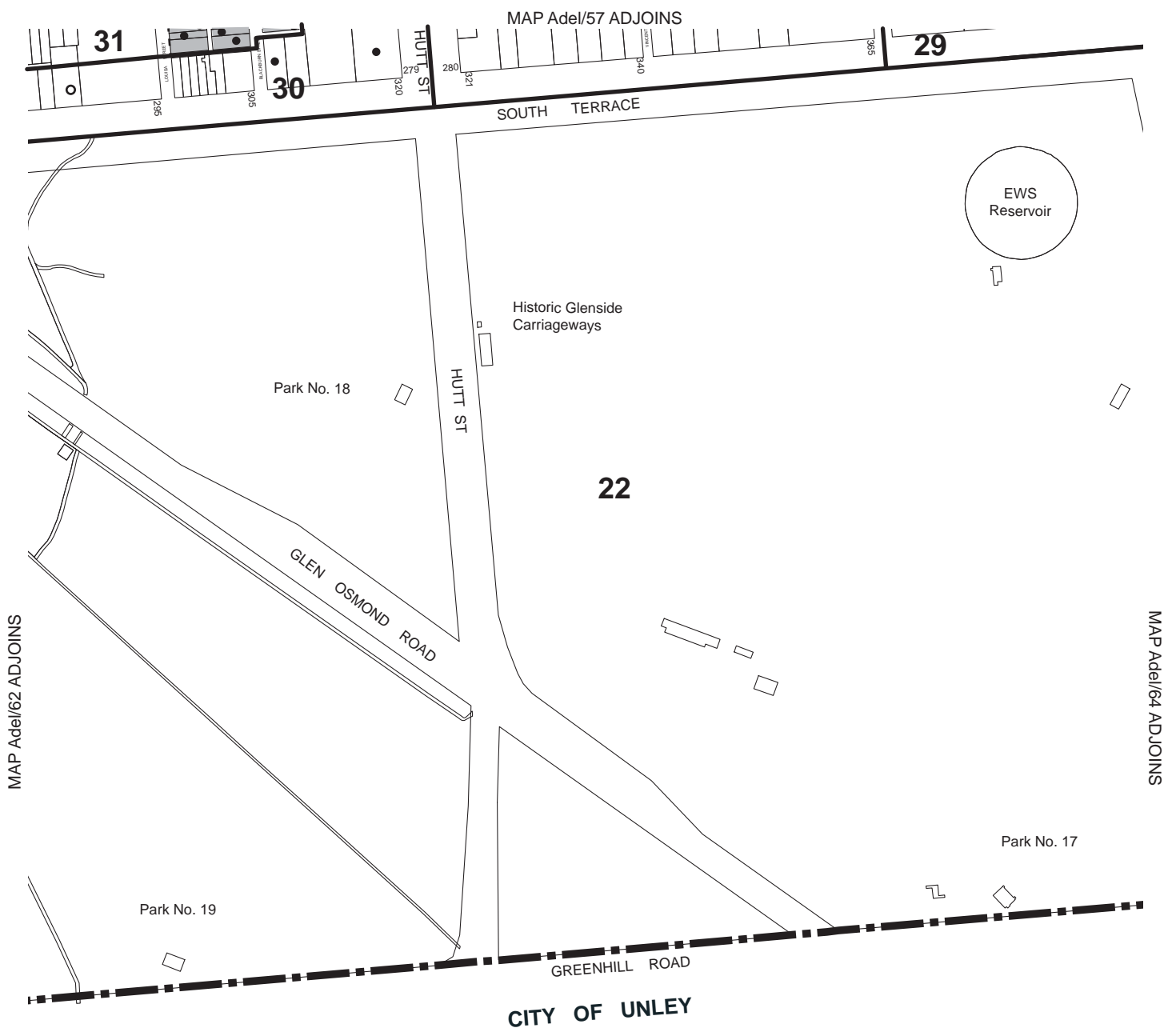
Policy Area Boundary

Development Plan Boundary



ADELAIDE (CITY) POLICY AREAS MAP Adel/62

Consolidated - 30 April 2020



- 22** Southern Park Lands Policy Area
29 East Terrace Policy Area
30 South Terrace Policy Area
31 South East Policy Area



Maximum height of 2 storeys

- State Heritage Place
- Local Heritage Place



Policy Area Boundary



Development Plan Boundary

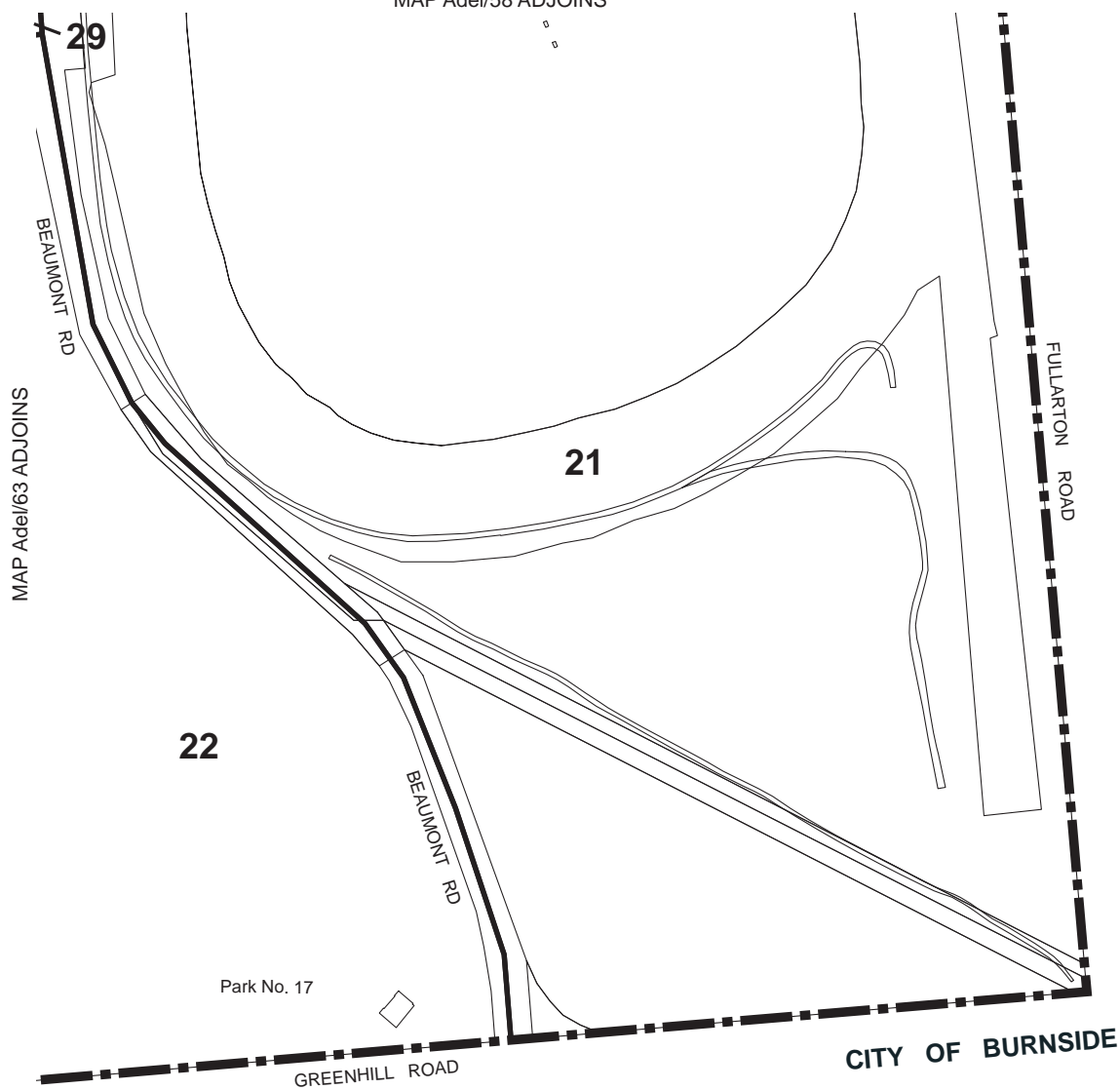
Scale 1:4150

0metres 100 200 300

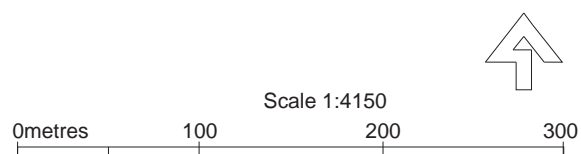


ADELAIDE (CITY) **POLICY AREAS** **MAP Adel/63**

Consolidated - 30 April 2020



- 21 Eastern Park Lands Policy Area
- 22 Southern Park Lands Policy Area
- 29 East Terrace Policy Area



ADELAIDE (CITY) POLICY AREAS MAP Adel/64

-  Policy Area Boundary
-  Development Plan Boundary