

Development Plan

Clare and Gilbert Valleys Council

Consolidated – 9 May 2019

Please refer to Clare and Gilbert Valleys Council page on www.sa.gov.au/developmentplans to see any amendments not consolidated.



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Introduction

Section

Amendment Record Table

The following table is a record of authorised amendments and their consolidation dates for the Clare and Gilbert Valleys Council Development Plan since its inception on 2 March 2000. Further information on authorised amendments prior to this date may be researched through the relevant Council, the Department of Planning, Transport and Infrastructure or by viewing Gazette records.

Consolidated	Amendment – [Gazetted date]
2 March 2000	Consolidation of Clare (DC), Saddleworth and Auburn (DC) and Riverton PAR – [2 March 2000]
20 April 2000	Section 27(5) Amendment - Waste Disposal (Landfill) PAR (<i>Ministerial</i>) – [9 March 2000] Section 29(2)(b) Amendment – [20 April 2000]
25 May 2000	Section 29(2)(a) – [25 May 2000]
Not consolidated	Telecommunications Facilities State-wide Policy Framework PAR (<i>Ministerial</i>) (Interim)– [31 August 2000]
1 March 2001	Industry PAR – [8 February 2001] Heritage Conservation PAR – [1 March 2001]
4 October 2001	Telecommunications Facilities State-wide Policy Framework PAR (<i>Ministerial</i>) – [30 August 2001]
14 February 2002	Organic Waste Processing (Composting) PAR (<i>Ministerial</i>) (Interim)– [20 December 2001]
14 November 2002	General PAR – [14 November 2002]
30 January 2003	Organic Waste Processing (Composting) PAR – [5 December 2002]
16 October 2003	Wind Farms PAR (<i>Ministerial</i>) – [24 July 2003] Section 29(2)(b) and 29(3)(a) Amendments – [16 October 2003]
1 March 2007	Bushfire Management (Part 2) PAR (<i>Ministerial</i>) – [14 December 2006]
21 June 2007	Editorial Correction - Figures CGV/1 and CGV/2
19 March 2009	Mintaro DPA – [19 March 2009]
3 September 2009	Better Development Plan (BDP) and General DPA – [3 September 2009]
25 February 2010	Bushfire (Miscellaneous Amendments) DPA (<i>Ministerial</i>) (Interim)– [10 December 2009] Section 29(2)(b)(ii) Amendment – [25 February 2010]
10 June 2010	Statewide Bulky Goods DPA (<i>Ministerial</i>) (Interim) – [1 June 2010]
23 September 2010	Square Mile Road Clare DPA (<i>Ministerial</i>) – [23 September 2010]
17 February 2011	Bushfires (Miscellaneous Amendments) DPA (<i>Ministerial</i>) – [9 December 2010] Statewide Bulky Goods DPA (<i>Ministerial</i>) – [13 January 2011]
9 February 2012	Statewide Wind Farms DPA (Interim) (<i>Ministerial</i>) – [19 October 2011]
10 January 2013	Termination of the Statewide Wind Farms DPA (<i>Ministerial</i>) and its removal from the Clare and Gilbert Valleys Council Development Plan – [18 October 2012] Statewide Wind Farms DPA (<i>Ministerial</i>) – [18 October 2012] Section 29(2)(c) Amendment – [29 November 2012]
10 November 2016	Section 29(2)(b)(i) Amendment – [25 February 2016] District Townships and Settlements DPA – [10 November 2016]
6 December 2018	Section 29(2)(b)(ii) Amendment – [22 November 2018]
9 May 2019	Clare Township DPA – [9 May 2019]

Consolidated: The date of which an authorised amendment to a Development Plan was consolidated (incorporated into the published Development Plan) pursuant to section 31 of the *Development Act 1993*.

Gazetted: The date of which an authorised amendment was authorised through the publication of a notice in the Government Gazette pursuant to Part 3 of the *Development Act 1993*.

Introduction to the Development Plan

Welcome to the Development Plan for the Clare and Gilbert Valleys Council.

This introduction has been prepared by the Department of Planning, Transport and Infrastructure as a guide to assist you in understanding this Development Plan.

For full details about your rights and responsibilities, you are advised to refer to the *Development Act 1993* and the associated *Development Regulations 2008* and/or consult your council.

A number of guides and additional information regarding South Australia's Planning and Development Assessment System are available via the website www.saplanningportal.sa.gov.au or by contacting the Department of Planning, Transport and Infrastructure at Level 5, 50 Flinders Street, SA 5000.

Overview of the Planning System

South Australia has an integrated planning and development system, with three distinct but interrelated parts, these being:

- Legislation
- The Planning Strategy
- Development Plans.

The **legislative framework** establishing the planning and development system and setting out its statutory procedures is provided by the *Development Act 1993* and its associated *Development Regulations 2008*. The Development Act is the core legislation enacted by the South Australian Parliament to establish the planning and development system framework and many of the processes required to be followed within that framework (including processes for assessing development applications). The Regulations provide more details about the framework and are updated from time to time by the Governor (on the advice of the Minister for Planning).

The State Government's broad vision for sustainable land use and the built development of the state is outlined in the **Planning Strategy**. The relevant volume of the Planning Strategy for this Development Plan is the Mid North Region Plan.

The Planning Strategy, which covers a full range of social, economic and environmental issues, informs and guides policies both across Government and in local area Development Plans. The Planning Strategy is required under section 22 of the Development Act and is updated by the State Government every few years. Local councils also prepare strategic plans which guide the same matters but at a local level. These strategic plans are not, however, development assessment tools: that is the role of Development Plans.

Development Plans are the key on-the-ground development assessment documents in South Australia. They contain the rules that set out what can be done on any piece of land across the state, and the detailed criteria against which development applications will be assessed. Development Plans cover distinct and separate geographic areas of the state. There is a separate Development Plan for each one of the 68 local council areas, plus a handful of other Development Plans covering areas not situated within local government boundaries. Development Plans outline what sort of developments and land use are and are not envisaged for particular zones (eg residential, commercial, industrial), and various objectives, principles and policies further controlling and affecting the design and other aspects of proposed developments.

What is Development?

'Development' is defined in Section 4 of the *Development Act 1993* as:

- a change in the use of land or buildings
- the creation of new allotments through land division (including Strata and Community Title division)
- building work (including construction, demolition, alteration and associated excavation/fill)

- cutting, damaging or felling of significant trees
- specific work in relation to State and Local heritage places
- prescribed mining operations
- other acts or activities in relation to land as declared by the Development Regulations.

No development can be undertaken without an appropriate **Development Approval** being obtained from the relevant authority after an application and assessment process.

How does the Development Plan relate to other legislation?

The Development Plan is a self-contained policy document prepared under and given statutory recognition pursuant to *the Development Act 1993*.

It is generally independent of other legislation but is one of many mechanisms that control or manage the way that land and buildings are used.

The Development Act and Regulations contain a number of provisions to ensure that development applications are referred to other government agencies when appropriate.

What doesn't a Development Plan do?

Development Plans are applicable only when new development is being designed or assessed. They do not affect existing development (see above for a description of what constitutes 'development').

Once a Development Approval is issued, the details contained within the application and any conditions attached to that approval are binding.

Development Plan policies guide the point in time assessment of a development application but do not generally seek to control the on-going management of land, which is the role of other legislation (eg the Environment Protection Act, Natural Resources Management Act, Liquor Licensing Act).

When do you use the Development Plan?

The Development Plan should be used during a development application process. This may include:

- when undertaking or proposing to undertake 'development' (eg building a house or factory or converting an office into a shop)
- when assessing or determining a development proposal (eg by council staff, a Council or Regional Development Assessment Panel or the Development Assessment Commission)
- when you believe you could be affected by a proposed development and you are given an opportunity to comment on it as part of the assessment process.

How to read the Development Plan

Development Plans are comprised of several sections as described below.

All sections and **all** relevant provisions within each section of the Development Plan must be considered in relation to a development proposal or application.

Development Plans use three text font colours:

- (a) Black text is used to identify all standard policy that forms the basis of all council Development Plans.
- (b) Green text is used to identify additional council-specific policy or variables that have been included in the Development Plan to reflect local circumstances.
- (c) Blue text illustrates hyperlinks to maps, overlays and tables in the Development Plan. These hyperlinks are operational only when viewing electronic versions of the Development Plan.

Development Plan Structure Overview

Advisory Section	Function
Table of Contents	Navigational aid to reference sections within the Development Plan by name and page number.
Amendment Record Table	Tabled information recording previously-authorized Development Plan amendments and their consolidation dates.
Introduction Overview of the Planning System What is Development? How does the Development Plan relate to other legislation? What doesn't a Development Plan do? When do you use the Development Plan? How to read the Development Plan?	A general overview of the context, purpose and way a Development Plan is set out (this section is advisory only and not used for development assessment purposes).
Strategic Setting State Strategic Setting <i>(Metro/Outer Metro/Regional Planning Strategy)</i> Council Strategic Setting <i>(Council Strategy)</i>	To be developed, but intended to reflect the relevant Planning Strategy (as it relates to the council area) and council's own local strategic investigations.
Council Preface Map	Map of the entire Development Plan boundary and its spatial relationship to other Development Plans' boundaries.
Assessment Section	Function
General Provisions Objectives Principles of Development Control	These policies apply across the whole council area and relate to a range of social, environmental, and economic development issues such as: <ul style="list-style-type: none"> ▪ site and design criteria ▪ access and vehicle parking requirements ▪ heritage and conservation measures ▪ environmental issues ▪ hazards ▪ infrastructure requirements ▪ land use specific requirements. They establish the development standards that apply to all forms of development and provide a yardstick against which the suitability of development proposals is measured.
Zone Provisions	These policies give greater certainty and direction about where certain forms of developments should be located. Maps are referenced within zones that show where land uses are suitable to be located. Generally, envisaged forms of development within a zone are identified and encouraged through carefully worded policies.

Assessment Section	Function
Desired Character Statements	These express a vision about how the zone should look and feel in the future. They may describe the valued elements of the neighbourhood or area to be retained and/or what level and nature of change is desired.
Objectives	These are the specific planning policies that determine what land uses are encouraged or discouraged in the zone. They often contain detailed provisions to further guide the scale and design of development.
Principles of Development Control	These also provide lists of complying and non-complying development and any public notification provisions that vary from those in the Development Regulations.
Policy Area	Policy areas apply to a portion of a zone and contain additional objectives, desired character statements and principles of development control for that portion.
Precincts	<p>Precincts are used to express policies for a small sub-area of a zone or a policy area.</p> <p>Precincts are used if additional site-specific principles of development control are needed to reflect particular circumstances associated with those sub-areas. They do not contain additional objectives or desired character statements.</p>
Procedural Matters	<p>All zones have a procedural matters section that identifies and lists complying, non-complying and public notification categories for various forms of development.</p> <p>Policy areas and/or precincts, which are a sub-set of the zone, share this procedural matters section. Their respective lists can be modified to accommodate policy area and precinct variations.</p>
Tables	<p>These tables provide detailed data for the assessment of certain elements of development, for example, numeric values for setbacks from road boundaries and car parking rates for certain types of development.</p> <p>Conditions for complying development are grouped into their respective tables.</p>
Mapping	
Structure Plan Maps	Structure Plan maps will commonly show the general arrangement and broad distribution of land uses; key spatial elements; and movement patterns throughout the council area and major urban areas.
Council Index Maps	<p>This is the first point of reference when determining the appropriate map(s) applying to a specific property.</p> <p>An enlargement index map may be included where needed, eg for large townships.</p>

Assessment Section	Function
Extent Map Series Location Maps	<p>Individual overlay and spatial-based maps (based on the Council Index Maps) originate from a single Location Map and 'drill down' through relevant extent maps affecting that location.</p> <p><i>Note: the entire council area will always be represented as the first map in the extent map series and will commence as map 1.</i></p>
Overlay Maps	<p>Used to show issue areas or features that run across a number of zones, and are spatially defined to a cadastre, for example:</p> <ul style="list-style-type: none"> ▪ Transport ▪ Development Constraints ▪ Heritage ▪ Natural Resources <p><i>Note: issues that are not spatially defined to a cadastre can appear in this section; however they will be presented as illustrative maps only.</i></p>
Zone Maps	Used to determine which zone applies to which land.
Policy Area Maps	Used to depict the presence and location of any applicable policy area.
Precinct Maps	Used to depict the presence and location of any applicable precincts.
Bushfire Maps (<i>where applicable</i>) Bushfire Protection Area BPA Maps - Bushfire Risk	Bushfire Protection Area - BPA Maps are used to determine the potential bushfire risk (high, medium or general), associated with an allotment located within an area prone to bushfires.
Concept Plan Maps	<p>Concept Plans are used to depict graphically key features and conceptual layouts of how specific areas should be developed.</p> <p>Concept Plans appear at the end of the extent map series as a separate section. Concept Plans are consecutively numbered, commencing with number 1.</p>

Further info

Contact the [Clare and Gilbert Valleys Council](#).

Visit the Department of Planning, Transport and Infrastructure website: www.saplanningportal.sa.gov.au.

Discuss your matter with your planning consultant.

Council Strategic Setting

Topographically, the Council district is characterised by north to south ranges and wide valleys, with the most significant being the Clare and Gilbert Valleys. The landscape of the Clare Valley contrasts greatly with the surrounding district. The steep sided valley with gently undulating floor is dominated by the River Hutt which meanders through the locality from south to north. The heavily vegetated ridges and hill tops provide an attractive rural setting for the town of Clare whilst the several small settlements located along the valley floor have historical significance in terms of the agricultural and viticultural development of the district. Of particular historic and heritage significance is the small settlement of Mintaro located about 15 kilometres south east of the town of Clare which has retained much of its nineteenth century character. Other historic landmarks include Bungaree and Hill River Stations, Martindale Hall, and the Sevenhill Winery complex.

North of the town of Clare the valley opens out to broad fertile plains and undulating hillsides. The Skilly Hills west of the Clare Valley are of particular scenic importance, containing extensive stands of dense native vegetation, interspersed with vineyards and wineries. The Spring Gully Conservation Park contains extensive areas of native vegetation including a rare stand of Stringy Red Bark. In marked contrast the landscape to the east of the Clare Valley is open, sparsely vegetated grazing land.

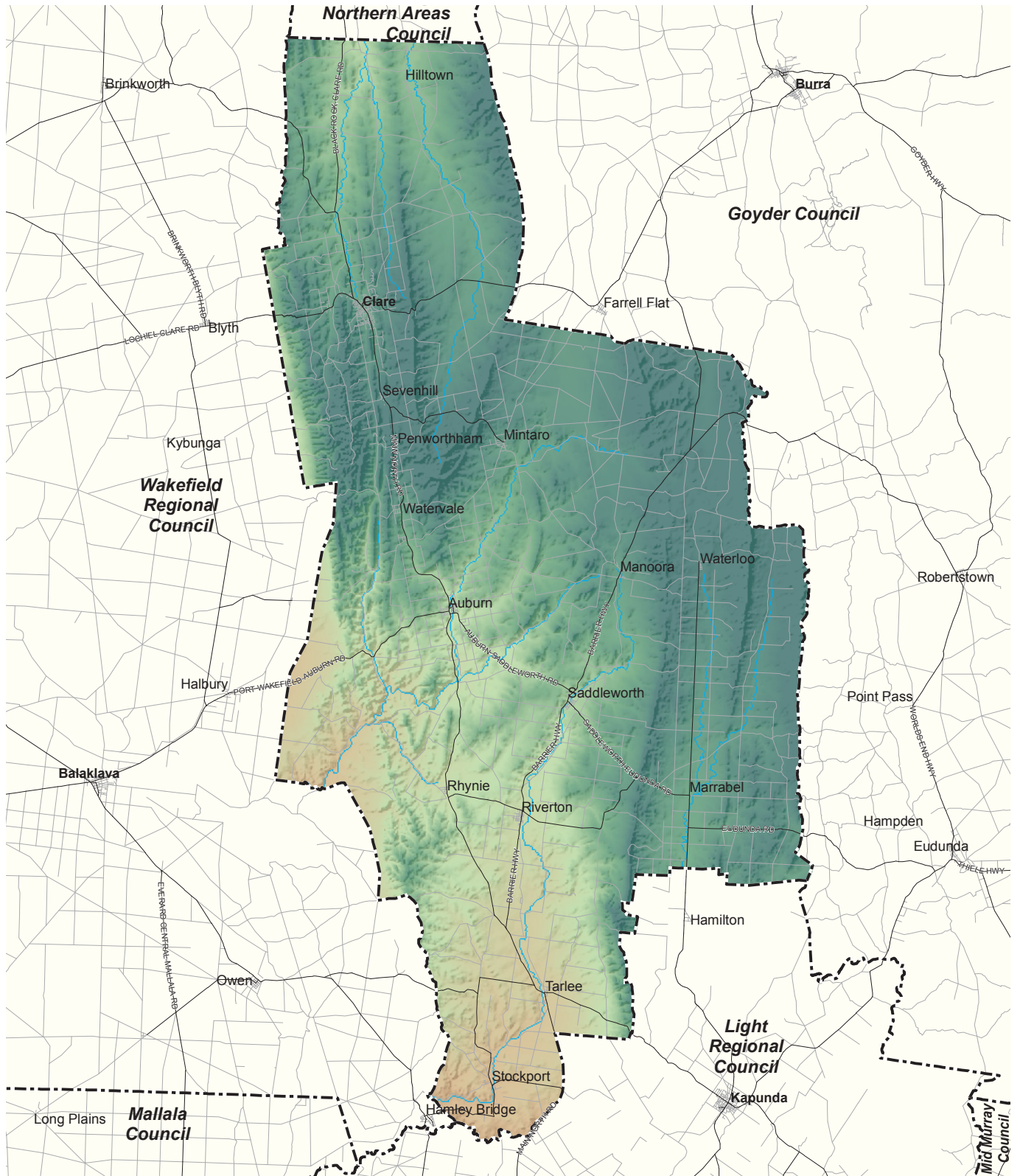
The southern approach to Clare is of considerable regional importance as a tourist attraction. The Clare Valley supports many forms of tourist accommodation and several caravan parks and it could be said to act as a resort to the Mid North of the State.

The town of Clare is the major urban centre in the district and has shown a steady population growth rate, indicating the important role of the town as a retirement, regional service and tourist centre. The town which is situated on the River Hutt was for many years the northern limit of agricultural development from Adelaide until further agricultural lands were opened up in the 1870's. Some of this noticeable growth pressure is as a result of the development of the wine industry, which is reaching its full potential and the number of employees in the winery and vineyard operations is strong. Also, due to seasonal labour shortages in the district, vineyard workers are bussed in from outside of the area. Due to Clare's strategic location and the quality of farming land in the immediate vicinity, it has developed a strong base for industrial and commercial activity associated with the viticulture industry. Clare's role as a service centre is likely to continue and expand. There is modest demand for additional industrial and residential land within the township.

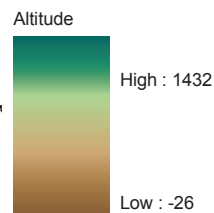
The Riverton, Saddleworth and Auburn district makes an important contribution to the district serving the rich, mixed farming community of the valley of the River Gilbert. Riverton has a population of 800 people and is an administrative and business centre for the district. Riverton has experienced an increase in commuter accommodation and this may increase further due to the construction of the Northern Expressway. This critical transport corridor will provide easy access to employment opportunities for those wishing to experience a rural living environment. It is noted for its tourist attractions, grain growing, and agricultural production and provides an ideal base for visiting Burra, Clare Valley and the Barossa Valley. The town of Saddleworth is another urban centre in the district, with a population of approximately 400 people. It is a minor administrative and business centre and provides some of the local services and facilities required by the district's population and visitors to the area. Auburn, with a population of approximately 300 people and Tarlee with approximately 180 people are the next largest urban centres in the district and serve as country townships.

Mineral exploration and the development of known mineral deposits in the Mid North may have an impact on employment and population growth in the region. Whilst the increase in mineral exploration may see further losses in the rural population, this loss may be offset by increases in population at Clare.

There are other small rural settlements in the district which include Manoora, Marrabel, Penwortham, Rhynie, Sevenhill, Stockport, Tarlee, Waterloo and Watervale. These existing rural settlements play a useful role in accommodating such activities for their communities with limited urban facilities. Marrabel and Waterloo have a limited opportunity for expansion and employment, with approval being granted for the establishment of a windfarm in the nearby Tothill Ranges.



To identify the precise location of the Development Plan boundary refer to Council Index Map then select the relevant map number.



Council Preface Map

General Section

Advertisements

OBJECTIVES

- 1 Urban and rural landscapes that are not disfigured by advertisements and/or advertising hoardings.
- 2 Advertisements and/or advertising hoardings that do not create a hazard.
- 3 Advertisements and/or advertising hoardings designed to enhance the appearance of the building and locality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Advertising and/or advertising hoardings should have regard to the design guidelines contained in [Table CGV/2 - Design Guidelines for Advertising Signs](#).
- 2 The location, siting, design, materials, size, and shape of advertisements and/or advertising hoardings should be:
 - (a) consistent with the predominant character of the urban or rural landscape
 - (b) in harmony with any buildings or sites of historic significance or heritage value in the area
 - (c) coordinated with and complement the architectural form and design of the building they are to be located on.
- 3 The number of advertisements and/or advertising hoardings associated with a development should be minimised to avoid:
 - (a) clutter
 - (b) disorder
 - (c) untidiness of buildings and their surrounds
 - (d) driver distraction.
- 4 Buildings occupied by a number of tenants should exhibit coordinated and complementary advertisements and/or advertising hoardings to identify the tenants and their type of business.
- 5 The content of advertisements should be limited to information relating to the legitimate use of the associated land.
- 6 Advertisements and/or advertising hoardings should:
 - (a) be completely contained within the boundaries of the subject allotment
 - (b) be sited to avoid damage to, or pruning or lopping of, on-site landscaping or street trees
 - (c) not obscure views to vistas or objects of high amenity value.
- 7 Advertisements and/or advertising hoardings should not be erected on:
 - (a) a public footpath or veranda post

- (b) a road, median strip or traffic island
 - (c) a vehicle adapted and exhibited primarily as an advertisement
 - (d) residential land.
- 8 Advertisements and/or advertising hoardings attached to buildings should not be sited on the roof or higher than the walls of a building, unless the advertisement or advertising hoarding is appropriately designed to form an integrated and complementary extension of the existing building.
- 9 Advertisements and/or advertising hoardings erected on a veranda or that project from a building wall should:
- (a) have a clearance over a footway to allow for safe and convenient pedestrian access
 - (b) where erected on the side of a veranda, not exceed the width of the veranda or project from the veranda
 - (c) where erected on the front of a veranda, not exceed the length of the veranda or project from the veranda
 - (d) where projecting from a wall, have the edge of the advertisement or advertising hoarding abutting the surface of the wall.
- 10 Advertisements should be designed to conceal their supporting advertising hoarding from view.
- 11 Advertisements should convey the owner/occupier and/or generic type of business, merchandise or services using simple, clear and concise language, symbols, print style and layout and a small number of colours.
- 12 Advertisements which perform a secondary role in identifying the business, goods or services should only be readable in the immediate vicinity of the site.
- 13 Outside of townships and country settlements advertisements other than traffic signs, tourist signs or advertisements on an existing tourist information bay display board, should not be erected in road reserves.

Safety

- 14 Advertisements and/or advertising hoardings should not create a hazard by:
- (a) being so highly illuminated as to cause discomfort to an approaching driver, or to create difficulty in the driver's perception of the road or persons or objects on the road
 - (b) being liable to interpretation by drivers as an official traffic sign, or convey to drivers information that might be confused with instructions given by traffic signals or other control devices, or impair the conspicuous nature of traffic signs or signals
 - (c) distracting drivers from the primary driving task at a location especially where the demands on driver concentration are high
 - (d) obscuring a driver's view of other road or rail vehicles at/or approaching level crossings, or of pedestrians or of features of the road that are potentially hazardous (eg junctions, bends, changes in width, traffic control devices).
- 15 Any internally illuminated advertising signs and/or advertising hoardings which utilise LED, LCD or other similar technologies should be located a minimum of 80 metres from traffic signals, level crossings and other important traffic control devices.

Freestanding Advertisements

- 16 Freestanding advertisements and/or advertising hoardings should be:
- (a) limited to only one primary advertisement per site or complex (including a complex comprising individual community titles)
 - (b) of a scale and size in keeping with the desired character of the locality and compatible with the development on the site.
- 17 Freestanding advertisements and/or advertising hoardings for multiple-business tenancy complexes should:
- (a) incorporate the name or nature of each business or activity within the site or complex in a single advertisement
 - (b) be integrally designed and mounted below the more predominant main complex or site identity advertisement.
- 18 Portable, easel or A-frame advertisements should be displayed only where:
- (a) no other appropriate opportunity exists for an adequate coordinated and permanently erected advertisement and/or advertising hoarding
 - (b) they do not obstruct or compromise the safety of pedestrians or vehicle movement
 - (c) there is no unnecessary duplication or proliferation of advertising information
 - (d) there is no damage to, or removal of, any landscaping on the site.
- 19 Portable, easel or A-frame advertisements associated with a development should be displayed only during the hours the development is open for trading.

Flags, Bunting and Streamers

- 20 Advertisements and/or advertising hoardings incorporating any flags, bunting, streamers, or suspended objects should:
- (a) be placed or arranged to complement and accord with the scale of the associated development
 - (b) other than flags, not be positioned higher than the building they are attached or related to
 - (c) not be displayed in residential areas.

Advertising along Arterial Roads

- 21 Advertising and/or advertising hoardings should not be placed along arterial roads that have a speed limit of 80 km/h or more.

Animal Keeping

OBJECTIVES

- 1 Animals not kept at a density beyond the carrying capacity of the land or water.
- 2 Animal keeping development sited and designed to avoid adverse effects on surrounding development.
- 3 Intensive animal keeping protected from encroachment by incompatible development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Animal keeping and associated activities should not create adverse impacts on the environment or the amenity of the locality.
- 2 Storage facilities for manure, used litter and other wastes should be designed and sited:
 - (a) to be vermin proof
 - (b) with an impervious base
 - (c) to ensure that all clean rainfall runoff is excluded from the storage area
 - (d) outside the 1-in- 100 year average return interval flood event area.

Horse Keeping

- 3 Stables, horse shelters or associated yards should be sited:
 - (a) at least 50 metres from a watercourse
 - (b) on land with a slope no greater than 1-in-10.
- 4 A concrete drainage apron should be provided along the front of stables directing water from wash-down areas onto a suitably vegetated area that can absorb all the water, or into a constructed drainage pit.
- 5 Stables, horse shelters or associated yards should be sited at least 30 metres from any dwelling on the site and from the nearest allotment boundary to avoid adverse impacts from dust, erosion and odour.
- 6 All areas accessible to horses should be separated from septic tank drainage areas.
- 7 Horse keeping should not create any significant adverse impact on the amenity of the locality, including denudation, erosion, deterioration of soil quality, pollution of the environment, health risk, visual impairment, or from noise, dust, odour or other nuisances.
- 8 Development involving horse keeping including associated water storage facilities and disposal sites, should be designed and managed in such a way as to ensure that:
 - (a) the number of animals kept is in accordance with the capacity of the waste disposal system
 - (b) any waste ponding system prevents overflow or seepage
 - (c) any solid waste storage facilities prevent seepage or surface runoff

(d) the rate of any waste water irrigation is such that no ponding or surface runoff of waste water occurs.

9 All buildings, pens, runs, holding yards and other ancillary structures should be sited as unobtrusively as possible, particularly when viewed from arterial roads and preferably be screened by other buildings on the site.

Dairies

10 Dairies and associated wastewater lagoons and liquid/solid waste storage and disposal areas should be located at a distance from nearby dwellings, public roads and outside the 1-in-100 year average return interval flood event area of any watercourse to avoid adverse impacts or nuisance by noise, smell or pollution on nearby sensitive receptors such as dwellings.

11 Dairies should include a lagoon for the storage or treatment of milking shed effluent which should be located:

(a) at least 20 metres from a public road

(b) at least 200 metres from any dwelling not located on the land

(c) outside any 1-in-100 year average return interval flood event area of any watercourse.

Intensive Animal Keeping

12 Intensive animal keeping operations and their associated components, including holding yards, temporary feeding areas, movement lanes and similar, should not be located on land within any of the following areas:

(a) 800 metres of a public water supply reservoir

(b) the 1-in-100 year average return interval flood event area of any watercourse

(c) 200 metres of a major watercourse (third order or higher stream)

(d) 100 metres of any other watercourse, bore or well used for domestic or stock water supplies

(e) 2000 metres of a defined and zoned township, settlement or urban area (except for land based aquaculture)

(f) 500 metres of a dwelling (except for a dwelling directly associated with the intensive animal keeping facility).

13 Intensive animal keeping operations in uncovered situations should incorporate:

(a) a controlled drainage system which:

(i) diverts runoff from external areas, and

(ii) directs surface runoff into an effluent management system that has sufficient capacity to hold runoff from the controlled drainage area

(b) pen floors which:

(i) ensure that effluent does not infiltrate and contaminate groundwater or soil, and

(ii) are graded to a consistent uniform slope of between 2 per cent and 6 per cent

(c) effluent drainage into an effluent lagoon(s) that has sufficient capacity to hold runoff from the controlled drainage area.

- 14 Intensive animal keeping facilities and associated wastewater lagoons and liquid/solid waste disposal areas should be sited, designed, constructed and managed to avoid adverse odour impacts on nearby sensitive land uses.

Kennels

- 15 The floor of kennels should be constructed of concrete or similar impervious material and be designed to allow for adequate drainage when kennels are cleaned.
- 16 Kennels and exercise yards should be designed and sited to minimise noise nuisance to neighbours through:
 - (a) orienting their openings away from sensitive land uses such as dwellings
 - (b) siting them as far as practicable from allotment boundaries.
- 17 Kennels should occur only where there is a permanently occupied dwelling on the land.

Land Based Aquaculture

- 18 Land-based aquaculture and associated components should not be located on land within 500 metres of a defined and zoned township, settlement or urban area.
- 19 Land-based aquaculture ponds should be sited and designed to:
 - (a) prevent surface flows from entering the ponds in a 1-in-100 year average return interval flood event
 - (b) prevent pond leakage that would pollute groundwater
 - (c) prevent the farmed species escaping and entering into any waters
 - (d) minimise the need for intake and discharge pipes to traverse sensitive environments.
- 20 Buildings associated with land-based aquaculture should provide enclosed storage areas to accommodate all equipment associated with aquaculture operations in a manner which is integrated with the use of the land.
- 21 Development should ensure that pipe inlet and outlets associated with land-based aquaculture are located to minimise the risk of disease transmission.

Building near Airfields

OBJECTIVES

- 1 Development that ensures the long-term operational, safety, commercial and military aviation requirements of airfields (airports, airstrips and helicopter landing sites) continue to be met.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 The height and location of buildings and structures should not adversely affect the long-term operational, safety, commercial and military aviation requirements of airfields.
- 2 Development in the vicinity of airfields should not create a risk to public safety, in particular through any of the following:
 - (a) lighting glare
 - (b) smoke, dust and exhaust emissions
 - (c) air turbulence
 - (d) storage of flammable liquids
 - (e) attraction of birds
 - (f) reflective surfaces (eg roofs of buildings, large windows)
 - (g) materials that affect aircraft navigational aids.
- 3 Outdoor lighting within 6 kilometres of an airport should be designed so that it does not pose a hazard to aircraft operations.
- 4 Development that is likely to increase the attraction of birds should not be located within 3 kilometres of an airport used by commercial aircraft. If located closer than 3 kilometres the facility should incorporate bird control measures to minimise the risk of bird strikes to aircraft.
- 5 Development within areas affected by aircraft noise should be consistent with *Australian Standard AS 2021: - Acoustics - Aircraft Noise Intrusion - Building Siting and Construction*.

Bulk Handling and Storage Facilities

OBJECTIVES

- 1 Facilities for the bulk handling and storage of agricultural and other commodities sited and designed to minimise adverse impacts on the landscape and on and from surrounding land uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Facilities for the handling, storage and dispatch of commodities in bulk should be:
 - (a) located in bulk handling, industry or primary production type zones
 - (b) sited, designed and operated to minimise risks of contamination to the environment and adverse impacts on nearby sensitive land uses and from surrounding land uses.
- 2 Development of facilities for the handling, transportation and storage of bulk commodities should have:
 - (a) areas set aside on the site of the development for the marshalling and manoeuvring of vehicles attending the site
 - (b) roadways and parking areas surfaced in a manner sufficient to control dust emissions from the site
 - (c) vehicle circulation between activity areas contained within the site and without the need to use public roads
 - (d) landscaping, using locally indigenous plant species wherever practical, established within the site for the purpose of providing shade and shelter, and to assist with screening and dust filtration
 - (e) a buffer area for the establishment of dense landscaping adjacent road frontages
 - (f) security fencing around the perimeter of the site.
- 3 Temporary bunkers for storage should not compromise the efficient circulation and parking of vehicles within the site.
- 4 Access to and from the site should be designed to allow simultaneous movement of vehicles entering and exiting in a forward direction to minimise interference to other traffic using adjacent public roads.

Centres and Retail Development

OBJECTIVES

- 1 Shopping, administrative, cultural, community, entertainment, educational, religious and recreational facilities located in integrated centres and mixed use zones.
- 2 Centres that ensure rational, economic and convenient provision of goods and services and provide:
 - (a) a focus for community life
 - (b) safe, permeable, pleasant and accessible walking and cycling environments.
- 3 The provision of a safe pedestrian and cycling environments within centres which gives high priority to pedestrians, public and community transport.
- 4 Increased vitality and activity in centres through the introduction and integration of housing.
- 5 Development of centres outside of Greater Adelaide in accordance with the following hierarchy:
 - Regional Centre
 - District Centre
 - Town Centre (for smaller towns with a single centre zone)
 - Local Centre (subsidiary centres for towns with a regional or district centre).

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development within centres should:
 - (a) integrate facilities within the zone
 - (b) allow for the multiple use of facilities and the sharing of utility spaces
 - (c) allow for the staging of development within the centre
 - (d) be integrated with public and community transport.
- 2 Development within centres should be designed to be compatible with adjoining areas. This should be promoted through landscaping, screen walls, centre orientation, location of access ways, buffer strips and transitional use areas.
- 3 Development within centres should provide:
 - (a) public spaces such as malls, plazas and courtyards
 - (b) street furniture, including lighting, signs, litter bins, seats and bollards, that is sited and designed to complement the desired character
 - (c) unobtrusive facilities for the storage and removal of waste materials
 - (d) public facilities including toilets, infant changing facilities for parents, telephones and community information boards
 - (e) access for public and community transport and sheltered waiting areas for passengers

- (f) lighting for pedestrian paths, buildings and associated areas
- (g) a single landscaping theme
- (h) safe and secure bicycle parking.

Retail Development

- 4 Bulky goods outlets located within centres zones should:
 - (a) complement the overall provision of facilities
 - (b) be sited towards the periphery of those centres where the bulky goods outlet has a gross leaseable area of 500 square metres or more.

Community Facilities

OBJECTIVES

- 1 Location of community facilities including social, health, welfare, education and recreation facilities where they are conveniently accessible to the population they serve.
- 2 The proper provision of public and community facilities including the reservation of suitable land in advance of need.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Community facilities should be sited and developed to be accessible by pedestrians, cyclists and public and community transport.
- 2 Community facilities should be integrated in their design to promote efficient land use.
- 3 Design of community facilities should encourage flexible and adaptable use of open space and facilities for a range of uses over time.

Crime Prevention

OBJECTIVES

- 1 A safe, secure, crime resistant environment where land uses are integrated and designed to facilitate community surveillance.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be designed to maximise surveillance of public spaces through the incorporation of clear lines of sight, appropriate lighting and the use of visible permeable barriers wherever practicable.
- 2 Buildings should be designed to overlook public and communal streets and public open space to allow casual surveillance.
- 3 Development should provide a robust environment that is resistant to vandalism and graffiti.
- 4 Development should provide lighting in frequently used public spaces including those:
 - (a) along dedicated cyclist and pedestrian pathways, laneways and access routes
 - (b) around public facilities such as toilets, telephones, bus stops, seating, litter bins, automatic teller machines, taxi ranks and car parks.
- 5 Development, including car park facilities should incorporate signage and lighting that indicate the entrances and pathways to, from and within sites.
- 6 Landscaping should be used to assist in discouraging crime by:
 - (a) screen planting areas susceptible to vandalism
 - (b) planting trees or ground covers, rather than shrubs, alongside footpaths
 - (c) planting vegetation other than ground covers a minimum distance of 2 metres from footpaths to reduce concealment opportunities.
- 7 Site planning, buildings, fences, landscaping and other features should clearly differentiate public, communal and private areas.
- 8 Buildings should be designed to minimise and discourage access between roofs, balconies and windows of adjoining dwellings.
- 9 Public toilets should be located, sited and designed:
 - (a) to promote the visibility of people entering and exiting the facility (eg by avoiding recessed entrances and dense shrubbery that obstructs passive surveillance)
 - (b) near public and community transport links and pedestrian and cyclist networks to maximise visibility.
- 10 Development should avoid pedestrian entrapment spots and movement predictors (eg routes or paths that are predictable or unchangeable and offer no choice to pedestrians).

Design and Appearance

OBJECTIVES

- 1 Development of a high design standard and appearance that responds to and reinforces positive aspects of the local environment and built form.
- 2 Roads, open spaces, paths, buildings and land uses laid out and linked so that they are easy to understand and navigate.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Buildings should reflect the desired character of the locality while incorporating contemporary designs that have regard to the following:
 - (a) building height, mass and proportion
 - (b) external materials, patterns, colours and decorative elements
 - (c) roof form and pitch
 - (d) façade articulation and detailing
 - (e) verandas, eaves, parapets and window screens.
- 2 Where a building is sited on or close to a side or rear boundary, the boundary wall should minimise:
 - (a) the visual impact of the building as viewed from adjacent properties
 - (b) overshadowing of adjacent properties and allow adequate sunlight access to neighbouring buildings.
- 3 The external walls and roofs of buildings should not incorporate highly reflective materials which will result in glare to neighbouring properties, drivers or cyclists.
- 4 Structures located on the roofs of buildings to house plant and equipment should be screened from view and should form an integral part of the building design in relation to external finishes, shaping and colours.
- 5 Balconies should:
 - (a) be integrated with the overall form and detail of the building
 - (b) include balustrade detailing that enables line of sight to the street
 - (c) be recessed where wind would otherwise make the space unusable
 - (d) be self-draining and plumbed to minimise runoff.
- 6 Development should not exceed 2 storeys in height, other than where required to facilitate wind farms and ancillary development.

Transportable buildings

- 7 Transportable buildings and buildings which are elevated on stumps, posts, piers, columns or the like, should have their suspended footings enclosed around the perimeter of the building, and the use of verandas, pergolas and other suitable architectural detailing to give the appearance of a permanent structure.
- 8 Buildings and structures, including transportable or removable dwellings, should not be developed unless the external cladding, wall materials and roof sheeting are not damaged in any way, punctured, rusted, stained or weathered.
- 9 Transportable buildings and buildings which are elevated on stumps, posts, piers, columns or the like should be designed and constructed:
 - (a) to a suitable standard which will not detract from the character of adjoining residential development
 - (b) to minimise the distance between the finished ground level of the site upon which the building is located and the underside of the building, which, in any event should not be greater than 1.2 metres
 - (c) to disguise the appearance of the building as a transportable structure by:
 - (i) providing for a solid enclosure of brick, fibre cement sheeting or timber base boards between the underside of the building and finished ground beneath the building
 - (ii) providing for the addition of a carport, verandas or pergolas integrated with the design of the building, which impart a permanent appearance to the building.

Development Adjacent Heritage Places

- 10 The design of buildings should not detract from the form and materials of adjacent State and local heritage places listed in [Table CGV/6 - State Heritage Places](#) or in [Table CGV/5 - Local Heritage Places](#).
- 11 Development on land adjacent to a State or local heritage place, as listed in [Table CGV/6 - State Heritage Places](#) or in [Table CGV/5 - Local Heritage Places](#), should be sited and designed to reinforce the historic character of the place and maintain its visual prominence.

Overshadowing

- 12 The design and location of buildings should enable direct winter sunlight into adjacent dwellings and private open space and minimise the overshadowing of:
 - (a) windows of habitable rooms
 - (b) upper-level private balconies that provide the primary open space area for a dwelling
 - (c) solar collectors (such as solar hot water systems and photovoltaic cells).
- 13 Development should ensure that north-facing windows to habitable rooms of existing dwelling(s) on the same allotment, and on adjacent allotments, receive at least 3 hours of direct sunlight over a portion of their surface between 9.00 am and 5.00 pm on the 21 June.
- 14 Development should ensure that ground-level open space of existing buildings receives direct sunlight for a minimum of two hours between 9.00 am and 3.00 pm on 21 June to at least the smaller of the following:
 - (a) half of this space
 - (b) 35 square metres of this space (with at least one of the area's dimensions measuring 2.5 metres).

In cases where overshadowing already exceeds these requirements, development must not increase the overshadowed area by more than 20 per cent.

Visual Privacy

- 15 Development should minimise direct overlooking of habitable rooms and private open spaces of dwellings through measures such as:
- (a) off-setting the location of balconies and windows of habitable rooms with those of other buildings so that views are oblique rather than direct
 - (b) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms
 - (c) screening devices (including fencing, obscure glazing, screens, external ventilation blinds, window hoods and shutters) that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.
- 16 Permanently fixed external screening devices should be designed and coloured to complement the associated building's external materials and finishes.

Relationship to the Street and Public Realm

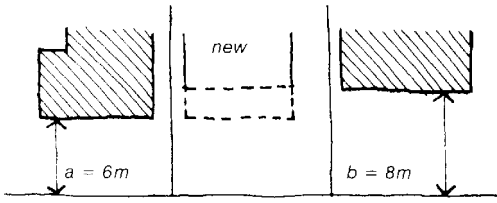
- 17 Buildings (other than ancillary buildings, group dwellings or buildings on allotments with a battle axe configuration) should be designed so that the main façade faces the primary street frontage of the land on which they are situated.
- 18 Buildings, landscaping, paving and signage should have a coordinated appearance that maintains and enhances the visual attractiveness of the locality.
- 19 Buildings should be designed and sited to avoid extensive areas of uninterrupted walling facing areas exposed to public view.
- 20 Building design should emphasise pedestrian entry points to provide perceptible and direct access from public street frontages and vehicle parking areas.
- 21 The ground floor of mixed use buildings should comprise non-residential land uses.
- 22 In mixed use areas, development facing the street should be designed to activate the street frontage(s):
- (a) including features that attract people to the locality such as frequent doors and display windows, retail shopfronts and/or outdoor eating or dining areas
 - (b) minimising the frontage for fire escapes, service doors, plant and equipment hatches
 - (c) avoiding undercroft or ground floor vehicle parking that is visible from the primary street frontage
 - (d) using colour, vertical and horizontal elements, roof overhangs and other design techniques to provide visual interest and reduced massing.
- 23 Where zero or minor setbacks are desirable, development should incorporate shelter over footpaths to enhance the quality of the pedestrian environment.

Outdoor Storage and Service Areas

- 24 Outdoor storage, loading and service areas should be:
- (a) screened from public view by a combination of built form, solid fencing and/or landscaping
 - (b) conveniently located and designed to enable the manoeuvring of service and delivery vehicles
 - (c) sited away from sensitive land uses.

Building Setbacks from Road Boundaries

- 25 Except in areas where a new character is desired, the setback of buildings from public roads should:
- be similar to, or compatible with, setbacks of buildings on adjoining land and other buildings in the locality
 - contribute positively to the function, appearance and/or desired character of the locality.
- 26 Except where specified in a particular zone, policy area or precinct, buildings and structures should be set back from road boundaries having regard to the requirements set out in [Table CGV/1 - Building Setbacks from Road Boundaries](#).
- 27 Except where specified in a particular zone, policy area or precinct, the main face of a building should be set back from the primary road frontage in accordance with the following table:

Setback difference between buildings on adjacent allotments	Setback of new building
Up to 2 metres	The same setback as one of the adjacent buildings, as illustrated below:
	 <p style="text-align: center;"><i>When $b - a \leq 2$, setback of new dwelling = a or b</i></p>
Greater than 2 metres	At least the average setback of the adjacent buildings

- 28 Except in areas where a new character is desired or where specified in a zone, policy area or precinct, the setback of development from a secondary street frontage should reflect the setbacks of the adjoining buildings and other buildings in the locality.

Energy Efficiency

OBJECTIVES

- 1 Development designed and sited to conserve energy.
- 2 Development that provides for on-site power generation including photovoltaic cells and wind power.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should provide for efficient solar access to buildings and open space all year around.
- 2 Buildings should be sited and designed:
 - (a) to ensure adequate natural light and winter sunlight is available to the main activity areas of adjacent buildings
 - (b) so that open spaces associated with the main activity areas face north for exposure to winter sun.

On-site Energy Generation

- 3 Development should facilitate the efficient use of photovoltaic cells and solar hot water systems by:
 - (a) taking into account overshadowing from neighbouring buildings
 - (b) designing roof orientation and pitches to maximise exposure to direct sunlight.
- 4 Public infrastructure and lighting, should be designed to generate and use renewable energy.

Forestry

OBJECTIVES

- 1 Forestry development that is designed and sited to maximise environmental and economic benefits whilst managing potential negative impacts on the environment, transport networks and surrounding land uses and landscapes.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Forestry plantations should not be undertaken if they will cause or require the clearance of valued trees or substantially intact strata of vegetation, or detrimentally affect the physical environment or scenic quality of the rural landscape.
- 2 Forestry plantations should not occur:
 - (a) on land with a slope exceeding 20 degrees
 - (b) within a separation distance (which may include forestry firebreaks and vehicle access tracks) of 50 metres of either of the following:
 - (i) any dwelling including those on an adjoining allotment
 - (ii) a reserve gazetted under the *National Parks and Wildlife Act 1972* or *Wilderness Protection Act 1992*.
- 3 Forestry plantations should:
 - (a) not involve cultivation (excluding spot cultivation) in drainage lines or within 20 metres of a major watercourse (a third order or higher watercourse), lake, reservoir, wetland and sinkhole (direct connection to aquifer)
 - (b) incorporate artificial drainage lines (ie culverts, runoffs and constructed drains) integrated with natural drainage lines to minimise concentrated water flows onto or from plantation areas
 - (a) retain a minimum 10 metre width separation distance immediately to either side of a watercourse (a first or second order watercourse) and sinkhole (no direct connection to aquifer). This separation distance should contain locally indigenous vegetation (including grasses) and unmodified topography to ensure water flow.
- 4 Forestry plantations should incorporate:
 - (a) 7 metre wide external boundary firebreaks for plantations of 40 hectares or less
 - (b) 10 metre wide external boundary firebreaks for plantations of between 40 and 100 hectares
 - (c) 20 metre wide external boundary firebreaks, or 10 metres with an additional 10 metres of fuel-reduced plantation, for plantations of 100 hectares or greater.
- 5 Forestry plantations should incorporate vehicle access tracks:
 - (a) within all firebreaks
 - (b) of a minimum width of 7 metres with a vertical clearance of 4 metres

- (c) that are aligned to provide straight through access at junctions, or if they are a no through access track they are appropriately signposted and provide suitable turnaround areas for fire-fighting vehicles
 - (d) that partition the plantation into units not exceeding 40 hectares in area.
- 6 Forestry plantations should ensure the clearances from power lines listed in the Table following are maintained when planting trees with an expected mature height of more than 6 metres:

Voltage of transmission line	Tower or Pole	Minimum horizontal clearance distance between plantings and transmission lines (in metres)
500 kV	Tower	38
275 kV	Tower	25
132 kV	Tower	30
132 kV	Pole	20
66 kV	Pole	20
Less than 66 kV	Pole	20

Hazards

OBJECTIVES

- 1 Maintenance of the natural environment and systems by limiting development in areas susceptible to natural hazard risk.
- 2 Development located away from areas that are vulnerable to, and cannot be adequately and effectively protected from the risk of natural hazards.
- 3 Critical community facilities such as hospitals, emergency control centres, major service infrastructure facilities, and emergency service facilities located where they are not exposed to natural hazard risks.
- 4 Development located and designed to minimise the risks to safety and property from flooding.
- 5 Development located to minimise the threat and impact of bushfires on life and property.
- 6 Expansion of existing non-rural uses directed away from areas of high bushfire risk.
- 7 The environmental values and ecological health of receiving waterways and marine environments protected from the release of acid water resulting from the disturbance of acid sulfate soils.
- 8 Protection of human health and the environment wherever site contamination has been identified or is suspected to have occurred.
- 9 Appropriate assessment and remediation of site contamination to ensure land is suitable for the proposed use and provides a safe and healthy living and working environment.
- 10 Minimisation of harm to life, property and the environment through appropriate location of development and appropriate storage, containment and handling of hazardous materials.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be excluded from areas that are vulnerable to, and cannot be adequately and effectively protected from, the risk of hazards.
- 2 Development located on land subject to hazards as shown on the *Overlay Maps – Development Constraints* should not occur unless it is sited, designed and undertaken with appropriate precautions being taken against the relevant hazards.
- 3 There should not be any significant interference with natural processes in order to reduce the exposure of development to the risk of natural hazards.

Flooding

- 4 Development should not occur on land where the risk of flooding is likely to be harmful to safety or damage property.
- 5 Development should not be undertaken in areas liable to inundation by tidal, drainage or flood waters unless the development can achieve all of the following:
 - (a) it is developed with a public stormwater system capable of catering for a 1-in-100 year average return interval flood event
 - (b) buildings are designed and constructed to prevent the entry of floodwaters in a 1-in-100 year average return interval flood event.

- 6 Development, including earthworks associated with development, should not do any of the following:
- (a) impede the flow of floodwaters through the land or other surrounding land
 - (b) increase the potential hazard risk to public safety of persons during a flood event
 - (c) aggravate the potential for erosion or siltation or lead to the destruction of vegetation during a flood
 - (d) cause any adverse effect on the floodway function
 - (e) increase the risk of flooding of other land
 - (f) obstruct a watercourse.

Bushfire

- 7 The following bushfire protection principles of development control apply to development of land identified as General, Medium and High bushfire risk areas as shown on the *Bushfire Protection Area BPA Maps - Bushfire Risk*.
- 8 Development in a Bushfire Protection Area should be in accordance with those provisions of the Minister's Code: Undertaking development in Bushfire Protection Areas that are designated as mandatory for Development Plan Consent purposes.
- 9 Buildings and structures should be located away from areas that pose an unacceptable bushfire risk as a result of one or more of the following:
- (a) vegetation cover comprising trees and/or shrubs
 - (b) poor access
 - (c) rugged terrain
 - (d) inability to provide an adequate building protection zone
 - (e) inability to provide an adequate supply of water for fire-fighting purposes.
- 10 Residential, tourist accommodation and other habitable buildings should:
- (a) be sited on the flatter portion of allotments and avoid steep slopes, especially upper slopes, narrow ridge crests and the tops of narrow gullies, and slopes with a northerly or westerly aspect
 - (b) be sited in areas with low bushfire hazard vegetation and set back at least 20 metres from existing hazardous vegetation
 - (c) have a dedicated and accessible water supply available at all times for fire fighting.
- 11 Extensions to existing buildings, outbuildings and other ancillary structures should be sited and constructed using materials to minimise the threat of fire spread to residential, tourist accommodation and other habitable buildings in the event of bushfire.
- 12 Buildings and structures should be designed and configured to reduce the impact of bushfire through using simple designs that reduce the potential for trapping burning debris against the building or structure, or between the ground and building floor level in the case of transportable buildings.
- 13 Land division for residential or tourist accommodation purposes within areas of high bushfire risk should be limited to those areas specifically set aside for these uses.

- 14 Where land division does occur it should be designed to:
- (a) minimise the danger to residents, other occupants of buildings and fire fighting personnel
 - (b) minimise the extent of damage to buildings and other property during a bushfire
 - (c) ensure each allotment contains a suitable building site that is located away from vegetation that would pose an unacceptable risk in the event of bushfire
 - (d) ensure provision of a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation.
- 15 Vehicle access and driveways to properties and public roads created by land division should be designed and constructed to:
- (a) facilitate safe and effective operational use for fire-fighting and other emergency vehicles and residents
 - (b) provide for two-way vehicular access between areas of fire risk and the nearest public road.
- 16 Olive orchards should be located and developed in a manner that minimises their potential to fuel bushfires.

Salinity

- 17 Development should not increase the potential for, or result in an increase in, soil and water salinity.
- 18 Preservation, maintenance and restoration of locally indigenous plant species should be encouraged in areas affected by dry land salinity.
- 19 Irrigated horticulture and pasture should not increase groundwater-induced salinity.

Acid Sulfate Soils

- 20 Development and activities, including excavation and filling of land, that may lead to the disturbance of potential or actual acid sulfate soils (including land identified on the *Overlay Maps – Development Constraints* should be avoided unless such disturbances are managed in a way that effectively avoids the potential for harm or damage to any of the following:
- (a) natural water bodies and wetlands
 - (b) agricultural or aquaculture activities
 - (c) buildings, structures and infrastructure
 - (d) public health.
- 21 Development, including primary production, aquaculture activities and infrastructure, should not proceed unless it can be demonstrated that the risk of releasing acid water resulting from the disturbance of acid sulfate soils is minimal.

Site Contamination

- 22 Development, including land division, should not occur where site contamination has occurred unless the site has been assessed and remediated as necessary to ensure that it is suitable and safe for the proposed use.

Containment of Chemical and Hazardous Materials

- 23 Hazardous materials should be stored and contained in a manner that minimises the risk to public health and safety and the potential for water, land or air contamination.
- 24 Development that involves the storage and handling of hazardous materials should ensure that these are contained in designated areas that are secure, readily accessible to emergency vehicles, impervious, protected from rain and stormwater intrusion and other measures necessary to prevent:
 - (a) discharge of polluted water from the site
 - (b) contamination of land
 - (c) airborne migration of pollutants
 - (d) potential interface impacts with sensitive land uses.

Landslip

- 25 Land identified as being at risk from landslip as shown on the *Overlay Maps – Development Constraints* should not be developed.
- 26 Development, including associated cut and fill activities, should not lead to an increased danger from land surface instability or to the potential of landslip occurring on the site or on surrounding land.
- 27 Development on steep slopes should promote the retention and replanting of vegetation as a means of stabilising and reducing the possibility of surface movement or disturbance.
- 28 Development in areas susceptible to landslip should:
 - (a) incorporate split level designs to minimise cutting into the slope
 - (b) ensure that cut and fill and heights of faces are minimised
 - (c) ensure cut and fill is supported with engineered retaining walls or are battered to appropriate grades
 - (d) control any erosion that will increase the gradient of the slope and decrease stability
 - (e) ensure the siting and operation of an effluent drainage field does not contribute to landslip
 - (f) provide drainage measures to ensure surface stability is not compromised
 - (g) ensure natural drainage lines are not obstructed.

Heritage Places

OBJECTIVES

- 1 The conservation of State and local heritage places.
- 2 The continued use, or adaptive reuse of State and local heritage places that supports the conservation of their cultural significance.
- 3 Conservation of the setting of State and local heritage places.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 A heritage place spatially located on *Overlay Maps - Heritage* and more specifically identified in [Table CGV/6 - State Heritage Places](#) or in [Table CGV/5 - Local Heritage Places](#) should not be demolished, destroyed or removed, in total or in part, unless either of the following apply:
 - (a) that portion of the place to be demolished, destroyed or removed is excluded from the extent of the places identified in the Table(s)
 - (b) the structural condition of the place represents an unacceptable risk to public or private safety.
- 2 Development of a State or local heritage place should retain those elements contributing to its heritage value, which may include (but not be limited to):
 - (a) principal elevations
 - (b) important vistas and views to and from the place
 - (c) setting and setbacks
 - (d) building materials
 - (e) outbuildings and walls
 - (f) trees and other landscaping elements
 - (g) access conditions (driveway form/width/material)
 - (h) architectural treatments
 - (i) the use of the place.
- 3 Development of a State or local heritage place should be compatible with the heritage value of the place.
- 4 Original unpainted plaster, brickwork, stonework or other masonry of existing State or local heritage places should be preserved, unpainted.
- 5 New buildings should not be placed or erected between the front street boundary and the façade of existing State or local heritage places.
- 6 Development that materially affects the context within which the heritage place is situated should be compatible with the heritage place. It is not necessary to replicate historic detailing, however design elements that should be compatible include, but are not limited to:

- (a) scale and bulk
 - (b) width of frontage
 - (c) boundary setback patterns
 - (d) proportion and composition of design elements such as rooflines, openings, fencing and landscaping
 - (e) colour and texture of external materials.
- 7 Multi-storey additions to a State or local heritage place should be compatible with the heritage value of the place through a range of design solutions such as:
- (a) extending into the existing roof space or to the rear of the building
 - (b) retaining the elements that contribute to the building's heritage value
 - (c) distinguishing between the existing and new portion of the building
 - (d) stepping in parts of the building that are taller than the front facade.
- 8 The introduction of advertisements and signage to a State or local heritage place should:
- (a) be placed on discrete elements of its architecture such as parapets and wall panels, below the canopy, or within fascias, and infill end panels and windows
 - (b) not conceal or obstruct historical detailing of the heritage place
 - (c) not project beyond the silhouette or skyline of the heritage place
 - (d) not form a dominant element of the place.
- 9 The division of land adjacent to or containing a State or local heritage place should occur only where it will:
- (a) create an allotment pattern that maintains or reinforces the integrity of the heritage place and the character of the surrounding area
 - (b) create an allotment or allotments of a size and dimension that can accommodate new development that will reinforce and complement the heritage place and the zone or policy area generally
 - (c) be of a size and dimension that will enable the siting and setback of new buildings from allotment boundaries so that they do not overshadow, dominate, encroach on or otherwise impact on the setting of the heritage place
 - (d) provide an area for landscaping of a size and dimension that complements the landscape setting of the heritage place and the landscape character of the locality
 - (e) enable the State or local heritage place to have a curtilage of a size sufficient to protect its setting.

Historic Conservation Area

Refer to the [Map Reference Tables](#) for a list of the *Overlay Maps - Heritage* that relate to this Historic Conservation Area.

OBJECTIVES

- 1 The conservation of areas of historical significance.
- 2 Development that promotes, conserves and enhances the cultural significance and historic character of identified places and areas.
- 3 Development that complements the historic significance of the area.
- 4 The retention and conservation of places such as land, buildings, structures and landscape elements that contribute positively to the historic character of the area.
- 5 Development that contributes to desired character.

DESIRED CHARACTER

The Historic Conservation Area applies to the town centre at Auburn whose heritage character is significant, taken as a whole, and warrants protection. This significance is derived from such elements as buildings and structures, land divisions and street patterns, topography and natural features, kerbing, planting, setback patterns and other distinctive elements.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character for the Historic Conservation Area.
- 2 Buildings and structures should not be demolished in whole or in part, unless they are:
 - (a) structurally unsafe and/or unsound and cannot reasonably be rehabilitated
 - (b) inconsistent with the desired character for the Historic Conservation Area
 - (c) associated with a proposed development that supports the desired character for the Historic Conservation Area
- 3 Development should take design cues from the existing historic built forms. In doing this, it is not necessary to replicate historic detailing; however design elements for consideration should be compatible with building and streetscape character and should include but not be limited to:
 - (a) scale and bulk
 - (b) width of frontage
 - (c) boundary setback patterns
 - (d) proportion and composition of design elements such as roof lines, pitches, openings, verandas, fencing and landscaping

- (e) colour and texture of external materials
 - (f) visual interest.
- 4 New residential development should include landscaped front garden areas that complement the desired character.
- 5 The conversion of an existing dwelling into two or more dwellings may be undertaken provided that the building and front yard retain the original external appearance to the public road.
- 6 Second storey additions to single storey dwellings should achieve one or more of the following:
- (a) a sympathetic two-storey addition that uses existing roof space or incorporates minor extensions to the roof space at the rear of the dwelling
 - (b) a second storey within the roof space, where the overall building height, scale and form is compatible with existing single-storey development in the policy area
 - (c) second storey windows having a total length less than 30 per cent of the total roof length along each elevation.
- 7 Front fences and gates should:
- (a) reflect and conserve the traditional period, style and form of the associated building
 - (b) generally be of low timber pickets, low pier and plinth masonry, wrought iron, brush or masonry
 - (c) be no more than 1.2 metres in height.
- 8 Rear and side boundary fences located behind the front dwelling alignment should be no more than 1.8 metres in height.
- 9 Advertisements and/or advertising hoardings associated with places and areas of heritage significance should:
- (a) be of a size, colour, shape and materials that enhances the character of the locality
 - (b) not dominate or detract from the prominence of any place and/or area of historic significance.
- 10 Development should respect the existing topography and the relationship of sites to street levels and to adjoining land and not involve substantial cut and/or fill or sites.
- 11 The division of land should occur only where it will maintain the traditional pattern and scale of allotments and will not be detrimental to the integrity of a Local or State heritage place.

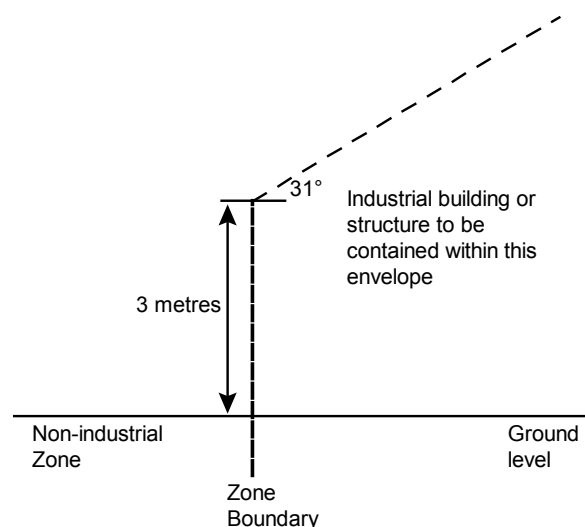
Industrial Development

OBJECTIVES

- 1 Industrial, warehouse, storage and transport distribution development on appropriately located land, integrated with transport networks and designed to minimise potential impact on these networks.
- 2 The development of small scale agricultural industries, wineries, mineral water extraction and processing plants, and home based industries in rural areas.
- 3 Industrially zoned allotments and uses protected from encroachment by adjoining uses that would reduce industrial development or expansion.
- 4 Industrial development occurring without adverse effects on the health and amenity of occupiers of land in adjoining zones.
- 5 Compatibility between industrial uses within industrial zones.
- 6 The improved amenity of industrial areas.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Offices and showrooms associated with industrial, warehouse, storage and transport development should be sited at the front of the building with direct and convenient pedestrian access from the main visitor parking area.
- 2 Any building or structure on, or abutting the boundary of, a non-industrial zone should be restricted to a height of 3 metres above ground level at the boundary and a plane projected at 31 degrees above the horizontal into the development site from that 3 metre height, as shown in the following diagram:



- 3 Industrial development should enable all vehicles to enter and exit the site in a forward direction.
- 4 Industrial development abutting an arterial road, a non-industrial zone boundary, or significant open space should be developed in a manner that does not create adverse visual impacts on the locality.
- 5 Building facades facing a non-industrial zone, public road, or public open space should:
 - (a) use a variety of building finishes

- (b) not consist solely of metal cladding
 - (c) contain materials of low reflectivity
 - (d) incorporate design elements to add visual interest
 - (e) avoid large expanses of blank walls.
- 6 Industrial development should minimise significant adverse impact on adjoining uses due to hours of operation, traffic, noise, fumes, smell, dust, paint or other chemical over-spray, vibration, glare or light spill, electronic interference, ash or other harmful or nuisance creating impacts.
- 7 Landscaping should be incorporated as an integral element of industrial development along non-industrial zone boundaries.
- 8 Fencing (including colour-coated wire mesh fencing) adjacent to public roads should be setback in one of the following ways:
- (a) in line with the building façade
 - (b) behind the building line
 - (c) behind a landscaped area that softens its visual impact.

Small-scale agricultural industries, home-based industries, mineral water extraction and processing plants, and wineries in rural areas

- 9 Agricultural industries, home-based industries, mineral water extraction and processing plants, and wineries in rural areas should:
- (a) use existing buildings and, in particular, buildings of heritage value, in preference to constructing new buildings
 - (b) be setback at least 50 metres from:
 - (i) any bore, well or watercourse, where a watercourse is identified as a blue line on a current series 1:50 000 government standard topographic map
 - (ii) a dam or reservoir that collects water flowing in a watercourse
 - (iii) a lake or wetland through which water flows
 - (iv) a channel into which water has been diverted
 - (v) a known spring
 - (vi) sink hole
 - (c) be located within the boundary of a single allotment, including any ancillary uses
 - (d) not result in more than one industry located on an allotment
 - (e) include a sign that facilitates access to the site that is sited and designed to complement the features of the surrounding area and which:
 - (i) does not exceed 2 square metres in area
 - (ii) is limited to one sign per establishment (for agricultural and home-based industries)
 - (iii) is not internally illuminated.

- 10 Agricultural industries, home-based industries, mineral water extraction and processing plants, and wineries in rural areas should not:
- (a) necessitate significant upgrading of public infrastructure including roads and other utilities
 - (b) generate traffic beyond the capacity of roads necessary to service the development
 - (c) result in traffic and/or traffic volumes that would be likely to adversely alter the character and amenity of the locality
 - (d) be located on land with a slope greater than 20 per cent (1-in-5).
- 11 Agricultural industries (except for wineries) in rural areas should be small scale, and:
- (a) should include at least one of the following activities normally associated with the processing of primary produce:
 - (i) washing
 - (ii) grading
 - (iii) processing (including bottling)
 - (iv) packing or storage
 - (b) may include an associated ancillary area for the sale and/or promotion of produce (including display areas)
 - (c) should have a total combined area for one or any combination of these activities (including ancillary sales area) not exceeding 250 square metres per allotment, with a maximum building area of 150 square metres, including a maximum area of 50 square metres for ancillary sale and display of goods manufactured in the industry
 - (d) should process primary produce that is grown within the region
 - (e) should occur only on an allotment where a habitable dwelling exists.
- 12 Agricultural Industries, wineries and mineral water extraction and processing plants should not be located:
- (a) on land that is classified as being poorly drained or very poorly drained
 - (b) within 800 metres of a high water level of a public water supply reservoir
 - (c) closer than 300 metres (other than a home-based industry) to a dwelling or tourist accommodation that is not in the ownership of the applicant.
- 13 Home-based industries in rural areas:
- (a) should include at least one of the following activities:
 - (i) arts
 - (ii) crafts
 - (iii) tourist
 - (iv) heritage related activities

- (b) may include an ancillary area for the sale or promotion of goods manufactured in the industry (including display areas)
- (c) should have a total combined area for one or any combination of these activities (including ancillary sales/promotion area) not exceeding 80 square metres per allotment with a maximum building area of 80 square metres, including a maximum area of 30 square metres for sale of goods made on the allotment by the industry
- (d) should not be located further than 50 metres from a habitable dwelling occupied by the proprietor of the industry on the allotment.

14 Mineral water extraction and processing plants in rural areas:

- (a) should include at least one of the following activities normally associated with the extraction and processing of mineral water:
 - (i) extraction
 - (ii) bottling
 - (iii) packaging
 - (iv) storage
 - (v) distribution
- (b) may include ancillary activities of administration and sale and/or promotion of mineral water product
- (c) should have a total combined area for one or any combination of these activities (including ancillary sale and/or promotion areas) not exceeding 350 square metres per allotment with a maximum building area of 250 square metres, including a maximum area of 50 square metres for ancillary sale and/or promotion of mineral water product.

15 Wineries in rural areas should:

- (a) include at least one of the following activities normally associated with the making of wine:
 - (i) crushing
 - (ii) fermenting
 - (iii) bottling
 - (iv) maturation/cellaring of wine
 - (v) ancillary activities of administration, sale and/or promotion of wine product and restaurant
- (b) be located within the boundary of a single allotment which adjoins or is on the same allotment as a vineyard
- (c) process primary produce that is primarily sourced **locally**
- (d) only include a restaurant as an ancillary use to the winery
- (e) be located not closer than 300 metres to a dwelling or tourist accommodation (that is not in the ownership of the winery applicant) where the crush capacity is equal to or greater than 500 tonnes per annum.

Infrastructure

OBJECTIVES

- 1 Infrastructure provided in an economical and environmentally sensitive manner.
- 2 The visual impact of infrastructure facilities minimised.
- 3 The efficient and cost-effective use of existing infrastructure.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should only occur where it has access to adequate utilities and services, including:
 - (a) electricity supply
 - (b) water supply
 - (c) drainage and stormwater systems
 - (d) effluent disposal systems
 - (e) formed all-weather public roads
 - (f) telecommunications services
- 2 Utilities and services should be of a sufficient standard, design and capacity to accommodate the proposed development and not compromise the level of service to other existing users.
- 3 Development should incorporate any relevant and appropriate social infrastructure, community services and facilities.
- 4 Development should only occur where it provides, or has access to, relevant easements for the supply of infrastructure.
- 5 Development should incorporate provision for the supply of infrastructure services to be located within common service trenches where practicable.
- 6 Development should not occur until adequate and coordinated drainage of the land is provided.
- 7 Development in urban areas should not occur without provision of an adequate reticulated domestic quality mains water supply and an appropriate waste treatment system.
- 8 In areas where no reticulated water supply is available, buildings whose usage is reliant on a water supply should be equipped with an adequate and reliable on-site water storage system.
- 9 Urban development should have a direct water supply.
- 10 Electricity infrastructure should be designed and located to minimise visual and environmental impacts.
- 11 Utilities and services, including access roads and tracks, should be sited on areas already cleared of native vegetation. If this is not possible, their siting should cause minimal interference or disturbance to existing native vegetation and biodiversity.
- 12 Utility buildings and structures should be grouped with non-residential development, where possible.

- 13 Development in proximity to infrastructure facilities should be sited and be of a scale to ensure adequate separation to protect people and property.

Interface between Land Uses

OBJECTIVES

- 1 Development located and designed to minimise adverse impact and conflict between land uses.
- 2 Protect community health and amenity from adverse impacts of development.
- 3 Protect desired land uses from the encroachment of incompatible development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not detrimentally affect the amenity of the locality or cause unreasonable interference through any of the following:
 - (a) the emission of effluent, odour, smoke, fumes, dust or other airborne pollutants
 - (b) noise
 - (c) vibration
 - (d) electrical interference
 - (e) light spill
 - (f) glare
 - (g) hours of operation
 - (h) traffic impacts.
- 2 Development should be sited and designed to minimise negative impacts on existing and potential future land uses desired in the locality.
- 3 Development adjacent to a Residential Zone or residential area within a Township Zone should be designed to minimise overlooking and overshadowing of adjacent dwellings and private open space.
- 4 Residential development adjacent to non-residential zones and land uses should be located, designed and/or sited to protect residents from potential adverse impacts from non-residential activities.
- 5 Sensitive uses likely to conflict with the continuation of lawfully existing developments and land uses desired for the zone should be designed to minimise negative impacts.
- 6 Non-residential development on land abutting a residential zone should be designed to minimise noise impacts to achieve adequate levels of compatibility between existing and proposed uses.

Noise Generating Activities

- 7 Development that emits noise (other than music noise) should include noise attenuation measures that achieve the relevant *Environment Protection (Noise) Policy* criteria when assessed at the nearest existing noise sensitive premises.
- 8 Development with the potential to emit significant noise (e.g. industry) should incorporate noise attenuation measures that prevent noise from causing unreasonable interference with the amenity of noise sensitive premises.

- 9 Outdoor areas (such as beer gardens or dining areas) associated with licensed premises should be designed or sited to minimise adverse noise impacts on adjacent existing or future noise sensitive development.
- 10 Development proposing music should include noise attenuation measures that achieve the following desired noise levels:

Noise level assessment location	Desired noise level
Adjacent existing <i>noise sensitive development</i> property boundary	Less than 8 dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum and Less than 5 dB(A) above the level of background noise ($LA_{90,15min}$) for the overall (sum of all octave bands) A-weighted level
<i>Adjacent land</i> property boundary	Less than 65dB(Lin) at 63Hz and 70dB(Lin) in all other octave bands of the sound spectrum or Less than 8 dB above the level of background noise ($L_{90,15min}$) in any octave band of the sound spectrum and 5 dB(A) overall (sum of all octave bands) A-weighted level

Air Quality

- 11 Development with the potential to emit harmful or nuisance-generating air pollution should incorporate air pollution control measures to prevent harm to human health or unreasonable interference with the amenity of sensitive uses within the locality.
- 12 Chimneys or exhaust flues associated with commercial development (including cafes, restaurants and fast food outlets) should be designed to ensure they do not cause a nuisance or health concerns to nearby sensitive receivers by:
 - (a) incorporating appropriate treatment technology before exhaust emissions are released to the atmosphere
 - (b) ensuring that the location and design of chimneys or exhaust flues maximises dispersion and takes into account the location of nearby sensitive uses.

Rural Interface

- 13 The potential for adverse impacts resulting from rural development should be minimised by:
 - (a) not locating horticulture or intensive animal keeping on land adjacent to townships
 - (b) maintaining an adequate separation between horticulture or intensive animal keeping and townships, other sensitive uses and, where desirable, other forms of primary production.
- 14 Traffic movement, spray drift, dust, noise, odour and the use of frost fans and gas guns associated with primary production should not lead to unreasonable impact on adjacent land uses.
- 15 Existing primary production and mineral extraction should not be prejudiced by the inappropriate encroachment of sensitive uses such as urban development.
- 16 Development that is adjacent to land used for primary production (within either the zone or adjacent zones) should include appropriate setbacks and vegetative plantings designed to minimise the potential impacts of chemical spray drift and other impacts associated with primary production.

- 17 New urban development should provide a buffer of at least 40 metres wide (inclusive of any fuel break, emergency vehicle access or road) separating urban and rural activities.
- 18 Development located within 300 metres of facilities for the handling, transportation and storage of bulk commodities should:
 - (a) not prejudice the continued operation of those facilities
 - (b) be located, designed and developed having regard to the potential environmental impact arising from the operation of such facilities and the potential extended hours of operation.

Land Division

OBJECTIVES

- 1 Land division that occurs in an orderly sequence allowing efficient provision of new infrastructure and facilities and making optimum use of existing under utilised infrastructure and facilities.
- 2 Land division that creates allotments appropriate for the intended use.
- 3 Land division layout that is optimal for energy efficient building orientation.
- 4 Land division that is integrated with site features, including landscape and environmental features, adjacent land uses, the existing transport network and the availability of infrastructure.
- 5 Land division restricted in rural areas to ensure the efficient use of rural land for primary production and avoidance of uneconomic infrastructure provision.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 When land is divided:
 - (a) stormwater should be capable of being drained safely and efficiently from each proposed allotment and disposed of from the land in an environmentally sensitive manner
 - (b) a sufficient water supply should be made available for each allotment
 - (c) provision should be made for the disposal of wastewater, sewage and other effluent from each allotment without risk to health
 - (d) proposed roads should be graded, or be capable of being graded to connect safely and conveniently with an existing road or thoroughfare.
- 2 Land should not be divided if any of the following apply:
 - (a) the size, shape, location, slope or nature of the land makes any of the allotments unsuitable for the intended use
 - (b) any allotment will not have a frontage to one of the following:
 - (i) an existing road
 - (ii) a proposed public road
 - (iii) access to a public road via an internal roadway in a plan of community division
 - (c) the intended use of the land is likely to require excessive cut and/or fill
 - (d) it is likely to lead to undue erosion of the subject land or land within the locality
 - (e) the wastewater treatment plant to which subsequent development will be connected does not have sufficient capacity to handle the additional wastewater volumes and pollutant loads generated by such development
 - (f) the area is unsewered and cannot accommodate an appropriate on-site wastewater disposal system within the allotment that complies with (or can comply with) the relevant public and environmental health legislation applying to the intended use(s)

- (g) any allotments will straddle more than one zone, policy area or precinct
- (h) the allotments unreasonably restrict access to publicly owned land such as recreation areas.

Design and Layout

- 3 Land divisions should be designed to ensure that areas of native vegetation and wetlands:
 - (a) are not fragmented or reduced in size
 - (b) do not need to be cleared as a consequence of subsequent development.
- 4 The design of a land division should incorporate:
 - (a) roads, thoroughfares and open space that result in safe and convenient linkages with the surrounding environment, including public and community transport facilities, and which, where necessary, facilitate the satisfactory future division of land and the inter-communication with neighbouring localities
 - (b) new road and allotment access points providing appropriate separation distances from existing road junctions or level crossings
 - (c) safe and convenient access from each allotment to an existing or proposed road or thoroughfare
 - (d) areas to provide appropriate separation distances between potentially conflicting land uses and/or zones
 - (e) suitable land set aside for usable local open space
 - (f) public utility services within road reserves and where necessary within dedicated easements
 - (g) the preservation of significant natural, cultural or landscape features including State and local heritage places
 - (h) protection for existing vegetation and drainage lines
 - (i) where appropriate, the amalgamation of smaller allotments to ensure co-ordinated and efficient site development
 - (j) the preservation of significant trees.
- 5 Land division should result in allotments of a size suitable for their intended use.
- 6 Land division should facilitate optimum solar access for energy efficiency.
- 7 Land division within an area identified as being an 'Excluded Area from Bushfire Protection Planning Provisions' as shown on *Bushfire Protection Area BPA Maps - Bushfire Risk* should be designed to make provisions for:
 - (a) emergency vehicle access through to the Bushfire Protection Area and other areas of open space connected to it
 - (b) a mainly continuous street pattern serving new allotments that eliminates the use of cul-de-sacs or dead end roads
 - (c) a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation.

- 8 Allotments in the form of a battleaxe configuration should:
- (a) have an area consistent with the requirements set out in the Residential Zone and Township Zone (excluding the area of the 'handle' of such an allotment)
 - (b) provide for an access onto a public road, with the driveway 'handle' being not less than 5 metres in width nor more than 50 metres in length
 - (c) contain sufficient area on the allotment for a vehicle to turn around to enable it to egress the allotment in a forward direction
 - (d) not be created where it would lead to multiple access points onto a road which would dominate or adversely affect the amenity of the streetscape
 - (e) be avoided where their creation would be incompatible with the prevailing pattern of development.
- 9 Allotments should have an orientation, size and configuration to encourage development that:
- (a) minimises the need for earthworks and retaining walls
 - (b) maintains natural drainage systems
 - (c) faces abutting streets and open spaces
 - (d) does not require the removal of native vegetation to facilitate that development
 - (e) will not overshadow, dominate, encroach on or otherwise detrimentally affect the setting of the surrounding locality.
- 10 Within defined townships and settlements where the land to be divided borders a river, lake, wetland or creek, the land adjoining the bank should become public open space and linked with an existing or proposed pedestrian or transport network.
- 11 Within defined townships and settlements land division should make provision for a reserve or an area of open space that is at least 25 metres wide from the top of the bank of a watercourse and that incorporates land within the 1-in-100 year average return interval flood event area.
- 12 The layout of a land division should keep flood prone land free from development.
- 13 The arrangement of roads, allotments, reserves and open space should enable the provision of a stormwater management drainage system that:
- (a) contains and retains all watercourses, drainage lines and native vegetation
 - (b) enhances amenity
 - (c) integrates with the open space system and surrounding area.

Roads and Access

- 14 Road reserves should be of a width and alignment that can:
- (a) provide for safe and convenient movement and parking of projected volumes of vehicles and other users
 - (b) provide for footpaths, cycle lanes and shared-use paths for the safety and convenience of residents and visitors
 - (c) allow vehicles to enter or reverse from an allotment or site in a single movement allowing for a car parked on the opposite side of the street

- (d) accommodate street tree planting, landscaping and street furniture
 - (e) accommodate the location, construction and maintenance of stormwater drainage and public utilities
 - (f) provide unobstructed, safe and efficient vehicular access to individual allotments and sites
 - (g) allow for the efficient movement of service and emergency vehicles.
- 15 The design of the land division should facilitate the most direct route to local facilities for pedestrians and cyclists and enable footpaths, cycle lanes and shared-use paths to be provided of a safe and suitable width and reasonable longitudinal gradient.
- 16 The layout of land divisions should result in roads designed and constructed to ensure:
- (a) that traffic speeds and volumes are restricted where appropriate by limiting street length and/or the distance between bends and slow points
 - (b) there are adequate sight distances for motorists at intersections, junctions, pedestrian and cyclist crossings, and crossovers to allotments to ensure the safety of all road users and pedestrians
 - (c) that existing dedicated cycling and walking routes are not compromised.
- 17 The design of the land division should provide space sufficient for on-street visitor car parking for the number and size of allotments, taking account of:
- (a) the size of proposed allotments and sites and opportunities for on-site parking
 - (b) the availability and frequency of public and community transport
 - (c) on-street parking demand likely to be generated by nearby uses.
- 18 The layout of land divisions should incorporate street patterns designed to enhance the efficient movement of traffic and minimise trip lengths.

Land Division in Rural Areas

- 19 Rural land should not be divided if the resulting allotments would be of a size and configuration likely to impede the efficient use of rural land for any of the following:
- (a) primary production
 - (b) value adding industries related to primary production
 - (c) protection of natural resources.
- 20 Rural land should not be divided where new allotments would result in any of the following:
- (a) fragmentation of productive primary production land
 - (b) strip development along roads or water mains
 - (c) prejudice against the proper and orderly development of townships
 - (d) removal of native vegetation for allotment boundaries, access roads, infrastructure, dwellings and other buildings or firebreaks
 - (e) uneconomic costs to the community for the provision of services.

Landscaping, Fences and Walls

OBJECTIVES

- 1 The amenity of land and development enhanced with appropriate planting and other landscaping works, using locally indigenous plant species where possible.
- 2 Functional fences and walls that enhance the attractiveness of development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should incorporate open space and landscaping and minimise hard paved surfaces in order to:
 - (a) complement built form and reduce the visual impact of larger buildings (eg taller and broader plantings against taller and bulkier building components)
 - (b) enhance the appearance of road frontages
 - (c) screen service yards, loading areas and outdoor storage areas
 - (d) minimise maintenance and watering requirements
 - (e) enhance and define outdoor spaces, including car parking areas
 - (f) maximise shade and shelter
 - (g) assist in climate control within and around buildings
 - (h) minimise heat absorption and reflection
 - (i) maintain privacy
 - (j) maximise stormwater re-use
 - (k) complement existing vegetation, including native vegetation
 - (l) contribute to the viability of ecosystems and species
 - (m) promote water and biodiversity conservation.
- 2 Landscaping should:
 - (a) include the planting of locally indigenous species where appropriate
 - (b) be oriented towards the street frontage
 - (c) result in the appropriate clearance from powerlines and other infrastructure being maintained.
- 3 Landscaping should not:
 - (a) unreasonably restrict solar access to adjoining development
 - (b) cause damage to buildings, paths and other landscaping from root invasion, soil disturbance or plant overcrowding

- (c) introduce pest plants
 - (d) increase the risk of bushfire
 - (e) remove opportunities for passive surveillance
 - (f) increase leaf fall in watercourses
 - (g) increase the risk of weed invasion
 - (h) obscure driver sight lines
 - (i) create a hazard for train or tram drivers by obscuring sight lines at crossovers.
- 4 Fences and walls, including retaining walls, should:
- (a) not result in damage to neighbouring trees
 - (b) be compatible with the associated development and with existing predominant, attractive fences and walls in the locality
 - (c) enable some visibility of buildings from and to the street to enhance safety and allow casual surveillance
 - (d) incorporate articulation or other detailing where there is a large expanse of wall facing the street
 - (e) assist in highlighting building entrances
 - (f) be sited and limited in height, to ensure adequate sight lines for motorists and pedestrians especially on corner sites
 - (g) in the case of side and rear boundaries, be of sufficient height to maintain privacy and/or security without adversely affecting the visual amenity or access to sunlight of adjoining land
 - (h) be constructed of non-flammable materials.

Mineral Extraction

OBJECTIVES

- 1 Development of mining activities in a way that contributes to the sustainable growth of the industry.
- 2 Protection of mineral deposits against intrusion by inappropriate forms of development.
- 3 Areas with scenic or conservation significance protected from undue damage arising from mining operations.
- 4 Mining operations undertaken with minimal adverse impacts on the environment and on the health and amenity of adjacent land uses.
- 5 Minimisation of the impacts from mining activities upon the existing groundwater level and the quality of groundwater resources.
- 6 Mining operations that make adequate provision for site rehabilitation.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Known reserves of economically viable mineral deposits should be kept free of development that may inhibit their future exploitation.
- 2 Development in proximity to mining operations should not be undertaken where it may be exposed to adverse impacts resulting from mining activities.
- 3 Mining in scenic and native vegetation areas should only be undertaken if:
 - (a) the proposed location is the best site in regard to minimising loss of amenity, degradation of the landscape and loss of native vegetation
 - (b) there are a limited number of known reserves of the minerals in the area or elsewhere in the State
 - (c) the extraction and transportation of materials from alternative sites to principal centres of consumption carry significantly higher costs
 - (d) the site is capable of restoration with locally indigenous plant species to counter the long-term impact on the landscape and biodiversity.
- 4 Stormwater and/or wastewater from land used for mining should be diverted into a silt retention structure so that it can be reused on-site for purposes such as truck wash-down, dust control, washing of equipment and landscape irrigation or for disposal off-site in an environmentally responsible manner.
- 5 Access to land used for mining should be sited and designed to accommodate heavy vehicle traffic and ensure the safety of all road users.
- 6 Mining operations should:
 - (a) ensure that minimal damage is caused to the landscape
 - (b) minimise the area required for operations, and provide for the progressive reclamation of disturbed areas
 - (c) minimise disturbance to natural hydrological systems.

Separation Treatments, Buffers and Landscaping

- 7 Mining development should be sited, designed and sequenced to protect the amenity of surrounding land uses from environmental nuisance such as dust or vibration emanating from mining operations.
- 8 Mining operations that are likely to impact upon the amenity of the locality should incorporate a separation distance and/or mounding/vegetation between the mining operations (including stockpiles) and adjoining allotments to help minimise exposure to those potential impacts.
- 9 Quarry faces should be orientated away from public view.
- 10 Screening of mining areas should occur in advance of extraction commencing.
- 11 An area of densely vegetated and/or mounded land should be established around the perimeter of mining sites in order to screen excavated land and mineral processing facilities from all of the following:
 - (a) residential areas
 - (b) tourist areas
 - (c) tourist routes
 - (d) scenic routes.
- 12 Screen planting around mining operations should incorporate a mixture of trees and shrubs that:
 - (a) contribute to an attractive landscape
 - (b) suit local soil and climatic conditions
 - (c) are fast growing and/or have a long life expectancy
 - (d) are locally indigenous species.
- 13 Borrow pits for road making materials should:
 - (a) be sited so as to cause the minimum effect on their surroundings
 - (b) not be located on land shown on *Overlay Maps - Transport* or scenic routes listed in [Table CGV/1 - Building Setbacks from Road Boundaries](#) if equivalent resources are available within other areas within the Development Plan boundary.

Natural Resources

OBJECTIVES

- 1 Retention, protection and restoration of the natural resources and environment.
- 2 Protection of the quality and quantity of South Australia's surface waters, including inland, marine and estuarine and underground waters.
- 3 The ecologically sustainable use of natural resources including water resources, including marine waters, ground water, surface water and watercourses.
- 4 Natural hydrological systems and environmental flows reinstated, and maintained and enhanced.
- 5 Development consistent with the principles of water sensitive design.
- 6 Development sited and designed to:
 - (a) protect natural ecological systems
 - (b) achieve the sustainable use of water
 - (c) protect water quality, including receiving waters
 - (d) reduce runoff and peak flows and prevent the risk of downstream flooding
 - (e) minimise demand on reticulated water supplies
 - (f) maximise the harvest and use of stormwater
 - (g) protect stormwater from pollution sources.
- 7 Storage and use of stormwater which avoids adverse impact on public health and safety.
- 8 Native flora, fauna and ecosystems protected, retained, conserved and restored.
- 9 Restoration, expansion and linking of existing native vegetation to facilitate habitat corridors for ease of movement of fauna.
- 10 Minimal disturbance and modification of the natural landform.
- 11 Protection of the physical, chemical and biological quality of soil resources.
- 12 Protection of areas prone to erosion or other land degradation processes from inappropriate development.
- 13 Protection of the scenic qualities of natural and rural landscapes.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be undertaken with minimum impact on the natural environment, including air and water quality, land, soil, biodiversity, and scenically attractive areas.
- 2 Development should ensure that South Australia's natural assets, such as biodiversity, water and soil, are protected and enhanced.

- 3 Development should not significantly obstruct or adversely affect sensitive ecological areas such as creeks and wetlands.
- 4 Development should be appropriate to land capability and the protection and conservation of water resources and biodiversity.

Water Sensitive Design

- 5 Development should be designed to maximise conservation, minimise consumption and encourage re-use of water resources.
- 6 Development should not take place if it results in unsustainable use of surface or underground water resources.
- 7 Development should be sited and designed to:
 - (a) capture and re-use stormwater, where practical
 - (b) minimise surface water runoff
 - (c) prevent soil erosion and water pollution
 - (d) protect and enhance natural water flows
 - (e) protect water quality by providing adequate separation distances from watercourses and other water bodies
 - (f) not contribute to an increase in salinity levels
 - (g) avoid the water logging of soil or the release of toxic elements
 - (h) maintain natural hydrological systems and not adversely affect:
 - (i) the quantity and quality of groundwater
 - (ii) the depth and directional flow of groundwater
 - (iii) the quality and function of natural springs.
- 8 Water discharged from a development site should:
 - (a) be of a physical, chemical and biological condition equivalent to or better than its pre-developed state
 - (b) not exceed the rate of discharge from the site as it existed in pre-development conditions.
- 9 Development should include stormwater management systems to protect it from damage during a minimum of a 1-in-100 year average return interval flood.
- 10 Development should have adequate provision to control any stormwater over-flow runoff from the site and should be sited and designed to improve the quality of stormwater and minimise pollutant transfer to receiving waters.
- 11 Development should include stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure the carrying capacities of downstream systems are not overloaded.
- 12 Development should include stormwater management systems to minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system.

- 13 Stormwater management systems should preserve natural drainage systems, including the associated environmental flows.
- 14 Stormwater management systems should:
 - (a) maximise the potential for stormwater harvesting and re-use, either on-site or as close as practicable to the source
 - (b) utilise, but not be limited to, one or more of the following harvesting methods:
 - (i) the collection of roof water in tanks
 - (ii) the discharge to open space, landscaping or garden areas, including strips adjacent to car parks
 - (iii) the incorporation of detention and retention facilities
 - (iv) aquifer recharge.
- 15 Where it is not practicable to detain or dispose of stormwater on site, only clean stormwater runoff should enter the public stormwater drainage system.
- 16 Artificial wetland systems, including detention and retention basins, should be sited and designed to:
 - (a) ensure public health and safety is protected
 - (b) minimise potential public health risks arising from the breeding of mosquitoes.

Water Catchment Areas

- 17 Development should ensure watercourses and their beds, banks, wetlands and floodplains are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.
- 18 No development should occur where its proximity to a swamp or wetland will damage or interfere with the hydrology or water regime of the swamp or wetland.
- 19 A wetland or low-lying area providing habitat for native flora and fauna should not be drained, except temporarily for essential management purposes to enhance environmental values.
- 20 Along watercourses, areas of remnant native vegetation, or areas prone to erosion, that are capable of natural regeneration should be fenced off to limit stock access.
- 21 Development such as cropping, intensive animal keeping, residential, tourism, industry and horticulture, that increases the amount of surface run-off should include a strip of land at least 20 metres wide measured from the top of existing banks on each side of a watercourse that is:
 - (a) fenced to exclude livestock
 - (b) kept free of development, including structures, formal roadways or access ways for machinery or any other activity causing soil compaction or significant modification of the natural surface of the land
 - (c) revegetated with locally indigenous vegetation comprising trees, shrubs and other groundcover plants to filter runoff so as to reduce the impacts on native aquatic ecosystems and to minimise soil loss eroding into the watercourse.

- 22 Development resulting in the depositing of an object or solid material in a watercourse or floodplain or the removal of bank and bed material should not:
- (a) adversely affect the migration of aquatic biota
 - (b) adversely affect the natural flow regime
 - (c) cause or contribute to water pollution
 - (d) result in watercourse or bank erosion
 - (e) adversely affect native vegetation upstream or downstream that is growing in or adjacent to a watercourse.
- 23 The location and construction of dams, water tanks and diversion drains should:
- (a) occur off watercourse
 - (b) not take place in ecologically sensitive areas or on erosion prone sites
 - (c) provide for low flow by-pass mechanisms to allow for migration of aquatic biota
 - (d) not negatively affect downstream users
 - (e) minimise in-stream or riparian vegetation loss
 - (f) incorporate features to improve water quality (eg wetlands and floodplain ecological communities)
 - (g) protect ecosystems dependent on water resources.
- 24 Irrigated horticulture and pasture should not increase groundwater induced salinity.
- 25 Development should comply with the current *Environment Protection (Water Quality) Policy*.

Biodiversity and Native Vegetation

- 26 Development should retain existing areas of native vegetation and where possible contribute to revegetation using locally indigenous plant species.
- 27 Development should be designed and sited to minimise the loss and disturbance of native flora and fauna.
- 28 Native vegetation should be conserved and its conservation value and function not compromised by development if the native vegetation does any of the following:
- (a) provides an important habitat for wildlife or shade and shelter for livestock
 - (b) has a high plant species diversity or includes rare, vulnerable or endangered plant species or plant associations and communities
 - (c) provides an important seed bank for locally indigenous vegetation
 - (d) has high amenity value and/or significantly contributes to the landscape quality of an area, including the screening of buildings and unsightly views
 - (e) has high value as a remnant of vegetation associations characteristic of a district or region prior to extensive clearance for agriculture
 - (f) is growing in, or is characteristically associated with a wetland environment.

- 29 Native vegetation should not be cleared if such clearing is likely to lead to, cause or exacerbate any of the following:
- (a) erosion or sediment within water catchments
 - (b) decreased soil stability
 - (c) soil or land slip
 - (d) deterioration in the quality of water in a watercourse or surface water runoff
 - (e) a local or regional salinity problem
 - (f) the occurrence or intensity of local or regional flooding.
- 30 Development that proposes the clearance of native vegetation should address or consider the implications that removing the native vegetation will have on the following:
- (a) provision for linkages and wildlife corridors between significant areas of native vegetation
 - (b) erosion along watercourses and the filtering of suspended solids and nutrients from runoff
 - (c) the amenity of the locality
 - (d) bushfire safety
 - (e) the net loss of native vegetation and other biodiversity.
- 31 Where native vegetation is to be removed, it should be replaced in a suitable location on the site with locally indigenous vegetation to ensure that there is not a net loss of native vegetation and biodiversity.
- 32 Development should be located and occur in a manner which:
- (a) does not increase the potential for, or result in, the spread of pest plants, or the spread of any non-indigenous plants into areas of native vegetation or a conservation zone
 - (b) avoids the degradation of remnant native vegetation by any other means including as a result of spray drift, compaction of soil, modification of surface water flows, pollution to groundwater or surface water or change to groundwater levels
 - (c) incorporates a separation distance and/or buffer area to protect wildlife habitats and other features of nature conservation significance.
- 33 Development should promote the long-term conservation of vegetation by:
- (a) avoiding substantial structures, excavations, and filling of land in close proximity to the trunk of trees and beneath their canopies
 - (b) minimising impervious surfaces beneath the canopies of trees
 - (c) taking other effective and reasonable precautions to protect both vegetation and the integrity of structures and essential services.
- 34 Horticulture involving the growing of olives should be located at least:
- (a) 500 metres from:
 - (i) a national park
 - (ii) a conservation park

- (iii) a wilderness protection area
 - (iv) the edge of a substantially intact stratum of native vegetation greater than 5 hectares in area
- (b) 50 metres from the edge of stands of native vegetation 5 hectares or less in area.
- 35 Horticulture involving the growing of olives should have at least one locally indigenous tree that will grow to a height of at least 7 metres sited at least every 100 metres around the perimeter of the orchard.

Soil Conservation

- 36 Development should not have an adverse impact on the natural, physical, chemical or biological quality and characteristics of soil resources.
- 37 Development should be designed and sited to prevent erosion.
- 38 Development should take place in a manner that will minimise alteration to the existing landform.
- 39 Development should minimise the loss of soil from a site through soil erosion or siltation during the construction phase of any development and following the commencement of an activity.

Open Space and Recreation

OBJECTIVES

- 1 The creation of a network of linked parks, reserves, recreational trails and recreation areas at regional and local levels.
- 2 Pleasant, functional and accessible open spaces providing a range of physical environments.
- 3 A wide range of settings for active and passive recreational opportunities.
- 4 The provision of open space in the following hierarchy:
 - State
 - Regional
 - District
 - Neighbourhood
 - Local.
- 5 The conservation and preservation of flora, fauna and scenery, and the creation of recreation areas by establishing parks and reserves.
- 6 Linkage of parks with the Heysen/Riesling Trail and walking and riding tracks to provide a connection between Cape Jervis, south of Adelaide, and the northern Flinders.
- 7 Development adjacent to recreational trails including the Heysen, Mawson, Kidman, Rattler and Riesling Trails that is located and designed to enhance the scenic and recreational values of the trails.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Urban development should include public open space and recreation areas.
- 2 Public open space and recreation areas should be of a size, dimension and location that:
 - (a) facilitate a range of formal and informal recreation activities
 - (b) provide for the movement of pedestrians and cyclists
 - (c) incorporate existing vegetation and natural features, watercourses, wildlife habitat and other sites of natural or cultural value
 - (d) link habitats, wildlife corridors, public open spaces and existing recreation facilities
 - (e) enable effective stormwater management
 - (f) provides for the planting and retention of large trees and vegetation.
- 3 Open space should be designed to incorporate:
 - (a) pedestrian, cycle linkages to other open spaces, centres, schools and public transport nodes
 - (b) park furniture, shaded areas and resting places to enhance pedestrian comfort
 - (c) safe crossing points where pedestrian routes intersect the road network

- (d) easily identified access points
 - (e) frontage to abutting public roads to optimise pedestrian access and visibility
 - (f) re-use of stormwater for irrigation purposes
 - (g) recreational trails where appropriate.
- 4 Where practical, access points to regional parks should be located close to public transport.
- 5 District level parks should be at least 3 hectares in size, and provided within 2 kilometres of all households that they serve.
- 6 Neighbourhood parks should be at least 0.5 hectares and generally closer to 1 hectare in size, and provided within 500 metres of households that they serve.
- 7 Local parks should be:
- (a) a minimum of 0.2 hectares in size
 - (b) centrally located within a residential area, close to schools, shops and generally within 300 metres of households that they serve.
- 8 No more than 20 per cent of land allocated as public open space should:
- (a) have a slope in excess of 1-in-4
 - (b) comprise creeks or other drainage areas.
- 9 Signage should be provided at entrances to and within public open space to provide clear orientation to major points of interest such as the location of public toilets, telephones, safe routes and park activities.
- 10 Buildings in open space, including structures and associated car parking areas, should be designed, located and of a scale that is unobtrusive and does not detract from the desired open space character.
- 11 Development in open space should:
- (a) be clustered where practical to ensure that the majority of the site remains open
 - (b) where practical, be developed for multi-purpose use
 - (c) be constructed to minimise the extent of hard paved areas.
- 12 Open spaces and recreation areas should be located and designed to maximise safety and security by:
- (a) ensuring that within urban areas, their edges are overlooked by housing, commercial or other development that can provide effective informal surveillance
 - (b) ensuring fenced parks and playgrounds have more than one entrance or exit when fenced
 - (c) locating play equipment where it can be informally observed by nearby residents and users during times of use
 - (d) clearly defining the perimeters of play areas
 - (e) providing lighting around facilities such as toilets, telephones, seating, litter bins, bike storage and car parks
 - (f) focusing pedestrian and bicycle movement after dark along clearly defined, adequately lit routes with observable entries and exits.

- 13 Landscaping associated with open space and recreation areas should:
- (a) not compromise the drainage function of any drainage channel
 - (b) provide shade and windbreaks along cyclist and pedestrian routes, around picnic and barbecue areas and seating, and in car parking areas
 - (c) maximise opportunities for informal surveillance throughout the park
 - (d) enhance the visual amenity of the area and complement existing buildings
 - (e) be designed and selected to minimise maintenance costs
 - (f) provide habitat for local fauna.
- 14 Development of recreational activities in areas not zoned for that purpose should be compatible with surrounding activities.
- 15 Recreation facilities development should be sited and designed to minimise negative impacts on the amenity of the locality.
- 16 Development adjacent to recreational trails and trail corridors, including those depicted on *Overlay Maps – Transport*, should:
- (a) be located away from the trail and ensure buildings are set back at least ten metres from the common boundary with a trail corridor
 - (b) not significantly diminish, obstruct or dominate the scenic views and vistas from the recreational trail
 - (c) retain existing vegetation and incorporate new plantings that provide screening and enhance landscape character
 - (d) not obstruct or detract from the recreational trail quality or public enjoyment of the recreation trail
 - (e) accord with the guidelines contained in [Table CGV/7 – Guidelines for Development Near Trails](#).

Orderly and Sustainable Development

OBJECTIVES

- 1 Orderly and economical development that creates a safe, convenient and pleasant environment in which to live.
- 2 Development occurring in an orderly sequence and in a compact form to enable the efficient provision of public services and facilities.
- 3 Development that does not jeopardise the continuance of adjoining authorised land uses.
- 4 Development that does not prejudice the achievement of the provisions of the Development Plan.
- 5 Development abutting adjoining Council areas having regard to the policies of that Council's Development Plan.
- 6 Urban development located only in zones designated for such development.
- 7 Urban development contained within existing townships and settlements and located only in zones designated for such development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not prejudice the development of a zone for its intended purpose.
- 2 Land outside of townships and settlements should primarily be used for primary production and conservation purposes.
- 3 The economic base of the region should be expanded in a sustainable manner.
- 4 Urban development should form a compact extension to an existing built-up area.
- 5 Ribbon development should not occur along arterial roads shown in *Overlay Maps - Transport*.
- 6 Development should be located and staged to achieve the economical provision of public services and infrastructure, and to maximise the use of existing services and infrastructure.
- 7 Where development is expected to impact upon the existing infrastructure network (including the transport network), development should demonstrate how the undue effect will be addressed.
- 8 Vacant or underutilised land should be developed in an efficient and co-ordinated manner to not prejudice the orderly development of adjacent land.

Renewable Energy Facilities

OBJECTIVES

- 1 Development of renewable energy facilities that benefit the environment, the community and the state.
- 2 The development of renewable energy facilities, such as wind farms and ancillary development, in areas that provide opportunity to harvest natural resources for the efficient generation of electricity.
- 3 Location, siting, design and operation of renewable energy facilities to avoid or minimise adverse impacts on the natural environment and other land uses.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Renewable energy facilities, including wind farms and ancillary development, should be:
 - (a) located in areas that maximize efficient generation and supply of electricity; and
 - (b) designed and sited so as not to impact on the safety of water or air transport and the operation of ports, airfields and designated landing strips.

Wind Farms and Ancillary Development

- 2 The visual impacts of wind farms and ancillary development (such as substations, maintenance sheds, access roads and wind monitoring masts) should be managed through:
 - (a) wind turbine generators being:
 - (i) setback at least 1000 metres from non-associated (non-stakeholder) dwellings and tourist accommodation
 - (ii) setback at least 2000 metres from defined and zoned township, settlement or urban areas (including deferred urban areas)
 - (iii) regularly spaced
 - (iv) uniform in colour, size and shape and blade rotation direction
 - (v) mounted on tubular towers (as opposed to lattice towers)
 - (b) provision of vegetated buffers around substations, maintenance sheds and other ancillary structures.
- 3 Wind farms and ancillary development should avoid or minimise the following impacts on nearby property owners / occupiers, road users and wildlife:
 - (a) shadowing, flickering, reflection or glint
 - (b) excessive noise
 - (c) interference with television and radio signals and geographic positioning systems
 - (d) interference with low altitude aircraft movements associated with agriculture
 - (e) modification of vegetation, soils and habitats striking of birds and bats.

- 4 Wind turbine generators should be setback from dwellings, tourist accommodation and frequently visited public places (such as viewing platforms) a distance that will ensure that failure does not present an unacceptable risk to safety.

Residential Development

OBJECTIVES

- 1 Safe, convenient, sustainable and healthy living environments that meet the full range of needs and preferences of a diverse community.
- 2 A diverse range of dwelling types and sizes available to cater for changing demographics, particularly smaller household sizes and supported accommodation.
- 3 Medium and high density residential development in areas close to activity centres, public and community transport and public open spaces.
- 4 The revitalisation of residential areas to support the viability of community services and infrastructure.
- 5 Affordable housing, student housing and housing for aged persons provided in appropriate locations.
- 6 Increased affordable housing opportunities through land division and the conversion of buildings to a residential use.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Residential allotments and sites should maximise solar orientation and have the area and dimensions to accommodate:
 - (a) the siting and construction of a dwelling and associated ancillary outbuildings
 - (b) the provision of landscaping and private open space
 - (c) convenient and safe vehicle, pedestrian and cycling access and parking
 - (d) water sensitive design systems that enable the storage, treatment and re-use of stormwater.
- 2 Residential allotments should be of varying sizes to encourage housing diversity.

Design and Appearance

- 3 Dwellings and accommodation at ground floor level should contribute to the character of the locality and create active, safe streets by incorporating one or more of the following:
 - (a) front landscaping or terraces that contribute to the spatial and visual structure of the street while maintaining adequate privacy for occupants
 - (b) individual entries for ground floor accommodation
 - (c) opportunities to overlook adjacent public space.
- 4 Residential development should be designed to ensure living rooms have an external outlook.
- 5 Entries to dwellings or foyer areas should be clearly visible from the street, or access ways that they face to enable visitors to easily identify individual dwellings.

Garages, Carports and Outbuildings

- 6 Garages, carports and residential outbuildings should have a roof form and pitch, building materials and detailing that complements the associated dwelling.

- 7 Residential outbuildings, including garages and sheds, should not be constructed unless in association with an existing dwelling.
- 8 Caravans or tents should not be used for residential purposes (except in public caravan parks or public camping grounds) although the use of a caravan for residential purposes may take place in either of the following circumstances, where a dwelling:
 - (a) exists on the allotment and where the caravan:
 - (i) is under occupation directly associated with that dwelling
 - (ii) is in good repair and condition
 - (iii) is connected to a lawfully approved septic system (or a soakage system in the case of sullage disposal only)
 - (b) does not exist on the allotment and where:
 - (i) construction of an approved permanent dwelling on the land is proceeding
 - (ii) the residential use will be for a period not exceeding six months.

Site Coverage

- 9 Site coverage should ensure sufficient space is provided for:
 - (a) pedestrian and vehicle access and vehicle parking
 - (b) domestic storage
 - (c) outdoor clothes drying
 - (d) rainwater tanks
 - (e) private open space and landscaping
 - (f) convenient storage of household waste and recycling receptacles.

Private Open Space

- 10 Private open space (available for exclusive use by residents of each dwelling) should be provided for each dwelling and should be sited and designed:
 - (a) to be accessed directly from a habitable room of the dwelling
 - (b) to be generally at ground level (other than for residential flat buildings) and to the side or rear of a dwelling and screened for privacy
 - (c) to take advantage of, but not adversely affect, natural features of the site
 - (d) to minimise overlooking from adjacent buildings
 - (e) to achieve separation from bedroom windows on adjacent sites
 - (f) to have a northerly aspect to provide for comfortable year-round use
 - (g) not to be significantly shaded during winter by the associated dwelling or adjacent development
 - (h) to be partly shaded in summer

- (i) to minimise noise or air quality impacts that may arise from traffic, industry or other business activities within the locality
 - (j) to have sufficient area and shape to be functional, taking into consideration the location of the dwelling, and the dimension and gradient of the site.
- 11 Private open space should not include driveways, effluent drainage areas, rubbish bin storage areas, sites for rainwater tanks and other utility areas, and common areas such as parking areas and communal open space.
- 12 Private open space at ground level should be designed to provide a consolidated area of deep soil (an area of natural ground which excludes areas where there is a structure underneath, pools and non-permeable paved areas) to:
- (a) assist with ease of drainage
 - (b) allow for effective deep planting
 - (c) reduce urban heat loading and improve micro-climatic conditions around sites and buildings.
- 13 Dwellings located above ground level should provide private open space in accordance with the following table:

Dwelling type	Minimum area of private open space
Studio (where there is no separate bedroom)	No minimum requirement
One bedroom dwelling	8 square metres
Two bedroom dwelling	11 square metres
Three + bedroom dwelling	15 square metres

- 14 Private open space located above ground level should have a minimum dimension of 2 metres and be directly accessible from a habitable room.
- 15 Private open space may be substituted for the equivalent area of communal open space where:
- (a) at least 50 per cent of the communal open space is visually screened from public areas of the development
 - (b) ground floor communal space is overlooked by habitable rooms to facilitate passive surveillance
 - (c) it contains landscaping and facilities that are functional, attractive and encourage recreational use.

Communal Open Space

- 16 Communal open space should be shared by more than one dwelling, not be publicly accessible and exclude:
- (a) private open space
 - (b) public rights of way
 - (c) private streets
 - (d) parking areas and driveways
 - (e) service and storage areas

- (f) narrow or inaccessible strips of land.
- 17 Communal open space should only be located on elevated gardens or roof tops where the area and overall design is useful for the recreation and amenity needs of residents and where it is designed to:
- (a) address acoustic, safety, security and wind effects
 - (b) minimise overlooking into habitable room windows or onto the useable private open space of other dwellings
 - (c) facilitate landscaping and food production
 - (d) be integrated into the overall facade and composition of buildings.

Visual Privacy

- 18 Direct overlooking into habitable room windows and onto the useable private open spaces of other dwellings from windows, especially from upper-level habitable rooms and external balconies, terraces and decks, should be minimised through the adoption of one or more of the following:
- (a) building layout
 - (b) location and design of windows and balconies
 - (c) screening devices
 - (d) landscaping
 - (e) adequate separation.
- 19 Upper level windows, balconies, terraces and decks that overlook habitable room windows or private open space of dwellings should maximise visual privacy through the use of measures such as sill heights of not less than 1.5 metres or permanent screens having a height of 1.5 metres above finished floor level.

Noise

- 20 Noise generated by fixed noise sources such as air conditioning units and pool pumps should be located, designed and attenuated to avoid nuisance to adjoining landowners and occupiers.
- 21 External noise and artificial light intrusion into bedrooms should be minimised by separating or shielding these rooms from:
- (a) active communal recreation areas, parking areas and vehicle access ways
 - (b) service equipment areas and fixed noise sources on the same or adjacent sites.

Site Facilities and Storage

- 22 Site facilities for group dwellings, multiple dwellings and residential flat buildings should include:
- (a) mail box facilities sited close to the major pedestrian entrance to the site
 - (b) bicycle parking for residents and visitors (for developments containing more than 6 dwellings)
 - (c) household waste and recyclable material storage areas away from dwellings.

Affordable Housing

- 23 Affordable housing should be well integrated and complementary in design and appearance to other dwellings within the development.

Dependent Accommodation

- 24 Dependent accommodation (i.e. accommodation where the living unit is connected to the same services of the main dwelling) should be developed on the same allotment as the existing dwelling only where:
- (a) the site is of adequate size and configuration and the minimum total site is 600 square metres
 - (b) the accommodation has a small floor area relative to the associated main dwelling(s)
 - (c) adequate outdoor space of a minimum of 80 square metres is provided for the use of all occupants
 - (d) adequate on-site car parking is provided by one additional car parking space being provided on the site
 - (e) the building is designed to, and comprises colours and materials that will, complement the associated dwelling.

Swimming Pools and Outdoor Spas

- 25 Swimming pools, outdoor spas and associated ancillary equipment and structures should be sited to protect the privacy and amenity of adjoining residential land.

Short-Term Workers Accommodation

OBJECTIVES

- 1 A range of appropriately located accommodation types supplied for seasonal and short-term workers.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Accommodation intended to be occupied on a temporary basis by persons engaged in employment relating to the production or processing of primary produce including minerals should be located within existing townships or within primary production areas, where it directly supports and is ancillary to legitimate primary production activities or related industries.
- 2 Buildings used for short-term workers accommodation should:
 - (a) be designed and constructed to enhance their appearance
 - (b) provide for the addition of a carport, verandas or pergolas as an integral part of the building
 - (c) where located outside of townships, not jeopardise the continuation of primary production on adjoining land or elsewhere in the zone
 - (d) be supplied with service infrastructure such as power, water, and effluent disposal sufficient to satisfy the living requirements of workers.
- 3 Short-term workers accommodation should not be adapted or used for permanent occupancy.
- 4 A common amenities building should be provided for temporary forms of short-term accommodation such as caravan and camping sites.

Siting and Visibility

OBJECTIVES

- 1 Protection of scenically attractive areas, particularly natural and rural landscapes.
- 2 Protection and conservation of the scenic landscape of the Clare and Gilbert Valleys as visible from the main roads and other scenic routes and recreational trails including the Heysen, Riesling, Mawson, Kidman and Rattler Trails.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be sited and designed to minimise its visual impact on:
 - (a) the natural, rural or heritage character of the area
 - (b) areas of high visual or scenic value, particularly rural areas
 - (c) views from public reserves, tourist routes and walking trails including the Heysen, Mawson and Kidman Trails, and the Rattler and Riesling Trails depicted on Overlay Maps – Transport in accordance with [Table CGV/7 – Guidelines for Development Near Trails](#).
- 2 Buildings should be sited in unobtrusive locations and, in particular, should:
 - (a) be grouped together
 - (b) where possible be located in such a way as to be screened by existing vegetation when viewed from public roads as shown on *Overlay Maps - Transport*.
- 3 Buildings outside of urban areas and in undulating landscapes should be sited in unobtrusive locations and in particular should be:
 - (a) sited below the ridgeline
 - (b) sited within valleys or behind spurs
 - (c) sited in such a way as to not be visible against the skyline when viewed from public roads as shown on *Overlay Maps - Transport*
 - (d) set well back from public roads, particularly when the allotment is on the high side of the road as shown on *Overlay Map - Transport*.
- 4 Buildings and structures should be designed to minimise their visual impact in the landscape, in particular:
 - (a) the profile of buildings should be low and the roof lines should complement the natural form of the land
 - (b) the mass of buildings should be minimised by variations in wall and roof lines and by floor plans which complement the contours of the land
 - (c) large eaves, verandas and pergolas should be incorporated into designs so as to create shadowed areas that reduce the bulky appearance of buildings.
- 5 The nature of external surface materials of buildings should not detract from the visual character and amenity of the landscape.

- 6 The number of buildings and structures on land outside of urban areas should be limited to that necessary for the efficient management of the land.
- 7 Driveways and access tracks should be designed and surfaced to blend sympathetically with the landscape and to minimise interference with natural vegetation and landforms.
- 8 Development should be screened through the establishment of landscaping using locally indigenous plant species:
 - (a) around buildings and earthworks to provide a visual screen as well as shade in summer, and protection from prevailing winds
 - (b) along allotment boundaries to provide permanent screening of buildings and structures when viewed from adjoining properties and public roads
 - (c) along the verges of new roads and access tracks to provide screening and minimise erosion.

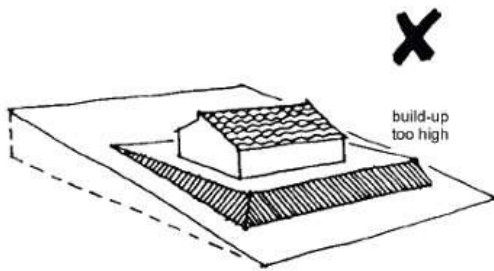
Sloping Land

OBJECTIVES

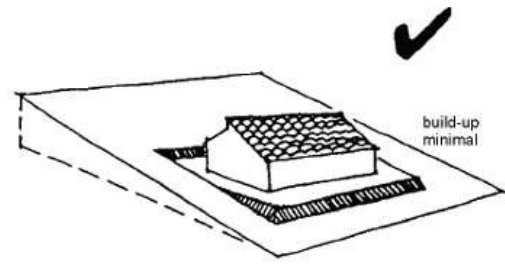
- 1 Development on sloping land designed to minimise environmental and visual impacts and protect soil stability and water quality.

PRINCIPLES OF DEVELOPMENT CONTROL

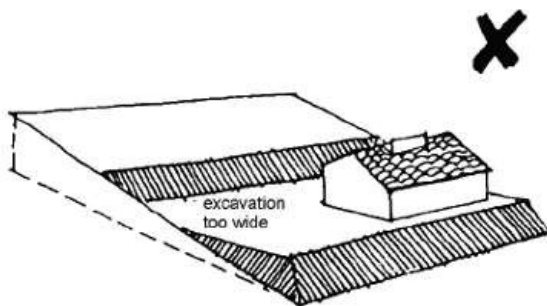
- 1 Development and associated driveways and access tracks should be sited and designed to integrate with the natural topography of the land and minimise the need for earthworks.
- 2 Development and associated driveways and access tracks, including related earthworks, should be sited, designed and undertaken in a manner that:
 - (a) minimises their visual impact
 - (b) reduces the bulk of the buildings and structures
 - (c) minimises the extent of cut and/or fill
 - (d) minimises the need for, and the height of, retaining walls
 - (e) does not cause or contribute to instability of any embankment or cutting
 - (f) avoids the silting of watercourses
 - (g) protects development and its surrounds from erosion caused by water runoff.
- 3 Driveways and access tracks across sloping land should be accessible and have a safe, all-weather trafficable surface.
- 4 Development sites should not be at risk of landslip.
- 5 Development on steep land should include site drainage systems to minimise erosion and avoid adverse impacts on slope stability.
- 6 Steep sloping sites in un-sewered areas should not be developed unless the physical characteristics of the allotments enable the proper siting and operation of an effluent drainage field suitable for the development intended.
- 7 The cutting and/or filling of land outside townships and urban areas should:
 - (a) be kept to a minimum and be limited to a maximum depth or height no greater than 1.5 metres so as to preserve the natural form of the land and the native vegetation
 - (b) only be undertaken in order to reduce the visual impact of buildings, including structures, or in order to construct water storage facilities for use on the allotment
 - (c) only be undertaken if the resultant slope can be stabilised to prevent erosion
 - (d) result in stable scree slopes which are covered with top soil and landscaped so as to preserve and enhance the natural character or assist in the re-establishment of the natural character of the area.



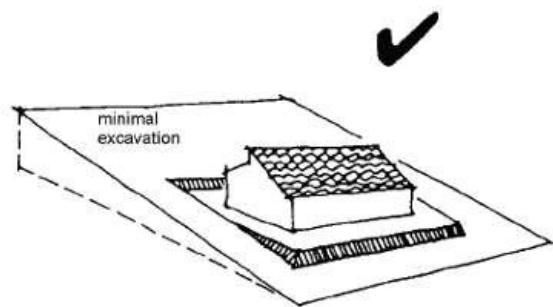
Inappropriate:
Buildings and structures should not be raised too high off the natural ground level. It will stand out unnecessarily.



Appropriate:
Buildings and structures should be designed to follow the natural contours of the land as closely as possible. Cut and fill should be evened out.



Inappropriate:
Do not excavate more than is required.



Appropriate:
Do excavate to maintain adequate access around building. Keep the area and depth of excavation to a minimum.

Supported Accommodation, Housing for Aged Persons and People with Disabilities

OBJECTIVES

- 1 Provision of well designed supported accommodation for community groups with special needs in appropriate locations.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Supported accommodation (including nursing homes, hostels, retirement homes, retirement villages, residential care facilities and special accommodation houses) and housing for aged persons and people with disabilities should be:
 - (a) located within walking distance of essential facilities such as convenience shops, health and community services and public and community transport.
 - (b) located where on-site movement of residents is not unduly restricted by the slope of the land
 - (c) sited and designed to promote interaction with other sections of the community, without compromising privacy
 - (d) of a scale and appearance that reflects the residential style and character of the locality
 - (e) provided with public and private open space and landscaping.
- 2 Supported accommodation and housing for aged persons and people with disabilities should be designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents that include:
 - (a) internal communal areas and private spaces
 - (b) usable recreation areas for residents and visitors, including visiting children
 - (c) spaces to accommodate social needs and activities, including social gatherings, internet use, gardening, keeping pets, preparing meals and doing personal laundry
 - (d) storage areas for items such as boats, trailers ,caravans and specialised equipment
 - (e) mail boxes and waste disposal areas within easy walking distance of all units.
- 3 Access roads within supported accommodation and development incorporating, housing for aged persons and people with disabilities should:
 - (a) not have steep gradients
 - (b) provide convenient access for emergency vehicles, visitors and residents
 - (c) provide space for manoeuvring cars and community buses
 - (d) include kerb ramps at pedestrian crossing points
 - (e) have level surface passenger loading areas.

- 4 Car parking associated with supported accommodation and housing for aged persons and people with disabilities should:
 - (a) be conveniently located on site within easy walking distance of resident units
 - (b) be adequate for residents, service providers and visitors
 - (c) include covered and secure parking for residents' vehicles
 - (d) have slip-resistant surfaces with gradients not steeper than 1-in-40
 - (e) allow ease of vehicle manoeuvrability
 - (f) be designed to allow the full opening of all vehicle doors
 - (g) minimise the impact of car parking on adjacent residences owing to visual intrusion and noise
 - (h) be appropriately lit to enable safe and easy movement to and from vehicles.
- 5 Supported accommodation should include:
 - (a) ground-level access or lifted access to all units
 - (b) an interesting and attractive outlook from units and communal areas for all residents including those in wheelchairs
 - (c) adequate living space allowing for the use of wheelchairs with an attendant
 - (d) storage for items such as small electric powered vehicles and other personal items, including facilities for recharging small electric powered vehicles.
- 6 Car parking associated with supported accommodation should:
 - (a) have adequate identifiable provisions for staff
 - (b) include private parking spaces for independent living units
 - (c) include separate and appropriately marked places for people with disabilities and spaces for small electrically powered vehicles.

Telecommunications Facilities

OBJECTIVES

- 1 Telecommunications facilities provided to deliver communication services to the community.
- 2 Telecommunications facilities sited and designed to minimise visual impact on the amenity of the local environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Telecommunications facilities should:
 - (a) be located in a coordinated manner to deliver communication services efficiently
 - (b) use materials and finishes that minimise visual impact
 - (c) have antennae located as close as practical to the support structure
 - (d) be located primarily in industrial, commercial, business, office, centre and rural zones
 - (e) where technically feasible, be co-located with other telecommunications facilities
 - (f) incorporate landscaping to screen the development, particularly equipment shelters and huts
 - (g) be designed and sited to minimise the visual impact on the character and amenity of the local environment, in particular visually prominent areas, main focal points and significant vistas.
- 2 Telecommunications facilities in areas of high visitation and community use should use innovative design techniques (eg sculpture and other artworks) where possible and where the resulting design would positively contribute to the character of the area.
- 3 Telecommunications facilities should be located in residential zones only if sited and designed to minimise visual impact by:
 - (a) using existing buildings and vegetation for screening
 - (b) incorporating the facility within an existing structure that may serve another purpose
 - (c) taking into account the size, scale, context and characteristics of existing structures, landforms and vegetation so as to complement the local environment.
- 4 Telecommunications facilities should not have a direct or significant effect on the amenity, character and settings of Historic Conservation Areas, local heritage places, State heritage places or State Heritage Areas.

Tourism Development

OBJECTIVES

- 1 Environmentally sustainable and innovative tourism development.
- 2 Tourism development that assists in the conservation, interpretation and public appreciation of significant natural and cultural features including State or local heritage places.
- 3 Tourism development that sustains or enhances the local character, visual amenity and appeal of the area.
- 4 Tourism development that protects areas of exceptional natural value, allows for appropriate levels of visitation, and demonstrates an environmental analysis and design response which enhances environmental values.
- 5 Tourism development in rural areas that does not adversely affect the use of agricultural land for primary production.
- 6 Tourism development that contributes to local communities by adding vitality to neighbouring townships, regions and settlements.
- 7 Increased opportunities for visitors to stay overnight.
- 8 Ensure new development, together with associated bushfire management minimise the threat and impact of bushfires on life and property while protecting the environment.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Tourism development should have a functional or locational link with its natural, cultural or historical setting.
- 2 Tourism development and any associated activities should not damage or degrade any significant natural and cultural features.
- 3 Tourism development should ensure that its scale, form and location will not overwhelm, over commercialise or detract from the intrinsic natural values of the land on which it is sited or the character of its locality.
- 4 Tourism development should, where appropriate, add to the range of services and accommodation types available in an area.
- 5 Any upgrading of infrastructure to serve tourism development should be consistent with the landscape and the intrinsic natural values of the land and the basis of its appeal.
- 6 Major tourism developments should generally be located within designated areas and existing townships, towns or cities.
- 7 Development of a hotel, motel or related tourist accommodation facility should only be undertaken where:
 - (a) the total area of development, including outbuildings but excluding driveways and carparking areas, would not exceed 50 per cent of the site
 - (b) the development is limited to one storey in height where it is to be located within 8 metres of the boundary of the land on which it is sited.

Tourism Development in Association with Dwelling(s)

- 8 Tourist facilities developed on the site of a dwelling should not detrimentally affect residential amenity.
- 9 Car parking for tourist accommodation associated with a dwelling should be provided at the rate of one space for each guest room or suite of rooms, and ensure that:
 - (a) parking areas are attractively developed and landscaped, or screen fenced, and do not dominate the street frontage
 - (b) the bedrooms of residential neighbours are suitably shielded from noise and headlight glare associated with guest vehicle movements
 - (c) a domestic character is retained through the scale and appearance of landscaping and paving materials that provide a suitable all-weather surface.

Tourism Development Outside Townships

- 10 Tourist developments should demonstrate excellence in design to minimise potential impacts or intrusion on primary production activities and on areas of high conservation, landscape and cultural value.
- 11 Tourism developments in rural areas should be sited and designed to minimise impacts and have a functional or locational link with either of the following:
 - (a) the surrounding agricultural production or processing
 - (b) the natural, cultural or historical setting of the area.
- 12 Tourism developments in rural areas should primarily be developed in association with one or more of the following:
 - (a) agricultural, horticultural, viticultural or winery development
 - (b) heritage places and areas
 - (c) public open space and reserves
 - (d) walking and cycling trails
 - (e) interpretive infrastructure and signs.
- 13 Where appropriate, tourism developments in areas outside townships should:
 - (a) adapt and upgrade existing buildings of heritage value
 - (b) seek to improve conditions in disturbed or degraded areas on the site.
- 14 Advertisements associated with tourism developments should:
 - (a) not exceed 0.5 square metres in area for each display
 - (b) be limited to no more than 2 per site
 - (c) be located on the same site as the tourist development
 - (d) not be internally illuminated.

- 15 Tourism development in rural areas should occur only where it:
 - (a) incorporates a separation distance or buffers to avoid conflict with existing rural industries or agriculture or otherwise is designed to overcome the potential impacts associated with the adjoining land use (such as noise, dust, spray drift, odour and traffic)
 - (b) will not give rise to demands for infrastructure and services, especially on public lands, that are inappropriate to the primary purpose of the zone and/or policy area.
- 16 Tourism development, particularly in remote areas should be designed to minimise energy and water demands and incorporate alternative, sustainable technologies that use renewable energy sources and/or treat and re-use stormwater and wastewater to minimise reliance on mains services.
- 17 Natural features, signs and walkways should be used to manage and minimise potential risks of visitors damaging areas of cultural or natural significance, fragile areas, and areas of highest environmental value.
- 18 The visual and ambient impact of vehicles should be minimised by placing roadways and parking areas in unobtrusive locations.

Residential Parks and Caravan and Tourist Parks

- 19 Residential parks which are principally designed for residents should be located in areas with access to employment, shops, schools, public transport and community and recreation facilities.
- 20 Residential parks and Caravan and Tourist parks should be designed to:
 - (a) minimise potential conflicts between long-term residents and short-term tourists
 - (b) protect the privacy and amenity of occupants through landscaping and fencing
 - (c) minimise traffic speeds and provide a safe environment for pedestrians
 - (d) include centrally located recreation areas
 - (e) include extensive landscaping that enhances the appearance of the locality, with a landscape buffer around the perimeter of the site
 - (f) ensure that adequate amenity blocks (showers, toilets, laundry and kitchen facilities) and service facilities (eg public telephones, kiosks and restaurants) are provided to serve the population to be accommodated by the facility.
- 21 Visitor car parking should be provided at the rate of:
 - (a) one space per 10 sites to be used for accommodation for parks with less than 100 sites
 - (b) one space per 15 sites to be used for accommodation for parks with greater than 100 sites.
- 22 On-site visitor parking in Caravan and Tourist parks should:
 - (a) be designed and located to be accessible to visitors at all times
 - (b) not dominate the internal site layout
 - (c) be clearly defined as visitor spaces and not specifically associated with any particular accommodation site.
- 23 Long-term occupation of Caravan and Tourist parks should not lead to the displacement of existing tourist accommodation, particularly in important tourist destinations, such as in coastal or riverside locations.

- 24 A minimum of 12.5 per cent of a park should comprise communal open space, landscaped areas and recreation areas.
- 25 Landscaping should comprise locally indigenous species that are appropriate to the development and the subject land, and facilitate amenity and environmental sustainability.

Transportation and Access

OBJECTIVES

- 1 A comprehensive, integrated, affordable and efficient air, rail, sea, road, cycle and pedestrian transport system that will:
 - (a) provide equitable access to a range of public, community and private transport services for all people
 - (b) ensure a high level of safety
 - (c) effectively support the economic development of the State
 - (d) have minimal negative environmental and social impacts
 - (e) maintain options for the introduction of suitable new transport technologies.
- 2 Development that:
 - (a) provides safe and efficient movement for all transport modes
 - (b) ensures access for vehicles including emergency services, public infrastructure maintenance and commercial vehicles
 - (c) provides off-street parking
 - (d) is appropriately located so that it supports and makes best use of existing transport facilities and networks
 - (e) provides convenient and safe access to public transport stops.
- 3 A road hierarchy that promotes safe and efficient transportation in an integrated manner throughout the State.
- 4 Provision of safe, pleasant, accessible, integrated and permeable pedestrian and cycling networks that are connected to the public transport network.
- 5 Safe and convenient freight and people movement throughout the State.
- 6 The provision of vehicle-free areas, particularly in the business centre of the town of Clare.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Land uses arranged to support the efficient provision of sustainable transport networks and encourage their use.

Movement Systems

- 2 Development should be integrated with existing transport networks, particularly major rail, road and public transport corridors as shown on *Location Maps* and *Overlay Maps - Transport*, and designed to minimise its potential impact on the functional performance of the transport network.

- 3 Transport corridors should be sited and designed so as to not unreasonably interfere with the health and amenity of adjacent sensitive land uses.
- 4 Roads should be sited and designed to blend with the landscape and be in sympathy with the terrain.
- 5 Land uses that generate large numbers of visitors such as shopping centres, places of employment, schools, hospitals and medium to high density residential uses should be located so that they can be serviced by the public transport network and encourage walking and cycling.
- 6 Development generating high levels of traffic, such as schools, shopping centres and other retail areas, and entertainment and sporting facilities should incorporate passenger pick-up and set-down areas. The design of such areas should minimise interference to existing traffic and give priority to pedestrians, cyclists and public and community transport users.
- 7 The location and design of public and community transport set-down and pick-up points should maximise safety and minimise the isolation and vulnerability of users.
- 8 Development should provide safe and convenient access for all anticipated modes of transport.
- 9 Development at intersections, pedestrian and cycle crossings, and crossovers to allotments should maintain or enhance sightlines for motorists, cyclists and pedestrians to ensure safety for all road users and pedestrians.
- 10 Driveway crossovers affecting pedestrian footpaths should maintain the level and surface colour of the footpath.
- 11 Driveway crossovers should be separated and the number minimised to optimise the provision of on-street visitor parking (where on-street parking is appropriate).
- 12 Development should be designed to discourage commercial and industrial vehicle movements through residential streets and adjacent other sensitive land uses.
- 13 Industrial/commercial vehicle movements should be separated from passenger vehicle car parking areas.
- 14 Development should provide for the on-site loading, unloading and turning of all traffic likely to be generated, **with all vehicles entering and exiting the site in a forward direction.**

Cycling and Walking

- 15 Development should ensure that a permeable street and path network is established that encourages walking and cycling through the provision of safe, convenient and attractive routes with connections to adjoining streets, paths, open spaces, schools, pedestrian crossing points on arterial roads, public and community transport stops and activity centres.
- 16 Development should provide access, and accommodate multiple route options, for pedestrians and cyclists by enhancing and integrating with open space networks, recreational trails, parks, reserves, and sport and recreation areas.
- 17 New developments should give priority to and not compromise existing designated bicycle routes.
- 18 Where development coincides with, intersects or divides a proposed bicycle route or corridor, development should incorporate through-access for cyclists.
- 19 Development should encourage and facilitate cycling as a mode of transport by incorporating end-of-journey facilities including:
 - (a) showers, changing facilities and secure lockers
 - (b) signage indicating the location of bicycle facilities.

- 20 On-site secure bicycle parking facilities should be:
- (a) located in a prominent place
 - (b) located at ground floor level
 - (c) located undercover
 - (d) located where surveillance is possible
 - (e) well lit and well signed
 - (f) close to well used entrances
 - (g) accessible by cycling along a safe, well lit route.
- 21 Pedestrian and cycling facilities and networks should be designed and provided in accordance with relevant provisions of the *Australian Standards and Austroads Guides*.

Access

- 22 Development should have direct access from an all-weather public road.
- 23 Development should be provided with safe and convenient access which:
- (a) avoids unreasonable interference with the flow of traffic on adjoining roads
 - (b) provides appropriate separation distances from existing roads or level crossings
 - (c) accommodates the type and volume of traffic likely to be generated by the development or land use and minimises induced traffic through over-provision
 - (d) is sited and designed to minimise any adverse impacts on the occupants of and visitors to neighbouring properties.
- 24 Development should not restrict access to publicly owned land such as recreation areas.
- 25 The number of vehicle access points onto arterial roads shown on *Overlay Maps - Transport* should be minimised and, where possible, access points should be:
- (a) limited to local roads (including rear lane access)
 - (b) shared between developments.
- 26 Development with access from roads with existing or projected traffic volumes exceeding 6000 vehicles per day should be sited to avoid the need for vehicles to reverse onto or from the road.
- 27 Development with access from arterial roads or roads as shown on *Overlay Maps – Transport* should be sited to avoid the need for vehicles to reverse onto or from the road.
- 28 Structures such as canopies and balconies that encroach onto the footpath of an arterial road should not cause visual or physical obstruction to:
- (a) signalised intersections
 - (b) heavy vehicles
 - (c) street lighting
 - (d) overhead electricity lines

- (e) street trees
- (f) bus stops.

29 Driveways, access tracks and parking areas should be designed and constructed to:

- (a) follow the natural contours of the land
- (b) minimise excavation and/or fill
- (c) minimise the potential for erosion from surface runoff
- (d) avoid the removal of existing vegetation
- (e) be consistent with Australian Standard AS: 2890 - Parking facilities.

Access for People with Disabilities

- 30 Development should be sited and designed to provide convenient access for people with a disability.
- 31 Where appropriate and practical, development should provide for safe and convenient access to the coast and beaches for disabled persons.

Vehicle Parking

- 32 Development should provide off-street vehicle parking and specifically marked accessible car parking places to meet anticipated demand in accordance with [Table CGV/3 - Off Street Vehicle Parking Requirements](#).
- 33 Development should be consistent with Australian Standard AS: 2890 - Parking facilities.
- 34 Vehicle parking areas should be sited and designed to:
 - (a) facilitate safe and convenient pedestrian linkages to the development and areas of significant activity or interest in the vicinity of the development
 - (b) include safe pedestrian and bicycle linkages that complement the overall pedestrian and cycling network
 - (c) not inhibit safe and convenient traffic circulation
 - (d) result in minimal conflict between customer and service vehicles
 - (e) avoid the necessity to use public roads when moving from one part of a parking area to another
 - (f) minimise the number of vehicle access points onto public roads
 - (g) avoid the need for vehicles to reverse onto public roads
 - (h) where practical, provide the opportunity for shared use of car parking and integration of car parking areas with adjoining development to reduce the total extent of vehicle parking areas and the requirement for access points
 - (i) not dominate the character and appearance of a site when viewed from public roads and spaces
 - (j) provide landscaping that will shade and enhance the appearance of the vehicle parking areas
 - (k) include infrastructure such as underground cabling and connections to power infrastructure that will enable the recharging of electric vehicles.

- 35 Where vehicle parking areas are not obviously visible or navigated, signs indicating the location and availability of vehicle parking spaces associated with businesses should be displayed at locations readily visible to users.
- 36 Vehicle parking areas that are likely to be used during non-daylight hours should provide floodlit entry and exit points and site lighting directed and shaded in a manner that will not cause nuisance to adjacent properties or users of the parking area.
- 37 Vehicle parking areas should be sealed or paved to minimise dust and mud nuisance.
- 38 Vehicle parking areas should be line-marked to delineate parking bays, movement aisles and direction of traffic flow.
- 39 On-site visitor parking spaces should be sited and designed to:
 - (a) not dominate internal site layout
 - (b) be clearly defined as visitor spaces not specifically associated with any particular dwelling
 - (c) be accessible to visitors at all times.
- 40 Shared use of adjoining or adjacent carparking areas in conjunction with a use of land should only occur where the car parking areas concerned will be available for the duration of the use, or intended use, of land in respect of which car parking space is required.

Vehicle Parking for Residential Development

- 41 On-site vehicle parking should be provided having regard to:
 - (a) the number, nature and size of proposed dwellings
 - (b) proximity to centre facilities, public and community transport within walking distance of the dwellings
 - (c) the anticipated mobility and transport requirements of the likely occupants, particularly groups such as aged persons.
- 42 Vehicle parking areas servicing more than one dwelling should be of a size and location to:
 - (a) serve users, including pedestrians, cyclists and motorists, efficiently, conveniently and safely
 - (b) provide adequate space for vehicles, including emergency service vehicles, to manoeuvre between the street and the parking area
 - (c) reinforce or contribute to attractive streetscapes.
- 43 The provision of ground level vehicle parking areas, including garages and carports (other than where located along a rear lane access way), should:
 - (a) not face the primary street frontage
 - (b) be located to the rear of buildings with access from a shared internal laneway
 - (c) ensure vehicle park entries are recessed at least 0.5 metres behind the main face of the building.

Undercroft and Below Ground Garaging and Parking of Vehicles

- 44 Undercroft and below ground garaging of vehicles should only occur where envisaged in the relevant zone or policy area or precinct and ensure:

- (a) the overall height and bulk of the undercroft structure does not adversely impact on streetscape character of the locality or the amenity of adjacent properties
 - (b) vehicles can safely enter and exit from the site without compromising pedestrian or cyclist safety or causing conflict with other vehicles
 - (c) driveway gradients provide for safe and functional entry and exit
 - (d) driveways and adjacent walls, fencing and landscaping are designed to provide adequate sightlines from vehicles to pedestrians using the adjacent footpath
 - (e) openings to undercroft areas are integrated with the main building so as to minimise visual impact
 - (f) landscaping, mounding and/or fencing is incorporated to improve its presentation to the street and to adjacent properties
 - (g) the overall streetscape character of the locality is not adversely impaired (e.g. visual impact, building bulk, front setbacks relative to adjacent development)
 - (h) the height of the car park ceiling does not exceed 1 metre above the finished ground level.
- 45 In the case of undercroft and below ground car parks where cars are visible from public areas, adequate screening and landscaping should be provided.

Waste

OBJECTIVES

- 1 Development that, in order of priority, avoids the production of waste, minimises the production of waste, re-uses waste, recycles waste for re-use, treats waste and disposes of waste in an environmentally sound manner.
- 2 Development that includes the treatment and management of solid and liquid waste to prevent undesired impacts on the environment including, soil, plant and animal biodiversity, human health and the amenity of the locality.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be sited and designed to prevent or minimise the generation of waste (including wastewater) by applying the following waste management hierarchy in the order of priority as shown below:
 - (a) avoiding the production of waste
 - (b) minimising waste production
 - (c) reusing waste
 - (d) recycling waste
 - (e) recovering part of the waste for re-use
 - (f) treating waste to reduce the potentially degrading impacts
 - (g) disposing of waste in an environmentally sound manner.
- 2 The storage, treatment and disposal of waste materials from any development should be achieved without risk to health or impairment of the environment.
- 3 Development should avoid as far as practical, the discharge or deposit of waste (including wastewater) onto land or into any waters (including processes such as seepage, infiltration or carriage by wind, rain, sea spray, stormwater or by the rising of the water table).
- 4 Untreated waste should not be discharged to the environment, and in particular to any water body.
- 5 Development should include appropriately sized area to facilitate the storage of receptacles that will enable the efficient recycling of waste.
- 6 Development that involves the production and/or collection of waste and/or recyclable material should include designated collection and storage area(s) that are:
 - (a) screened and separated from adjoining areas
 - (b) located to avoid impacting on adjoining sensitive environments or land uses
 - (c) designed to ensure that wastes do not contaminate stormwater or enter the stormwater collection system
 - (d) located on an impervious sealed area graded to a collection point in order to minimise the movement of any solids or contamination of water

- (e) protected from wind and stormwater and sealed to prevent leakage and minimise the emission of odours
- (f) stored in such a manner that ensures that all waste is contained within the boundaries of the site until disposed of in an appropriate manner.

Wastewater

- 7 The disposal of wastewater to land should only occur where methods of wastewater reduction and reuse are unable to remove the need for its disposal, and where its application to the land is environmentally sustainable.
- 8 Wastewater lagoons should not be sited in any of the following areas:
 - (a) within land subject to a 1-in-100 year average return interval flood event
 - (b) within 50 metres of the top of the bank of a watercourse, bore or well
 - (c) where the base of the lagoon would be below any seasonal water table.
- 9 Artificial wetland systems for the storage of treated wastewater, such as wastewater lagoons, should be:
 - (a) sufficiently separated from adjoining sensitive uses to minimise potential adverse odour impacts
 - (b) sited and designed to minimise potential public health risks arising from the breeding of mosquitoes.
- 10 Residential development should not be undertaken within the following separation distances of existing or future wastewater lagoons:
 - (a) 350 metres within the township of Clare
 - (b) 150 metres within the townships of Riverton and Saddleworth.

Waste Treatment Systems

- 11 Development that produces any sewage or effluent should be connected to a waste treatment system that complies with (or can comply with) the relevant public and environmental health legislation applying to that type of system.
- 12 The methods for, and siting of, effluent and waste storage, treatment and disposal systems should minimise the potential for environmental harm and adverse impacts on:
 - (a) the quality of surface and groundwater resources
 - (b) public health
 - (c) the amenity of a locality
 - (d) sensitive land uses.
- 13 Waste treatment should only occur where the capacity of the treatment facility is sufficient to accommodate likely maximum daily demands including a contingency for unexpected high flows and breakdowns.
- 14 Any on-site wastewater treatment system / re-use system or effluent drainage field should be located within the allotment of the development that it will service.
- 15 A dedicated on-site effluent disposal area should not include any areas to be used for, or could be reasonably foreseen to be used for, private outdoor open space, driveways, car parking or outbuildings.

- 16 The spreading or discharging of treated liquid or solid waste onto the ground should only occur where the disposal area consists of soil and vegetation that has the capacity to store and use the waste without contaminating soil or surface or ground water resources or damaging crops.
- 17 Stock slaughter works, poultry processors, saleyards, piggeries, cattle feedlots, milking sheds, milk processing works, fish processing works, wineries, distilleries, tanneries and fellmongeries, composting works, waste or recycling depots and concrete batching works should have a wastewater management system that is designed so as not to discharge wastes generated by the premises:
 - (a) into any waters
 - (b) onto land in a place where it is reasonably likely to enter any waters by processes such as:
 - (i) seepage
 - (ii) infiltration
 - (iii) carriage by wind, rain, sea spray, or stormwater
 - (iv) the rising of the watertable.
- 18 Winery waste management systems should be designed to ensure:
 - (a) surface runoff does not occur from the wastewater irrigation area at any time
 - (b) wastewater is not irrigated onto waterlogged areas, land within 50 metres of a creek, or swamp or domestic or stock water bore, or land subject to flooding, steeply sloping land, or rocky or highly permeable soil overlaying an unconfined aquifer
 - (c) wastewater is not irrigated over an area which is within 50 metres of any residence on neighbouring land or 10 metres of any type of publicly owned land
 - (d) wastewater is released using low trajectory low pressure sprinklers, drip irrigators or agricultural pipe, and is not sprayed more than 1.5 metres into the air or in fine droplets if there is a potential for the spread of diseases from the wastewater
 - (e) stormwater runoff from areas which are contaminated with grape or grape products is drained to winery waste management systems during vintage periods
 - (f) stormwater from roofs and clean hard paved surfaces is diverted away from winery waste management systems and disposed of in an environmentally sound manner or used for productive purposes.

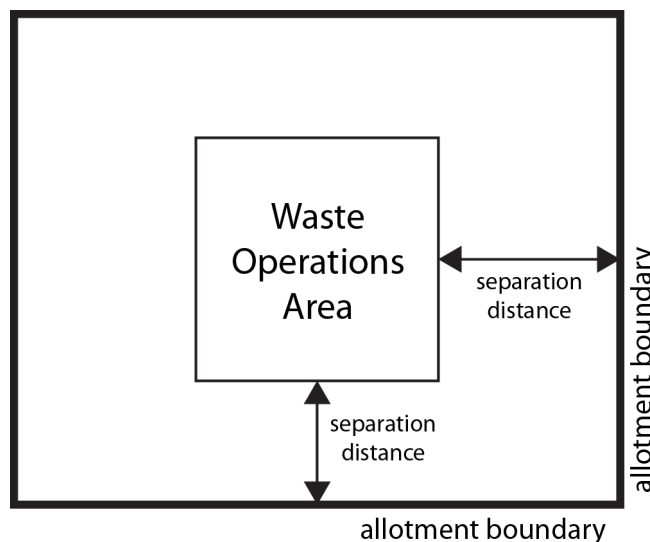
Waste Management Facilities

OBJECTIVES

- 1 The orderly and economic development of waste management facilities in appropriate locations.
- 2 Minimisation of human and environmental health impacts from the location and operation of waste management facilities.
- 3 Protection of waste management facilities from incompatible development.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Waste management facilities should be located and designed to minimise adverse impacts on both the site and surrounding areas from the generation of surface water and groundwater pollution, traffic, noise, odours, dust, vermin, weeds, litter, gas and visual impact.
- 2 Waste management facilities in the form of landfill and organic processing facilities should not be located in existing or future township, living, residential, centre, office, business, institutional or environmental protection, conservation, landscape, water protection and open space areas.
- 3 Waste management facilities should not be located where access to the facility requires, or is likely to involve, the use of non-arterial roads in adjacent residential areas.
- 4 Waste management facilities should:
 - (a) be appropriately separated from sensitive land uses and environmentally sensitive areas
 - (b) incorporate the separation distance between the waste operations area (including all closed, operating and future cells) and sensitive uses within the development site as illustrated in the figure below:



- (c) not incorporate other land uses and activities within the separation distance unless they are compatible with both a waste management facility and any adjacent land uses.
- 5 Separation and/or noise attenuation should be used to ensure noise generation associated with the waste management operation does not unreasonably interfere with the amenity of sensitive land uses.

- 6 Sufficient area should be provided within the waste operations area for the:
 - (a) maximum expected volume of material on the site at any one time
 - (b) containment of potential groundwater and surface water contaminants
 - (c) diversion of clean stormwater away from the waste and potentially contaminated areas.
- 7 Processing facilities and operational areas should be screened from public view.
- 8 Waste management sites should be accessed by appropriately constructed and maintained roads.
- 9 Traffic circulation movements within any waste management site should:
 - (a) be of a dimension and constructed to support all vehicles transporting waste
 - (b) enable all vehicles to enter and exit the site in a forward direction.
- 10 Suitable access for emergency vehicles should be provided to and within waste management sites.
- 11 Chain wire mesh or pre-coated painted metal fencing to a minimum height of 2 metres should be erected on the perimeter of a waste management facility site to prevent access other than at entry points.
- 12 Plant, equipment or activities that could cause a potential hazard to the public should be enclosed by a security fence.
- 13 Litter control measures that minimise the incidence of wind blown litter should be provided.
- 14 The waste operations area of a landfill or organic waste processing facility should be sited at least:
 - (a) 3 kilometres from an airfield used by commercial aircraft to minimise the risk of bird strikes to aircraft
 - (b) 500 metres from:
 - (i) the boundaries of the allotment
 - (ii) the nearest dwelling, shop, office, public institution or other building designed primarily for human occupation in the case of an organic waste processing facility for the composting of waste
 - (c) 250 metres from a public open space reserve, forest reserve, national park, conservation zone or policy area
 - (d) 100 metres from:
 - (i) the nearest surface water (whether permanent or intermittent)
 - (ii) a 1-in-100 year average return interval flood event area.
- 15 The waste operations area of a landfill should not be located on land:
 - (a) that is subject to land slipping
 - (b) with ground slopes greater than 10 per cent, except where the site incorporates a disused quarry.
- 16 The waste operations area of an organic waste processing facility should not be located on land:
 - (a) that is subject to land slipping

- (b) with ground slopes greater than 6 per cent
 - (c) where the interface of the engineered landfill liner and natural soils would be within any of the following:
 - (i) 15 metres of unconfined aquifers bearing groundwater with less than 3000 milligrams per litre total dissolved salts
 - (ii) 5 metres of groundwater with a water quality of 3000 to 12 000 milligrams per litre total dissolved salts
 - (iii) 2 metres of groundwater with a water quality of greater than 12 000 milligrams per litre total dissolved salts.
- 17 Where required, a leachate barrier should be provided between the operational areas and underlying soil and groundwater.
- 18 Landfill activities that have a total storage capacity exceeding 230 000 cubic metres should make sustainable use of landfill gas emissions. For smaller landfill activities, if the sustainable use of the landfill gas emissions is not practical or feasible, flaring should be used to avoid gases being vented directly to the air.

Zone

Section

Bulk Handling Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone in which agricultural and other commodities are received, stored and dispatched in bulk.
- 2 Buildings and structures screened from adjoining areas by landscaping, using locally indigenous plant species where possible.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Function

The Bulk Handling Zone affects land utilised for the purpose of bulk handling, storage and transportation of agricultural and other commodities and are an essential component of the rural economy. The country townships of Saddleworth and Tarlee contain essential infrastructure for the storage, handling and transportation of agricultural and other commodities that needs to be protected from encroachment by incompatible development or activities that may affect their continued operations. Value-adding enterprises that attract employment and economic development to the district will be developed in conjunction with the bulk handling activities within the Zone.

Pattern of Development

Development within the Bulk Handling Zone, including ancillary structures and value-adding enterprises will be based around an efficient vehicle circulation pattern. Further development of the Tarlee silo site will be limited due to small land holdings and adjacent land uses. However, the Saddleworth site provides an opportunity to develop this facility into a strategic site for the grain growers within the Council area and surrounding districts.

Public Realm

Streets and roads surrounding the Bulk Handling Zone will be maintained to a standard appropriate for heavy vehicles. Views of silos, particularly from adjoining public roads and key vantage points are valuable symbols of the agricultural economy and country township life. Views of these local landmarks will be maintained, particularly from key vantage points and from the approaches to Saddleworth and Tarlee.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulk handling and storage facilities
 - office and workers' amenities (operating as an adjunct to a bulk handling use of the site)
 - road transport terminal
 - value-adding industries associated with bulk commodities.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.

- 3 Development unrelated to facilities associated with the reception, storage and dispatch of agricultural and other commodities in bulk, or value-adding industries processing such commodities, should not occur.
- 4 Development should not impede the on-going operation of facilities associated with the handling and storage of bulk commodities.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development associated with the handling and storage of bulk commodities, or value-adding processing, should be undertaken in a manner that minimises adverse off-site impacts on sensitive land uses.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Amusement machine centre	
Bulky goods outlet	
Community centre	
Consulting room	
Dwelling	
Educational establishment	
Fuel depot	
Horticulture	
Hospital	
Hotel	
Industry	
Intensive animal keeping	
Motel	
Motor repair station	
Nursing home	
Petrol filling station	
Place of worship	

Form of Development	Exceptions
Pre-school	
Shop	
Service trade premises	
Stock slaughter works	
Special industry	
Tourist accommodation	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is classified as non-complying) are designated:

Category 1	Category 2
	Bulk handling and storage facilities

Caravan and Tourist Park Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily for short-term tourist accommodation and associated facilities.
- 2 A zone accommodating a range of short-term tourist accommodation predominantly in the form of caravan and camping sites and cabins surrounded by open landscaped areas.
- 3 Development that is designed to enhance the natural features of the local environment, including visual amenity, landforms, fauna and flora.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone primarily accommodates a range of tourist accommodation uses, including camping sites, caravans and cabins. Dwellings and long-term accommodation will not lead to the displacement of existing tourist accommodation in high demand locations. **Development of the Clare caravan park should not extend beyond the current boundaries.**

Buildings will be single storey and blend in with the natural environment. In rural and natural landscapes, the visual impact of the park will be minimal from scenic vantage points, public lookouts and tourist routes. Vegetation buffers and landscaping will be important in integrating the park into the landscape and providing screening from surrounding land uses, as well as reducing visual and noise impacts and providing privacy for park users.

Circulation and movement within the park will be pedestrian friendly and promote low speed vehicle movement.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - amenity blocks, including showers, toilet and laundry facilities
 - caravan park
 - caravans
 - cabins
 - camping grounds
 - recreation area
 - tourist park.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 3 A minimum of 12.5 per cent of the site should comprise communal open space, landscaped areas and recreation areas.

- 4 Permanent buildings should be limited to a dwelling (manager's house), shop, restaurant, community or recreational facility and toilets/amenities.
- 5 Recreation facilities should be provided of a scale that is suitable to maintain the open natural character of the area and ancillary to the primary role and function of the park.
- 6 The total number of tourist accommodation sites in the park should be at least 60 per cent of the total number of sites available.
- 7 Every caravan, cabin and dwelling site should be greater than 81 square metres in area.
- 8 Development of the Caravan Park at Clare should be in sympathy to the rural environment and consist of small scale, low rise buildings and should not extend beyond the current boundaries.

Car Parking and Access

- 9 Every caravan, cabin or dwelling site should have parking for at least one vehicle, either located on the site or grouped within the park.

Street and Boundary Setbacks

- 10 Every dwelling, annex or caravan fixed to land should be set back a minimum of:
 - (a) 1 metre from an internal road
 - (b) 6 metres from a public road
 - (c) 2 metres from the boundary of the caravan park or camping ground.

Natural Hazards

- 11 In areas prone to flooding, bushfire or other natural hazards, buildings and structures (including annexes attached to caravans or caravans fixed to land) should be designed and constructed so that they can be removed in the event of a hazard.

Land Division

- 12 No additional allotments should be created wholly or partly within the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Amusement machine centre	
Bus depot	
Cemetery	
Commercial forestry	

Form of Development	Exceptions
Community centre	Except where in association with and ancillary to tourist accommodation.
Consulting room	
Crematorium	
Dairy	
Dam	
Detached dwelling	Except a caretaker's dwelling.
Educational establishment	
Farming	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	Except where in association with and ancillary to tourist accommodation.
Industry	
Intensive animal keeping	
Land division	Except where no additional allotments are created wholly or partly within the zone.
Marina	
Motor repair station	
Nursing home	
Office	Except where in association with and ancillary to tourist accommodation.
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Public service depot	
Restaurant	Except where: (a) less than 150 square metres in gross floor area (b) in association with and ancillary to tourist accommodation.
Road transport terminal	
Service trade premises	

Form of Development	Exceptions
Shop or group of shops	Except where: (a) less than 150 square metres in gross floor area (b) in association with and ancillary to tourist accommodation.
Stadium	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Further, the following forms of development (except where the development is classified as non-complying) are designated:

Category 1	Category 2
Caravan park	

Commercial Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a range of commercial and business land uses.
- 2 Development that minimises any adverse impacts upon the amenity of the locality within the zone.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone will be developed to accommodate a variety of small scale business and commercial activities to service the local community to the region and which complement the District Town Centre.

Development will be of a high standard and minimise its impact on adjacent residential zones through the careful placement and design of building bulk and scale, service access and car parking. Similarly, the management of activities on a site, particularly if external, will have regard to minimising impacts on the amenity of adjacent residential zones.

Development will improve the appearance of sites and buildings from the road through extensive landscaping to site boundaries and car parking areas.

Precinct 6 Commercial Approach

This Precinct is located to the south of the District Town Centre Zone and comprises a range of small scale office and consulting room uses. It is important that the intensity of the precinct does not compromise the arrival to the town centre from the south and as such, uses will be limited to offices and consulting rooms and be small in scale.

Visually, the precinct presents more like a residential setting than a commercial setting and this is an important attribute that will need to be maintained and enhanced by any future development. This will be achieved through maintenance of a residential scale, form and style of buildings, front gardens and small, discreet signage.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Other than where varied within a Policy Area or Precinct, the following forms of development are envisaged in the zone:
 - consulting room
 - motor vehicle related business other than wrecking yard
 - office
 - petrol filling station
 - service trade premises
 - shop with a gross leasable area less than 250 square metres
 - store
 - warehouse.

Except stated specifically in policy area or precinct.

- 2 Development listed as non-complying is generally inappropriate.
- 3 Retail development in the zone should not hinder the development or function of any centre zone.
- 4 Shops should have a gross leasable area less than 250 square metres.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development should complement the character of the surrounding residential areas in terms of the siting and scale of buildings.
- 7 Development adjoining residential zoned land should be sited and oriented to minimise the effects of air and noise pollution from car parks, servicing vehicles and other external activities on nearby residents.

Land Division

- 8 Land division should create allotments that vary in size and are suitable for a variety of commercial activities and should have:
 - (a) an area of not less than 500 square metres
 - (b) an average width of at least 15 metres.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precinct.

Precinct 6 Commercial Approach

- 9 Development within **Precinct 6 Commercial Approach** should only comprise offices and consulting rooms.
- 10 Buildings should complement the residential scale, form and setbacks of those established within the precinct and adjacent residential zone.
- 11 Development should provide car parking to the rear of buildings.
- 12 Development should provide a minimum depth of 5 metres of landscaping between the front boundary and the front wall of the building in a manner that complements those in the adjacent residential zone.
- 13 Advertisements and advertising hoardings should not be internally or externally illuminated and should be limited to:
 - (a) a single pylon sign per allotment no greater than 2 metres in total height and 1.5 square metres in advertising area per face or
 - (b) an advertisement attached to front fencing no greater than 1.5 metres in advertising area.

Southern Township Gateway Policy Area 11

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Limited expansion and intensification of commercial uses.
- 2 Improvements to the appearance of development from Main North Road.
- 3 Co-ordinated development which is sensitively sited and designed.
- 4 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

This policy area covers land parcels on the approach to the Clare township which have over time developed for a range of commercial and non-residential land uses. It is important that the further intensification of the land uses, or their expansion along Main North Road is avoided in order to avoid undermining the visual appearance and function of the gateway location for the Clare township.

Despite the presence of existing tall, bulky and visually unappealing buildings, it is envisaged that new development will address the Main North Road frontage, be distinctive and of high architectural standard. New buildings will result in a lower scale and of reduced bulk by utilising a variety of materials, articulation and roof forms. Similarly, building setbacks will need to maintain the spacious setting of this location, both to the Main North Road frontage, side boundaries and between buildings on the same site.

Site layout and appearance will reflect the gateway significance of the location and improve the amenity of the local area. This will include screening any outdoor storage or activities from views from Main North Road, as well as generous landscaping to the front and side boundaries of sites.

It is anticipated that any development on sites with an unsatisfactory layout or appearance will be designed to improve or rectify these conditions, particularly where it relates to parking placement and design, building design and the orientation of buildings.

Fencing along Main North Road will be open and permeable to allow for views to landscaping and the buildings and vegetation throughout the sites. Development on the high side of the road will avoid the placement of retaining walls to the front boundary, but rather set back and step any retaining walls to soften their appearance and provide opportunities for landscaping.

Advertising will need to be restrained within the policy area and appropriately sited to complement the policy area's gateway significance. It is important that they avoid a cluttered appearance and not dominate views along this part of Main North Road. This will relate to the number, placement, design and materiality of advertisements.

The enhancement of the appearance of the township approach will be further complemented by improvements to the public realm in this location, comprising a consistent landscape theme, an avenue of trees and gateway signage.

PRINCIPLES OF DEVELOPMENT CONTROL

- 1 The following forms of development are envisaged in the policy area:
 - motor repair station
 - petrol filling station

- service trade premises.
- 2 Development should not result in the introduction of additional land uses and intensification of existing land uses.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 4 Buildings should be set-back a minimum of 10 metres from Main North Road and 8 metres from other roads or the equivalent distance of the building on a neighbouring allotment, whichever is greater.
- 5 Development should include extensive landscaping between the front property boundary and the front of any buildings:
- (a) so that a landscaped garden can be created
 - (b) to enhance the appearance of the street through landscaping.
- 6 Buildings should be no taller than 5 metres in height from natural ground level and sited to relate to the slope of the land, so that the amount of cutting and filling of the natural ground is minimised.
- 7 Retaining walls forward of buildings should be minimised and:
- (a) broken into smaller components to reduce the visual prominence
 - (b) set back from the street and side boundaries to allow for landscaping and screening.
- 8 Car parking and vehicle access should not dominate the visual appearance of sites by:
- (a) being provided to the side or rear of buildings
 - (b) breaking up expanses of parking areas with expanses of landscaping at least 2 metres in width and comprising trees
 - (c) rationalising access points to Main North Road, including the width of existing driveways.
- 9 Development should ensure that the appearance of the site from Main North Road is improved by:
- (a) the provision of additional landscaping and trees to the front property boundary and within any car park
 - (b) avoiding the placement of any new buildings forward of existing buildings on the site, or buildings on an adjacent site
 - (c) ensure generous spaces between buildings and to side boundaries where visible from the Main North Road frontage
 - (d) maintain existing mature vegetation on the site, particularly native vegetation
 - (e) reducing the visual prominence of taller buildings through articulation, variation in materials and screening using landscaping.

Advertising Signs

- 10 The location, siting, size, shape and materials of construction, of advertisements should:
- (a) limited to 1 advertisement per allotment

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- (b) not exceed a height of 5 metres and an advertisement area of 3 square metres per face
- (c) relate to an existing lawful non-residential only
- (d) be positioned entirely on the site of the development
- (e) not be internally illuminated or in the form of an LED panel
- (f) not be animated, flash or move in any way.

Land Division

11 Land division should:

- (a) not create additional allotments
- (b) not result in additional allotments with frontage to Main North Road.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Amusement Machine Centre in Southern Township Gateway Policy Area 11	
Bulky goods outlet	
Consulting room in Southern Township Gateway Policy Area 11	
Dairy	
Dwelling	Except a caretaker's dwelling ancillary and in association with a commercial use.
Educational establishment	
Farm building	
Farming	
Fuel depot	
General industry	
Horticulture	
Hospital	
Intensive animal keeping	
Land division within the Southern Township Gateway Policy Area 11	Except where: (a) no additional allotments are created and (b) no additional frontages to Main North Road are created.
Motor repair station in Precinct 6 Commercial Approach	
Nursing home	
Petrol filling station in Precinct 6 Commercial Approach	
Place of worship	
Pre-school	
Prescribed mining operations	
Road transport terminal	

Form of Development	Exceptions
Service trade premises in Precinct 6 Commercial Approach	
Shop or group of shops	Except where located outside of Precinct 6 Commercial Approach and Southern Township Gateway Policy Area 11 and has a gross leasable area is 250 square metres or less
Special industry	
Stadium	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment, or disposal	
Winery	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Community Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating community, educational, recreational and health care facilities for the general public's benefit.
- 2 Development that is integrated in function and provides a coordinated base to promote efficient service delivery.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone accommodates the Clare Hospital and its grounds as well as neighbouring emergency services facilities including the Country Fire Service, State Emergency Service and SA Ambulance Service. It is anticipated that development within the zone will facilitate the expansion and improvement of health services and emergency management services for Clare and the surrounding region. As such, it is important that development that compromises the ongoing operation of this important community infrastructure is not established within the zone.

The Farrell Flat Road frontage of the hospital presents as an attractive open landscaped setting which will be maintained as part of any future redevelopment of the site. Landscaping will also improve the appearance of the Webb Street frontage, so as to screen any servicing areas and act to soften the interface with adjoining residential properties.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - community centre
 - consulting room
 - emergency services facility
 - hall
 - health facility
 - hospital
 - office associated with community service
 - place of worship.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should not be undertaken if it would inhibit or prejudice the integrated development of land within the zone for further community and institutional uses.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.

PROCEDURAL MATTERS

Complying Development

5 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

6 Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of development	Exceptions
Dwelling	
Fuel depot	
Horticulture	
Industry	
Intensive animal keeping	
Land division	Except where no additional allotments are created partly or wholly within the policy area.
Motel	
Major public service depot	
Motor repair station	
Office	Except where associated with community or health facilities.
Petrol filling station	
Place of worship	
Residential flat building	
Road transport terminal	
Service trade premises	
Shop or group of shops	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Deferred Urban Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating a restricted range of rural uses that are not prejudicial to development of the land for urban purposes and maintain the rural appearance of the zone.
- 2 A zone comprising land to be used primarily for broad-acre cropping and grazing purposes until required for future urban expansion.
- 3 Prevention of development likely to be incompatible with long-term urban development, or likely to be detrimental to the orderly and efficient servicing and conversion of the land for urban use.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone incorporates land on the north western fringe of the township of Clare, the northern fringe of the township of Saddleworth and the southern fringe of the township of Riverton; enabling future infrastructure requirements to be planned for in advance of need to ensure a compact and economic urban expansion. In the interim, it is desirable that the zone is retained for agricultural purposes and that development incompatible with future residential development of the land concerned should not be undertaken.

The land identified at Saddleworth is strategically located adjacent to the urban centre of Saddleworth and adjoining community facilities – and thereby offers a range of future urban development opportunities to cater for the longer term growth and needs of Saddleworth, such as a combination of community service facilities, recreational, educational, strategic development and residential needs.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - broad-acre cropping
 - grazing
 - horticulture.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Development should not be undertaken if it will be prejudicial to the orderly and economic development of future urban land uses within the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 5 Development to the south of Blyth Road, Clare should facilitate the rationalization of the existing allotment pattern.
- 6 There should be no direct access from allotments onto Blyth Road, Clare.

7 Detached dwellings should be located at least 25 metres from the boundary of an Industry Zone.

Land Division

- 8 Land division should not occur unless it is in the form of an alteration to the boundaries of an allotment and no additional allotments are created in the zone.
- 9 The alteration of allotment boundaries should only occur in order to achieve one or more of the following:
- (a) correct an anomaly in the placement of allotment boundaries with respect to the location of existing buildings or structures
 - (b) improve the management of the land for the purpose of primary production
 - (c) enable the provision of public infrastructure.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement	
Advertising hoarding	
Amusement machine centre	
Caravan park	
Commercial forestry	
Community centre	
Consulting room	
Crematorium	
Dairy	
Dwelling	Except a detached dwelling that does not result in more than one dwelling on an allotment.
Educational establishment	
Fuel depot	
Golf course	
Horticulture	
Hospital	
Hotel	

Form of Development	Exceptions
Indoor recreation centre	
Industry	
Intensive animal keeping	
Land division	Except where no additional allotments are created partly or wholly within the zone.
Motel	
Motor repair station	
Nursing home	
Office	
Petrol filling station	
Place of worship	
Pre-school	
Prescribed mining operations	
Road transport terminal	
Service trade premises	
Shop	
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation	
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

District Town Centre Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A centre that accommodates a full range of retail facilities, offices, consulting rooms, and cultural, community, public administration, entertainment, **tourism**, educational facilities to serve the community and visitors within the surrounding district.
- 2 Development of a visually and functionally cohesive and integrated district towncentre.
- 3 A zone developed in accordance with the following:
 - (a) focus for principal retail, cultural, entertainment and tourism development within a compact and lively core centred on Main North Road and Old North Road
 - (b) development of low intensity small scale retail, business activities, offices and consulting rooms and tourist accommodation at the residential interface
 - (c) improved access and movement through the development of pedestrian and cyclist connections to trails and key nodes, along with the development of consolidated shared use, off-street car parking areas and service access arrangements.
- 4 A centre accommodating medium density residential development in conjunction with non-residential development.
- 5 Retention of the historic streetscape character of Main North Road and Old North Road derived from new buildings designed to complement the existing State and Local heritage places.
- 6 Maintenance of the Hutt River and its banks as a linear open space to minimise the potential of flooding.
- 7 Attractive and well used public spaces and footpaths.
- 8 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

Clare is the region's centre for the delivery of regional business, shopping, arts, cultural, health, recreation and government services for its community. It is also recognised as the front door to the whole region, promoting the region, its attractions, key destinations and townships for tourists. The District Centre Zone is central to these roles and will continue to grow and evolve in order to cater for a diversity of community and visitor needs.

It is anticipated that the core of the centre's activity will be focussed along Main North Road and Old North Road, as shown on [Concept Plan Map CGV/8 – District Town Centre](#), and be the location for major retail developments, along with a hub of activity focussed on retail, entertainment, arts, cultural and tourism development. Provision of small-scale retail, office, service consulting room and other business activities that provide a supporting role to the core uses in the town centre will be focussed to the remainder of the centre and at the interface with surrounding zones.

It is anticipated that underutilised sites and those containing dwellings will be progressively redeveloped in a manner that maximises development potential and contribution to the township. This may include the consolidation of sites to allow for a more efficient and coordinated form of development to occur, particularly on small and irregular shaped allotments.

It is important that development maintains the integrity and prominence of the state and local heritage places within Main North Road and Old North Road and enhances the historic, low profile character and townscape of the zone by not exceeding 2 storeys in height at street frontages.

Contemporary development will take cues from the prominent heritage places in their siting, scale, setbacks, height, architectural form and materiality, including the use of hip or gable roof forms or masonry parapets. This will result in a continuity in facade and built form edge to both Main North Road and Old North Road that frames these streets, as shown on [Concept Plan Map CGV/8 – District Town Centre](#). The continuity and consistency in the provision and height of verandahs / canopies also forms an important component in the country town character of the zone, particularly in the core.

All development will be designed to maintain and reinforce the small scale and rhythm of development within the street. This will be achieved by sleeving large floorplate tenancies with smaller, fine grained, narrow tenancies with regular entries and display windows to the street.

The District Centre Zone will be an attractive place for all members of the community to get jobs done, catch up, meet and enjoy a country town atmosphere. Critical to this is the diversity of active uses that front onto streets supported by the removal of blank walls, regular entries and display windows as well as high quality public spaces and public realm. It is envisaged that the public realm within Main North Road and Old North Road will be improved over time to provide a better balance between pedestrian and cyclist safety and amenity and that of vehicle movement and parking. This will mean more places for outdoor dining, landscaping, public seating, public art and street trees. Where footpath widths are narrow, with little opportunity for widening, development will provide a small setback to facilitate a more comfortable pedestrian environment.

Pedestrian linkages across the zone, particularly between Main North Road and Old North Road as shown on [Concept Plan Map CGV/8 – District Town Centre](#) will form public spaces and serve as gathering points for the community. Development will be expected to take advantage of these spaces by spilling out into streets and public spaces for outdoor dining, temporary events and activities such as markets and festivals. These pedestrian connections will link to surrounding streets and shared use trails.

Main street improvements will provide a consistent landscaping theme across the zone and signal arrival gateways at both the Victoria Road and Farrell Flat Road roundabouts. The landscaping across the zone will act to soften the built form, provide shade to footpaths as well as provide a sense of colour during seasons.

The Hutt River runs through the zone. Development will acknowledge the potential for the river to flood and will either be located outside of land prone to flooding or include design solutions to limit the likely impact of floodwaters. The natural characteristics of the Hutt River will be enhanced through the retention of vegetation and rehabilitation of banks. Over time, land adjoining the Hutt River will transfer to public ownership in order to facilitate flood mitigation works and a shared use trail as shown on [Concept Plan Map CGV/8 – District Town Centre](#).

Main North Road acts as the major town thoroughfare linking Adelaide and the Barossa Valley to northern Mid North regions and the Flinders Ranges and is subject to heavy vehicle movements. For this reason, and the desire to minimise conflicts with pedestrians, development will avoid or minimise vehicle access from Main North Road.

It is intended that parking not form a dominant visual component of the town centre though the use of basements, undercrofts or parking to the rear of buildings within communal parking areas linked to side streets and other access points. Large expanses of parking areas will be broken up with use of landscaping and trees for shade and improved amenity.

Similarly, servicing of development will be positioned away from public areas and screened from adjacent residential areas. It is acknowledged that this is a challenge for those properties between Main North Road and Old North Road, however it is expected that servicing occur on the sites, crossings of the footpath be minimised in width and frequency and as little of the frontage as possible is used for back of house and servicing functions.

Given the presence and importance of the Riesling Trail to visitor's experience of Clare, development will recognise the importance of bicycle parking and storage for visitors, particularly those uses targeted at tourists. These will be complemented by public bike storage facilities at key locations within the town centre.

Advertisements will be limited in number and size for development with hoardings appropriately located and designed to complement the country townscape character and be proportionate to the space in which they are located. Appropriate kinds of advertisements will include small flush wall signs, under verandah and verandah fascia signage, and signs positioned on parapets. Advertisements that are positioned above parapets and at or above roof level are inappropriate.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - affordable housing
 - bank
 - bulky goods outlet
 - child care centre
 - civic centre
 - community centre
 - consulting room
 - discount department store
 - dwelling in conjunction with non-residential development
 - educational establishment
 - emergency services facility
 - entertainment facility
 - health facility
 - hospital
 - hotel
 - indoor games centre
 - library
 - motor repair station
 - office
 - place of worship
 - playing field
 - pre-school
 - primary school
 - residential flat building in conjunction with non-residential development
 - restaurant
 - shop
 - supermarket
 - swimming pool
 - tourist accommodation
 - tourism development.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Medium density residential development comprising a variety of residential and non-residential uses may be undertaken provided such development does not prejudice the operation of existing or future retail activity within the zone.
- 4 Tourist accommodation should be provided in a manner that maintains:
 - (a) the viability of retail, commercial and business-related uses on site and adjacent sites

- (b) active ground level retail uses within the core area identified within Concept Plan Map CGV/8 – District Town Centre

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development should occur in accordance with [Concept Plan Map CGV/8 – District Town Centre](#).
- 7 Buildings will be limited to two storeys in height unless:
 - (a) taller components of buildings are designed and located so that they are not visible from the streetscape
 - (b) an additional floor level is contained entirely within the roofspace.
- 8 Buildings located within the core should be designed and located to complement the prevailing characteristics within the streetscape having regard to:
 - (a) existing state and local heritage places
 - (b) the height of walls at the street frontage
 - (c) the width of individual tenancies
 - (d) the proportion of glazing to wall components
 - (e) use of masonry materials
 - (f) use of hipped, gabled roof forms, or parapets
 - (g) depth, height and form of verandah or canopy over the footpath.
- 9 Development should be designed and sited to promote linkages between the various developments within the centre and adjoining main roads, as shown on [Concept Plan Map CGV/8 – District Town Centre](#).
- 10 Facilities within the centre should be located and designed with a view to promoting after-hours use to reinforce the centre as the focus of social activity in the district.
- 11 Dwellings should be located only behind or above non-residential uses on the same allotment.
- 12 Development adjacent to the Hutt River should be designed and located in order to:
 - (a) prevent the entry of floodwaters from a 1 in 100 year average return interval flood event
 - (b) maintain its drainage function and facilitate flood management and mitigation measures
 - (c) maintain and improve the amenity of vegetation in this location
 - (d) facilitate the Hutt River pedestrian and cycling trail, as shown on [Concept Plan Map CGV/8 – District Town Centre](#).

Parking

- 13 Development should provide off-street vehicle parking in accordance with [Table CGV/3 – Off Street Vehicle Parking Requirements](#) except in any one or more of the following circumstances:
 - (a) the development results in, or takes advantage of, a shared use consolidated parking area as shown in on [Concept Plan Map CGV/8 – District Town Centre](#).

- (b) a financial contribution is paid into the Council Car Parking Fund in accordance with the gazetted rate per car park.

14 Car parking should not dominate street frontages by:

- (a) being located behind buildings
- (b) being located within a basement
- (c) being in the format of an undercroft carpark, except where located on a site within the core identified as having a continuous built form edge and activated frontage, as shown on [Concept Plan Map CGV/8 – District Town Centre](#).

Land Division

- 15 Land division in the zone is appropriate provided new allotments are of a size and configuration to ensure the objectives of the zone can be achieved.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

In addition, the following forms of development (except where the development is non-complying) are complying:

A change of use to a shop, office, consulting room or any combination of these uses where all of the following are achieved:

- (a) the area to be occupied by the proposed development is located in an existing building and is currently used as a shop, office, consulting room or any combination of these uses
- (b) the building is not a State heritage place
- (c) it will not involve any alterations or additions to the external appearance of a local heritage place as viewed from a public road or public space
- (d) if the proposed change of use is for a shop that primarily involves the handling and sale of foodstuffs, it achieves either (i) or (ii):
 - (i) all of the following:
 - (A) areas used for the storage and collection of refuse are sited at least 10 metres from any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop)
 - (B) if the shop involves the heating and cooking of foodstuffs in a commercial kitchen and is within 30 metres of any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop), an exhaust duct and stack (chimney) exists or is capable of being installed for discharging exhaust emissions
 - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the development is to be undertaken and operated in accordance with the conditions attached to the previously approved development
- (e) if the change in use is for a shop with a gross leasable floor area greater than 250 square metres and has direct frontage to an arterial road, it achieves either (i) or (ii):

- (i) the primary vehicle access (being the access where the majority of vehicles access /egress the site of the proposed development) is from a road that is not an arterial road
 - (ii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared
- (f) off-street vehicular parking is provided in accordance with the rate(s) specified in [Table CGV/3 - Off Street Vehicle Parking Requirements](#) to the nearest whole number, except in any one or more of the following circumstances:
- (i) the building is a local or state heritage place
 - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the number and location of parking spaces is the same or substantially the same as that which was previously approved
 - (iii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Caravan park	
Dwelling	Except where in conjunction with a non-residential development.
Fuel depot	
Horticulture	
Industry	Except for service industry.
Major public service depot	
Road transport terminal	
Stadium	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Industry Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone primarily accommodating a wide range of industrial, warehouse, storage and transport land uses on various allotment sizes.
- 2 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone accommodates the primary industrial areas for the townships of Clare, Riverton and Saddleworth.

The zone at Clare covers three areas on the north and east fringes of the town. The northern site is characterised by a wide range of commercial and industrial activities with many established businesses along the main road frontage. The area has a residential interface along the southern portion of the zone. The zone also abuts a prominent ridgeline (western boundary) where no development should proceed in close proximity to the ridgeline. A landscape buffer should be established along the western periphery of the zone. The area should accommodate a range of light industrial, commercial and business activities including manufacturing, warehousing and distribution. Development with no or little off-site impacts should be located at the residential interface. Potential exists for new development and should be designed to ensure the character of the area is enhanced via use of high quality materials, landscaping and design.

One eastern site comprises the Archer Place Policy Area 1 and the other eastern site is located along Farrell Flat Road. The Farrell Flat Road site provides further opportunities for light industrial business on under-utilised or vacant allotments. Development in this location to the north of Farrell Flat Road should be kept clear of the creek.

At Riverton some light industry/warehousing activity does exist at the end of Mill Street along Railway Terrace, but this area cannot be expanded to meet the demand for industrial land in future due to the constraints on its expansion imposed by the railway and the river. An area to the south of the SA Power Networks depot situated along the highway from Adelaide and comprises Part Section 523 will cater for future industry. In view of its location, extensive landscaping should be undertaken to improve its appearance and to screen the new development from the nearby residents and visitors to the town from the south.

At Saddleworth there is some industrial development on Belvedere Road to the west of the railway. However, due to certain obvious constraints this area cannot be expanded to meet the future demand for industrial land. Some industrial activity also exists in the south, along the Saddleworth to Marrabel Road, which should be extended to consolidate the industrial activity in Saddleworth. A town the size of Saddleworth should set aside a specific area for light industrial and large-scale commercial development, rather than permit such development to occur in a haphazard manner throughout the township. Although some industrial activity exists in the zone, care needs to be taken to ensure that extensive landscaping is undertaken around the zone to improve its appearance and help screen future buildings and structures from view of the passers-by and the adjoining development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - industry
 - transport distribution (except within **Archer Place Policy Area 1**)
 - warehouse.
- 2 Development listed as non-complying is generally inappropriate.
- 3 No dwelling other than caretakers' quarters should be erected.
- 4 Other than within the **Archer Place Policy Area 1**, retail or office development should not be established unless:
 - (a) associated with the industrial activity
 - (b) does not exceed 25 percent of the total floor area of the related activity.

Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development adjacent to the **Deferred Urban Zone**, the **Clare Low Density Housing Policy Area 3** and the **Residential Zone** at Saddleworth should incorporate a landscaped buffer at a minimum of 25 metres in width from the zone boundary.
- 7 Development should be set back at least 8 metres from any road frontage, except where fronting a road identified in [Table CGV/1- Building Setbacks from Road Boundaries](#) or on *Overlay Maps - Transport*.
- 8 In areas where a uniform street setback pattern has not been established, buildings should be set back in accordance with the following criteria (subject to adequate provision of car parking spaces and landscaping between buildings and the road):
 - (a) buildings up to a height of 6 metres should be sited at least 8 metres from the primary street alignment
 - (b) buildings exceeding a height of 6 metres should be sited at least 10 metres from the primary street alignment
 - (c) where an allotment has two street frontages, no building should be erected within 3 metres of the secondary street alignment.
- 9 Building facades facing land zoned for residential purposes should not contain openings or entrance ways that would result in the transmission of noise that would adversely affect the residential amenity.
- 10 Any plant or equipment with potential to cause an environmental nuisance (including a chimney stack or air-conditioning plant) should be sited as far as possible from adjoining non-industrially zoned allotments, and should be designed to minimise its effect on the amenity of the locality.
- 11 Advertisements and advertising hoardings should not include any of the following:
 - (a) flashing or animated signs
 - (b) bunting, streamers, flags, or wind vanes
 - (c) roof-mounted advertisements projected above the roofline

(d) parapet-mounted advertisements projecting above the top of the parapet.

12 Landscaping within a site should be provided so that:

- (a) not less than 10 per cent of the site should be developed as landscaping
- (b) a landscaped set-back area at least 3 metres in width is located along boundaries with any road or reserve and at least 2 metres wide at the rear of the site where it adjoins a zone boundary
- (c) it is located along at least 50 per cent of the street alignment.

Land Division

13 Land division should create allotments that:

- (a) are of a size and shape suitable for the intended use
- (b) have an area of not less than 1500 square metres, unless intended for a specific purpose consistent with the zone provisions and for which a lesser site area requirement can be demonstrated
- (c) have a frontage to a public road of at least 25 metres

Archer Place Policy Area 1

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Continuation of winery activities and the establishment of other industrial activities compatible with the wineries.
- 2 Tourism development compatible with winery development and the Riesling Trail.
- 3 Conservation and enhancement of the Hutt River watercourse.
- 4 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

This policy area contains existing winery infrastructure and provides an opportunity for the continuation of those winery activities including the establishment of other industrial activities that are compatible with and complement winery operations.

The policy area is located between the Riesling Trail and the District Town Centre with opportunities to improve the activity and appearance of this location for tourists. This will be achieved through the establishment of small scale retail and tourism developments that front onto Lennon Street, as well as improved appearance and management of sites at the interface with the Riesling Trail.

It is expected that development will achieve a high standard of presentation to the street, particularly along Lennon Street where landscaping will be provided between the street and buildings. Elsewhere in the policy area, landscaping will soften the appearance of sites along the street frontage, to car parks and at the interface with the Riesling Trail. Sites will maintain a tidy and orderly appearance with any external storage and operations screened from views from both the street and the Riesling Trail.

The Hutt River flows through the policy area and therefore represents flood risks to development as identified within the *Development Constraints Overlay* maps. It is expected that development will also provide an opportunity for the conservation and enhancement of the existing watercourse whilst also providing tourism development opportunities that manage flood risk. It is expected that land set aside for the watercourse and flood prone areas will be vegetated and also act as a buffer to adjacent residential development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - industrial activity compatible with winery activities
 - winery activities.
- 2 In addition, the following land uses are envisaged along the Lennon Street frontage only:
 - office
 - restaurant
 - shop
 - tourism development.

- 3 Shops should have a gross leasable area less than 250 square metres.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 5 Development fronting Lennon Street should result in:
 - (a) landscaping between the street and the building
 - (b) car parking to the side or rear of buildings
 - (c) the maintenance of existing vegetation and trees along Lennon Street.
- 6 Development adjacent to and visible from the Riesling Trail should be undertaken in accordance with [Table CGV/7 – Guidelines for Development Near Trails](#), and include a landscaped buffer at the periphery of the site of sufficient width and density of planting that screens external storage, activities and buildings from view on the trail.
- 7 Development should provide for the retention of the Hutt River and associated vegetation as open space.
- 8 Development which would be liable to cause any risk to public health or loss of amenity or pollution of the Hutt River should not be undertaken.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Amusement machine centre	
Community centre	
Consulting room	
Dwelling	Except where: <ul style="list-style-type: none"> (a) ancillary to and in association with industrial development (b) located on the same allotment.
Horticulture	
Hospital	
Hotel	
Indoor recreation centre	
Intensive animal keeping	
Motel	
Nursing home	
Office	Except where it achieves (a) or (b): <ul style="list-style-type: none"> (a) it is located within Archer Place Policy Area 1 (b) it is located outside of Archer Place Policy Area 1 and <ul style="list-style-type: none"> (i) ancillary to and in association with industrial development and (ii) located on the same allotment
Pre-school	
Place of worship	
Prescribed mining operations	
Road transport terminal within Archer Place Policy Area 1	
Service trade premises within Archer Place Policy Area 1	
Shop or group of shops	Except where it achieves either (a) or (b): <ul style="list-style-type: none"> (a) it is located within the Archer Place Policy Area 1 and the gross leasable area is 250 square metres or less (b) it is located outside of the Archer Place Policy Area 1 and the gross leasable area is 80 square metres or less.
Stadium	

Form of Development	Exceptions
Special Industry	
Stock slaughter works	
Tourist accommodation	
Viticulture	
Wrecking yard in Archer Place Policy Area 1	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Primary Production Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Economically productive, efficient and environmentally sustainable primary production, including cropping, grazing, viticulture and intensive animal keeping.
- 2 Allotments of a size and configuration that promote the efficient use of land for primary production.
- 3 Protection of primary production from encroachment by incompatible land uses and protection of scenic qualities of rural landscapes.
- 4 Maintenance and enhancement of tourist facilities, scenic routes and attractions, and historic features, including Bungaree, Hill River homestead, Martindale Hall and Kadlunga homestead.
- 5 Preservation of the natural landscape as characterized by steep north south ridgelines, broad valley floors and undulating hills.
- 6 Accommodation of wind farms and ancillary development.
- 7 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The role of the zone is to accommodate cropping and grazing activities on large rural land holdings and viticulture on small to medium sized allotments. The rural area is predominantly characterized by rolling pastures with stands of remnant vegetation with a variety of agricultural activities. The zone is of significant asset to the district and comprises of some of the regions most productive rural land which is capable of supporting a wide range of agriculture. Accordingly, it is desirable that no further fragmentation of rural properties be limited and that smaller properties be consolidated into larger holdings. Efforts should be made to revegetate the landscape in many parts of the zone with trees using locally indigenous species.

The landscape of the Clare Valley contrasts greatly with the surrounding district. The steep sided valley with gently undulating floor is dominated by the Hutt River which meanders through the locality from south to north. The heavily vegetated ridges and hill tops provide an attractive rural setting for the town of Clare whilst the several small settlements located along the valley floor have historical significance in terms of the agricultural and viticultural development of the district. North of the town of Clare the valley opens out to broad fertile plain and undulating hillsides. The Skilly Hills to the west of the Clare Valley are of particular scenic importance, containing extensive stands of dense native vegetation, interspersed with vineyards and wineries. The Spring Gully Conservation Park contains extensive areas of native vegetation including a rare stand of Stringy Red Bark. In marked contrast the landscape to the east of the Clare valley is open, sparsely vegetated, grazing land. Many of the old homesteads, small settlements and churches reflect the historical development of the district. In particular the small settlement of Mintaro, established to service the Burra to Port Wakefield bullock trail and the slate quarry, has retained much of its nineteenth century character. Other historic landmarks include Bungaree, Hill River Station, Martindale Hall, and Sevenhill.

The character of the rural area of the Gilbert Valley is derived from the large broadacre farming holdings for cereal crops, grazing and livestock. Significant pockets of native vegetation still remain throughout the district and along road reserves. The southern area of the Council lies almost wholly within the fertile Gilbert Valley, characterized by the Gilbert River which meets the Light River.

Where the two valleys meet the land is used for agricultural production and the grazing of stock on relatively large land holdings. The pattern of occupation with homesteads, ancillary buildings, and paddocks enclosing crops and livestock dominate the environment and firmly establish an open, rural appearance. Viticultural activity is concentrated along the Wakefield River and Eyre Creek. The headwaters of the Light River are also located in the district. The climate, soil and landform characteristics of this zone favour the continuance of agricultural production and livestock grazing and it is desirable not only that these activities continue, but also that good land management techniques be continued to control proclaimed pest plants, vermin and soil erosion. Little intensification of the present extent of settlement is warranted. In many ways, a proliferation of intensive development and occupation of the zone would threaten its proper function and render the rural landscape susceptible to competing demands and undesirable change. To maintain the agricultural importance and stability of the zone, it is vital that the size of the land holdings is not significantly reduced, or densities increased, and that future pressures for development in the zone will not result in the conversion of agricultural land to less productive uses.

Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) are envisaged within that part of the zone outside of Horticulture Policy Area 2 and constitute a component of this part of the zone's desired character. These facilities will need to be located in areas where they can take advantage of the natural resource upon which they rely and, as a consequence, components (particularly turbines) may need to be:

- located in visually prominent locations such as ridgelines
- visible from scenic routes and valuable scenic and environmental areas
- located closer to roads than envisaged by generic setback policy.

This, coupled with the large scale of these facilities (in terms of both height and spread of components), renders it difficult to mitigate the visual impacts of wind farms to the degree expected of other types of development. Subject to implementation of management techniques set out by general / council wide policy regarding renewable energy facilities, these visual impacts are to be accepted in pursuit of benefits derived from increased generation of renewable energy.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulk handling and storage facility
 - commercial forestry
 - dairy farming
 - farming
 - horticulture
 - intensive animal keeping
 - tourist accommodation (including through the diversification of existing farming activities and conversion of farm buildings)
 - wind farm and ancillary development
 - wind monitoring mast and ancillary development.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Wind farms and ancillary development should be located in areas which provide opportunity for harvesting of wind and efficient generation of electricity and may therefore be sited:
 - (a) in visually prominent locations
 - (b) closer to roads than envisaged by generic setback policy.

- 4 Industry and warehousing should only be developed if it supports primary production, processing, storage and distribution of local primary produce or products produced on the same site, and should be developed where:
 - (a) it has a direct relationship with primary production
 - (b) it is unlikely to limit or inhibit the use of adjoining land for primary production
 - (c) the particular use requires a site in proximity to a particular natural resource or other product or materials sourced from the locality
 - (d) it will not result in the alienation of land or water resources identified as significant for primary production or ecological reasons
 - (e) the use would be inappropriate within a township
- 5 A shop should be:
 - (a) ancillary to primary production or processing uses, or tourist accommodation or other tourist development
 - (b) located on the same site as the primary use.
- 6 Buildings should primarily be limited to farm buildings, a detached dwelling associated with primary production or a **tourist-related use** on the allotment and residential outbuildings that are:
 - (a) grouped together on the allotment and set back from allotment boundaries to minimise the visual impact of buildings on the landscape as viewed from public roads
 - (b) screened from public roads and adjacent land by existing vegetation or landscaped buffers.
- 7 Tourist accommodation should not be converted to dwellings and should be designed to preclude the conversion of buildings into dwellings such as through shared facilities, common utility services, grouped accommodation and/or shared parking.
- 8 A dwelling should only be developed if:
 - (a) there is a demonstrated connection with farming or other primary production
 - (b) the location of the dwelling will not inhibit the continuation of farming, other primary production or other development that is in keeping with the provisions of the zone
 - (c) it is located more than 500 metres from an existing intensive animal keeping operation unless used in association with that activity
 - (d) it does not result in more than one dwelling per allotment.

Form and Character

- 9 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 10 Development should not occur within 500 metres of a National Park, Conservation Park, Wilderness Protection Area or significant stands of native vegetation if it will increase the potential for, or result in, the spread of pest plants.
- 11 **Development which would remove productive land from agriculture, or diminish its overall productivity for primary production should not be undertaken, unless the land is required for essential public purposes or the processing of organic waste.**

Heritage

- 12 Development surrounding Mintaro State Heritage Area should be designed and sited so as to minimise the impact of development on the heritage significance of Mintaro.

Land Division

- 13 For land not within a policy area, land division, including boundary realignments, should only occur where it will promote economically productive, efficient and sustainable primary production and not create any allotment less than 40 hectares in area.
- 14 Land division involving boundary realignments should only occur where the number of resulting allotments of less than 40 hectares is not greater than the number that existed prior to the realignment.
- 15 Land should not be divided except where a separate allotment is created of between one and five hectares in area to contain a habitable dwelling erected before 1 December 1972 where the balance allotment is in excess of 40 hectares.
- 16 Dwellings should be situated at least 50.0 metres from any site boundary within the zone to establish a visual buffer between development.

Horticulture Policy Area 2

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area primarily for horticulture and in particular, the retention and expansion of viticulture and other agricultural production in an environmentally sustainable manner.
- 2 The establishment of appropriately scaled industries for washing, processing and packaging primary produce, and servicing and supporting horticulture.
- 3 Encouragement of the establishment of appropriately scaled 'value added' industries to utilize local rural production, including the establishment of niche market products, within suitable areas of minimal landscape intrusion and environmental impact.
- 4 Achieve a clear edge separation from township development through buffer areas of compatible rural activities.
- 5 Preservation and enhancement of the attractive appearance of the zone as viewed from scenic routes.
- 6 Retention and protection of the historic homestead of Inchiquin at Clare, and its surrounding grounds and outbuildings.
- 7 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The policy area benefits from a beautiful landscape of viticultural and agricultural uses which provides the backdrop for tourism, wineries and rural production. It is characterised by a unique combination of soils, climate and landscape, with attraction of visitors and tourists to the many wineries and associated vineyards, other local products and the picturesque scenery. The combination of rich soils, high rainfall and ideal ripening conditions makes the Clare Valley a premium wine production area. The policy area extends from Stanley Flat in the north to Auburn in the south and includes the valley floor (excluding the townships of Clare, Penwortham, Sevenhill and Watervale) and outer lying areas to the east and west between the north/south ranges, including the heavily vegetated ridges and hilltops, the Skilly Hills and Spring Gully Conservation Park.

Sound land management practices and reinforcement of viable productive land uses, in preference to further fragmentation of land holdings is encouraged. Development which would remove productive land from agriculture, or diminish its overall productivity for primary production should not be undertaken, unless the land is required for essential public purposes or the processing of organic waste. The policy area should be encouraged to develop further as a vineyard and agricultural area. The provisions encourage the retention of the current rural character, native vegetation and sustainable development with land capable of managing agricultural production. Tourist accommodation in the form of Bed & Breakfast and Farm Stay accommodation is encouraged within appropriate locations.

Precinct 5 Leasingham

Within **Horticultural Policy Area 2** lies the historic hamlet of Leasingham.

The soils at Leasingham are rich alluvial deposits over limestone which sustains some of the region's richest viticultural lands.

The Development Plan does not recognise Leasingham as a township.

Development within the precinct will promote and protect the viticultural, wine making, cellar door retailing and agricultural pursuits – seeking to reinstate and preserve the rich open natural landscapes and open picturesque development pattern adjacent to scenic routes and locations.

Future housing on vacant allotments is at odds with achieving this desired character and therefore housing development is not envisaged within the precinct.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are considered appropriate in locations where there will be minimal landscape intrusion and environmental impact in the policy area:
 - appropriately scaled 'value added' activities related to local produce and supporting local agricultural markets
 - farming
 - horticulture
 - light industry and service industry associated with the processing, packaging and distribution of produce
 - small-scale tourist development in association with wineries, farms and local heritage places.
- 2 Retail sales of goods produced and processed within the Primary Production Horticulture Policy Area are appropriate providing such sales remain ancillary and incidental to the principal horticultural, farming or processing use of the land.
- 3 Commercial development should be limited to the handling, storage, packing or wholesaling of primary produce and non-residential tourism in the Clare Valley.
- 4 Retail business and commercial developments should not be located in this area unless they are related to tourist orientated accommodation, recreational establishments, or are agriculturally linked and add value to local produce, and comply with the relevant provisions for the policy area.
- 5 Dwellings and other buildings which could reasonably be used for habitation should not be located within 25.0 metres of the adjacent Industry Zone.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 7 Development which would adversely affect the amenity of the historic homestead of Inchiquin and its setting should not be undertaken.
- 8 Development which would result in the pollution of, or otherwise adversely affect, the Hutt and Wakefield River should not be undertaken.

Land Division

- 9 Land division should not result in allotments of less than 16 hectares, unless to create a separate allotment between one and five hectares in area to contain a habitable dwelling erected before 1 December 1972 where the balance of the allotment is in excess of 16 hectares
- 10 The division of land to facilitate more intensive forms of primary production should only be undertaken where:
 - (a) water of sufficient quantity and quality is available to sustain the proposed use
 - (b) the soil structure and land capability classification is appropriate for irrigated horticulture

- (c) adverse impacts on downstream property owners, in terms of water flow and discharge of pollutants, can be avoided
- (d) there will not be a risk of the watertable either falling or rising significantly.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 5 Leasingham

- 11 Development should not be undertaken unless it is consistent with the desired character for the precinct.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road with a speed limit of less than 80 km/h (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Community centre	
Consulting room	
Convention centre	
Dwelling where it is located outside of Precinct 5 Leasingham within the Horticulture Policy Area 2	Except for a detached dwelling that will not result in more than one dwelling on the allotment and where either of the following applies: <ul style="list-style-type: none"> (a) the allotment existed prior to 1 January 1996 (b) on an allotment of at least 16 hectares
Dwelling where it is located outside the Horticulture Policy Area 2	Except for a detached dwelling that will not result in more than one dwelling on the allotment and where either of the following applies: <ul style="list-style-type: none"> (a) the allotment existed prior to 1 January 1996 (b) on an allotment of at least 40 hectares
Dwelling where it is located within Precinct 5 Leasingham	
Educational establishment	
Fuel depot	
Golf course	
Horticulture involving the growing of olives	Except where the location for the growing of olives achieves (a) and (b): <ul style="list-style-type: none"> (a) at least 500 metres from all of the following: <ul style="list-style-type: none"> (i) a National Park (ii) a Conservation Park (iii) a Wilderness Protection Area (iv) the edge of a substantially intact stratum of native vegetation greater than 5 hectares in area (b) 50 metres from the edge of a substantially intact stratum of native vegetation 5 hectares or less in area.

Form of Development	Exceptions
Hospital	
Hotel	
Intensive animal keeping in the Horticulture Policy Area 2	
Indoor recreation centre	
Land division	Except where it achieves any of the following: (a) all allotments resulting from the division are at least 40 hectares (b) where a separate allotment is created of between 1 and 5 hectares in area to contain a habitable dwelling erected before 1 December 1972 where the area of the balance allotment is in excess of 40 hectares (c) no additional allotments are created.
Land division within Horticulture Policy Area 2	Except where it achieves any of the following: (a) it is within the Horticulture Policy Area 2 and all allotments resulting from the division are at least 16 hectares. (b) where a separate allotment is created of between 1 and 5 hectares in area to contain a habitable dwelling erected before 1 December 1972 where the area of the balance allotment is in excess of 16 hectares (c) no additional allotments are created.
Motor repair station	
Motor showroom	
Nursing home	
Office	Except where ancillary to and in association with primary production or tourism development
Petrol filling station	
Place of worship	
Pre-school	
Primary school	
Road transport terminal in the Horticulture Policy Area 2	
Service trade premises	
Shop or group of shops	Except where both of the following are achieved: (a) ancillary to and in association with primary production or tourism development (b) the gross leasable area is less than 80 square metres.
Shop or group of shops in the Horticulture Policy Area 2	Except where both of the following are achieved: (a) ancillary to and in association with horticulture or (b) the gross leasable area is less than 150 square metres
Stadium	

Form of Development	Exceptions
Stock slaughter works in the Horticulture Policy Area 2	
Store within the Horticulture Policy Area 2	Except where one of the following apply: (a) an extension to an existing store associated with an existing winery (b) store ancillary to an existing winery on the same allotment (c) a store ancillary to an existing habitable dwelling with a total floor area not exceeding 100 square metres on an allotment of 16 hectares or greater.
Warehouse	
Waste reception, storage, treatment or disposal within the Horticulture Policy Area 2	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development (except where the development is non-complying) are designated:

Category 1	Category 2
	<p>Except within the Horticulture Policy Area 2, wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) where the base of all wind turbines is located at least 2000 metres from:</p> <ul style="list-style-type: none"> (a) an existing dwelling or tourist accommodation that is not associated with the wind farm (b) a proposed dwelling or tourist accommodation for which an operable development plan consent exists (c) the boundaries of any Airfield, Airport, Centre, Community, Fringe, Historic Conservation, Home Industry, Living, Mixed Use, Residential, Settlement, Tourist, Township or Urban Zone, Policy Area or Precinct or any Heritage Area (including within the area of an adjoining Development Plan). <p>Except within the Horticulture Policy Area 2, wind monitoring mast and ancillary development.</p>

Recreation Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone accommodating sporting, entertainment, cultural and recreational activities and associated spectator and administrative facilities.
- 2 Development of integrated recreational areas and facilities that accommodate a range of activities accessible to the community.
- 3 Buildings, facilities and car parks located and designed to blend in with existing or additional trees, vegetation and landscaping.
- 4 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

This zone comprises key community, recreation and service facilities within the township of Auburn, Clare, Riverton and Saddleworth. The Clare and Riverton golf courses, schools and other community and district recreation facilities, including The Valleys Lifestyle Centre, Winkler Park and the Auburn recreation area and caravan park are located within the zone. It is intended that these existing facilities be retained and utilized for recreation, sporting and community use.

In addition there are also opportunities at the Clare Country Club and Clare Golf Club for tourist accommodation.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - car parking
 - clubrooms associated with sports facilities
 - community centre
 - community hall
 - educational establishment
 - entertainment, cultural and exhibition facilities
 - golf course
 - indoor and outdoor recreation facilities
 - lighting for night use of facilities
 - office associated with community or recreation facilities
 - playground
 - shops or groups of shops ancillary to recreation development
 - showground
 - sports grounds and associated facilities
 - special event
 - spectator and administrative facilities ancillary to recreation development
 - swimming pool.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.

3 A shop or group of shops should only be developed in this zone where:

- (a) it is ancillary to recreation and sport development
- (b) the total gross leasable area is less than 80 square metres.

Form and Character

4 Development should not be undertaken unless it is consistent with the desired character for the zone.

5 Strong thematic landscaping should be instituted on individual sites to improve the landscape, provide shade and shelter, create interest, provide habitat, retain existing native vegetation, use locally indigenous plant species in plantings where possible and define different activity areas.

6 All car-parking areas should be shaded and screened with vegetation to improve the amenity of the zone.

7 Buildings for tourist accommodation within the Clare Country Club and Clare Golf Course sites should be located in unobtrusive locations and in particular should be:

- (a) located below the ridge line, so as not to be visible against the skyline when viewed from White Hut Road or from within Clare township
- (b) set well back from public roads, particularly when the allotment is on the low side of the road
- (c) sited on an excavated rather than a filled site, in order to reduce the vertical profile of the building
- (d) located so as to be screened as far as possible by existing native vegetation when viewed from either White Hut Road or from the Clare township
- (e) located so as to maximise the retention of native vegetation and ensure watercourses are retained in their natural state
- (f) located so as not to compromise the ongoing and future operation of the golf course.

Land Division

8 No additional allotments should be created wholly or partly within the zone, except for the subdivision of land contained in Certificate of Title 5217/239 (Lot 103 Deposit Plan 38673).

9 Land division or the rearrangement of existing allotment boundaries should take place as part of a co-ordinated development scheme, or as a rationalisation of land holdings that is designed to allow more efficient and economic use of land consistent with the objectives for the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Consulting room	
Crematorium	
Dwelling	Except for a caretaker's dwelling ancillary to or in association with a recreational development.
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Industry	
Intensive animal keeping	
Land division	Except for a land division where either of the following apply: (a) no additional allotments are created partly or wholly within the zone (b) the land contained in Certificate of Title 5217/239 (Lot 103 Deposit Plan) is subdivided.
Motel	Except where it achieves either (a) or (b): (a) it is in the form of additions or alterations to an existing motel (a) it is located within the Clare Country Club or Clare Golf Course sites.
Motor repair station	
Nursing home	
Office	Except where associated with community or recreation facilities.
Petrol filling station	
Place of worship	
Prescribed mining operations	
Public service depot	
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where the gross leasable area is less than 80 square metres.
Stock sales yard	
Stock slaughter works	
Store	

Form of Development	Exceptions
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Residential Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A residential zone comprising a range of dwelling types, including a minimum of 15 per cent affordable housing, and community facilities in suitable areas.
- 2 Increased dwelling densities in close proximity to centres, public transport routes and public open spaces.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone promotes pleasant, safe and convenient environments for the residents of Clare, Riverton, Saddleworth and Auburn; supported by an appropriate range of recreation, education, community and aged care facilities.

These townships form the principal urban centres of the Clare and Gilbert Valleys district – providing for a diverse and long term range of housing forms and densities, along with appropriately located and integrated business, tourism, community, educational and recreational development.

The principal urban centres will function in support of the rural, tourism, business and service sectors, and also the other important settlements within the district – recognising that all urban centres provide opportunity for a range of integrated housing, business and community services and facilities.

The zone will embrace development that is world class and welcomes innovation which has a focus on quality urban design, spaces for people, landscape treatments and environmental sustainability – development shall be respectful of the unique heritage and legacy of the past and promote well managed economic growth that protects and enhances the key landscape qualities and environmental features of the Clare and Gilbert Valleys.

Some parts of the **Residential Zone** in Auburn, Riverton and Saddleworth have historically been used for horticultural and intensive agricultural uses which may give rise to contamination. Development is expected to occur on a precautionary basis where the sites have been verified that they are suitable for the intended use, particularly where it involves sensitive uses like residential development.

Clare

This zone, which comprises the established residential areas of Clare, is intended to be the main location for a variety of residential development utilizing existing underdeveloped allotments to create infill development at higher densities near the town centre and open space and recreation areas, together with low density development in pockets of undeveloped land to the south west and north-west of Clare. Unless specified within a policy area, development is expected to maintain the attractive streetscape character of the residential areas, predominantly characterized by a variety of lot sizes with low density residential development, deep building set-backs and landscaped front garden areas. Residential development along Main North Road should seek to rationalise and where possible avoid vehicle access to Main North Road

Parts of Clare are affected by flooding, as identified on *Overlay Maps – Development Constraints*, and it is essential that future development adequately addresses this issue in accordance with provisions contained in the *General Section – Hazards*.

Riverton

The existing subdivided areas in the immediate vicinity of the town 'core' have largely been developed so that there is a demand for more residential land. This demand can be met in the south in an infill area lying between Horner and Davis Streets and other vacant allotments within the town 'core'. Additional provision has also been made for future expansion of the town to the west, south and east. This land should be sufficient to accommodate anticipated growth for quite some time to come.

The development of residential land will be undertaken in accordance with [Concept Plan Map CGV/4 - Riverton Residential Areas](#), [Concept Plan Map CGV/5 - Riverton West](#) and [Concept Plan Map CGV/6 - Riverton South](#).

Given the large expanse of residentially zoned land to the west of the township, the division of land is to occur in an orderly and economical fashion in accordance with the staging shown on [Concept Plan Map CGV/5 - Riverton West](#).

Further land to the south within the **Deferred Urban Zone** will be reviewed for release for housing and/or other urban purposes, once other available land within the township has started to be developed.

Parts of Riverton are affected by flooding, as identified on *Overlay Maps – Development Constraints*, and it is essential that future development adequately addresses this issue in accordance with provisions contained in the *General Section – Hazards*.

Saddleworth

Saddleworth has largely retained its pattern of low-density development and character which provide a quality living environment for its residents. The existing subdivided areas in the immediate vicinity of the town 'core' have been largely developed and there is emerging demand for more residential land. However, the vacant allotments near the town 'core' and the land set aside the primary school on the northern edge of the township, should cater for Saddleworth's future living requirements in the shortterm.

Land to the north of the Saddleworth school (bounded by the Barrier Highway, Hazeleigh Road, McAuliffes Road and the school property) has been set-aside for future consideration for community and urban development in a **Deferred Urban Zone**. – providing longer term growth options for Saddleworth.

Parts of Saddleworth are affected by flooding, as identified on *Overlay Maps – Development Constraints*, and it is essential that future development adequately addresses this issue in accordance with provisions contained in the *General Section – Hazards*.

Auburn

Auburn has largely retained its low-density development pattern and attractive character which provide a pleasant living environment for its residents. The western part of the town, being elevated, is more developed than the somewhat low-lying eastern part, which is further divided by the river and the railway. However, a large number of vacant blocks on both sides of the main road should be sufficient for anticipated residential growth, along with vacant land to the north and south of the township, thus obviating the need for further physical expansion of the township. A small winery exists on Stanley Street and should continue with limited expansion being catered for, without affecting the residential amenity of the area.

The development of land to the north of the township will be undertaken in accordance with [Concept Plan Map CGV/3 - Auburn North Residential](#).

The residential area at Clare has traditionally developed at medium to low density, whilst Riverton, Saddleworth and Auburn have been at low density development – scope now exists for medium density development at Riverton and Saddleworth with the completion of the Community Wastewater Management Systems. Generally large allotment sizes and low density development is expected to continue in the short to medium term. Opportunities exist within Clare, Riverton and Saddleworth to provide further infill development on vacant allotments and to provide smaller allotment development in appropriate locations. It is likely that infill development will continue in the short term as familiarity with the concept of closer development becomes more acceptable. As pressure on urban services grows, the benefits of appropriate infill development will encourage further division and consolidation within residential areas.

The amenity of residential areas is enhanced by a number of significant buildings, and this should be conserved as appropriate. Land designated as parklands should be maintained for such purposes and kept free of urban and residential development.

With increased streetscape treatment, community interest and support for maintaining and enhancing the residential environment will be generated.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - affordable housing
 - domestic outbuilding in association with a dwelling
 - domestic structure
 - dwelling
 - dwelling addition
 - small scale non-residential uses that serve the local community, for example:
 - child care facilities
 - open space
 - primary and secondary schools
 - recreation areas
 - supported accommodation.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Vacant or underutilised land should be developed in an efficient and co-ordinated manner to increase housing choice by providing dwellings at densities higher than, but compatible with adjoining residential development.
- 4 Non-residential development such as shops, schools and consulting rooms should be of a nature and scale that:
 - (a) serves the needs of the local community
 - (b) is consistent with the character of the locality
 - (c) does not detrimentally impact on the amenity of nearby residents.
- 5 The use and placement of outbuildings should be ancillary to and in association with a dwelling or dwellings.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Development in the vicinity of the Billygoat Hill escarpment at Clare should not detract from the visual amenity of the escarpment as viewed from the Main Road.
- 8 Garages and carports facing the street (other than an access lane way) should be designed with a maximum width of 6 metres or 50 per cent of the allotment or building site frontage width, whichever is the lesser distance.
- 9 Except where specified within a policy area, dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metres 10 metres for primary and secondary arterial roads shown on <i>Overlay Maps - Transport</i>
Minimum setback from secondary road frontage	3 metres
Minimum setback from side boundaries	1 metre for one storey dwelling 4 metres for two storey dwelling
Minimum setback from rear boundary	4 metres for one storey dwelling 6 metres for two storey dwelling
Maximum site coverage	50 per cent
Maximum building height (from natural ground level)	7 metres or 2 storeys whichever is lesser
Minimum area of private open space	60 square metres with a minimum depth of 4 metres
Minimum number of on site car parking spaces (one of which should be covered)	2
Maximum frontage width of garage or carport with an opening facing the street	Less than 50 per cent of the allotment frontage

- 10 Sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area	108 square metres
Maximum building height (from natural ground level)	4 metres
Maximum wall height (from natural ground level)	3 metres
Minimum setback from side and rear boundaries not on a secondary road frontage	1 metre
Minimum setback from a secondary road frontage	3 metres
Minimum setback from a public road or public open space area	6 metres

- 11 **Except where specified within a policy area**, a dwelling should have a minimum site area (and in the case of group dwellings and residential flat buildings, an average site area per dwelling) and a frontage to a public road not less than that shown in the following table:

Dwelling Type	Site Area (square metres)	Minimum frontage (metres)
Detached	600 (minimum) within Clare Township	15 within Clare Township
	700 (minimum) within Riverton Township	15 within Riverton Township
	700 (minimum) within Saddleworth Township	15 within Saddleworth Township
	1200 (minimum) within Auburn Township	20 within Auburn Township

Dwelling Type	Site Area (square metres)	Minimum frontage (metres)
Semi-detached	450 (minimum)	13 (excluding access to rear group dwelling(s))
Group dwelling	350 (average)	10
Residential flat building	350 (average)	10
Row dwelling	350 (minimum)	10

- 12 Frontages of dwelling sites should be landscaped within the following parameters;
- (a) have a combination of landscaping and paved surfaces
 - (b) paved surfaces should not exceed more than 50 percent of the area between the building alignment and the street frontage
 - (c) driveway should not exceed more than 30 percent of the site frontage.

Affordable Housing

- 13 Development should include a minimum of 15 per cent of residential dwellings for affordable housing.
- 14 Affordable housing should be distributed throughout the zone to avoid over-concentration of similar types of housing in a particular area.

Land Division

- 15 Except where specified within a policy area (or for medium density housing options identified in Principle of Development Control 11) land division should create allotments with an area not less than that shown in the following table:

Township	Minimum allotment area (square metres)
Clare	600
Riverton	700
Saddleworth	700
Auburn	1200

- 16 Land division in the area identified on [Concept Plan Map CGV/3 - Auburn North Residential](#) should be undertaken in accordance with [Concept Plan Map CGV/3 - Auburn North Residential](#).
- 17 Land division in the area identified on [Concept Plan Map CGV/4 – Riverton Residential Areas](#), [Concept Plan Map CGV/5 – Riverton West](#) and [Concept Plan Map CGV/6 – Riverton South](#) should be undertaken in accordance [Concept Plan Map CGV/4 – Riverton Residential Areas](#), [Concept Plan Map CGV/5 – Riverton West](#) and [Concept Plan Map CGV/6 – Riverton South](#).

Clare Low Density Policy Area 3

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Provision for low density residential development on large allotments, in a manner compatible with the retention of the pleasant rural character.
- 2 Land division undertaken to ensure new allotments are provided with a range of services comparable to those within the township.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The policy area lends itself to be developed for mixed rural residential purposes in a rural setting yet close to the town for the facilities it offers. Access to all sites is available from the existing network of roads.

This policy area incorporates an existing low density residential development to the north east of Clare adjacent to the Clare Country Club. The existing landscape and the natural character of the policy area should be protected from erosion and other forms of environmental degradation when viewed from White Hutt Road and Farrell Flat Road.

Development should be primarily for low density residential purposes and the continued use of the golf course, with residential development being located a minimum distance of 50 metres away from golf course land that is irrigated with water reclaimed from effluent ponds.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - detached dwellings – single storey.

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 3 Development should be primarily for low-density residential purposes and the continued use of the golf course, with residential development being located a minimum distance of 50 metres away from golf course land that is irrigated with water reclaimed from effluent ponds.
- 4 The existing landscaped buffer should be maintained adjacent to property boundaries that adjoin agricultural or horticultural land uses so as to better manage potential interface issues.
- 5 Buildings should be located in unobtrusive locations and in particular should be:
 - (a) located below the ridge line, so as not to be visible against the skyline when viewed from White Hut Road or Farrell Flat Road, or from within Clare township
 - (b) set well back from public roads, particularly when the allotment is on the low side of the road

- (c) sited on an excavated rather than a filled site, in order to reduce the vertical profile of the building
 - (d) located so as to be screened as far as possible by existing native vegetation when viewed from either White Hut Road or Farrell Flat Road, or from the Clare township
 - (e) located so as to maximise the retention of native vegetation and ensure watercourses are retained in their natural state.
- 6 Building design and materials should be of high quality and should be of such a scale as to be unobtrusive and not detract from the natural character of the policy area, and in particular transportable dwellings should not be erected.

Amenity

- 7 Not more than one goat, donkey, sheep, cow or similar animal should be kept on an allotment.
- 8 Boundary fencing should be constructed of open mesh, post and rail or other forms of construction which can be seen through.

Land Division

- 9 Land division should create allotments with an area of at least 0.8 hectares
- 10 Vehicle access to or from any allotment having frontage to Farrell Flat Road and the north side of White Hut Road should not be allowed.

Riverton Low Density Housing Policy Area 4

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 An area accommodating single-storey detached dwellings on large allotments in a rural environment.
- 2 Retention of the semi-rural character and amenity of the area as derived from the number of trees on the land and locality, the undulating land and its existing use.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The policy area lends itself to be developed for mixed rural residential purposes in a rural setting yet so close to the town for the facilities it offers. Access to all sites is available from the existing network of roads.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - detached dwellings – single storey.

Form and Character

- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan
- 3 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 4 The area should be developed primarily for low-density residential development.
- 5 No intensive animal keeping should occur in this area. Where animals are kept, strict controls should be exercised, so as to avoid problems associated with noise, smell, dust, the emission of water and other atmospheric and water pollutants.

Land Division

- 6 Land division should create allotments with an area of at least 0.4 hectares with a minimum frontage of not less than 50 metres.

Clare Square Mile Road Policy Area 10

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Provision for low density residential development and supported accommodation while protecting the character and operation of the adjoining land uses.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The policy area will provide for a low density residential development with opportunity for a medium density development in the form of supported accommodation.

Development of the land within the policy area will trigger the upgrade of a range of infrastructure, including the road network linking to the Clare township, prior to the development of the land for residential purposes.

The natural features, landscape and character of the area will be preserved where possible to retain the rural amenity of the policy area and support local biodiversity. Landscape buffers will be established to the northern and southern boundaries of the Policy Area prior to residential development to protect dwellings from potential conflicts with adjacent activities, including horticulture and the irrigation activities of the golf course. Plantings within the buffers will reach to a height of 15 metres and incorporate dense layers of vegetation of a variety of different sizes and species.

A minimum of two stormwater catchment areas will be provided incorporating the existing drainage lines and dams to capture and manage stormwater from development for the purposes of creating amenable public spaces and irrigating vegetated areas. The stormwater management system will be enhanced through extensive landscaping that will support biodiversity, provide a water filter and mitigate water flows across and off the site.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - detached dwellings
 - domestic outbuildings in association with a dwelling
 - domestic structure
 - dwelling addition
 - supported accommodation

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 3 Development should be in accordance with [Concept Plan Map CGV/2 – Square Mile Road](#) to achieve the following:
 - (a) development should be for residential purposes and should provide for the continued use of the golf course and not prejudice the continued operation of the adjoining primary production land uses

- (b) the establishment of a landscaped buffer:
 - (i) to a minimum width of 50 metres along the length of the northern boundary of the Policy Area
 - (ii) on land within 50 metres of the Clare Golf Course
 - (c) public open space should be provided along the identified watercourses to facilitate pedestrian access and recreation, stormwater management, and the preservation and enhancement of the environmental qualities of the riparian environment
 - (d) residential development should be setback a minimum of 25 metres from watercourses (measured from the top of existing banks on each side)
 - (e) maximum retention of native vegetation in its natural state to preserve the character of the area and provide an appropriate transition from the adjacent Clare Low Density Policy Area
 - (f) primary vehicle access from Square Mile Road (as an extension of White Hut Road, north of the intersection with Norman Drive) through the southern boundary of the policy area and designed to provide priority for the primary traffic movement with at least one secondary access to the western boundary of the policy area.
- 4 Land division will ensure residential development is able to be setback a minimum of 20 metres from areas of native vegetation and planted landscape buffers.

Interface with Horticultural Land

- 5 Residential development that is adjacent to the Primary Production Zone should include appropriate setbacks and vegetative plantings designed to minimise the potential impacts of chemical spray drift and other impacts associated with primary production.

Clare Medium Density Policy Area 12

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area comprising a range of medium density dwellings, including a minimum of 15 per cent affordable housing, designed to integrate with areas of open space and the town centre.
- 2 Development that incorporates good residential design principles.
- 3 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

It is envisaged that development within the policy area contributes to the creation of denser and more diverse housing for the Clare township to take advantage of the proximity of the policy area to the town centre. The amalgamation of properties is desirable where it will facilitate appropriately designed medium-density development accommodating alternative housing types and site layouts.

It is expected that the character of the policy area will change over time as existing dwellings are redeveloped with new development at reduced setbacks and frontages widths to those prevailing in the policy area. However it is expected that development seek to promote a cohesive streetscape that maintains an established landscape character within the township complemented by improvements in public streetscape improvements.

Buildings of up to two storeys are appropriate within the policy area as is building to one side boundary, provided a setback is maintained on the other side boundary.

Garaging and driveways will not dominate development sites and street frontages. Careful attention needs to be paid to front landscaping for development to enhance the appearance of residential sites from the streets as viewed by pedestrians, provide an appropriate transition between the landscaped character of the public and private realm and reduce heat loads in summer. This will be achieved by ensuring that minimal hard paved areas are established and landscaped spaces incorporating deep soil zones to street frontages to allotments within the Policy Area.

The policy area contains the residential aged care facility which provides an important function for the Clare township and surrounding hinterland and townships. It is anticipated that this facility will expand or be supported by other supported accommodation within the township to accommodate a range of accommodation types and levels of care and support for Clare's ageing population.

Supported accommodation is likely to require building forms of a scale and massing that differs from that established within the policy area. This is appropriate provided that taller building forms are set back from boundaries with adjacent development, articulated and modulated to reduce overall massing and not appear overbearing in nature.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - affordable housing
 - detached dwelling
 - dwelling addition

- group dwelling
- outbuildings
- residential flat building
- row dwelling
- semi-detached dwelling
- supported accommodation

Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 3 A dwelling should have a minimum site area (and in the case of group dwellings and residential flat buildings, an average site area per dwelling) and a frontage to a public road not less than that shown in the following table:

Dwelling Type	Site Area (square metres)	Minimum frontage (metres)
Detached	350	12
Semi-detached	300	10
Group dwelling	300 (average)	18
Residential flat building	300 (average)	18
Row dwelling	250	7

- 4 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metres 10 metres for primary and secondary arterial roads shown on <i>Overlay Maps - Transport</i>
Minimum setback from secondary road frontage	2 metres
Minimum setback from side boundaries	On boundary on one side boundary only 1 metre for one storey dwelling 2 metres for two storey dwelling
Minimum setback from rear boundary	3 metres for one storey dwelling 5 metres for two storey dwelling
Maximum site coverage	60 per cent

- 5 Side boundary walls should achieve all of the following:
- (a) have a maximum wall height of no more than 3 metres
 - (b) have a maximum wall length of no more than 8 metres
 - (c) be constructed along one side of the allotment only (excluding common walls associated with semi-detached, row or residential flat dwellings).
- 6 Buildings on battle-axe allotments or the like should be single storey to reduce the visual impact of taller built form towards the rear of properties, and to maintain the privacy of adjoining residential properties.
- 7 Landscaping to the front of dwellings should comprise a minimum of 60% of the frontage width.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and /or advertising hoarding	
Amusement machine centre	
Bee keeping	
Consulting rooms in the Clare Low Density Housing Policy Area 3 and the Riverton Low Density Housing Policy Area 4	
Consulting rooms outside the Clare Low Density Housing Policy Area 3 and the Riverton Low Density Housing Policy Area 4	Except where: (a) the total floor area is less than 80square metres (b) the site does not front an arterial road.
Crematorium	
Dairy	
Dwelling in the Clare Low Density Housing Policy Area 3 and the Riverton Low Density Housing Policy area 4	Except for a detached dwelling
Educational establishment in the Clare Low Density Housing Policy Area 3	
Electricity substation in the Clare Low Density Housing Policy Area 3	
Farming	
Farm building outside the Clare Low Density Housing Policy Area 3 and the Riverton Low Density Housing Policy Area 4	
Fuel depot	
Horse keeping	
Horticulture	
Hospital	
Hotel	
Industry	

Form of Development	Exceptions
Intensive animal keeping	
Major Public Service Depot outside the Clare Low Density Housing Policy Area 3 and the Riverton Low Density Housing Policy Area 4	
Motel in the Clare Low Density Housing Policy Area 3	
Motor repair station	
Office in the Clare Low Density Housing Policy Area 3 and the Riverton Low Density Housing Policy Area 4	
Office outside the Clare Low Density Housing Policy Area 3 and the Riverton Low Density Housing Policy Area 4	Except where: (a) the total floor area is less than 80 square metres (b) the site does not front an arterial road.
Petrol filling station	
Place of worship in the Clare Low Density Housing Policy Area 3	
Prescribed mining operation	
Public service depot	
Restaurant	
Road transport terminal	
Service trade premises	
Shop or group of shops in the Clare Low Density Housing Policy Area 3 and the Riverton Low Density Housing Policy Area 4	
Shop or group of shops outside the Clare Low Density Housing Policy Area 3 and the Riverton Low Density Housing Policy Area 4	Except where: (a) the gross leasable area is less than 40 square metres (b) the site does not front an arterial road.
Stadium outside the Clare Low Density Housing Policy Area 3 and the Riverton Low Density Housing Policy Area 4	
Stock sales yard	
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment or disposal	

Form of Development	Exceptions
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Welfare institution in the **Clare Low Density Housing Policy Area 3**

Wrecking yard

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development (except where the development is non-complying) are assigned:

Category 1	Category 2
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Supported accommodation

Rural Landscape Protection Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone in which the natural character is preserved and enhanced or re-established in order to:
 - (c) provide a natural backdrop to the Clare Valley and a contrast to the urban area
 - (d) preserve biodiversity and restore locally indigenous vegetation and fauna habitats close to the township of Clare
 - (e) provide for passive recreation in an area of natural character close to the urban area
 - (f) provide a part of the buffer area between the urban areas and prevent it from extending into the eastern and western slopes of the two north-south ridgelines
 - (g) ensure that the community is not required to bear the cost of providing services to and within the zone.
- 2 A zone accommodating low intensity agricultural activities and public/private open space and one where structures are sited and designed in such a way as to:
 - (a) preserve and enhance the natural character or assist in the re-establishment of a natural character in the zone
 - (b) limit the visual intrusion of development in the zone, particularly when viewed from roads within the zone or from the Clare Valley floor
 - (c) not create, either in themselves, or in association with other developments, a potential demand for the provision of services at a cost to the community
 - (d) prevent the loss of life and property resulting from bushfires.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The extent of native vegetation and open grassland, the steep slopes and the difficulty of access combine to make this zone a high fire risk area. It is important that developments incorporate fire protection measures to minimize the fire risk. While vegetation management is an important part of minimizing the fire risk, the destruction of existing native vegetation and failure to provide landscaping as to screen buildings and improve the amenity of the zone are not considered acceptable fire protection measures.

The zone is not a residential zone and so services provided in an urban area will not be provided in this zone. Accordingly, development should not be undertaken if it is likely, in itself or in association with other development, to create a potential demand for such services. Activities and projects by State and local agencies which are considered necessary in this zone should be located, sited, constructed and maintained to promote the objectives for the zone and complement the principles of development control relating to this zone. Tourist facilities are appropriate provided they are of a low-scale and are sited unobtrusively.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 Development should not be undertaken unless it is associated with a low intensity agricultural activity, a public open space area or a private use of an open character, or is a detached single storey dwelling, including outbuildings and structures normally associated with such dwellings, on a single allotment.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 New mines and quarries should not be developed within the zone.
- 4 Extensions to existing mines and quarries should only be undertaken within the zone where:
 - (a) the overall benefit to the community from the minerals produced together with the planned after-use of the site outweighs any loss of amenity or other resources resulting from the extractive operations
 - (b) the site contains minerals of the necessary quality and, for reasons of location, quality or other factors, no practical alternative source is available
 - (c) the proposed operation would maximize the utilisation of the resource but minimize the adverse impacts of extraction
 - (d) the proposed workings cannot be seen from any arterial road, scenic road or other substantial traffic route
 - (e) an effective buffer of land and native trees exists around the site to protect adjoining land users from effects of the operation
 - (f) the operation is to be conducted in accordance with a staged development and rehabilitation scheme which:
 - (i) ensures that danger and unreasonable damage or nuisance does not arise from workings or any operations associated with them
 - (ii) provides for progressive rehabilitation of disturbed areas and for landscaping with locally indigenous plant species in order to produce a site which assists in the re-establishment of a natural character
 - (iii) provides for the removal of buildings, plant, equipment and rubbish when operations are completed
 - (iv) provides scope for suitable after-uses.
- 5 Outside the zone, small-scale transfer stations may be appropriate in unobtrusive locations.
- 6 Horticultural activities should be located:
 - (a) a minimum distance of 50 metres from the edge of stands of significant native vegetation or native grasses
 - (b) no closer than 50 metres of a lake, watercourse or wetland.
- 7 Horticultural activities located within 300 metres of a dwelling, tourist accommodation facility or any other sensitive receptor should incorporate a suitably sized vegetated buffer area/strip to minimise any adverse impacts from the horticultural activity (including noise, chemical spray drift and run-off) on the sensitive receptor.

Form and Character

- 8 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 9 The excavation and/or filling of land outside townships and urban areas should:
 - (a) be kept to a minimum and limited to a maximum depth or height no greater than 1.5 metres from natural ground level so as to preserve the natural form of the land and the native vegetation.
 - (b) only be undertaken in order to reduce the visual impact of buildings, including structures in order to construct water storage facilities for use on the allotment
 - (c) result in stable scree slopes that are covered with topsoil and landscaped so as to preserve and enhance or assist in the re-establishment of, the natural character of the locality or assist in the re-establishment of the natural character of the area.
- 10 Re-vegetation and screen planting proposed as part of development should use locally occurring native species.
- 11 Development should not be undertaken if it is likely to result in:
 - (a) pollution of underground or surface water resources
 - (b) over exploitation of underground or surface water resources
 - (c) adverse impact on underground or surface water resources, including any environmental flows required to meet the needs of the natural environment
 - (d) unnecessary loss or damage to native vegetation including the full range of tree, understorey and groundcover species/native grasses so as to maintain and enhance environmental values and functions, including conservation, biodiversity and habitat
 - (e) denudation of pastures
 - (f) the introduction of or an increase in the number of pest plants or vermin
 - (g) adverse impacts from chemical spray drift, chemical run-off or chemical residue in soils
 - (h) the erection of structures or construction of access tracks and parking areas in a manner which detracts from the landscape character and visual amenity of the zone
 - (i) increased hazard to the locality from bushfires
 - (j) loss of amenity to adjoining land or surrounding localities from:
 - (i) the visual impact of buildings, structures or earthworks
 - (ii) the intensity of activity associated with any such use, including significant adverse impacts arising from chemical spray drift, use of audible bird or animal deterrent devices, and the use of associated vehicles and machinery.
- 12 Development should not occur on land where the slope poses an unacceptable risk of soil movement, land slip or erosion.
- 13 Buildings, including structures, should be located in unobtrusive locations and, in particular, should:
 - (a) be located not to be visible against the skyline when viewed from roads within the zone or from the urban area of the Clare Valley

- (b) have the roof line below the lowest point of the abutting road when the allotment is on the low side of the road
 - (c) be sited on excavated rather than a filled site in order to reduce the vertical profile of the building
 - (d) be screened by existing native vegetation when viewed from roads within the zone or from the urban area particularly the town
 - (e) be located well below the ridge line
 - (f) be located within valleys or behind spurs
 - (g) be set well back from public roads, particularly when the allotment is on the high side of the road
 - (h) be sited on excavated, rather than a filled site in order to reduce the vertical profile of the building
 - (i) not be sited on landfill which would interfere with the flow of flood waters
 - (j) not have a septic tank drainage field located in such a way as to pollute watercourses
 - (k) be located in such a way as to maximise the retention of existing native vegetation and retain watercourses in their natural state.
- 14 Buildings, including structures should be unobtrusive and not detract from the desired natural character of the zone and, in particular:
- (a) buildings should be of a single storey
 - (b) the mass of buildings should be minimized by having separate vehicle storage areas.
- 15 Buildings should have a:
- (a) year round water supply and a safe and efficient effluent disposal system which will not pollute watercourses or underground water resources or be a risk to health
 - (b) safe, clean, tidy and unobtrusive area for the storage and disposal of refuse so that the desired natural character of the zone is not adversely affected.
- 16 Driveways and access tracks should follow contours of the land to reduce their visual impact and erosion from water runoff and be surfaced with dark materials.
- 17 Development should not in itself, or in association with other development, create a potential demand for the provision of services at a cost to the community.
- 18 Additions to buildings should maintain the single storey profile of the building and be sited on the side of the dwelling which minimises the obtrusiveness of the completed building.
- 19 Buildings should be grouped together.
- 20 Retaining walls should be constructed as a stepped series of low walls constructed of dark, natural coloured materials and screened by landscaping using locally indigenous plant species where possible.
- 21 Fences, if required, should be sited to minimize their visual impact and should be of post and wire or other materials which can be seen through. Obtrusive gateways, particularly of brick or masonry, should not be constructed.
- 22 When solid fences are essential, particularly rear and side fences in closely divided areas within the zone, they should be of materials which are of a low light reflective nature and of dark natural colours to blend with the natural landscape and minimize any visual intrusion. Such fences should not increase the fire risk near buildings.

- 23 Communication towers and masts should be sited and designed to minimize their visual impact. The number of masts should be contained by shared use of facilities.
- 24 Telephone lines and electricity mains and services of less than 33 kV should be located underground. All new lines, mains and services should be located and designed in such a way as to minimize their visual intrusion and any adverse effect on the desired natural character of the zone.
- 25 Development should only be undertaken if it can be located and designed to maximize the retention of existing native vegetation and, where possible, increase the extent of locally indigenous plant species.
- 26 Locally indigenous plant species should be established to screen development, including scree slopes created as a result of excavation and/or filling of land, in such a way that the bushfire hazard is not increased. Screening mounds may also be appropriate.

Land Division

- 27 Land division should not be undertaken except where all of the following are achieved.
 - (a) the division results in rationalization of allotment boundaries without increasing the total number of allotments
 - (b) the allotment size is consistent with the objectives of this zone
 - (c) the division does not involve clearance of native vegetation.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road with a speed limit of less than 80 km/h (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Bus depot	
Bus station	
Community centre	
Consulting room	

Form of Development	Exceptions
Dwelling	<p>Except for a detached dwelling that will not result in more than one dwelling on one allotment, and the scale and design is such that:</p> <ul style="list-style-type: none"> (a) the vertical distance between any point at the top of any external wall and the finished ground level immediately below that point on the wall is less than three metres, other than gable ends of the dwelling where the distance is less than 5 metres (b) there is no floor level directly above another floor level, except where the upper floor level is located wholly at or below finished ground level (c) the depth of excavation and/or height of filling of land is less than 1.5 metres (d) access to a new dwelling is provided by a private vehicular access track that is less than 30 metres in length and which has a gradient of less than 16 degrees (1 in 3.5) at any point (e) it does not involve the clearance of native vegetation comprising trees and/or shrubs.
Educational establishment	
Electricity generation station	
Fire station	
Fuel depot	
Horticulture involving the growing of olives	<p>Except where the location for the growing of olives achieves (a) and (b):</p> <ul style="list-style-type: none"> (a) at least 500 metres from all of the following: <ul style="list-style-type: none"> (i) a national park (ii) a conservation park (iii) a wilderness protection area (iv) the edge of a substantially intact stratum of native vegetation greater than 5 hectares in area (b) 50 metres from the edge of a substantially intact stratum of native vegetation 5 hectares or less in area.
Hospital	
Hotel	
Indoor recreation centre	
Industry	
Intensive animal keeping	
Land division	<p>Except where all of the following are achieved:</p> <ul style="list-style-type: none"> (a) the division results in the rationalisation of allotment boundaries without increasing the total number of allotments (b) the allotment size is consistent with the objectives of this zone (c) the division does not involve clearance of native vegetation.
Motor repair station	

Form of Development	Exceptions
Nursing home	
Office	Except where associated with primary production or tourism development
Place of worship	
Prescribed mining operations	
Primary school	
Pre-school	
Road transport terminal	
Service trade premises	
Shop or group of shops	
Stock saleyard	
Store	
Telecommunications facility	
Warehouse	
Waste, reception, storage, treatment or disposal other than in the form of a recycling collection depot	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Rural Living Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone consisting of large allotments, detached dwellings and rural activities that do not adversely impact the amenity of the locality.
- 2 Rationalisation of the existing subdivision layout to achieve orderly, efficient and co-ordinated development.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The semi-rural character of the zone should be reinforced and strengthened through the design and siting of buildings and homesteads, open style fencing and appropriate landscaping to compliment undulating landform.

Armagh, Spring Farm and Donnybrook cater for rural living development on various allotment sizes. The zone provisions recognise existing development whilst providing opportunity for minor infill development.

At Auburn the zone comprises of small parcels under general farming use and is separated from broadacre farming. With existing homesteads in the area, the land lends itself to rural living purposes.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - detached dwelling
 - domestic outbuilding in association with a detached dwelling
 - domestic structure
 - dwelling addition
 - farming
 - farm building
 - stable.
- 2 Development listed as non-complying is generally inappropriate.
- 3 There should be no more than one dwelling per allotment.
- 4 Development should not result in construction of excessive lengths of roads or four way intersections.
- 5 The keeping of animals should be ancillary to and in association with the residential use of the land.
- 6 The keeping of horses should only be undertaken if the horses are accommodated within a stable or shelter with supplementary feeding to maintain pasture cover.

Form and Character

- 7 Development should not be undertaken unless it is consistent with the desired character for the zone.

8 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	30 metres
Minimum setback from secondary road frontage	15 metres
Minimum setback from side boundaries	5 metres
Minimum setback from rear boundary	5 metres
Maximum site coverage	5 per cent
Maximum building height (from natural ground level)	5 metres

9 Sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area	108 square metres
Maximum building height (from natural ground level)	4 metres
Maximum wall height (from natural ground level)	3.6 metres
Minimum setback from side and rear boundaries	5 metres
Minimum setback from a public road or public open space area	30 metres

10 Where an allotment fronts both Blyth Road and Hayward Street at Armagh, sheds, garages and similar outbuildings should gain access from Hayward Street, have a minimum setback of 30 metres from Blyth Road and incorporate a landscaped buffer of at least 10 metres in width between the structure and Blyth Road.

11 A dwelling should have an allotment area of at least 1.5 hectares and a frontage to a public road not less than 25 metres.

12 Retail, commercial, or industrial development should not be undertaken.

Land Division

13 Land division should create allotments with an area of at least 1.5 hectares and a frontage to a public road not less than 25 metres.

Town Approach Policy Area 5

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area primarily accommodating low density residential development on large rural living allotments, in association with a range of low intensity rural activities.
- 2 An open rural character, which contrasts with the built-up area of Clare, comprising vegetated hillsides and an “entrance” theme with an avenue of trees, road treatment and road verge enhancement.
- 3 Co-ordinated development which is sensitively sited and designed.
- 4 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

The township of Clare acts as a central ‘base’ for tourists seeking accommodation, meals and as a “starting point” for visits around the Lower Mid North region and Flinders Ranges. Main North Road runs through the policy area and is the major road connecting Clare to the south. The policy area forms the southern approach into the township of Clare where there is a mixed character. The appearance of the policy area needs to be significantly enhanced to both differentiate it from commercial development within the adjacent policy area and promote an attractive entrance into Clare. Therefore, new commercial and other visually inappropriate land uses will not be established in the policy area to prevent the proliferation of development which will lead to further visual disorder and cluttering of the southern township approach.

Small scale infill housing development on large rural living allotments will make up the predominant form of development in the policy area, with large building set-backs and substantial landscaping.

The policy area is attractive for tourist accommodation and this is supported provided it is achieved sensitively through low scale bed and breakfast facilities within existing buildings. The Clare Valley Motel is an exception to this, where additional buildings are acceptable, provided they are of a scale that is appropriate to this setting, and are positioned, designed and screened so as to not be visible from Main North Road.

The enhancement of the appearance of the township approach will be further complemented by improvements to the public realm in this location, comprising a consistent landscape theme, an avenue of trees and gateway signage.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the policy area:
 - detached dwelling
 - domestic outbuilding in association with a detached dwelling
 - domestic structure
 - dwelling addition.
- 2 Other than for the Clare Valley Motel, tourist accommodation should be limited to bed and breakfast accommodation located within existing buildings.

Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 4 Buildings should be set-back a minimum of 15 metres from Main North Road and eight metres from other roads or the equivalent distance of the building on a neighbouring allotment, whichever is greater.
- 5 Development should include extensive landscape between the front property boundary and the front of any buildings:
 - (a) so that a landscaped garden can be created
 - (b) to enhance the appearance of the street through landscaping.
- 6 Development should be of one storey and be sited to relate to the slope of the land, so that the amount of cutting and filling of the natural ground is minimised.
- 7 Any new development at the Vineyard Lutheran School should ensure that the appearance of the site from Main North Road is improved by:
 - (a) the provision of additional landscaping and trees to the front property boundary and within the car park
 - (b) avoiding the placement of any new buildings forward of existing buildings on the site, or buildings on an adjacent site
 - (c) ensure generous spaces between buildings and to side boundaries where visible from the Main North road frontage
 - (d) maintain existing mature vegetation on the site, particularly native vegetation
 - (e) softening the appearance of tall buildings such as the Vineyard Stadium by screening using landscaping.
- 8 Retaining walls forward of buildings should be minimised and:
 - (a) broken into smaller components to reduce the visual prominence
 - (b) set back from the street and side boundaries to allow for landscaping and screening.

Advertising Signs

- 9 The location, siting, size, shape and materials of construction, of advertisements should:
 - (a) not exceed a height of 2 metres and an advertisement area of 1 square metre per face
 - (b) relate to an existing lawful non-residential only
 - (c) be positioned entirely on the site of the development
 - (d) not be internally illuminated or in the form of an LED panel
 - (e) not be animated, flash or move in any way

Land Division

- 10 Irregular shaped allotments, including "hammer-head" allotments and those creating unusable land areas, should not be created.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement and/or advertising hoarding	Advertisement and/or advertising hoarding where the development achieves at least one of (a) or (b): <ul style="list-style-type: none"> (a) is adjacent to a road with a speed limit of less than 80 km/h (b) has an advertisement area of 2 square metres or less and achieves all of the following: <ul style="list-style-type: none"> (i) the message contained thereon relates entirely to a lawful use of land (ii) the advertisement is erected on the same allotment as the use it seeks to advertise (iii) the advertisement will not result in more than two advertisements on the allotment.
Amusement machine centre	
Crematorium	
Consulting room	
Convention centre	
Dairy	
Dwelling	Except a detached dwelling that results in no more than one dwelling per allotment.
Fuel depot	
General industry	
Gold course	
Hospital	
Hotel	
Intensive animal keeping	
Land division	Except where all allotments resulting from the division are over 1.5 hectares.
Major public service depot	
Motel	Except in the Town Approach Policy Area 5 .
Motor repair station	
Petrol filling station	
Prescribed mining operation	

Form of Development	Exceptions
Residential flat building	
Restaurant	
Road transport terminal	
Service trade premises	
Shop or group of shops within the Town Approach Policy Area 5	
Shop or group of shops	Except where the gross leasable area is 80 square metres or less.
Special industry	
Stock sales yard	
Stock slaughter works	
Store	
Tourist accommodation	Except in the Town Approach Policy Area 5 and contained within an existing building.
Warehouse	
Waste reception, storage, treatment or disposal	
Wrecking yard	
Welfare institution	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

State Heritage Area (Mintaro)

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this state heritage area.

STATEMENT OF HERITAGE VALUE

Mintaro provides clear physical evidence of its early role as a staging post supporting the bullock teams that hauled loads of copper ore from the mines in Burra to Port Wakefield from 1845. The discovery of these rich copper deposits provided for significant economic development in the 1840s in South Australia. As agriculture and pastoralism consolidated in the mid-north region, Mintaro was well placed to provide important local services such as blacksmiths, wheelwrights, bootmakers and other necessary facilities during an important time in the development of the colony. Martindale Hall, a stately mansion erected for the Bowman's in 1880 on a large land holding close to Mintaro, provides clear evidence that pastoralists had become the colony's social gentry.

Mintaro's close association with extractive primary industry in the developing colony is clearly demonstrated through the still operational slate quarry (first mined in 1854), and its early surviving buildings. This industry provided a significant and sustained economic boost to the town, particularly after the copper teams bypassed Mintaro to the south, travelling through Saddleworth and Riverton when a railhead was constructed at Gawler in 1857. The quarry employed about 40 men in 1860, a significant number considering Mintaro's population in 2006 of approximately 80 people.

The Mintaro slate quarry is of exceptional heritage value and has rare qualities, being the oldest continuously functioning quarry in South Australia and possibly Australia (it has been in operation for over one hundred and fifty years). Mintaro slate also enjoys a strong reputation for its high quality and durability, both nationally and internationally. The slate chimneys, tanks, walling, paving, road edging, culverts, window sills, steps and headstones at the cemetery evident in Mintaro demonstrate the use of the material as a successful building product. In fact, one of the most distinctive and unique physical features of Mintaro is the extensive use of dry stone walling, creating a strong visual definition along many property boundaries. All surviving elements of slate within the township are of exceptional significance.

Mintaro is an outstanding example of a small rural township that has survived for over 150 years with relatively little change to its physical appearance. The main street, Burra Street (formerly known as "The Gulf Road"), diagonally traverses the grid street pattern in the township, resulting in numerous T-junctions and road forks that provide oblique views of the many historic buildings and rural countryside beyond. There is an exceptionally high proportion of buildings surviving from the mid-nineteenth century (1850-1870), including modest workers cottages, churches and shops of simple form and detailing. The majority of buildings are single storey and use Manoora sandstone in their construction, with many of the steeply pitched roofs now clad in corrugated iron, replacing (or covering up) original slate shingles.

Burra Street has a unique historic quality, being lined on both sides with retail and commercial buildings dating from Mintaro's beginnings. Of particular note are the blacksmith's shop, carpenter's shop, the Mews, Magpie and Stump Hotel, and Devonshire House and Stables, Institute and Hall, Post Office and the former Police Station. A number of these buildings have been restored and remain in use.

Mintaro's neatly defined town boundaries, reflecting the original subdivision layout of 1849, provide the town with a strong sense of containment. Extensive mature landscaping survives throughout the town, including many large Red Gums, Pepper Trees, Morton Bay Figs in Burra Street and extensive rows of Hawthorn hedging. The public realm is distinguished by the absence of sophisticated street amenities such as parking bays, kerb and guttering, street signs and repetitive street lighting.

OBJECTIVES

- 1 Development that does not compromise the Statement of Heritage Value and contributes to the Desired Character for the Mintaro State Heritage Area.

DESIRED CHARACTER

Function

Mintaro will be a thriving rural village, with a unique historic identity and a strong sense of community. Historic buildings will be retained and, in some cases, adapted in a way that ensures their long-term conservation and viability.

Pattern of Development

With the exception of the denser parts of Burra Street around the Mews, substantial spaces between buildings will provide views through to land used for viticulture, grazing and cropping both within the boundaries of the town and on the hillsides surrounding Mintaro. The overall impression of Mintaro will be of an uncluttered, historic, rural village.

The rural land on the hills surrounding Mintaro establishes an important setting for the town. Development of the rural land surrounding Mintaro will complement and reinforce the heritage value and desired character of the State Heritage Area.

Public Realm

The public realm in Mintaro will reinforce its rural village character with minimal infrastructure such as curbing and guttering, footpaths and street furniture. There will not be significant change to the streetscape, but rather protection and subtle enhancement of key features such as the area in front of the Mintaro Institute, Torr Park and the entrances to the town. Interpretive signage throughout the public realm will assist in the understanding of the heritage significance of Mintaro.

Creek crossings will be highlighted by the retention of existing slate culverts, construction of additional painted steel post and rail abutments and stone pillars, and the revegetation with locally indigenous species.

There will be two major gateway entry points to Mintaro at the intersection of Burra Street and Burton Street, and Burra Street and Jacke Road. These gateways will be denoted by low slate walls with "Mintaro" badging on them, as well as hedging and Eucalyptus trees that reinforce the landscape character of Mintaro. The amount and style of signage at these gateways will be carefully managed.

Building Design

There will be a unity of built-form, where all new buildings are complementary to existing historic buildings rather than dominating or detracting from them. This will be achieved through new development which has design features such as small building footprints, steep roof pitches and simple detailing, as well as the use of building materials common to older structures in Mintaro such as sandstone, slate and corrugated iron.

Landscaping

Existing landscape characteristics of this rural settlement will be preserved and enhanced. These characteristics include predominantly cleared pastoral areas surrounding the town, stands of indigenous trees along ridge lines, scattered individual specimens and groups of mature eucalyptus trees set amongst vineyards on the edge of the town, and more uniform plantings of exotic and locally indigenous species in the core of the town. The preservation and reinstatement of locally indigenous vegetation along creeklines will also be an important feature of the town.

PRINCIPLES OF DEVELOPMENT CONTROL

Function

- 1 Development should reinforce Mintaro's function as a local service centre for residents and the surrounding rural community, as well as promoting Mintaro as a tourist destination.
- 2 Historic buildings should be retained and, in some cases, adapted both in terms of land use and built form in a way that ensures their long-term conservation and viability.

- 3 Farming and horticultural (viticulture) activities should occur throughout the State Heritage Area, preserving the working rural character of Mintaro.
- 4 Not more than one dwelling should be erected on an allotment.
- 5 An additional dwelling may be developed in association with an existing dwelling provided that the additional dwelling:
 - (a) is located on the same allotment as the existing dwelling (allotment amalgamation may be necessary)
 - (b) is subordinate to the existing dwelling, with a floor area no greater than 60 square metres
 - (c) uses the same wastewater infrastructure as the existing dwelling
 - (d) Incorporates design elements that provide suitable access for people with disabilities
 - (e) satisfies [Table CGV/4 – Mintaro Conservation and Construction Guidelines](#).

Pattern of Development

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Development should be sited in a manner compatible with the preservation of the existing streetscapes with particular regard to the present random spacing and set-backs of buildings and landscaping in the immediate locality, providing views between buildings through to land used for viticulture, grazing and cropping both within the boundaries of the town and on the hillsides surrounding Mintaro.
- 8 Buildings should be sited so that they are parallel to the adjoining street.
- 9 New buildings should adopt setbacks that allow for space between buildings and landscaping that is consistent with the prevailing character of the locality and ensures the historic buildings remain dominant visual elements in the streetscape.

Public Realm

- 10 There should be minimal infrastructure on public land, but where such infrastructure is required it should be simple and robust in its design, incorporating the following elements:
 - (a) fencing made from post and wire, post and rail, timber pickets, low heights stone walls (particularly slate), and hedging
 - (b) seating made from timber and galvanized steel
 - (c) low level or up lighting which emphasises historic features
 - (d) footpaths of compacted rubble
 - (e) bluestone kerbing and guttering.
- 11 Signs, including interpretive signs, should be designed to complement the buildings they are attached to or adjoining in accordance with [Table CGV/4 – Mintaro Conservation and Construction Guidelines](#) and in particular:
 - (a) should not obscure buildings
 - (b) should be below the roof level or hung from below the verandah fascias or painted on the shop front window
 - (c) should be of traditional, well proportioned serif or sanserif style lettering

- (d) should be based on the heritage range of external colours
- (e) neon and illuminated box signs should not be erected
- (f) should be limited in size and number so that they do not clutter the streetscape.

Building Design

General

- 12 Development involving the conservation of existing buildings and structures, the construction of extensions to existing buildings and entirely new buildings should conform to the standards of conservation practice set out in the [Table CGV/4 - Mintaro Conservation and Construction Guidelines](#).
- 13 New buildings should not replicate historic buildings, but rather be complementary to existing historic buildings in terms of architectural form, scale and proportions, with simple and restrained detailing.
- 14 New dwellings should complement the key elements of building mass and form associated with existing historic dwellings in Mintaro, which include:
 - (a) simple, small-scale, rectangular floor plans (larger dwellings should incorporate a number of simple, small-scale, rectangular structures joined together)
 - (b) steeply pitched roofs (30-40 degrees), that are hipped or gabled with short spans (approximately 3.0 metres maximum from the ridge to the eaves), supplemented by skillion or lean-to roof elements where necessary (a greater ridge to eaves dimension may be appropriate where a new building is not located in close proximity to an existing historic building with a small ridge to eaves dimension)
 - (c) modest principal facade widths of 10 to 12 metres, while longer facades include projecting gable elements or similar
 - (d) façades with a high solid to void ratio, where window and door openings have limited width and vertical proportions
 - (e) floor to ceiling heights between 2.7 and 3.0 metres (wall height represents 66 per cent of overall building height, or at least 50 per cent of overall building height where roof spans approach 4.5 metres from the ridge to the eaves)
 - (f) straight pitched and concave verandahs (not bull-nosed), without elaborate detailing (square rather than fluted or turned verandah posts)
 - (g) simple detailing (mock-historic details such as finials, lacework, elaborate barge boards, quoinkwork, colonial bar glazing, bay windows or heavily paneled doors should be avoided).

Height

- 15 Buildings should be predominantly single storey, with any upper storeys located within the roof space.

On-site Parking

- 16 Development should be provided with adequate off-street car parking located to the rear of buildings so that any associated structures such as garages and carports do not increase the bulk and scale of the main building and so that garages, garage doors and carports do not negatively impact on the streetscape, views to the main buildings and other historic buildings, and the open character of the town.

Building Materials

- 17 Buildings should incorporate materials that are compatible with the materials used in historic buildings in Mintaro, including the following materials:

- (a) bluestone, sandstone, weatherboard, corrugated steel in galvanized or powder coated finishes, rendered masonry and acrylic finishes (or a combination of these materials) for external walls in dark, earthen colours and greys (imitation stone or slate veneer should not be used)
- (b) corrugated galvanized steel sheet for roofing on historic buildings, and either corrugated galvanized steel sheet or painted/powder coated steel for roofing on new buildings in grey hues that minimises glare and is compatible with the surrounding landscape and existing buildings
- (c) painted timber windows frames and doors and insect screens (aluminum window frames and insect screens may be acceptable where new buildings are not close to historic buildings).

Earthworks

- 18 Buildings should be designed and sited so that the need for cut and fill is minimised, thereby reducing potential soil erosion and the need for and height of retaining walls, while also ensuring that the bulk and scale of buildings is minimised (new buildings should be benched into sloping sites rather than being set on raised platforms).

Outbuildings and Ancillary Structures

- 19 Outbuildings, including garages and carports, should:
- (a) be limited in size so as to maintain the desirable open character of Mintaro;
 - (b) be simple in their architectural form with rectilinear floor plans
 - (c) include a combination of steeply pitched gabled or hipped roofs (approximately 30-40 degrees, similar to the associated dwelling) with breaks in roof forms or skillion roof to minimise the bulk and scale of large outbuildings
 - (d) use corrugated galvanized steel sheet or painted/powder coated steel roofing, together with stone, rendered masonry, weatherboard or corrugated steel in galvanized or painted/powder coated finishes (or a combination of these materials) walls in dark, earthen colours.
- 20 Antennae, satellite dishes, solar panels, plant and ancillary equipment should be located so as to not intrude on the historic character of buildings and streetscapes.
- 21 Rainwater tanks should:
- (a) be limited in size (a number of smaller tanks are more appropriate than one large tank)
 - (b) be located as inconspicuously as possible (at the rear of associated buildings, partially or total below ground, screened by vegetation)
 - (c) have a corrugated profile that is complementary to traditional galvanized iron tanks.

Fencing

- 22 Fences should be minimised wherever possible to enhance the open, historic character of Mintaro. Where fencing is necessary it should be in the form of post and wire, post and rail, timber pickets, low height stone walls (particularly slate), and hedging (painted/powder coated steel fencing is inappropriate).

Water Supply and Wastewater Management

- 23 Development should only be undertaken where it can be demonstrated that a water supply of adequate quantity and quality is available for the proposed use.
- 24 Effluent disposal should, where possible, be by a community wastewater management system (septic tank effluent disposal scheme or common effluent disposal scheme), so as not to cause risk to health and not pollute surface or underground water supplies.

- 25 The point of discharge from an aerobic waste disposal system should be located so as not to cause a risk to health or pollute surface or underground water supplies.

Landscaping

- 26 Large, individual specimens and stands of Eucalyptus trees scattered throughout Mintaro should be preserved and incorporated in new development.
- 27 Plantings of both native (preferably locally indigenous) and exotic species consistent with existing landscape character should be incorporated in new development towards the centre of Mintaro.
- 28 Exotic species should be replaced with locally indigenous species along creek lines so as to improve water flow, water quality and biodiversity.
- 29 Driveways should be made from compacted earth or gravel, with paving and hard surfacing kept to a minimum.
- 30 Development should be set back sufficient distance from both individual and stands of large Eucalyptus trees to allow for their retention without compromising the health and safety aspects of such trees.

Environmental

- 31 The size, distribution and density of allotments contained in any land division should be designed to avoid any cumulative adverse impacts associated with on-site household wastewater disposal on nutrient and microbial concentrations in local and regional groundwater systems.
- 32 Aerobic or anaerobic disposal of effluent should not occur within 50 metres of a watercourse in order to minimise environmental impacts associated with this type of wastewater treatment.
- 33 Development incorporating systems for the disposal of wastewater on-site should only occur where permeability and geotechnical analysis confirms that the soil qualities are able to cater for such a system and the area dedicated to the disposal of effluent does not occur within areas of high usage private outdoor open space, driveways, car parking or outbuildings.
- 34 Development, including land division, should not occur where site contamination has occurred unless the site has been assessed and remediate as necessary, to ensure that there are no undue health impacts for occupants and visitors to this and adjoining land.

Town Centre (Mintaro) Policy Area 6

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development that contributes to the Desired Character for the policy area.

DESIRED CHARACTER

Function

The policy area will remain the commercial centre of Mintaro, with a mix of small-scale shops, restaurants, tourist accommodation, the hotel, community facilities and limited residential land uses.

Pattern of Development

There will be no additional allotments created within the policy area. There will also be a limited amount of infill development and substantial spaces between buildings will be maintained to provide views through to land used for viticulture, grazing and cropping.

Public Realm

Burra Street will be enhanced as the historic high-street of Mintaro. Infrastructure in the public realm will be simple and robust design, making use of materials such as timber, stone and galvanized steel. The shoulder treatment for the carriageway along Burra Street will continue to be granitic spray seal. When entering Mintaro from the north, the open sense of arrival adjacent to the Magpie and Stump Hotel will be preserved.

The Mintaro Institute will continue to play a significant role as the civic heart of Mintaro. The forecourt will be re-established, improving the civic gathering space associated with the War Memorial and the building's integration with Burra Street. Car park will occur at the rear of the Institute.

Torr Park will remain as the central public recreation and open space hub for Mintaro. There will be a high degree of integration between the park and Burra Street through the removal of existing fencing, mid-height vegetation and replacement of prunus trees with taller and tall-trunked trees. The children's play facilities will be in a central location with a civic space and associated picnic facilities close to Burra Street. Hedging will assist in screening the rear of the clubrooms close to Burra Street.

Building Design

There will also be a unity of built-form, where all new buildings are complementary to existing historic buildings rather than dominating or detracting from them. This will be achieved through new development which has design features such as small building footprints, steep roof pitches and simple detailing, as well as the use of building materials common to older structures in Mintaro such as sandstone, slate and galvanized corrugated iron.

Landscaping

There will be a mix of uniform locally indigenous and exotic plantings in the Town Centre Policy Area. The existing avenue of Moreton Bay Fig trees and Pepper trees along Burra Street will be supplemented with additional planting of Moreton Bay Figs at strategic locations. The historic tall-trunked Eucalyptus avenue planting on eastern side of Burra Street will be re-instated.

PRINCIPLES OF DEVELOPMENT CONTROL

Function

- 1 Development should primarily consist of a mix of small-scale shops, restaurants, the hotel, community facilities and limited residential activity, together with tourist accommodation such as hosted and self contained bed and breakfast establishments, small-scale hotels and guesthouses.
- 2 Multiple dwellings, where one dwelling is occupied by more than five persons who live independently of one another and share common facilities within that dwelling, should be developed within existing buildings and on vacant allotments that satisfy the minimum lot size identified in the relevant precinct, provided that they:
 - (a) incorporate design elements that provide suitable access for people with disabilities
 - (b) satisfy the [Table CGV/4 - Mintaro Conservation and Construction Guidelines](#).

Pattern of Development

- 3 There should be substantial space between buildings on separate allotments to preserve views through to land used for viticulture, grazing and cropping within the town and on surrounding hillsides.

Public Realm

- 4 There should be the provision of car parking at the rear of the Mintaro Institute.
- 5 Development of Torr Park should promote a high degree of integration between Burra Street by having no fencing, or low level fencing, tall-trunked trees that provide views into and out of the park and hedging that screens the rear of the clubrooms close to Burra Street.
- 6 Signs, including interpretive signs, should be designed to complement the buildings they are attached to or adjoining in accordance with [Table CGV/2 - Design Guidelines for Advertising Signs](#) and in particular:
 - (a) should not obscure buildings
 - (b) should be below the roof level or hung from below the verandah fascias or painted on the shop front window
 - (c) should be of traditional, well proportioned serif or sanserif style lettering
 - (d) should be based on the heritage range of external colours
 - (e) neon and internally illuminated box signs should not be erected.

Building Design

- 7 Development involving the conservation of existing buildings and structures, the construction of extensions to existing buildings and entirely new buildings should conform to the standards of conservation practice set out in the Mintaro State Heritage Area section of the Development Plan and the [Table CGV/4 - Mintaro Conservation and Construction Guidelines](#).

Landscaping

- 8 Plantings of both native (preferably locally indigenous) and exotic species should be more uniform in the Town Centre Zone compared to other parts of Mintaro.
- 9 The existing avenue of Moreton Bay Fig trees and Pepper trees along Burra Street should be supplemented with additional planting of Moreton Bay Figs at strategic locations.
- 10 Avenue plantings on the eastern side of Burra Street should use tall-trunked (preferably locally indigenous) Eucalyptus species, except in close proximity to the Mintaro Institute buildings where they may pose an unacceptable bushfire risk.

Residential (Mintaro) Policy Area 7

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development that contributes to the Desired Character for the policy area.

DESIRED CHARACTER

Function

The policy area will contain detached dwellings, together with some community facilities such as churches and schools. There will also be small scale tourist accommodation in the form of hosted and self contained bed and breakfast accommodation, particularly within existing historic buildings.

Pattern of Development

Large residential allotments with substantial spaces between buildings will provide views through to land used for viticulture, grazing, cropping and farm buildings both within the boundaries of the town and on the hillsides surrounding Mintaro.

The extensive areas of open land near the junction of Hill and Young Streets which provide views towards the church buildings in this location constitute a large part of the rural character of this part of Mintaro. These open areas and associated views will be retained.

Land within the Precinct 2 Western Residential will contain residential allotments, ranging in size from 0.4 hectares to 0.2 hectares each. The pattern of development in this area will be in accordance with [Concept Plan Map CGV/1 - Western Residential](#). Land on the south-west corner of the intersection of Kingston Road and Slate Quarry Road will be free of buildings in order to preserve the open character of this focal point within Mintaro, while also preserving views to the church and associated buildings on the corner of Kingston Road and Hill Street.

Land within the **Precinct 3 Northern Residential** will contain large residential allotments with a scattered spacing of buildings so as to preserve the open character of the policy area as an important feature of the northern entry to Mintaro, in accordance with [Concept Plan Map CGV/7 - Mintaro Precinct 3 Northern Residential](#).

Land within the **Precinct 4 Eastern Residential** contains large residential allotments – these allotments are subject to inundation in the event of a flood. The development of dwellings is therefore not anticipated as illustrated on [Concept Plan Map CGV/8 - Mintaro Precinct 4 Eastern Residential](#).

Although development is not anticipated in **Precinct 4 Eastern Residential** due to flooding risk, any development potential would only be considered in limited circumstances – only where such development is subject to satisfactory flood mitigation investigations, having strong regard to both onsite and offsite impacts, and where buildings are able to be sited, designed and undertaken with appropriate precautions being taken against the relevant hazards.

Public Realm

There will be minimal infrastructure in the public realm, and where it is required it will be simple and robust design, making use of materials such as timber, stone and galvanized steel. The only significant change to the public realm will be subtle enhancements at the gateways to the town at the intersection of Burra Street and Burton Street, and Burra Street and Jacka Road.

Creek crossings will be highlighted by the retention of existing slate culverts, construction of additional painted steel post and rail abutments and stone pillars, and replacement of exotic species with locally indigenous species.

Building Design

There will be a unity of built-form, where all new buildings are complementary to existing historic buildings rather than dominating or detracting from them. This will be achieved through new development which has design features such as small building footprints, steep roof pitches and simple detailing, as well as the use of building materials common to older structures in Mintaro such as sandstone, slate and galvanized corrugated iron.

Landscaping

Predominantly locally indigenous species will be used in the Residential (Mintaro) Policy Area 7, with a focus on preserving and complementing scattered individual specimens and groups of mature eucalyptus trees set amongst vineyards and small-scale farming activities.

PRINCIPLES OF DEVELOPMENT CONTROL

Function

- 1 Development should primarily consist of detached dwellings and community facilities such as schools and churches, together with some small scale farming and horticultural (viticulture) activity, and some small-scale tourist accommodation in the form of hosted and self contained bed and breakfast accommodation.
- 2 Multiple dwellings, where one dwelling is occupied by more than five persons who live independently of one another and share common facilities within that dwelling, should be developed within existing buildings and on vacant allotments that satisfy the minimum lot size identified in the relevant policy area, provided that they:
 - (a) incorporate design elements that provide suitable access for people with disabilities
 - (b) satisfy the Mintaro Conservation Guidelines in [Table CGV/4 - Mintaro Conservation and Construction Guidelines](#).

Pattern of Development

- 3 With the exception of land within Precinct 2 Western Residential, land division should only occur in the form of rationalization of existing allotments (reducing the number of allotments) or minor boundary realignment in order to create allotment sizes suitable for the development of dwellings.
- 4 Buildings should be sited in a manner that is compatible with present random spacing of buildings and landscaping in the immediate locality, providing views between buildings through to land used for viticulture, grazing and cropping both within the boundaries of the town and on the hillsides surrounding Mintaro.
- 5 Development in the vicinity of the junction of Hill and Young Streets should preserve views towards the church buildings in this location.

Public Realm

- 6 There should be minimal infrastructure in the public realm, but where it is required it should be simple and robust in its design, making use of materials such as timber, stone and galvanized steel.
- 7 The entry points to Mintaro at the intersection of Burra Street and Burton Street, and Burra Street and Jacka Road should be enhanced with gateway infrastructure including walling, consolidated signage and vegetation.
- 8 Creek crossings should be highlighted through the retention of existing slate culverts, construction of additional painted steel post and rail abutments and stone pillars, and replacement of exotic species with locally indigenous species.

Building Design

- 9 Development involving the conservation of existing buildings and structures, the construction of extensions to existing buildings and entirely new buildings should conform to the standards of conservation practice set out in the Mintaro State Heritage Area section of the Development Plan and [Table CGV/4 - Mintaro Conservation and Construction Guidelines](#).
- 10 In order to minimise their visual impact when viewed from the street and maintain the open character of the zone, outbuildings should be no larger than 72 square metres, or 6 metres by 12 metres, and should be located at the rear of the associated dwelling.
- 11 The bulk and scale of large outbuildings should be minimised through the use of varied roof forms including skillion roofs.

Landscaping

- 12 Scattered individual specimens and groups of mature eucalyptus trees set amongst vineyards, small-scale farming activities and scattered houses should be preserved and complemented with predominantly locally indigenous species.
- 13 A landscaped buffer should be established on the boundary between Precinct 2 Western Residential and the Township Fringe (Mintaro) Policy Area 9 to minimise the potential for conflict between residential and agricultural activities, incorporating the following elements:
 - (a) a minimum total width of 40 metres
 - (b) random planting of a variety of tree and shrub species of differing growth habits, at spacings of 4–5 metres for a minimum of 20 metres
 - (c) species with long, thin and rough foliage which facilitates the more efficient capture of spray droplets
 - (d) a minimum buffer height (i.e. tree height) of 1.5 times the spray release height or target vegetation height, whichever is the higher
 - (e) an area of at least 10 metres clear of vegetation or other flammable material to either side of the vegetated area.

PRECINCT SPECIFIC PROVISIONS

Refer to the [Map Reference Tables](#) for a list of the maps that relate to the following precincts.

Precinct 1 Core Residential

- 14 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 15 The minimum allotment size for a dwelling should be 0.4 hectares.
- 16 The division of land should not result in the creation of allotments having an area less than 0.4 hectares.

Precinct 2 Western Residential

- 17 Development should not be undertaken unless it is consistent with the desired character for the precinct.
- 18 Development should be carried out, where applicable, in accordance with the concepts shown on [Concept Plan Map CGV/1 – Western Residential](#) to achieve the following:

- (a) an area of public open space at least 66 metres wide by 66 metres deep is provided on the corner of Kingston Road and Slate Quarry Road that preserves views from within the public realm towards the church and associated buildings
- (b) large allotments of 0.4 hectares in area and at least 60 metres in width front Kingston Road and Slate Quarry Road, with the exception of one allotment at the southern end of Kingston Road that is 30 metres wide and 0.2 hectares in area, in a manner that is complementary to existing allotment configurations in other parts of the policy area and provides adequate space for vehicles to enter and exit each site in a forward direction
- (c) vehicular access to the 0.2 hectare allotments fronting Kingston Road is from a side road and not from Kingston Road, and outbuildings such as garages and sheds located on the western side of these allotments should be sited so as to minimise the visual impact of development on this allotment upon Kingston Road
- (d) public open space and roads front the creek so that flood risk to dwellings and associated structures can be appropriately managed
- (e) smaller allotments with a minimum size of 0.2 hectares are located away from Slate Quarry Road and Kingston Road so that they have minimal visual impact on these roads
- (f) a loop road is created between Slate Quarry Road and Kingston Road that is reflective of the legible and permeable grid street pattern in other parts of Mintaro
- (g) public open space is provided along the creek to facilitate pedestrian access and recreation, as well as preserving the environmental qualities of the riverine environment.

Precinct 3 Northern Residential

- 19 Development should not be undertaken unless it is consistent with the desired character for the precinct, and in accordance with [Concept Plan Map CGV/7 - Mintaro Precinct 3 Northern Residential](#).
- 20 The division of land should not result in the creation of allotments having an area less than 1 hectare.

Precinct 4 Eastern Residential

- 21 Development is not envisaged due to flood constraints as depicted on [Concept Plan Map CGV/8 - Mintaro Precinct 4 Eastern Residential](#).
- 22 The division of land should not result in the creation of any additional allotments.
- 23 Where development is to be contemplated, and excavation and filling associated with buildings is proposed as a means of protecting buildings from flooding impact, it should be kept to a minimum so as to preserve the built-form character of Mintaro.

Rural Living (Mintaro) Policy Area 8

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 Development that contributes to the Desired Character for the policy area.
- 2 Protection of views over open grassland and vineyards to the scattered historic buildings beyond.

DESIRED CHARACTER

Function

Scattered dwellings and associated outbuildings will be set amongst small-scale farming and horticultural (viticulture) activities. There will also be some small-scale tourist accommodation in the form of hosted and self contained bed and breakfast accommodation, particularly within existing historic buildings.

Pattern of Development

There will be dwellings on larger allotments, as distinct from the rural land to the north of Catholic

Church Road which comprises large, open farms, and land within the Residential (Mintaro) Policy Area 7 and the Town Centre (Mintaro) Policy Area 6 to the south which contain denser residential, commercial and community buildings.

Public Realm

There will be minimal infrastructure in the public realm, and where it is required it will be simple and robust design, making use of materials such as timber, stone and galvanized steel.

Building Design

There will be a unity of built-form, where all new buildings are complementary to existing historic buildings rather than dominating or detracting from them. This will be achieved through new development which has design features such as small building footprints, steep roof pitches and simple detailing, as well as the use of building materials common to older structures in Mintaro such as sandstone, slate and corrugated iron.

Outbuildings will be smaller than the associated dwellings and will be simple in their architectural form, with rectilinear floor plans, steeply pitched gabled roofs or low pitched skillion roofs and stone or corrugated steel in galvanized or colourbond finishes in dark, earthen colours.

Landscaping

Predominantly locally indigenous species will be used, with a focus on preserving and complementing scattered individual specimens and groups of mature eucalyptus trees set amongst vineyards and small-scale farming activities.

PRINCIPLES OF DEVELOPMENT CONTROL

Function

- 1 Development should primarily consist of detached dwellings set amongst small scale agricultural and viticultural activity with associated outbuildings, and some small-scale tourist accommodation in the form of hosted and self contained bed and breakfast accommodation.

Pattern of Development

- 2 The minimum allotment size should be 1.7 hectares.

Public Realm

- 3 There should be minimal infrastructure in the public realm, but where it is required it should be simple and robust in its design, making use of materials such as timber, stone and galvanized steel.

Building Design

- 4 Development involving the conservation of existing buildings and structures, the construction of extensions to existing buildings and entirely new buildings should conform to the standards of conservation practice set out in the Mintaro State Heritage Area section of the Development Plan and the [Table CGV/4 - Mintaro Conservation and Construction Guidelines](#).
- 5 Buildings should have substantial setbacks from adjoining roads to enhance the open character of the approaches to the town.
- 6 Buildings should be kept below the ridge line along Catholic Church Road when viewed from Kingston Road and Burton Street roads to retain the dominance of the Catholic Church on top of the hill.
- 7 In order to minimise their visual impact when viewed from the street and maintain the open character of the zone, outbuildings should be no larger than 135 square metres, or 7.5 metres by 18 metres, and should be located at the rear of the associated dwelling.
- 8 The bulk and scale of large outbuildings should be minimised through to use of varied roof forms including skillion roofs.

Landscaping

- 9 Scattered individual specimens and groups of mature eucalyptus trees set amongst vineyards, small-scale farming activities and scattered houses should be preserved and complemented with predominantly locally indigenous species.

Township Fringe (Mintaro) Policy Area 9

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this policy area.

OBJECTIVES

- 1 A policy area primarily for low-intensity primary production compatible with Mintaro.
- 2 Development that contributes to the desired character of the policy area.

DESIRED CHARACTER

Function

This land will be preserved as farming and horticultural (viticulture) land surrounding Mintaro with relatively few buildings. The Mintaro Slate Quarry (an extractive industry), will also continue to be a dominant landmark on the western edge of the zone, with the potential for expansion onto adjoining slate deposits. There will also be recreational facilities associated with Mintaro Oval. There will also be small-scale tourist accommodation in the form of hosted and self contained bed and breakfast accommodation, particularly within existing historic buildings.

Pattern of Development

In order to preserve the open rural character of the hills surrounding Mintaro, which establishes an important historic setting for the town, there will be minimal further subdivision of the land surrounding the core of Mintaro.

Public Realm

The rural character of this zone means that there will be minimal infrastructure in the public realm, and where it is required it will be simple and robust design, making use of materials such as timber, stone and galvanized steel.

Building Design

There will be a unity of built-form, where all new buildings are complementary to existing historic buildings, rather than dominating or detracting from them. This will be achieved through new development which has design features such as small building footprints, steep roof pitches and simple detailing, as well as the use of building materials common to older structures in Mintaro such as sandstone, slate and corrugated iron.

Outbuildings will be simple in their architectural form, with rectilinear floor plans, steeply pitched gabled roofs or low pitched skillion roofs and stone or corrugated steel in galvanized or painted/ powder coated finishes in dark, earthen colours.

Landscaping

There will be a focus on preserving and complementing scattered individual specimens and groups of mature eucalyptus trees set amongst vineyards and farming activities. Trees along ridge and creeklines will be complemented with additional plantings of locally indigenous species.

PRINCIPLES OF DEVELOPMENT CONTROL

Function

- 1 Development should primarily consist of farming (grazing, cropping and viticulture), extractive industry, recreational facilities and a limited number of detached dwellings with associated outbuildings, and some small-scale tourist accommodation in the form of hosted and self contained bed and breakfast accommodation.

- 2 Noise sensitive development such as dwellings should not be undertaken within 500 metres of the Mintaro Slate Quarry.

Pattern of Development

- 3 The minimum allotment size for detached dwellings in the zone should be 10 hectares.
- 4 An additional allotment of less than 10 hectares in area may be created on the land immediately adjoining the oval to the east, providing potential for the development of a new detached dwelling fronting Jacka Road.

Public Realm

- 5 There should be minimal infrastructure in the public realm, with the exception of some sensitively designed and located signs.

Building Design

- 6 Development involving the conservation of existing buildings and structures, the construction of extensions to existing buildings and entirely new buildings should conform to the standards of conservation practice set out in the [Table CGV/4 - Mintaro Conservation and Construction Guidelines](#).
- 7 Buildings should be sited where they will not intrude on the rural landscape as viewed from the major road approaches to Mintaro and views from within the town.

Landscaping

- 8 Scattered individual specimens and groups of mature Eucalyptus trees set amongst vineyards and farming activities, as well as trees along ridge and creeklines, should be preserved and complemented with preferably locally indigenous locally indigenous species.

PROCEDURAL MATTERS

Complying Development

No kinds of development are complying in the State Heritage Area (Mintaro).

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Advertisement	Except where: <ul style="list-style-type: none"> (a) advertisement has an area less than 0.2 square metres (b) provides a message that relates to a lawful use of the land (c) is erected on the same site as that use (d) no more than one (1) advertisement erected on the site.
Amusement hall	
Amusement machine centre	
Consulting room in the Town Fringe (Mintaro) Policy Area 9	
Demolition of buildings and structures constructed prior to 1930	
Dwelling	Except for <ul style="list-style-type: none"> (a) detached dwelling: <ul style="list-style-type: none"> (i) within the Residential (Mintaro) Policy Area 7 (ii) within the Rural Living (Mintaro) Policy Area 8 (iii) on an allotment of 10 hectares or greater created after 30 June 2000 in the Town Fringe (Mintaro) Policy Area 9.
Fuel Depot	
Hotel	Except in the Town Centre Policy Area 6 .
Industry in the Town Centre (Mintaro) Policy Area 6, Residential (Mintaro) Policy Area 7, and the Town Fringe (Mintaro) Policy Area 9	Except for light industry and service industry.
Intensive animal keeping	Except for the Rural Living (Mintaro) Policy Area 8 .
Land division in the Residential (Mintaro) Policy Area 7, Rural Living (Mintaro) Policy Area 8 and the Town Fringe (Mintaro) Policy Area 9	Except: <ul style="list-style-type: none"> (a) where there is no increase in the number of allotments within Residential (Mintaro) Policy Area 7 other than within the area of Precinct 2 Western Residential (b) where creating allotments of 1.7 hectares or greater within Rural Living (Mintaro) Policy Area 8 (c) for one additional allotment that may be created immediately east of the oval in the Town Fringe (Mintaro) Policy Area 9.
Motel	Except in the Town Centre (Mintaro) Policy Area 6 .

Form of Development	Exceptions
Motor repair station	
Motor service station	
Motor showroom	
Petrol filling station	Except in the Town Centre (Mintaro) Policy Area 6.
Prescribed mining operations	Except for extractive industry associated with the Mintaro Slate Quarry.
Restaurant	Except in the Town Centre (Mintaro) Policy Area 6.
Road transport terminal	
Service trade premises	
Shop or group of shops	Except where (a) the gross leasable area is less than 100 square metres in the Residential (Mintaro) Policy Area 7 and the Town Centre (Mintaro) Policy Area 6.
Stock slaughter works	
Store	
Warehouse	
Waste reception, storage, treatment and disposal in the Town Fringe (Mintaro) Policy Area 9.	
Wrecking yard	Except in the Town Fringe (Mintaro) Policy Area 6.

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Town Centre Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A centre accommodating a wide range of retail, office, administrative, community, cultural and entertainment facilities appropriate to the needs of the community.
- 2 Conservation and upgrading of buildings of historic character.
- 3 Preservation of Torrens Road at Riverton, Main North Road at Auburn and Burra and Belvedere to Marrabel Roads at Saddleworth as the main thoroughfares, and maintenance of access to business houses and services.
- 4 Rationalisation of vehicular access, car parking and major pedestrian movement paths to provide a safer, more efficient and more attractive environment.
- 5 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The zone incorporates the primary business centre of Auburn, Riverton and Saddleworth and accommodates a range of facilities comprising retailing, service, commerce, employment and public uses. Although the zones are well developed, their function as the principal economic and servicing base for the local and district population should be maintained and strengthened through development of vacant allotments. It is desirable that new business and associated development should be contained within the zone so as to keep the zone as compact and efficient as possible, with adequate on-site car parking facilities.

New development should be sympathetic to the scale and form of existing buildings in the Town Centre Zone and not overwhelm their individual and small-scale nature. Care needs to be taken to ensure that the existing appearance and style of the built environment is retained. There are a number of substantial buildings in the zone but overall it exhibits a low-profile and is characterized by wide streets, verge planting and pleasant and attractive atmosphere. In particular, the verandahs are seen as an important component of this overall style and should be preserved wherever possible and existing and new development encouraged providing them in a manner consistent with the character of the town centres.

The zone also embraces the Historic Conservation Area at Auburn, a locality where the historic character, as expressed by the established streetscape and built-forms, reflect many original elements of its development.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulky goods outlet
 - café
 - consulting room
 - cultural centre
 - entertainment facility
 - fitness studio
 - hotel

- meeting room
 - motor repair station
 - office
 - petrol filling station
 - restaurant
 - service trade premises
 - shop
 - tourist facility.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 A dwelling should be established only where it is associated with and ancillary to an existing, or part of a proposed use envisaged for the zone.

Form and Character

- 4 Development should not be undertaken unless it is consistent with the desired character for the zone.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Amusement Machine Centre in the Historic Conservation Area	
Dairy	
Demolition of building and structures in the Historic Conservation Area	
Dwelling within the Historic Conservation Area	Except for a single detached dwelling
Dwelling outside the Historic Conservation Area	Except a dwelling that is: <ul style="list-style-type: none"> (a) ancillary to and in association with a non-residential development (b) located on the same allotment.
Farming	
Farm building	
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Intensive animal keeping	

Form of Development	Exceptions
Land division in the Historic Conservation Area	Except where it will maintain the traditional pattern and scale of allotments and will not be detrimental to the integrity of a Local or State heritage place.
Light industry outside the Historic Conservation Area	
Major public service depot	
Motor repair station in the Historic Conservation Area	
Petrol filling station in the Historic Conservation Area	
Prescribed mining operation	
Road transport terminal	
Service industry in the Historic Conservation Area	
Special industry	
Stock sales yard	
Service trade premises in the Historic Conservation Area	
Stock slaughter works	
Store in the Historic Conservation Area	
Warehouse in the Historic Conservation Area	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Township Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Services and facilities grouped together to meet the needs of the local community and the visiting public.
- 2 Protection and conservation of the small town character of Manoora, Marrabel, Penwortham, Rhynie, Sevenhill, Stockport, Tarlee, Waterloo and Watervale, particularly those areas visible from the main road, comprising a mixture of urban development, vineyards and native vegetation.
- 3 Increased mix in the range of dwellings available to cater for changing demographics, particularly smaller household sizes and supported accommodation.
- 4 Conservation and enhancement of the main road streetscape and scenic rural setting of the township.
- 5 Protection of the creek lines and its associated flood plain and minimisation of property damage or safety risk from the periodic flooding.
- 6 Retention of the compact nature and scale of residential development within the existing townships.
- 7 Development that contributes to the desired character of the zone and consist primarily of detached dwellings.

DESIRED CHARACTER

The zone covers the small settlements of Manoora, Marrabel, Penwortham, Rhynie, Sevenhill, Stockport, Tarlee, Waterloo and Watervale. These townships have a distinct rural character and charm derived from the natural surrounds, sparse development pattern and local heritage buildings.

The settlements form an important element of the fabric of the Clare and Gilbert Valleys district—providing a range of integrated business and community services and facilities, residential housing and employment generators to the rural and tourism sector and the broader community.

It is the long term aspiration that the settlements retain their integral role and function within the district—where the settlements welcome and embrace opportunity for growth and renewal options that help to underpin a strong employment base, future prosperity, a place for conviviality and sense of community pride.

These long term aspirations are fundamental to the diverse qualities of the Clare and Gilbert Valleys.

Penwortham and Sevenhill are confined visually by the topographic conditions with a dominant surrounding rural landscape. The topographic features consist of drainage patterns, vineyards, vegetation and valley setting. These townships are likely to face development pressure for a variety of urban activities and land division proposals. Many vacant allotments exist within Penwortham and Sevenhill and further development is restricted to these areas within the **Township Zone**. Surrounding fringe areas are located in the **Horticulture Policy Area** within the **Primary Production Zone** and protected from inappropriate urban development and small allotment land division.

This zone also consists of the country townships of Manoora, Marrabel and Watervale. While Watervale is primarily a viticulture area, the other two are typical rural townships to service the rural area. Though not developed to a significant extent, they display an urban character and fulfil a service function for the adjoining rural areas through the existing facilities. The provision of additional limited residential sites and future service facilities in this zone will assist in satisfying the needs of the local community and the travelling

public. Whilst there are opportunities for further development on vacant allotments in all three townships, new development should be permitted having regard to the extent of water supply available in these townships.

The small rural settlement of Waterloo fulfils a purposeful urban function in the district. Although not developed to a significant extent, it offers opportunities for further residential development and service facilities to satisfy demand on vacant allotments within the area bounded by Queen, Sydney and Mahood Streets. There are also some vacant allotments to the west of the main road.

Rhynie, Stockport and Tarlee offer a range of community services for the surrounding rural areas. Opportunity exists for further development within these townships in a planned and coherent manner to ensure the retention of the rural qualities of the towns.

The Objectives and Principles of Development Control for the zone reflect the need to manage land division and land use so that the special character of the settlements can be retained. However, opportunities do exist for existing landowners to amalgamate parcels of land in order to make better use of existing holdings.

Building design and overall built form within the zone should be sympathetic to the scale of development in the locality and within the context of its setting with regard to shape, size, materials and colour. Bright colours should not be used.

Hillsides should be protected from further development to retain the undeveloped rural landscape backdrop to the settlements.

The townships of Manoora, Rhynie, Tarlee and Stockport are affected by flooding, as identified on *Overlay Maps – Development Constraints*, and it is essential that future development adequately addresses this issue in accordance with provisions contained in the *General Section – Hazards*.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - community facilities
 - domestic outbuilding in association with a dwelling
 - domestic structure
 - dwelling
 - dwelling addition
 - educational establishment
 - open space
 - recreation area
 - shops where the gross leasable area is less than 250 square metres
 - small-scale commercial development
 - small-scale tourist development
 - supported accommodation.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Residential development should be mainly in the form of low-density detached dwellings, with a limited range of increased density development.
- 4 Business and commercial development should be of a scale and function consistent with the role of the township as a local service centre supplying a range of goods and services to the local community, the surrounding district and visitors to the area.
- 5 Industry uses should be restricted to light and service industry activities that provide small-scale facilities to the community or are agriculturally based industries that process local produce.

Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 7 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	8metres 10 metres for primary and secondary arterial roads shown on <i>Overlay Maps – Transport</i> .
Minimum setback from secondary road frontage	3 metres
Minimum setback from side boundaries	1 metre for single storey dwellings 4 metres for two storey dwellings
Minimum setback from rear boundary	3 metres for single storey dwellings 6 metres for two storey dwellings
Maximum site coverage	50 per cent
Maximum building height (from natural ground level)	7 metres or 2 storeys whichever is the lesser
Minimum area of private open space	60 square metres with a minimum width of 4 metres
Minimum number of on site car parking spaces (One of which should be covered)	2

- 8 Development of a business, commercial or industrial nature should be consolidated with existing facilities to establish identifiable service centres.
- 9 Sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area	72 square metres
Maximum building height (from natural ground level)	3.6 metres
Maximum wall height (from natural ground level)	3 metres
Minimum setback from side and rear boundaries	1 metres
Minimum setback from a public road or public open space area	8 metres 10 metres for primary and secondary arterial roads shown on <i>Overlay Maps – Transport</i> .

Land Division

- 10 Allotments should vary in size and be suitable to facilitate a use of land consistent with the objectives for the zone and should have:
- (a) an area of not less than 1500 square metres
 - (b) an average width of at least 25 metres.
 - (c) and should not be divided in advance of demand
 - (d) and should reflect the development pattern within the zone.

Flooding

- 11 No development should be undertaken on land identified on *Overlay Maps CGV/10, CGV/14, CGV/18 and CGV/19 – Development Constraints* unless it is able to be appropriately sited, designed and undertaken in accordance with hazard and flood management provisions contained in the *General Section - Hazards*.

PROCEDURAL MATTERS

Complying Development

Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

Non-complying Development

Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Form of Development	Exceptions
Airfield	
Bee keeping	
Commercial forestry	
Crematorium	
Dairy	
Dwelling	Except for a detached dwelling.
Fuel depot	
General industry	
Horse keeping	
Horticulture	
Intensive animal keeping	
Prescribed mining operation	
Road transport terminal	
Shop or group of shops	Except where the gross leasable area is less than 250 square metres.
Special industry	
Stock sales yard	
Stock slaughter works	
Waste reception, storage, treatment or disposal	
Wrecking yard	

Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

Table Section

Table CGV/1 - Building Setbacks from Road Boundaries

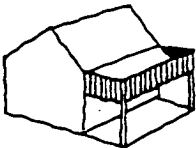
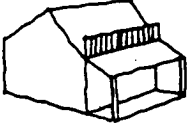
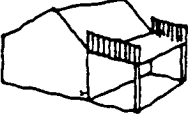
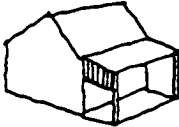
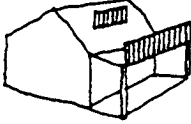
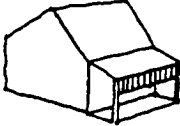
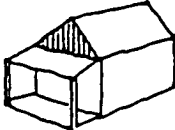
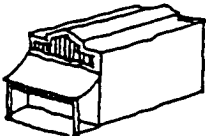
Road Boundary within the Township of Clare	Setback distance from road boundary (metres)
Main North Road within: Rural Living Zone - Town Approach Policy Area 5	15
Farrell Flat Road within: Industry Zone	10
Blyth Road within: District Town Centre Zone Residential Zone Commercial Zone Industry Zone Recreation Zone Deferred Urban Zone	10
Main North Road within District Town Centre Zone Residential Zone Industry Zone Recreation Zone Deferred Urban Zone	10
All other roads	8
Road Boundary within Townships other than Clare	Setback distance from road boundary (metres)
Arterial roads shown on Overlay Maps - Transport	10
Tarlee to Stockport Road within the Industry Zone	10
All other roads	8

Clare and Gilbert Valleys Council
 Table Section
 Table CGV/1 - Building Setbacks from Road Boundaries

Road Boundary outside of Townships	Setback distance from road boundary (metres)
Main North Road within the Primary Production Zone	50
Scenic routes as follows:	50
Bayes Road	
Bennys Hill Road	
Blyth Road	
Emu Flat Road	
Farrell Flat Road	
Gillentown Road	
Hughes Park Road	
Leighton Road	
Lower Skilly Road	
Neagle Rock Road	
Possingham Pit Road	
Sawmill Road	
Sevenhill - Mintaro Road	
Spring Farm Road	
Spring Gully Road	
Trillians Hill Road	
Upper Skilly Road	
All roads within the Rural Living Zone	30
All other roads	8

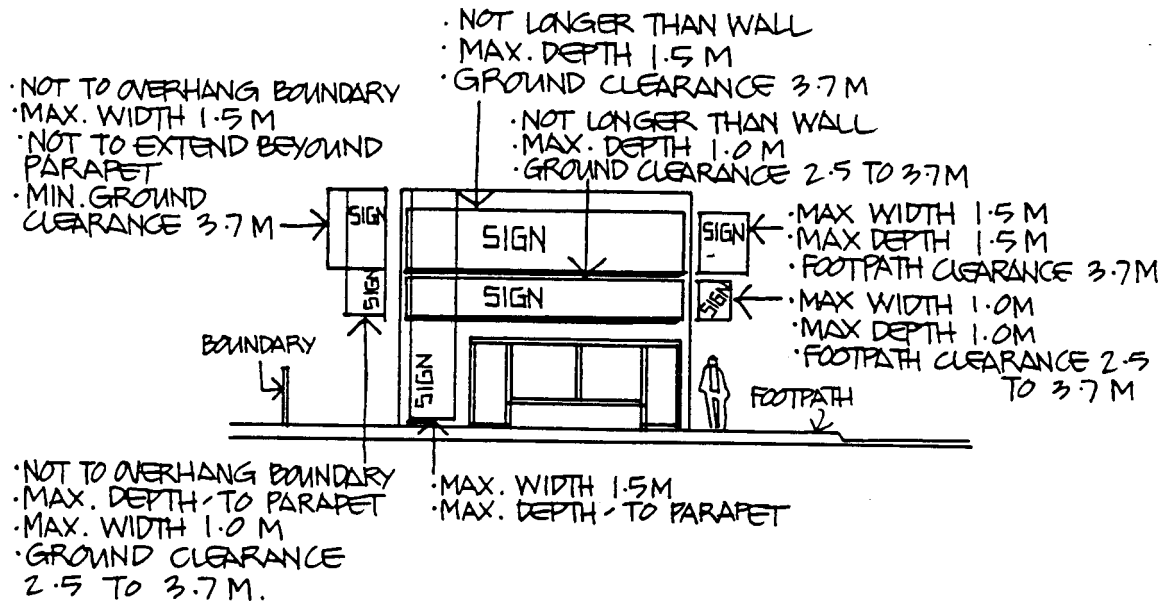
Table CGV/2 - Design Guidelines for Advertising Signs

Component / Aspect / Issue	Guidelines for development
1.1 Advertising and signage on historic and older buildings	Development guidelines: Advertising displays should be fixed to frieze panels and parapets designed for the purpose or in the following positions on buildings.

	<p>SIGNS HIDE THE INCLINED PLANE OF VERANDAH</p>		<p>AT THE CONNECTION BETWEEN VERANDAH AND BUILDING</p>
	<p>UPSTANDS AT VERANDAH ENDS</p>		<p>ON THE END OF A VERANDAH</p>
	<p>MID ROOF PLANE OR ABOVE VERANDAH EDGE</p>		<p>BELOW THE VERANDAH EDGE</p>
			<p>DIRECTLY ON TO GABLE ENDS</p>
			<p>ON PARAPET WALLS AND BELOW VERANDAH EDGE</p>

Component / Aspect / Issue	Guidelines for development
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1.2 Advertisements and signage fixed to walls Advertisements supported by fixing to a wall should be limited to two per site and should comply with the following dimensions.



Component / Aspect / Issue	Guidelines for development
1.3 Business identification signs	Business identification signs should be established in accordance with the following dimensions:

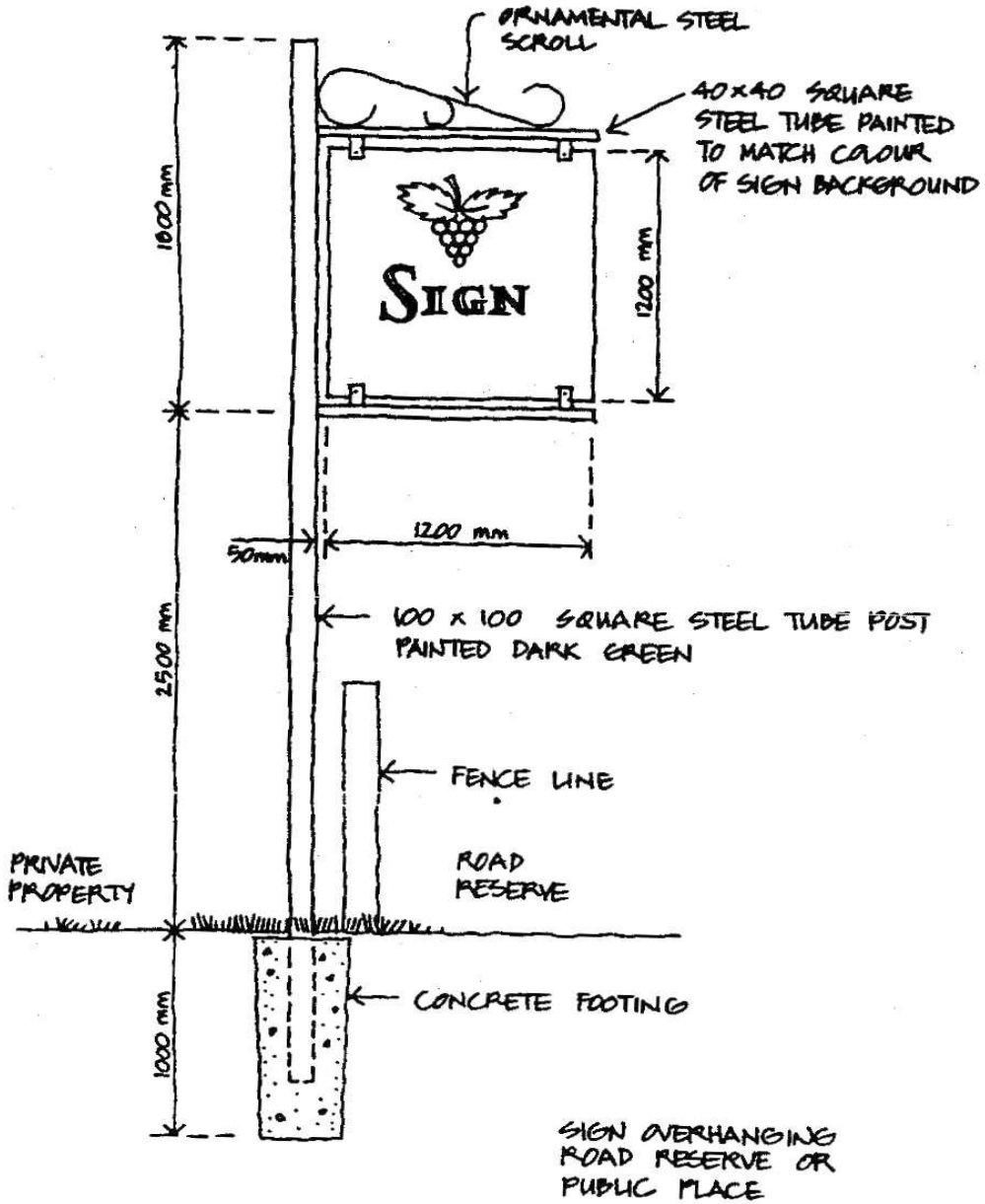


Table CGV/3 - Off Street Vehicle Parking Requirements

Form of Development	Number of Required Car Parking Spaces
Aged persons home	1 per 3 beds
Amusement centre	1 per 10 square metres of total floor area of the place
Bank	1 per 15 square metres of total floor area of the place
Billiard saloon	1 per 10 square metres total floor area of the place
Boarding house	1 per 2 beds
Bowling alley	1 per 10 square metres total floor area of the place
Bowling club	30 per bowling green
Bulky goods outlet	1 per 50 square metres of total floor area of the place
Child care centre	1 per 4 children
Clubrooms	1 per 10 square metres total floor area
Community centre	(See 'Clubrooms')
Concert hall	1 per 5 seats
Consulting room	4 spaces for the first surgery plus 2 per each additional surgery
Dance hall	1 per 10 square metres total floor area of the place
Exhibition hall	1 per 10 square metres total floor area of the place
Flat (home unit)	(See 'residential flat building')
Funeral parlour	1 per 5 chapel seats plus provision for vehicles operated by parlour
General industry	1 per 50 square metres total floor area or 1 per 2 employees (whichever provides the larger number)
Guest house	1 per 2 beds
Gymnasium	7 per 100 square metres gross leasable floor area
Hospital	1 per 2 beds plus provision for patients to be driven to an entrance within the property
Hostel	1 per 2 beds
Hotel	11 per 100 square metres gross leasable floor area
Library	1 per 25 square metres of total floor area of the place
Light industry, fuel depot, service industry	1 per 50 square metres total floor area, or 1 per 2 employees (whichever provides the larger number)
Meeting hall	1 per 5 seats
Motel	1 per guest room plus 1 per 3 square metres if a restaurant is provided
Motor repair station	1 per 50 square metres total floor area or 1 per 2 employees (whichever provides the larger number)

Form of Development	Number of Required Car Parking Spaces
Motor showroom	1 per 50 square metres of total floor area or 1 per 2 employees (whichever provides the larger number)
Multiple dwelling	1 roofed per dwelling plus 1 per dwelling for visitor parking
Nursing home	1 per 4 beds
Office	1 per 25 square metres of total floor area providing office accommodation with a minimum of 4 car parking spaces
Petrol filling station	10 spaces for customer and employee use
Place of public worship	1 per 5 seats
Plant nursery	1 per 150 square metres total floor area, or car parking space equal to 10 percent of the site (whichever provides the larger number)
Reception hall	1 per 4 square metres floor area devoted to reception area
Residential flat building	1 roofed per dwelling, plus 1 per dwelling for visitor parking
Restaurant	(See 'Shop')
Service station	(See 'Petrol Filling Station')
Service trade premises	1 per 50 square metres of total floor area or 1 per 2 employees (whichever provides the larger number)
Skating rink	1 per 7 square metres floor area of the place
Shop	6.1 per 100 square metres per gross leasable floor area
Stadium	1 per 10 square metres of floor area of the place
Store	1 per 150 square metres total floor area, or 1 per 3 employees (whichever provides the larger number)
Squash court	3 per court
Tavern	(See 'Hotel')
Tennis court (public)	3 per court
Theatre	1 per 5 seats
Tourist accommodation	1 per room
Timber yard	See 'Light Industry'
Used car lot	See 'Light Industry'
Warehouse	1 per 150 square metres total floor area, or 1 per 3 employees (whichever provides the larger number)

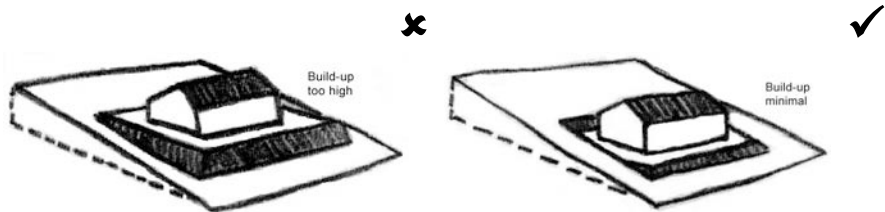
Note: 'Seats' means the number of seats provided or able to be provided.

Table CGV/4 - Mintaro Conservation and Construction Guidelines

Component / Aspect / Issue	Guidelines for Development
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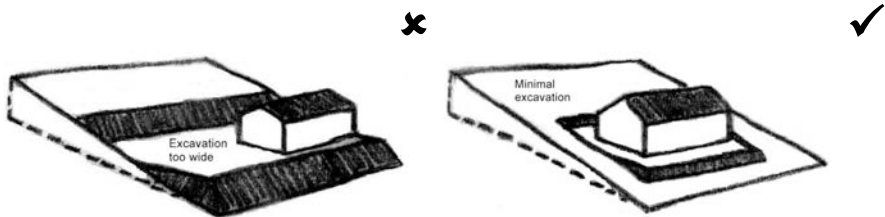
Excavation and filling

On sloping land, new buildings should be benched into the land, rather than being set on raised platforms, reducing potential soil erosion and the need for and height of retaining walls, while also ensuring that the bulk and scale of buildings is minimised. Breaking large buildings into a number of elements, split level designs and building siting and orientation should be carefully considered.



Inappropriate:
 Buildings and structures should not be raised too high off the natural ground level. It will stand out unnecessarily.

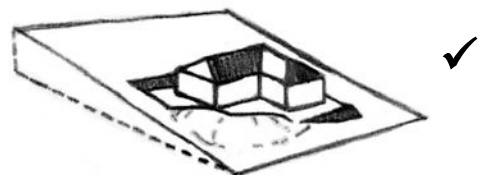
Appropriate:
 Buildings and structures should be designed to follow the natural contours of the land as closely as possible. Cut and fill should be evened out.



Inappropriate:
 Do not excavate more than is required.

Appropriate:
 Do excavate to maintain adequate access around building. Keep the area and depth of excavation to a minimum.

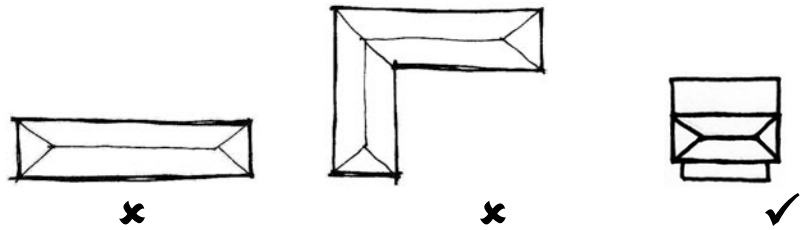
Appropriate:
 Mounding should be formed with suitable soil to minimise detrimental effect to the surrounding landscape.



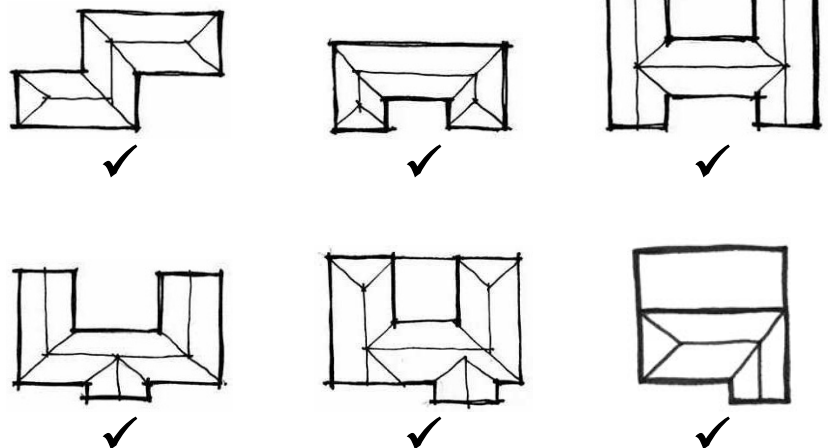
Component / Aspect / Issue	Guidelines for Development
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Building footprints and roof form

- 1 New buildings should have:
- (a) simple, small-scale, rectangular floor plans (larger dwellings should incorporate a number of simple, smallscale, rectangular structures joined together)
 - (b) modest principal facade widths of 10 metres to 12 metres, while longer facades include projecting gable elements or similar

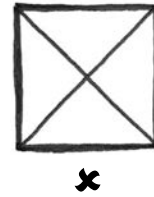
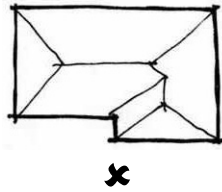


these facades/roof forms are too long

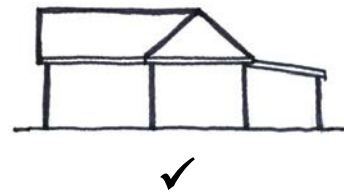
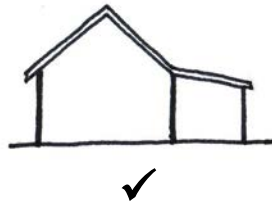


- (c) steeply pitched roofs (30-40 degrees), that are hipped or gabled with short spans (approximately 3.0m maximum from the ridge to the eaves), supplemented by skillion or lean-to roof elements where necessary. A greater ridge to eaves dimension may be appropriate where a new building is not located in close proximity to an existing historic building with a small ridge to eaves dimension.

Component / Aspect / Issue	Guidelines for Development
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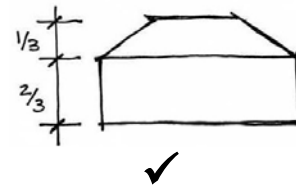
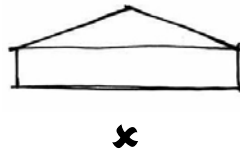


The substantial depths of these building footprints create disproportionately tall roof forms.

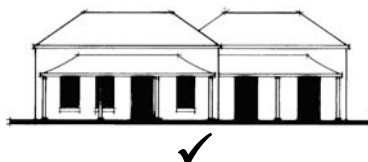
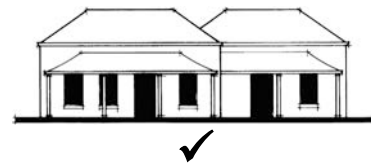
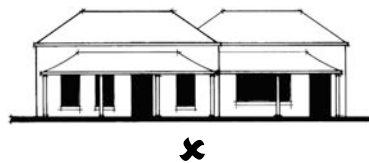


Proportions

- 1 New buildings should have:
 - (a) floor to ceiling heights between 2.7 metres and 3.0 metres, where wall height represents 66 per cent of overall building height (or at least 50 per cent of overall building height where roof spans approach 4.5 metres from the ridge to the eaves)



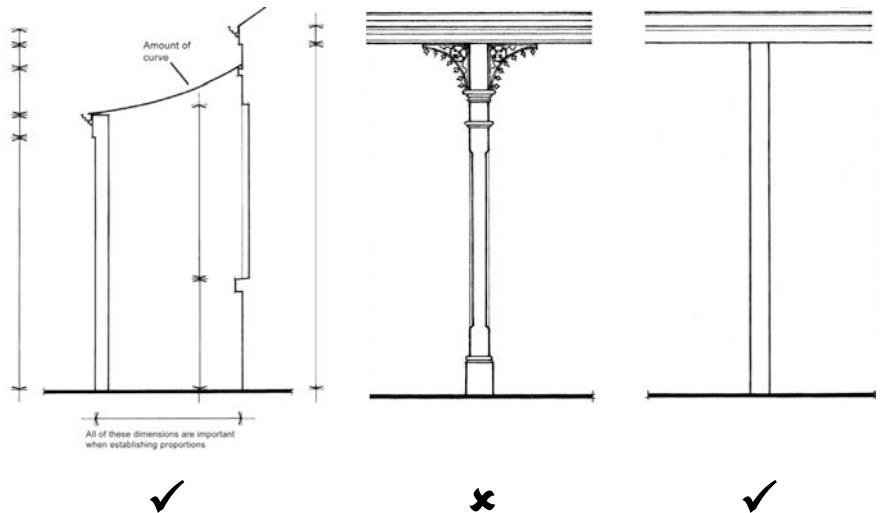
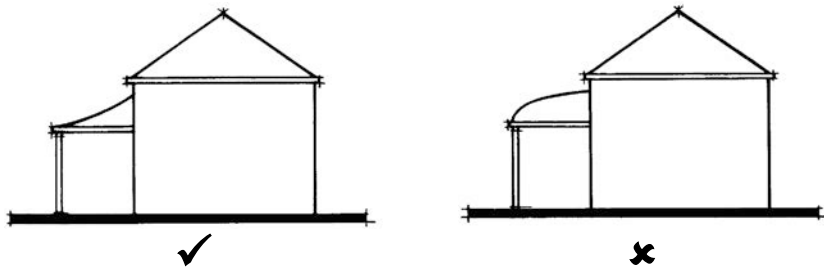
- (b) façades with a high solid to void ratio, where window and door openings have limited width and vertical proportions



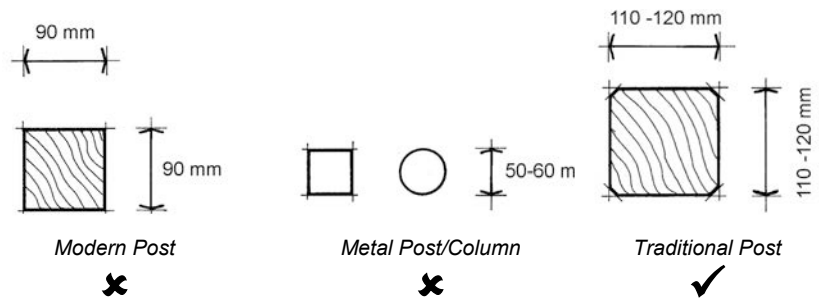
Component / Aspect / Issue	Guidelines for Development
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Materials, verandas and detailing

- 1 New buildings should have:
- (a) bluestone, sandstone, weatherboard, corrugated steel in galvanized or painted/powder coated finishes, rendered masonry and acrylic finishes (or a combination of these materials) for external walls in dark, earthen colours and greys (imitation stone or slate veneer should not be used)
 - (b) either corrugated galvanized steel sheet or painted/ powder coated steel for roofing on new buildings in grey hues that minimises glare and is compatible with the surrounding landscape and existing buildings
 - (c) straight pitched and concave verandas (not bull-nosed), without elaborate detailing (square rather than fluted or turned veranda posts)
 - (d) simple detailing (mock-historic details such as finials, lacework, elaborate barge boards, quoinwork, colonial bar glazing, bay windows or heavily paneled doors should be avoided)
 - (e) painted timber windows frames and doors and insect screens (aluminum window frames and insect screens may be acceptable where new buildings are not close to historic buildings).

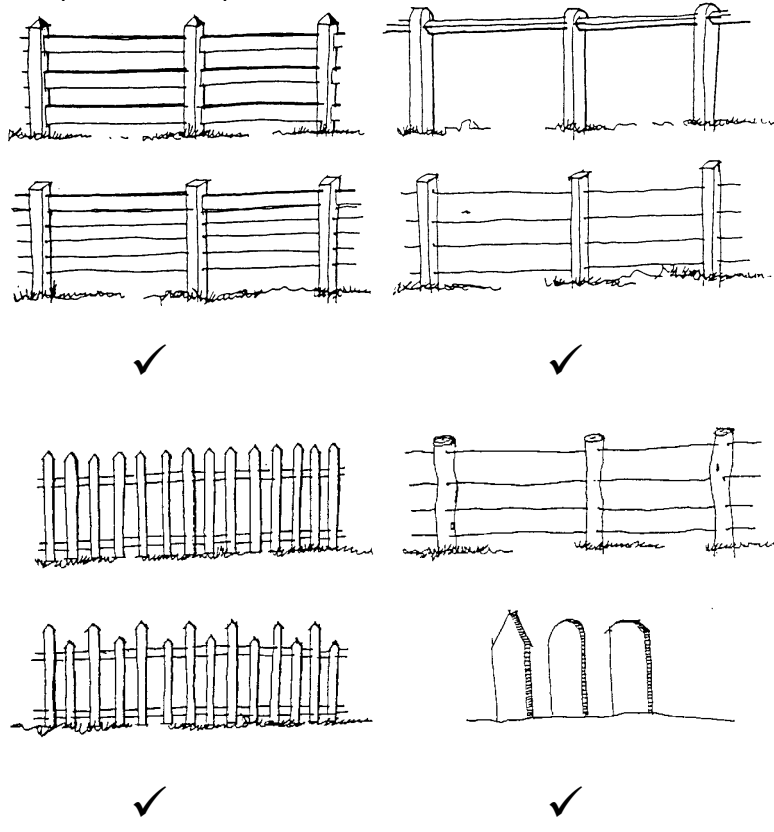


Component / Aspect / Issue Guidelines for Development



Fences, hedges and gates

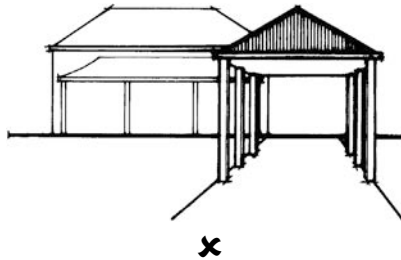
- 1 Fencing should be minimised, but where necessary it should emphasise the character of a country town by being of an open type and no higher than 1.2 metres. Suitable fence styles are post and rail, post and plain strand wire, timber picket, low height stonewalls and hedging. Treated pine posts should only be used for rear and side boundary fencing, and not for front fencing (the green colour and smooth finish of treated pine posts is generally uncomplimentary to the character of streets in Mintaro).
- 2 Slate walls should be retained, restored and where appropriate, extended.
- 3 Existing hedges should be retained. Wrought iron gates should be retained or reinstated.
- 4 New fencing to existing heritage buildings should either be stone walling, hedging or original timber pickets, and should not compromise the open character of the town.



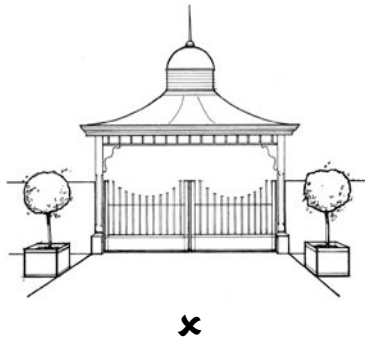
Component / Aspect / Issue	Guidelines for Development
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Garages, carports, and outbuildings

- 1 Garages and carports should be freestanding so that they do not increase the bulk and scale of the main building. They should also be located at the rear of dwellings so that garages, garage doors and carports do not negatively impact on the streetscape, views to the main buildings and other historic buildings, and the open character of the town.
- 2 Outbuildings, including garages and carports, should:
 - (a) be simple in their architectural form and detailing, with rectilinear floor plans and maximum floor area of 72 square metres (i.e. 6 metres by 12 metres) in the residential parts of Mintaro and 135 square metres (i.e. 7.5 metres by 18 metres) in the rural living parts of Mintaro:

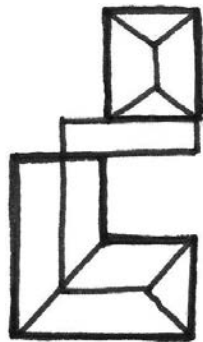


Carport dominates the associated dwelling



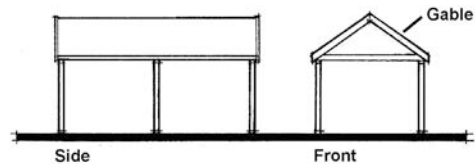
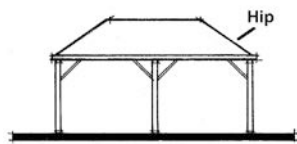
Carport too ornate

Component / Aspect / Issue	Guidelines for Development
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separate garage is located behind the dwelling with a low scale structure linking the two buildings

- (b) include a combination of steeply pitched gabled or hipped roofs (approximately 30-40 degrees, similar to the associated dwelling) with breaks in roof forms or skillion roof to minimise the bulk and scale of large outbuildings
- (c) use corrugated galvanized steel sheet or painted/powder coated steel roofing, together with walls of stone, rendered masonry, weatherboard or corrugated steel in galvanized or painted/powder coated finishes (or a combination of these materials) in dark, earthen colours.



- 3 Rainwater tanks should:
 - (a) be limited in size (a number of smaller tanks are more appropriate than one large tank)
 - (b) be located as inconspicuously as possible (at the rear of associated buildings, partially or total below ground, screened by vegetation)
 - (c) have a corrugated profile that is complementary to traditional galvanized iron tanks.

Table CGV/5 - Local Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPLG ID
Blyth Road ARMAGH	Norfolk house			CT 2351/1		14519
17 Dame Street ARMAGH	Former Armagh School (Hall)	A681	F211467	CT 5883/905		14518
Hilltown Road BARINIA	Former Hill River Station Woolshed	726	H231200			14512
Old Blyth Road BENBOURNIE	Stanley Cooper Mine Workings	1977	H230500			14516
Outa-Wurta Road BOCONNOC PARK	Kookynie Homestead			CT 2819/178		14517
Main North Road BUNGAREE	Road Bridge	3012	H230500			14507
Main North Road BUNGAREE	Road Bridge	406	H230500			14508
Main North Road BUNGAREE	Road Bridge	406	H230500			14506
Main North Road BUNGAREE	Road Bridge	405	H230500			14505
Farrell Flat Road CLARE	Hill River Station Complex			CT 3431/58		17630
Lennon Street CLARE	Oaks Lennon Street					14501
254 Main North Road CLARE	National Bank			CT 281/145		14497
19 Mill Street CLARE	School Building			CT 2366/68		14496
Main North Road CLARE	Primary School/Residence			CT 276/145		14499
Main North Road CLARE	Post Box VR					14498
Old North Road CLARE	Court House			CT 313/209		14495
Pioneer Avenue CLARE	Pioneer Tree			CT 1243/185		14502
Union Street CLARE	Windsorlodge			CT 2533/132		14503
Victoria Road CLARE	St. Michael's Church			CT 2323/167		14500
Lot 597 CLARE	Wolta Wolta			CT 3224/92		14504

Clare and Gilbert Valleys Council
Table Section
Table CGV/5 - Local Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPLG ID
Ohlmyer Park Road EMU FLAT	Former Railway Dam			CT 1100/39		14520
Farrell Flat Road HILL RIVER	Hill River Station Tree Plantation	211 210 601 206 517 519 711 712 713	H230500 H230500 H230500 H230500 H230500 H230500 H230500 H230500			14536
Farrell Flat Road HILL RIVER	Former Hill River Station Outbuildings and yards	519	H230500			14515
Hilltown Road HILLTOWN	Hill River Station Outbuildings			CT 3431/58		14513
Camels Hump Range HILLTOWN	Stone Wall	714	H230500			14514
Main North Road PENWORTHAM	Cottage (Mathy's)			CT 2338/93		14528
Main North Road PENWORTHAM	Cottage (G.D. Young)			CT 2406/51		14529
Main North Road PENWORTHAM	Cottage (Dave Jenner)			CT 2393/57		14532
Main North Road PENWORTHAM	Flour Mill Ruins, Manager's Residence			CT 2293/88		14531
Main North Road PENWORTHAM	Cottage (Apple Shed)			CT 4023/47		14527
Pawelski Road PENWORTHAM	St. Mark's Church of England, Cemetery & Parsonage			CT 34/23		14535
Pawelski Road PENWORTHAM	Penwortham Cemetery			CT 34/23		14533
Pawleski Road PENWORTHAM	Horrock's Tree			CT 2218/32 CT 34/23		14534
Seipelt Lane PENWORTHAM	Suicide Hill	67 193	H230500 H230500			14530
Polish Hill Road POLISH HILL RIVER	Church of St. Stanislaus					14537
Main North Road SEVENHILL	Cottage (Nykiel)			CT 768/14		14526

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	DPLG ID
Main North Road SEVENHILL	Cottage (Laura Davies)					14524
Main North Road SEVENHILL	Cottage (Edward Penna)			CT 147/2137 CT 2861/156		14525
Dunns Range Road SPRING FARM	House (Mary Thomas) (N. Dunn's)			CT 849/44		14522
Wendouree Road East SPRING FARM	Wendouree Winery			CT 4026/571		14521
Springfarm Road SPRING FARM	Wendouree Cemetery	PT 110	H230500			14523
Gaelic Cemetery Road STANLEY FLAT	Stanley Flat Cemetery			CT 13/67		14510
Main North Road STANLEY FLAT	Former Hotel (House that Jack Built)			CT 2424/68		14509
Roach Road STANLEY FLAT	Former White Hut School			CT 481/65		14511

Table CGV/6 - State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Blyth Road ARMAGH VIA CLARE	Dwelling and Museum (former Miner's Home Hotel & Outbuilding)	A489	F191051	CT 5824/874	a b	13052
High Street ARMAGH VIA CLARE	Former Creasy's Brickyard ruins	A6 A7	F107792 F107792	CT 5187/295 CT 5187/296	b	13051
Finns Road, Eyre Creek, near AUBURN	Joseph Meller 's Quarry	A2	F7208	CT 5295/874		13023
Government Road, Via AUBURN	Function Centre (Former Upper Skilly Bible Christian Chapel)	A19	F130894	CT 5239/712	a c f g	14620
24 Main North Road AUBURN	Former Shoe Factory	A859	F168988	CT 5794/844		14543
Main North Road AUBURN	Auburn Uniting (former Bible Christian) Church	A1	F174	CT 5511/215		10999
Main North Road AUBURN	Auburn Institute and Town Hall	A1	F15571	CT 5483/425		14545
Main North Road (outside No. 16) AUBURN	Mounting Steps, Auburn	ROAD RESERVE	H231500	N/A	b	16262
Main Road AUBURN	Former Glover's Store and Dwelling	A11 A10	D69459 D69459	CT 5959/999 CT 5959/998	a b f	14540
Main Road AUBURN	Former Riverview Pottery (former Store)	A842	F168971	CT 5671/799		14542
2 St Vincent Street AUBURN	Auburn Post Office & former Telegraph Station & Dwelling	A828	F168957	CT 5661/909		10075
4 St Vincent Street AUBURN	Museum (former Auburn Police Station)	A91	F207085	CR 5581/713		10076
12 St Vincent Street AUBURN	Dwelling (Miss Mabel's Cottage) & Shop	A50	D37895	CT 5159/686		10074
St Vincent Street AUBURN	Library (former Upper Wakefield Council Chambers)	A203	D64325	CT 5929/675		10073
28 Agnes Street CLARE	Dwelling ('Bleak House')	A85 & 86	F217849	CT 5737/626		10065
7 Dominic Street CLARE	Leasingham Winery (Cellar Door & Board Room)	A207	D377	CT 5326/165		14557
Farrell Flat Road CLARE	St Barnabas Anglican Church	A5	D59574	CT 5899/410	a d f	14555

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Fisher Road, near CLARE	Hill River Station (Homestead and Coach House/Stables)	A16	F156301	CT 5288/920		10079
Hope Street CLARE	Bain Rotunda, Soldier's Memorial Park	A100	D377	CT 5222/312		11779
137 Main North Road CLARE	Clare Primary School (former High School)	A74	D377	CT 5830/453	b e	14556
189 Main North Road CLARE	Former AMP [Australian Mutual Provident Society] Building	A1	F7179	CT 5498/152		10070
203 Main North Road CLARE	Former Clare Town Hall	A5	F7179	CT 5856/419		14554
243 Main North Road CLARE	ANZ (former ES & A Clare Branch) Bank	A6	D488	CT 5860/448		14553
Main North Road CLARE	Soldier's Memorial Gates, Clare	A39 & 45	D377	CT 5222/312		11781
Main North Road CLARE	Inchiquin Homestead (including early additions and outbuildings), stone walls and stables	A101	F33276	CT 5163/254	a d g	14552
2 Mill Street CLARE	Offices (former Dwelling)	A3	F125993	CT 5228/748		10161
Neagles Rock Road CLARE	National Trust Museum (former Casualty Hospital, former Clare Courthouse and Police Station)	S481	H230500	CR 5754/389		10077
Old North Road CLARE	Clare Institute Library	A372	F190934	CT 5672/65		10072
2 Pioneer Avenue CLARE	Tim Knappstein Winery (former Enterprise Brewery & Chimney)	A1	F128524	CT 5232/187		10105
Polish Hill Road, near CLARE	Museum (former Polish River Catholic Church of St Stanislaus)	A468	F191030	CT 5833/900		10080
Via CLARE	Bungaree Homestead Complex including the Homestead, Manager's House, Council Chamber, Stables, Office/Store, Men's Kitchen, Shearing Shed, Shearer's Quarters, Swaggie's Hut, Stallion Box and Gate House	A538 Q97 A1	F191100 F216436 D22478	CT 5354/150 CT 5622/744 CT 5781/177		13048
Victoria Road CLARE	Former Clare Wesleyan Methodist Church Complex (including 1857 Chapel [now a dwelling], 1866 Church [now Uniting] and 1888 Hall)	A201 A202	D33564 D33564	CT 5424/107 CT 5419/196	a	14558

Clare and Gilbert Valleys Council
Table Section
Table CGV/6 - State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Wendouree Road East CLARE	Wendouree Cellars	A133	F190695	CT 5828/689	a	13053
11 Wright Street CLARE	Dwelling ('Hope Cottage')	A17	D9	CT 6011/675		10078
Government Road, Via LEASINGHAM VIA WATERVALE	Upper Skilly Cemetery	A769	F168898	CT 5675/211		13026
John Street MANOORA	Manoora Railway Station & Yard, including Goods Shed, Water Tower, Crane and Palm Trees	A73 A75 A74	D40451 D40451 D40451	CT 5308/795 CT 5308/797 CT 5675/263		12377
Near MANOORA	Manoora Sandstone Quarry	A100	F216697	CT 5739/269		13022
Weymouth Street MANOORA	Manoora Institute	A1	D748	CT 5798/496		13021
Bowman Road MERILDIN VIA MINTARO	Merildin Railway Station & Yards	Q1 & 2 Q3	D33086 D33086	CT 5305/952 CT 5673/529		12376
Burra Road MINTARO	Mintaro Mews (former Shop & Dwelling)	A1	F20096	CT 5462/68		11646
Burra Street MINTARO	Dwelling ('Martindale Hall'), Coach House, Stables, Manager's Dwelling (former Harness Room) & Pump House Ruins, Martindale Hall Conservation Park	A1	D19214	CR 5372/406		10067
Burra Street MINTARO	Mounting Steps, Mintaro	ROAD RESERVE		N/A		10069
Burra Street MINTARO	Dwelling (former Mintaro Police Station)	S569	H230500	CT 5610/397		10205
Church Street MINTARO	Dwelling	A108	F213197	CT 5590/562		11645
Church Street MINTARO	Mintaro Primary School	A62	F13527	CT 5830/737		11710
Hill Street MINTARO	Former Mintaro Slate Mine Office & Dwelling	A340	F169279	CT 5410/171		11707
Hill Street MINTARO	Dwelling, Outbuilding & Fence	A91, 92	F170283	CT 5789/882		11709
Lot 9 Leasingham Road MINTARO	Magpie & Stump Hotel	A9	D48509	CT 5714/671		10201
Lot 22 Leasingham Road MINTARO	Shop & Cottage	A22	D38210	CT 5805/686		11649
Leasingham Road MINTARO	Dwelling (former Devonshire Hotel & Footway)	A15	D58408	CT 5867/961		10066

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Leasingham Road MINTARO	Former Carpenter's Workshop & Dwelling	A321	F169260	CT 5833/700		11643
Leasingham Road MINTARO	Dwelling (former Shop & Dwelling)	A348	F169287	CT 5774/815		11647
Leasingham Road MINTARO	Dwelling (former Shop & Dwelling)	A2	D25170	CT 5135/579		11648
Leasingham Road MINTARO	Mintaro Institute & Civic Hall	A96	F212328	CT 5560/898		11650
Leasingham Road MINTARO	Former Blacksmith Shop	A30	D74517	CT 6009/653		11718
Leasingham Road MINTARO	Former Carpenter's Workshop/Stables	A31	D74517	CT 6009/654		11720
Leasingham Road MINTARO	Dwelling - Jolly House	A91	F178469	CT 5355/157		11721
Mintaro Road MINTARO	Mintaro Cemetery	S612	H230500	CT 151/155		11715
Slate Quarry Road MINTARO	Mintaro Slate Quarries	A316 A319 A317	F169255 F169258 F169256	CT 5918/480 CT 5918/481 CT 5918/482		11711
Wakefield Street MINTARO	Former Flour Mill	A10	D48509	CT 5714/672		11644
Wakefield Street MINTARO	Dwelling ('Wakefield Cottage')	A93	F207949	CT 5469/205		11714
Wakefield Street MINTARO	Dwelling & Kitchen	A356	F169295	CT 5553/889		11716
Young Street MINTARO	Dwelling (former Mintaro Anglican Church)	A65	F13527	CT 5393/677		11695
Young Street MINTARO	Dwelling	A66	F13527	CT 5481/257		11699
MINTARO	Dwelling ('Kadlunga') & Fence	A138	F170291	CT 5952/342		10200
NAVAN VIA RIVERTON	Dwelling - Connell's Cottage	A288 A1	F168417 D4093	CT 5502/5 CT 5698/210		13958
Main North Road PENWORTHAM VIA CLARE	John Horrock's (sometime Green's) Cottage & Shed	A100	D57727	CT 5856/50	a b e f g	13057
PETERS HILL VIA RIVERTON	Original Peters Hill Cemetery	Q143	F214538	CT 5630/409		13038
348 Main North Road RHYNIE VIA RIVERTON	Former Rhynie Council Chambers	A800	D82055	CT 6051/973		13045
Barrier Highway RIVERTON	Holy Trinity Anglican Church	A3	D51335	CT 5674/924		13042

Clare and Gilbert Valleys Council
Table Section
Table CGV/6 - State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
21-23 Frederick Place RIVERTON	Dwelling - Three Row Cottages	A16 A193	F105561 F168322	CT 5161/773 CT 5378/396		13027
Off Jean Place RIVERTON	Former Riverton Railway Station, including station building, signal cabin, water tower and goods shed	Q107 109	D33536	CT 5135/608		10097
Off Main North Road, near RIVERTON	Wooroora Winery Cellar Ruins	A296 A296	F168425 F168425	CT 5688/43 CT 5688/44		13043
Masters Street RIVERTON	Mounting Steps, Riverton	FOOTPATH	H160200	N/A	a b	13047
Riverton-Marrabel Road near RIVERTON	Gottlieb Noack's Residence & Farm	A253	F168382	CT 5805/874		13040
Strickland Road RIVERTON	Two Storey House, Detached Kitchen and Outbuilding	A219	F23878	CT 5279/37		13035
17 Torrens Road RIVERTON	Former Butchers Shop and Bakery, Dwelling & Domestic Building	A16 A17	D52451 D52451	CT 5693/309 CT 5693/310		13033
27 Torrens Road RIVERTON	Riverton Hotel	A2	F133451	CT 6005/866		13032
33 Torrens Road RIVERTON	Riverton Agencies Shop	A136	F168265	CT 5742/366		13030
41 Torrens Road RIVERTON	Central Hotel	A32 A144	D50 F168273	CT 5372/432 CT 5372/784	d f	13029
Torrens Road RIVERTON	Scholz Park (former Blacksmith's & Wheelwright's Shops)	A10 A11, 12	D51 D51	CT 5822/380 CT 5841/203		10108
near RIVERTON	Huppatz Cemetery	A320	F168449	CT 5369/135	a c f	13039
Barrier Highway near SADDLEWORTH	St Stephen's Catholic Church & Graveyard	A457	F168586	CT 5358/373		13016
College Road SEVENHILL VIA CLARE	Sevenhill Complex, comprising the St Aloysius Catholic Church, St Aloysius College, Sevenhill Cellars, Shrines and Sevenhill Cemetery	Q5, 6 & 7	F208259	CT 5672/737	a b e f g	13056
Frederick Road TARNMA VIA SADDLEWORTH	Shed (former Pfitzner Stable)	S42	H160900	CT 5467/765		13014
Main Road UNDALYA VIA AUBURN	Undalya Bridge over the River Wakefield [Bowstring Truss]	ROAD RESERVE	R221	N/A		10209

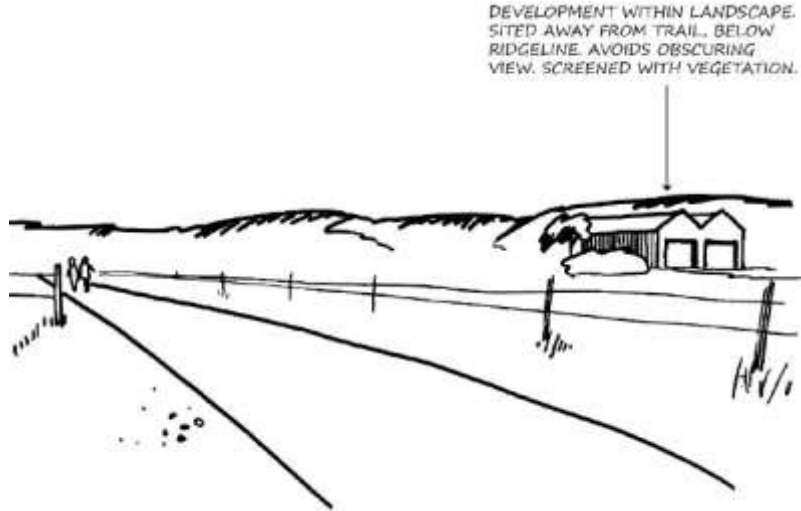
Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 16 Criteria	SA Heritage Register ID
Commercial Road WATERVALE	Former Stanley (former Coles) Grammar School	A25	D56	CT 5220/456		10207
Great Northern Road WATERVALE	Quelltaler (former Springvale) Winery	A54	F28317	CT 5414/595		13025
Hughes Park, Near WATERVALE	Hughes Park Homestead Complex, including Dwelling, Dairy, Blacksmithy, Stables, Petrol House, Coach House, Cottages, Offices, Garage and Manager's House	Q91, 92 A97 S19 S752	F208240 F171402 H231500 H231500	CT 5907/455 CT 5476/832 CT 5476/846 CT 5476/835		13024
Main North Road WATERVALE	Mounting Steps (two sets), Watervale	ROAD RESERVE	H231500	N/A		10071
Main North Road WATERVALE	Watervale Community Hall (former Foresters' Lodge Hall)	A1	F125072	CT 5219/457		12629
Main North Road WATERVALE	Dwelling (formerly Winifred the Washerwoman's House)	A281	F169220	CT 5452/155		13011
South Terrace WATERVALE	Rosenberg Winery	A16	D67381	CT 5945/455		13013
Rhynie-Balaklava Road, near WOOLSHED FLAT	Former Woolshed Flat Wesleyan Methodist Church	A354	F175674	CT 5655/607		13046

Note: this table was last updated on [14 February 2011](#) and is an extract from the South Australian Heritage Register established under Section 13(1) of the *Heritage Places Act 1993*. In the event of a discrepancy between this extract and the South Australian Heritage Register, the South Australian Heritage Register shall prevail.

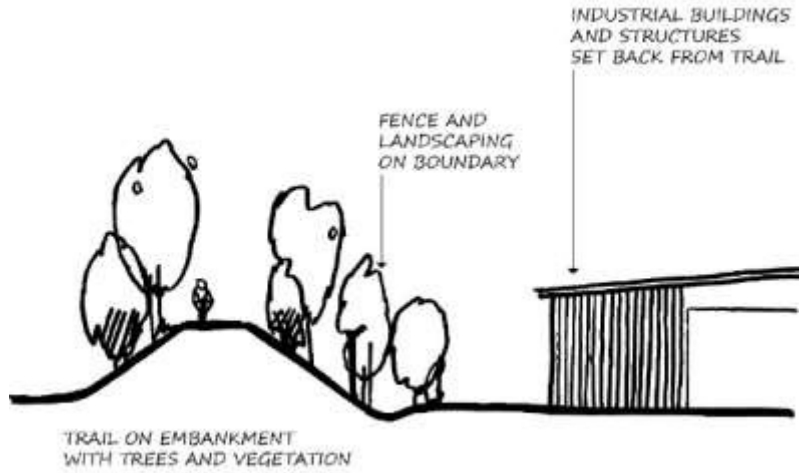
Table CGV/7 - Guidelines for Development Near Trails

Component / Aspect / Issue	Guidelines for Development
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Development Near Recreational Trails
 in a Rural Setting



Industrial Zone Development Near
 Recreational Trails



Township Residential Development
 Near Recreational Trails

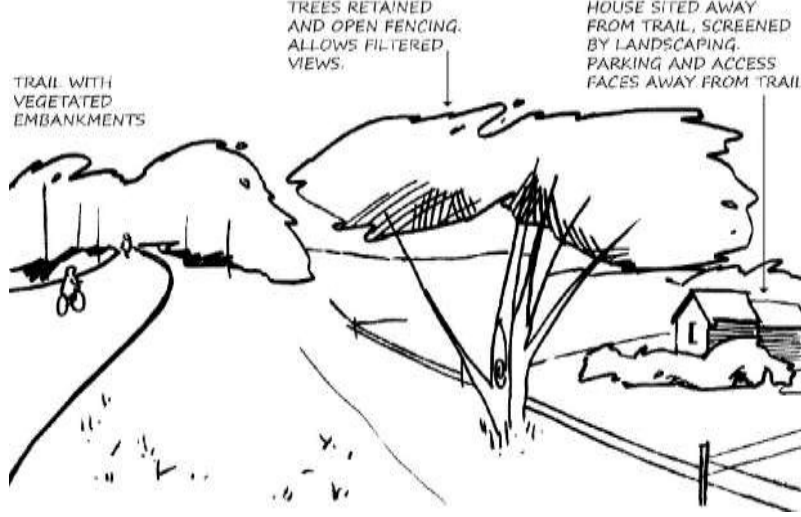


Table CGV/8 - Off Street Bicycle Parking Requirements

The following bicycle parking requirements apply to the following kinds of development

Form of Development	Visitor/Shopper Bicycle Parking Spaces
Restaurant	2
Shop	1 for every 600 square metres of gross leasable floor area
Tourist accommodation	2 for the first 40 rooms plus 1 for every additional 40 rooms

Mapping Section

Map Reference Tables

Spatial Extent Maps

Bushfire Risk Maps

Concept Plan Maps

Map Reference Tables

Index Maps

Map Reference

[Council Index Map](#)

Zone Maps

Zone Name	Zone Map Numbers
Bulk Handling Zone	CGV/13, CGV/18
Caravan and Tourist Park Zone	CGV/15, CGV/24
Commercial Zone	CGV/21, CGV/23, CGV/24
Community Zone	CGV/21, CGV/23
Deferred Urban Zone	CGV/12, CGV/15, CGV/16, CGV/20
District Town Centre Zone	CGV/20, CGV/22, CGV/23,
Industry Zone	CGV/13, CGV/15, CGV/16, CGV/18, CGV/20, CGV/21, CGV/23
Primary Production Zone	CGV/1, CGV/2, CGV/3, CGV/4, CGV/5, CGV/6, CGV/7, CGV/8, CGV/9, CGV/10, CGV/11, CGV/12, CGV/13, CGV/14, CGV/15, CGV/16, CGV/17, CGV/18, CGV/19, CGV/20, CGV/21, CGV/22, CGV/23, CGV/24, CGV/25, CGV/26, CGV/27
Recreation Zone	CGV/13, CGV/15, CGV/16, CGV/20, CGV/21, CGV/23, CGV/24, CGV/27
Residential Zone	CGV/3, CGV/5, CGV/12, CGV/13, CGV/15, CGV/16, CGV/20, CGV/21, CGV/22, CGV/23, CGV/24, CGV/26, CGV/27
Rural Landscape Protection Zone	CGV/20, CGV/22, CGV/23, CGV/24
Rural Living Zone	CGV/4, CGV/5, CGV/7, CGV/23, CGV/24, CGV/26, CGV/27
State Heritage Area (Mintaro)	CGV/8, CGV/9
Town Centre Zone	CGV/12, CGV/16, CGV/26, CGV/27
Township Zone	CGV/6, CGV/10, CGV/11, CGV/14, CGV/17, CGV/18, CGV/19, CGV/25

Policy Area Maps

Policy Area Name	Policy Area Map Numbers
Archer Place Policy Area 1	CGV/23
Horticulture Policy Area 2	CGV/2, CGV/3, CGV/4, CGV/5, CGV/6, CGV/7, CGV/20, CGV/21, CGV/22, CGV/23, CGV/24, CGV/25, CGV/26, CGV/27
Clare Low Density Housing Policy Area 3	CGV/3, CGV/5, CGV/21, CGV/23
Riverton Low Density Housing Policy Area 4	CGV/15
Town Approach Policy Area 5	CGV/23, CGV/24

Policy Area Name	Policy Area Map Numbers
Town Centre (Mintaro) Policy Area 6	CGV/9
Residential (Mintaro) Policy Area 7	CGV/8, CGV/9
Rural Living (Mintaro) Policy Area 8	CGV/8, CGV/9
Township Fringe (Mintaro) Policy Area 9	CGV/8, CGV/9
Square Mile Road Policy Area 10	CGV/5, CGV/20, CGV/23
Southern Township Gateway Policy Area 11	CGV/23, CGV/24
Clare Medium Density Policy Area 12	CGV/20, CGV/22, CGV/23

Precinct Maps

Precinct Name	Precinct Map Numbers
Precinct 1 Core Residential	CGV/9
Precinct 2 Western Residential	CGV/8, CGV/9
Precinct 3 Northern Residential	CGV/9
Precinct 4 Eastern Residential	CGV/9
Precinct 5 Leasingham	CGV/9
Precinct 6 Commercial Approach	CGV/20, CGV/22, CGV/23

Historic Conservation Area Maps

Policy Area Name	shown within Overlay Maps - Heritage
Historic Conservation Area	CGV/26, CGV/27

Overlay Maps

Title	Overlay Map Numbers
Location	CGV/1, CGV/2, CGV/3, CGV/4, CGV/5, CGV/6, CGV/7, CGV/8, CGV/9, CGV/10, CGV/11, CGV/12, CGV/13, CGV/14, CGV/15, CGV/16, CGV/17, CGV/18, CGV/19, CGV/20, CGV/21, CGV/22, CGV/23, CGV/24, CGV/25, CGV/26, CGV/27
Transport	CGV/1, CGV/2, CGV/3, CGV/4, CGV/5, CGV/6, CGV/7, CGV/10, CGV/12, CGV/13, CGV/14, CGV/15, CGV/16, CGV/17, CGV/18, CGV/20, CGV/21, CGV/23, CGV/24, CGV/25, CGV/26, CGV/27
Development Constraints	CGV/1, CGV/8, CGV/9, CGV/10, CGV/12, CGV/13, CGV/14, CGV/15, CGV/16, CGV/18, CGV/19, CGV/20, CGV/22, CHV/23, CGV/24
Heritage	CGV/1, CGV/2, CGV/3, CGV/4, CGV/5, CGV/6, CGV/7, CGV/8, CGV/9, CGV/10, CGV/12, CGV/14, CGV/15, CGV/16, CGV/20, CGV/22, CGV/23, CGV/25, CGV/26, CGV/27

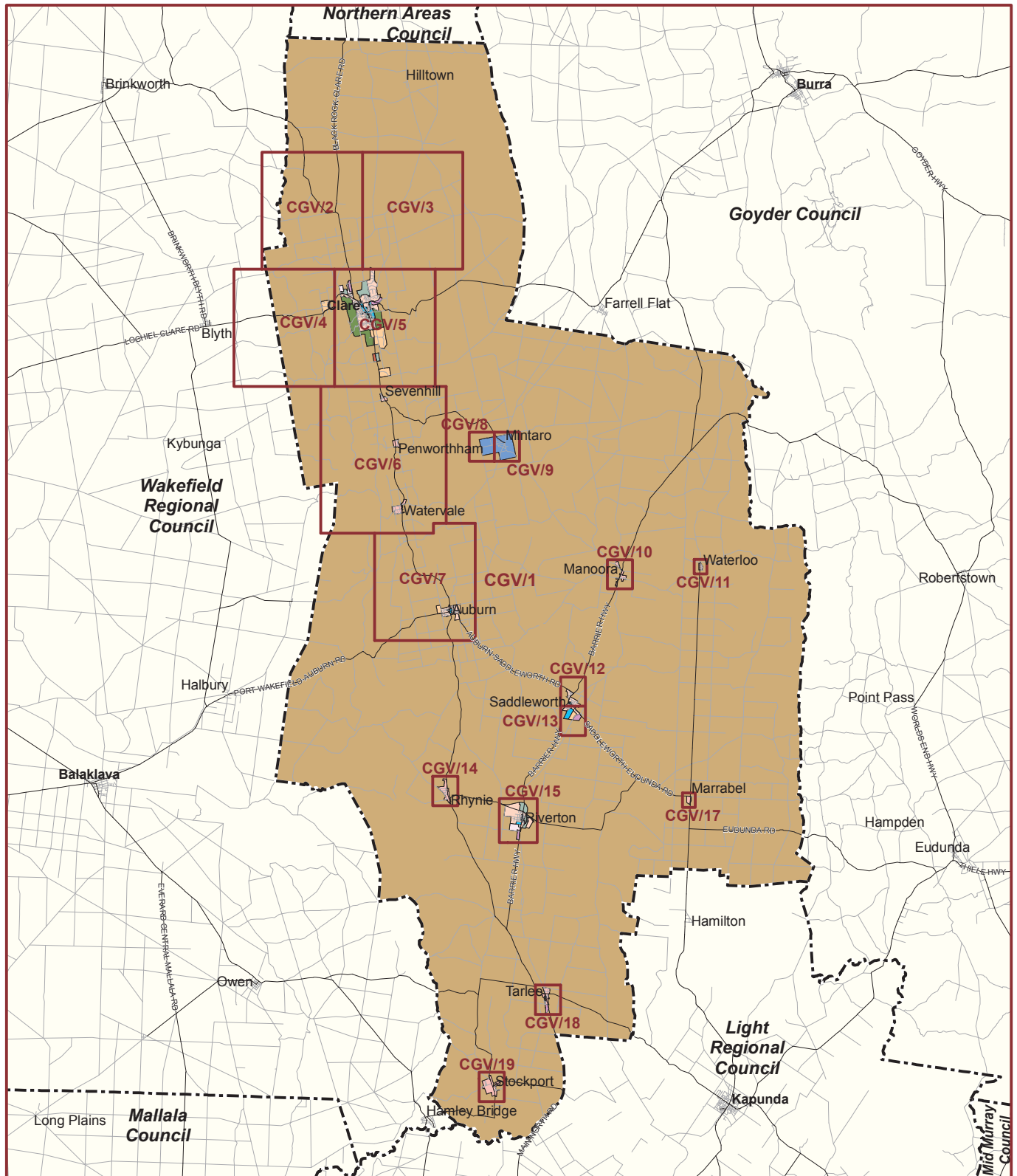
Bushfire Protection Overlay Maps

Bushfire Map Type	BPA Map Numbers
Bushfire Protection – Bushfire Risk	CGV/1, CGV/2, CGV/3, CGV/4, CGV/5, CGV/6, CGV/7, CGV/8, CGV/9, CGV/10, CGV/11, CGV/12, CGV/13, CGV/14, CGV/15, CGV/16, CGV/17, CGV/18, CGV/19, CGV/20, CGV/21, CGV/22, CGV/23, CGV/24, CGV/25, CGV/26, CGV/27, CGV/28, CGV/29, CGV/30, CGV/31, CGV/32, CGV/33, CGV/34, CGV/35, CGV/36

Concept Plan Maps

Concept Plan Title	Concept Plan Map Numbers
Western Residential	CGV/1
Square Mile Road	CGV/2
Auburn North Residential	CGV/3
Riverton Residential Areas	CGV/4
Riverton West	CGV/5
Riverton South	CGV/6
Mintaro Precinct 3 Northern Residential	CGV/7
Mintaro Precinct 4 Eastern Residential	CGV/8
Clare District Town Centre	CGV/9

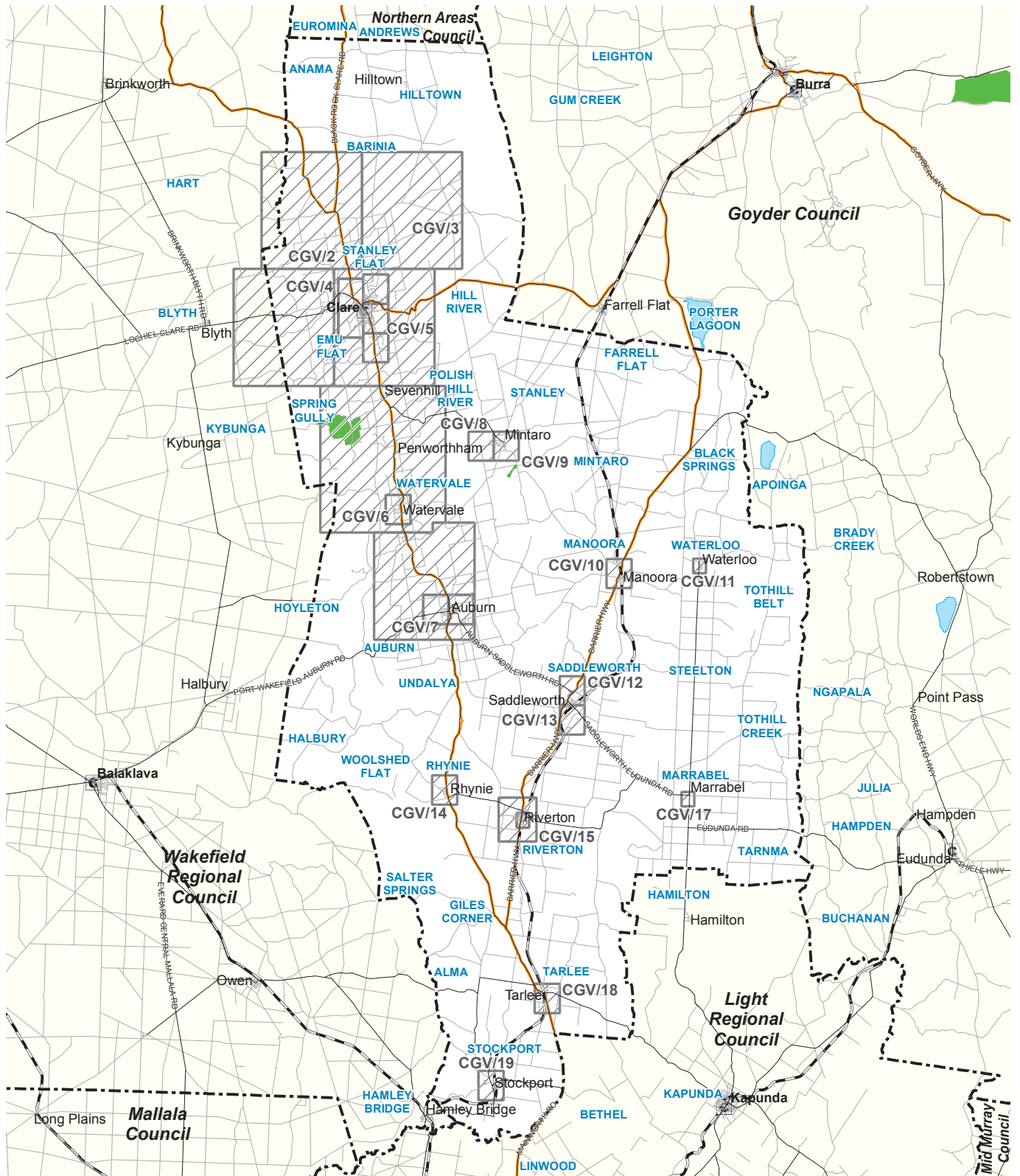
Spatial Extent Maps



For the purposes of the Development Plan unless otherwise clearly indicated, the zone/policy area/precinct boundaries depicted on or intended to be fixed by Maps CGV/1 to Map CGV/27 inclusive shall be read as conforming in all respects (as the case may require) to the land division boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said zone/policy area/precinct boundaries are shown or otherwise indicated.

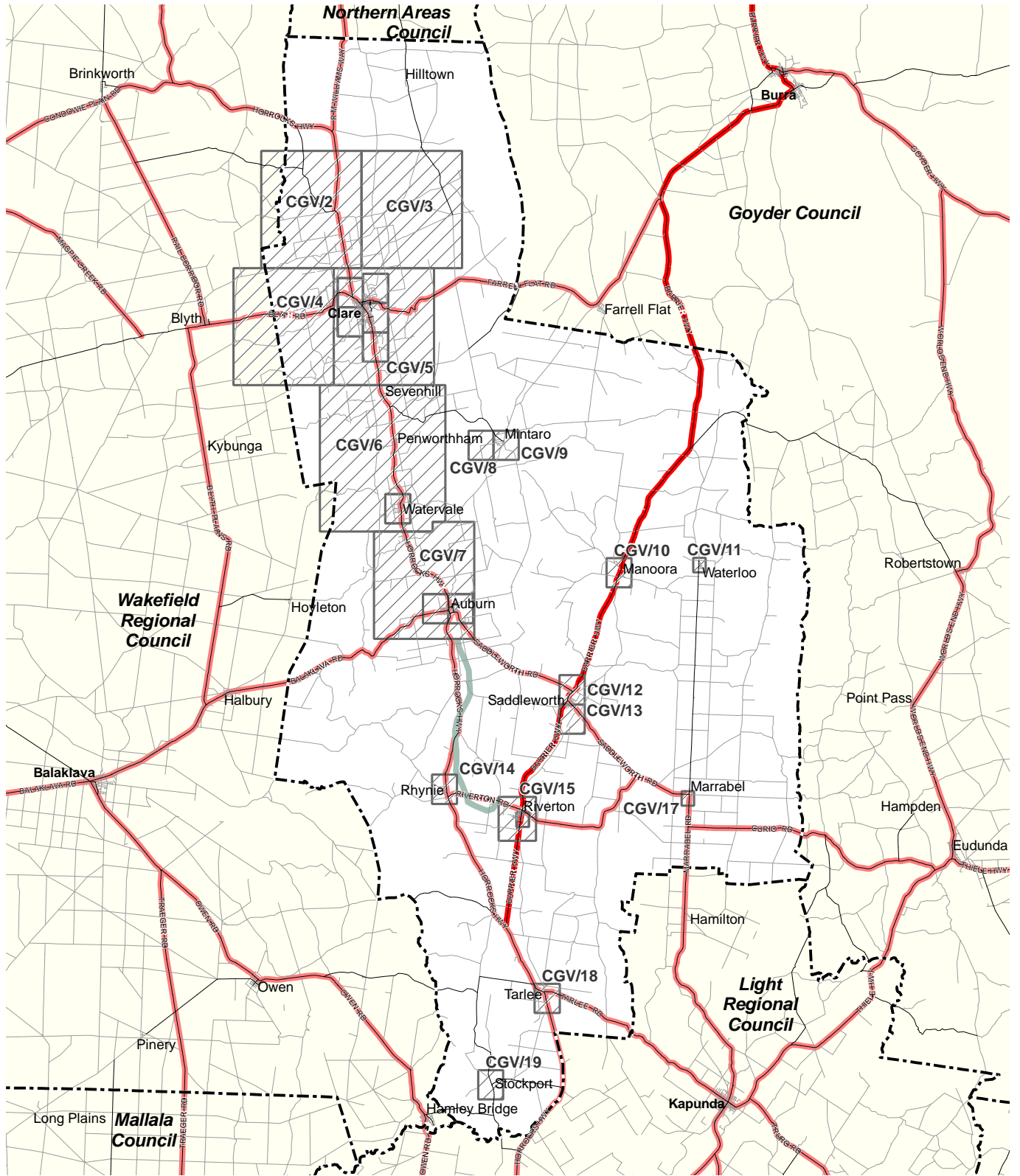






Council Index Map



- C Council Office
- Railways
- Tourist Routes
- Conservation Park
- Waterbodies
- Development Plan Boundary

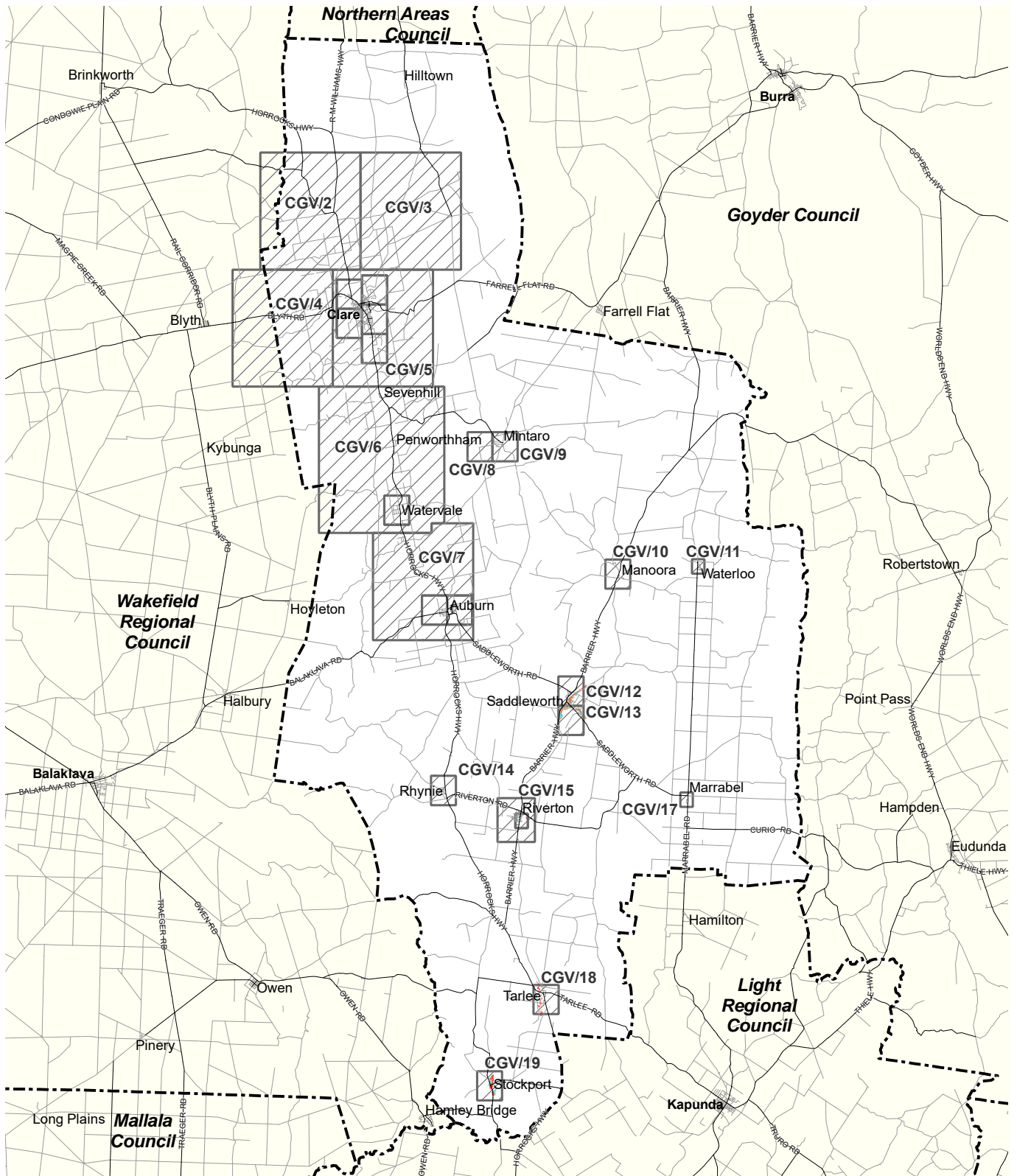
Location Map CGV/1



-  Rattler Trail
-  Primary Arterial Roads
-  Secondary Arterial Roads
-  Development Plan Boundary

Overlay Map CGV/1

TRANSPORT



Disclaimer
 Maps that show Flood Risk Categories have been prepared on the basis of survey, hydraulic and hydrologic modelling undertaken in 2005 and 2013 to predict the risk of flooding in the Clare and Gilbert Valleys Council during a 1 in 100 year ARI flood event. They are only intended to be used as a policy tool for planning purposes and in broad scale flood risk management, and they should not be relied on for any other purpose. They do not purport to illustrate actual inundation patterns, which will depend on the size and nature of a particular flood event and other circumstances pertaining to the relevant place and at the relevant time. Land outside the depicted areas may or may not be subject to flooding, as the flood mapping only relates to the areas shown.

Flood Risk Categories

- Low
- Medium
- High
- Extreme

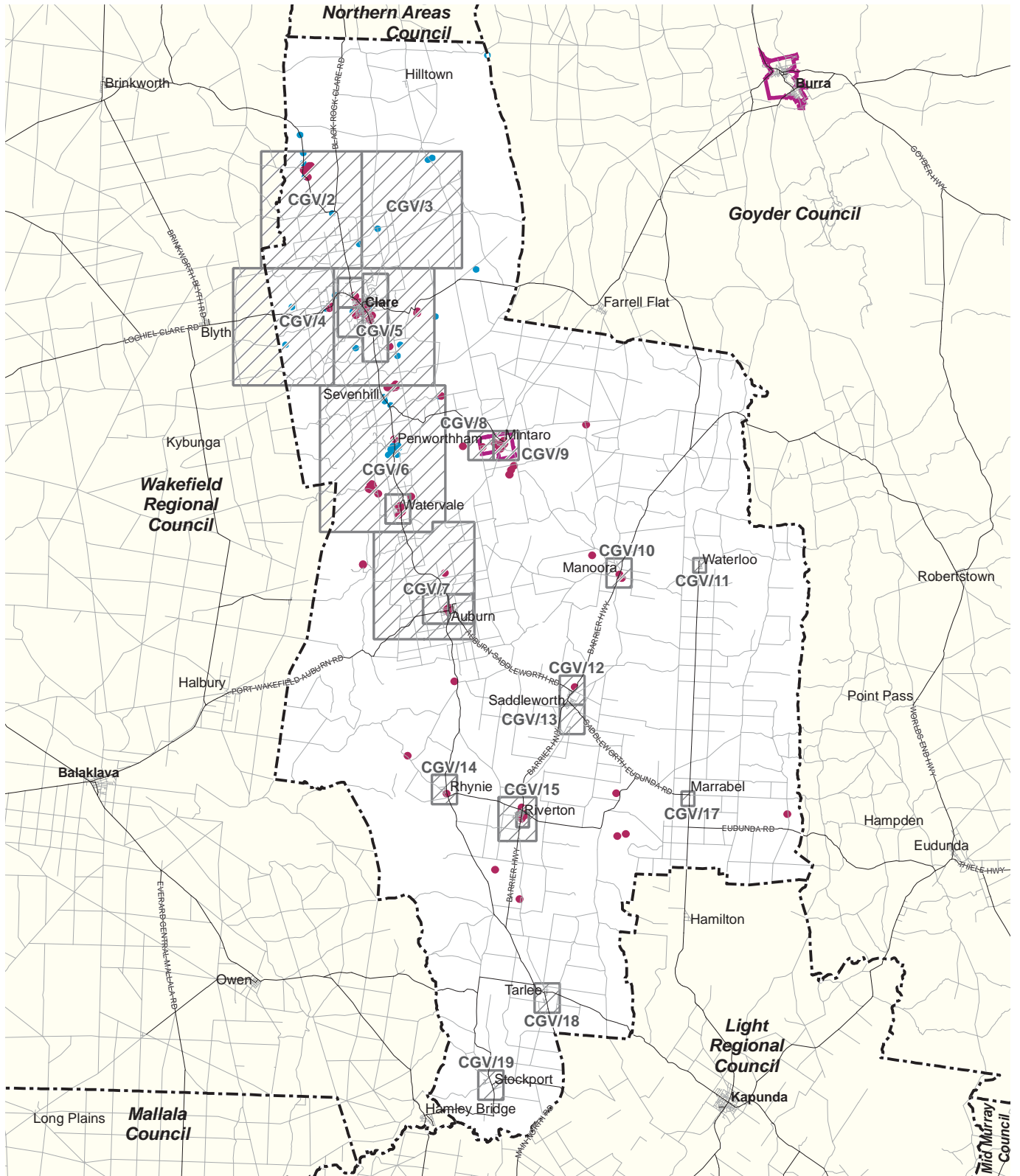
----- Development Plan Boundary



0 25km

Overlay Map CGV/1

DEVELOPMENT CONSTRAINTS

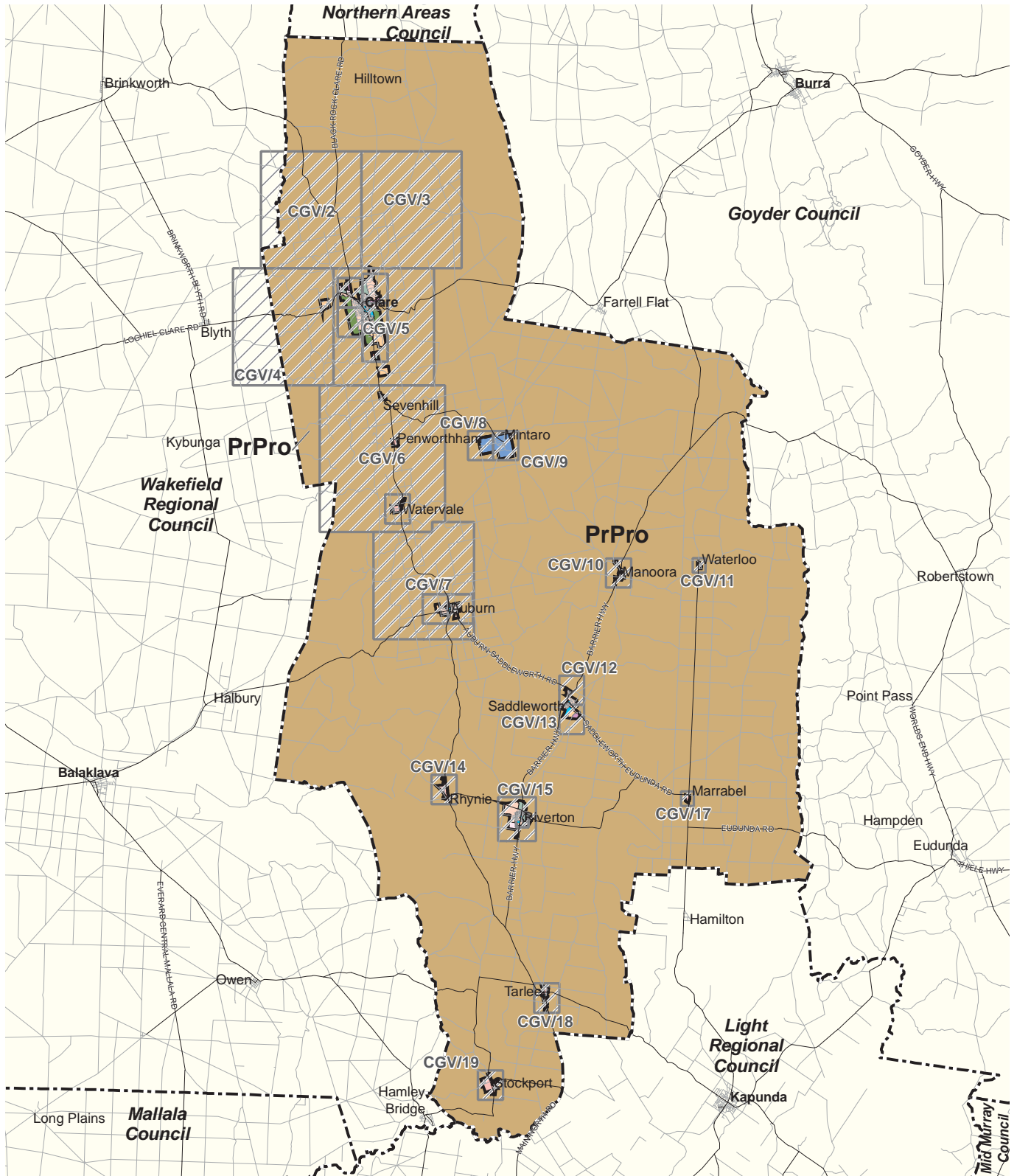


For further information on State and Local Heritage Places and Contributory items please refer to the relevant tables within this document.



- State heritage place
- Local heritage place
- State Heritage Area
- Development Plan Boundary

Overlay Map CGV/1 HERITAGE

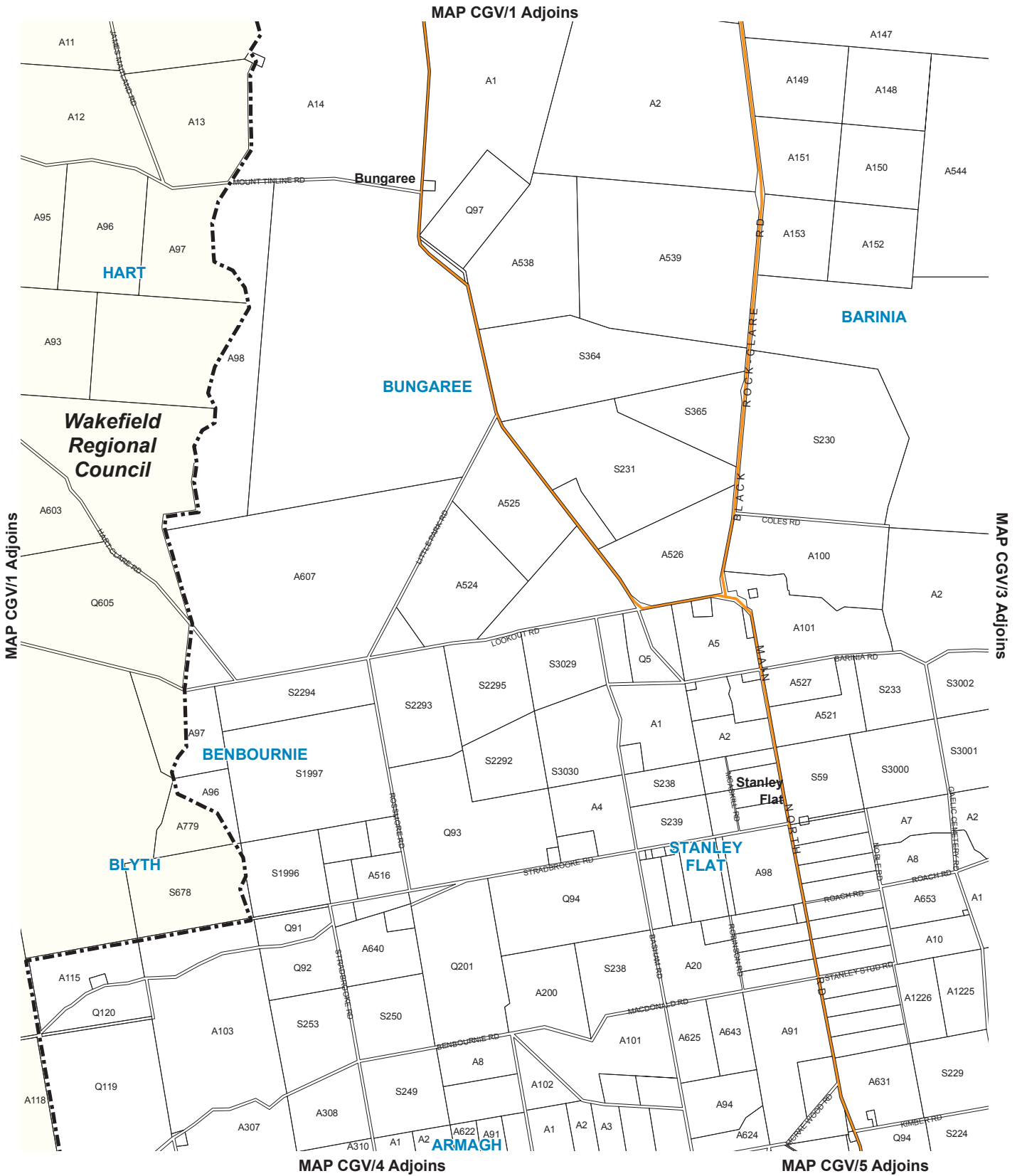


See enlargement map for accurate representation.



- Zones**
- PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

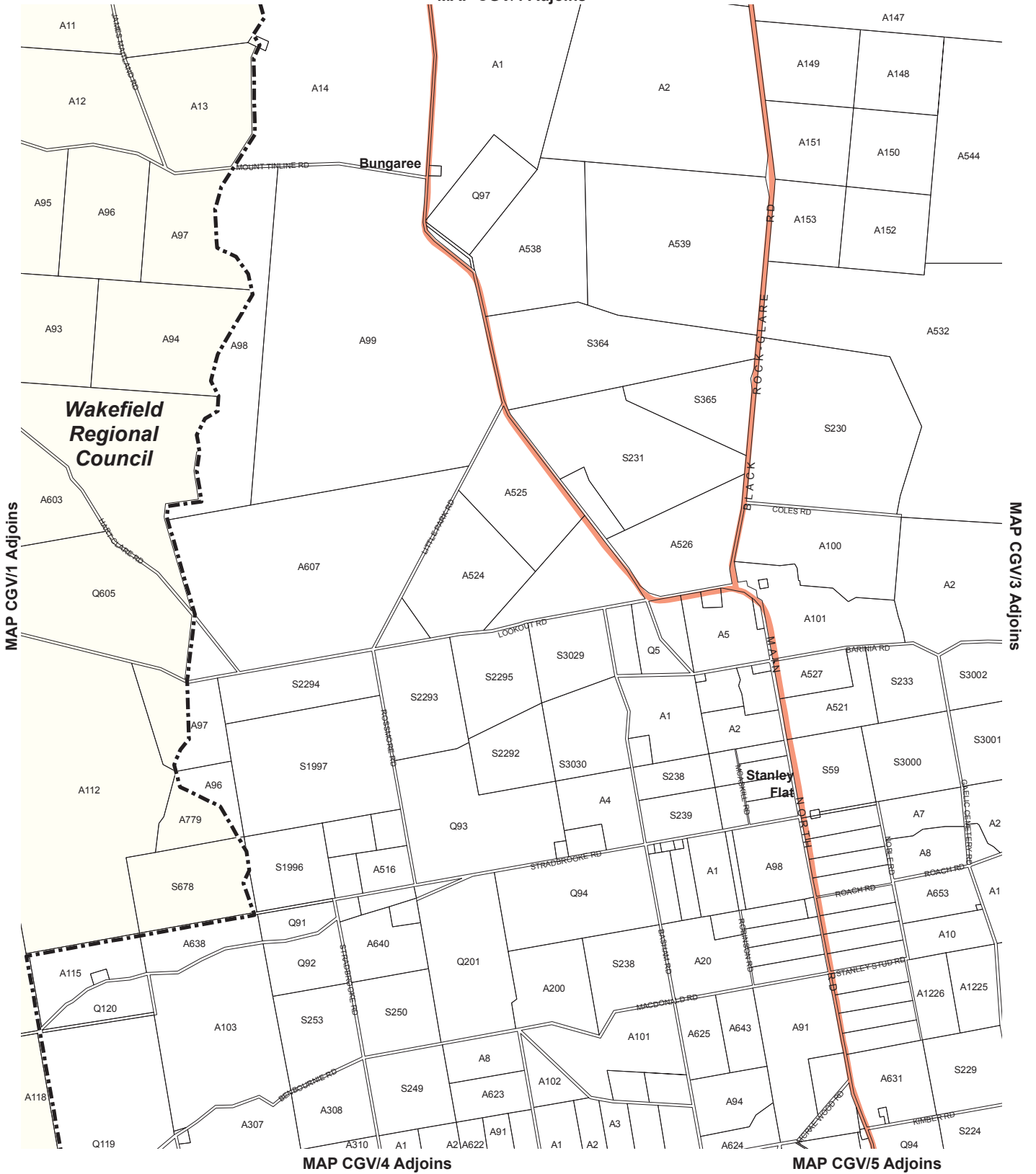
Zone Map CGV/1



Location Map CGV/2

- Tourist Routes
- Development Plan Boundary

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

MAP CGV/3 Adjoins

MAP CGV/4 Adjoins

MAP CGV/5 Adjoins

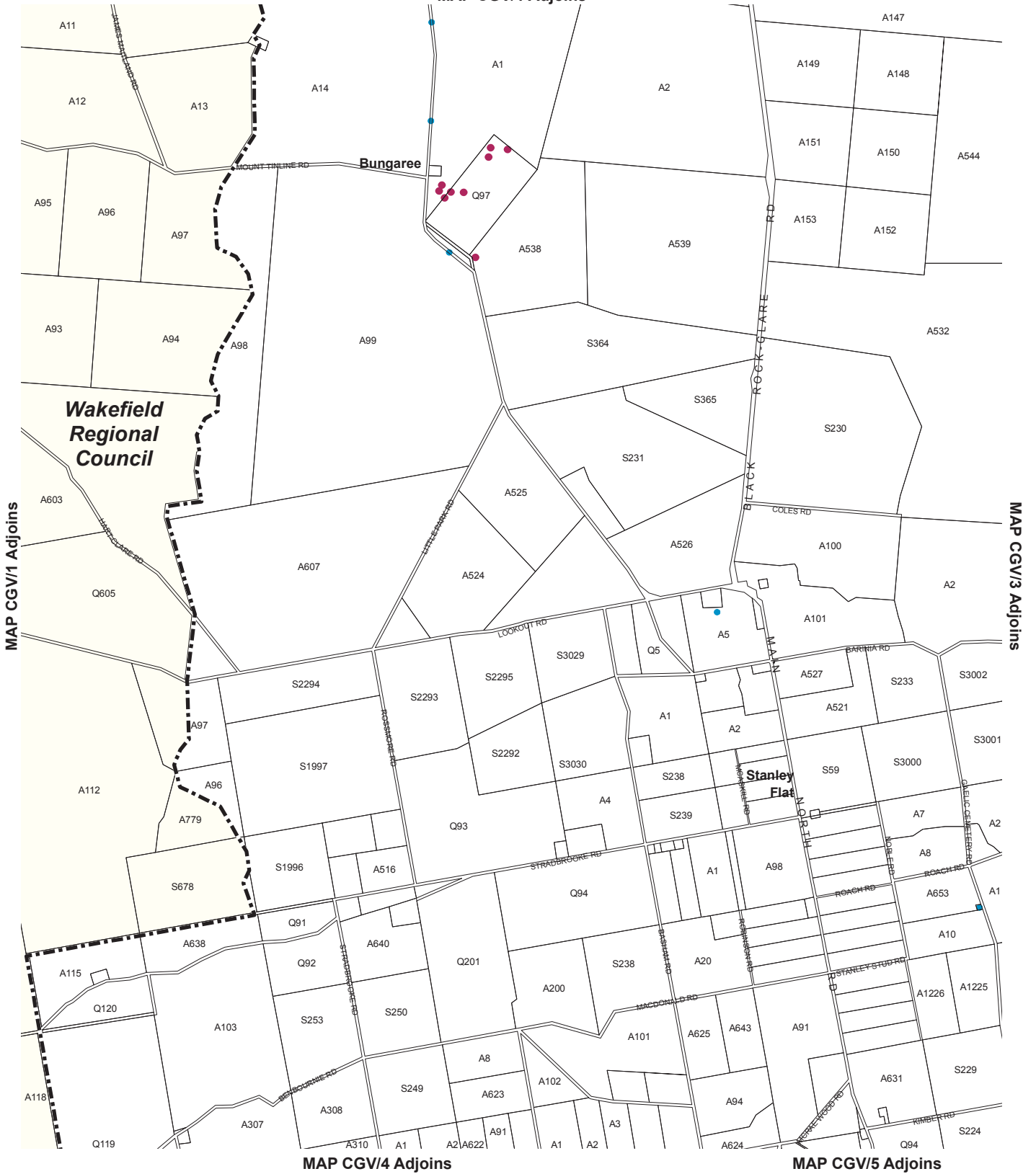


Overlay Map CGV/2 TRANSPORT

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

- Secondary Arterial Roads
- Development Plan Boundary

MAP CGV/1 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

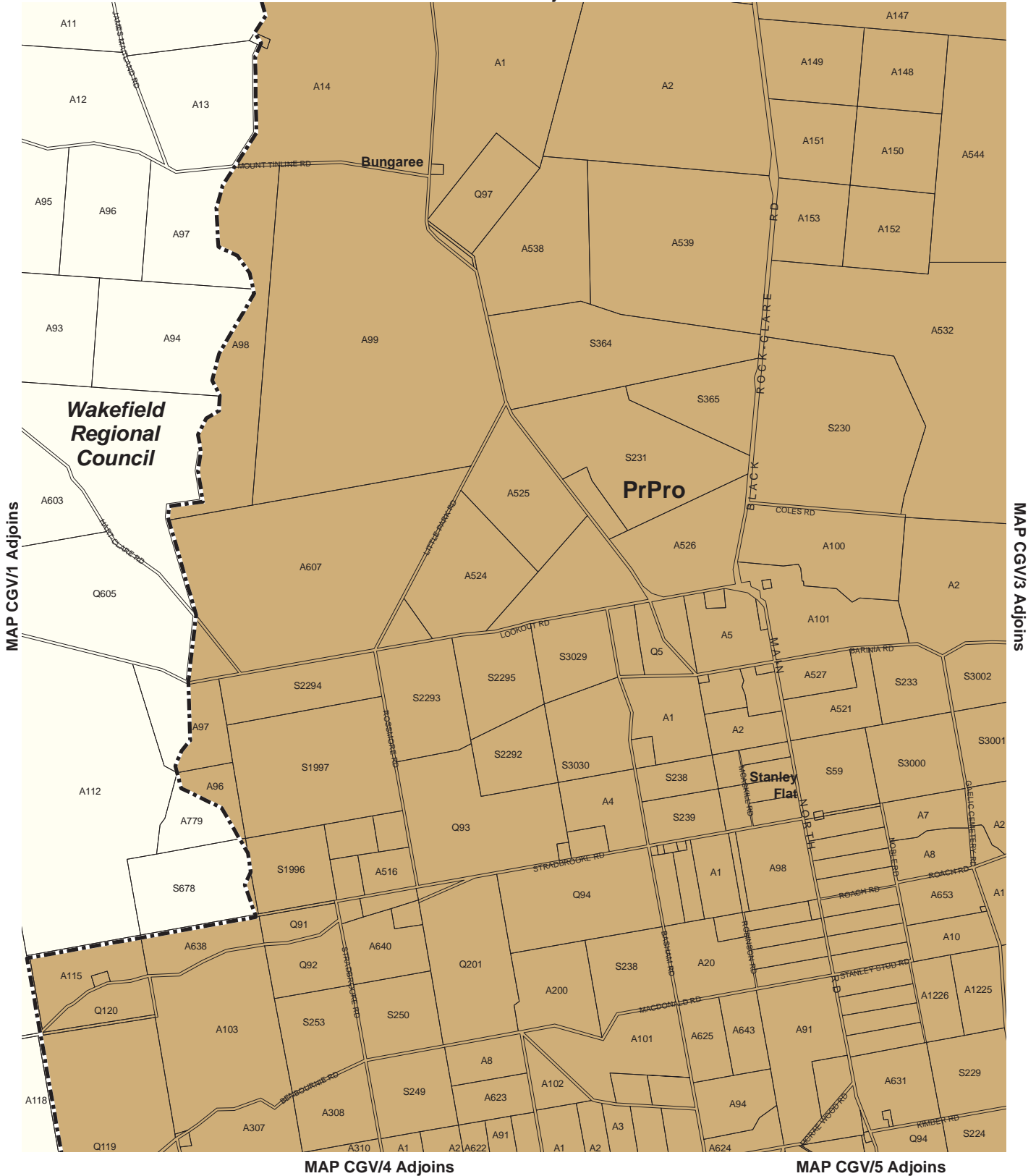


Overlay Map CGV/2

HERITAGE

- State heritage place
- Local heritage place
- Development Plan Boundary

MAP CGV/1 Adjoins



MAP CGV/4 Adjoins

MAP CGV/5 Adjoins

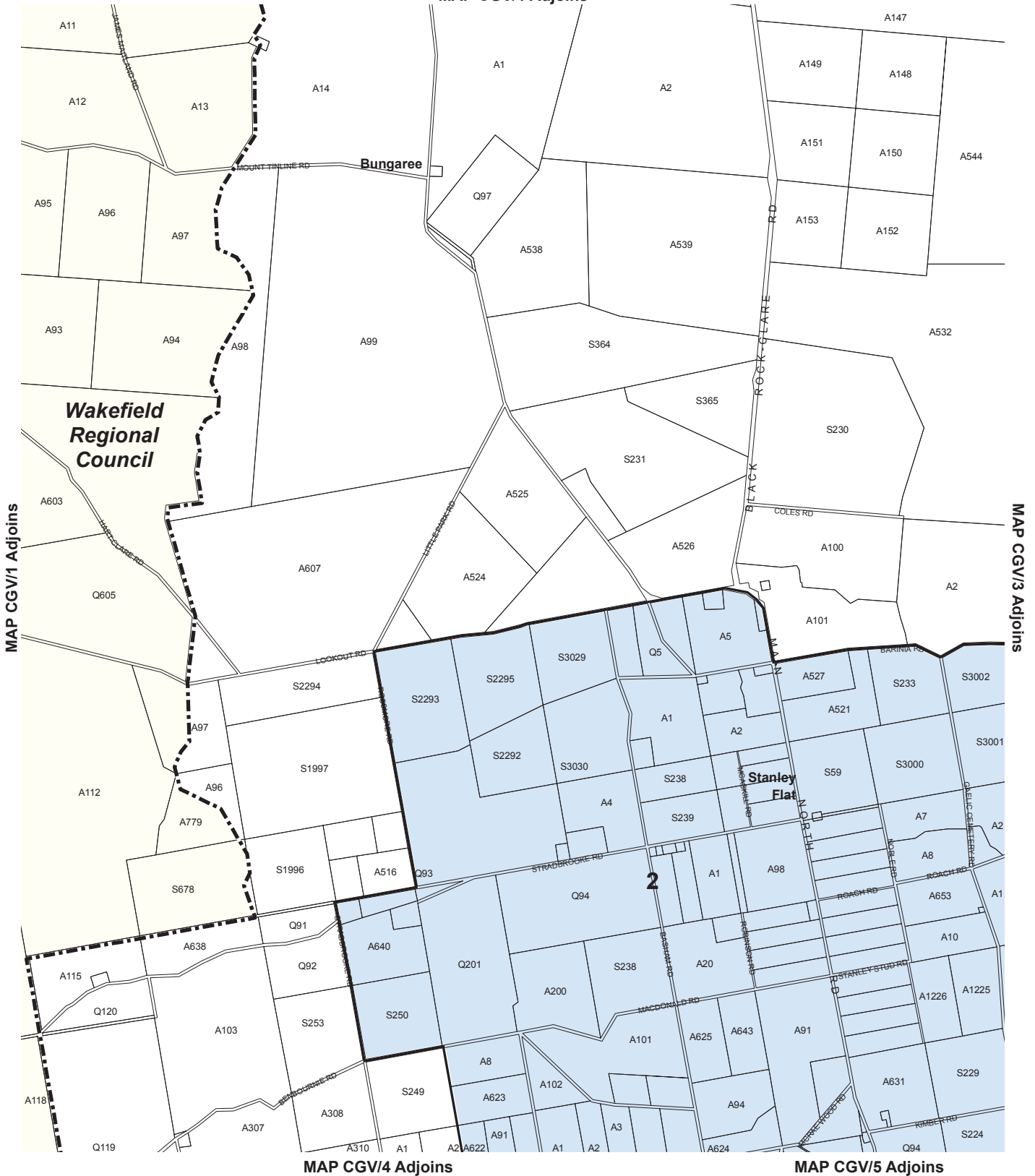
Lamberts Conformal Conic Projection, GDA94



Zone Map CGV/2

- Zones**
- PrPro Primary Production
 - Zone Boundary
 - Development Plan Boundary

MAP CGV/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area
2 Horticulture



Policy Area Map CGV/2

- Policy Area Boundary
- Development Plan Boundary

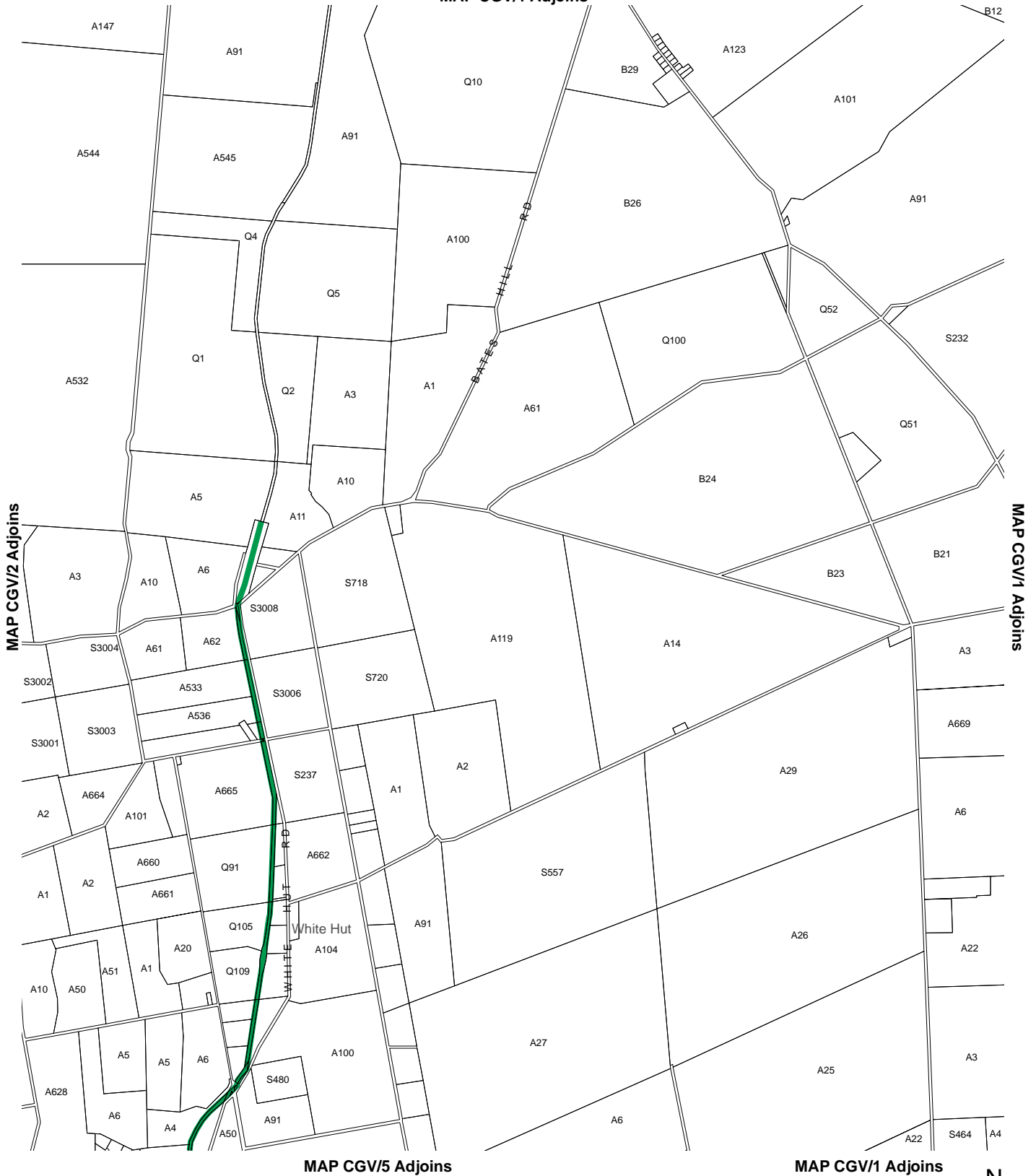
MAP CGV/1 Adjoins



0 2,000 m

Location Map CGV/3

MAP CGV/1 Adjoins



Overlay Map CGV/3

TRANSPORT

 Riesling Trail

MAP CGV/1 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

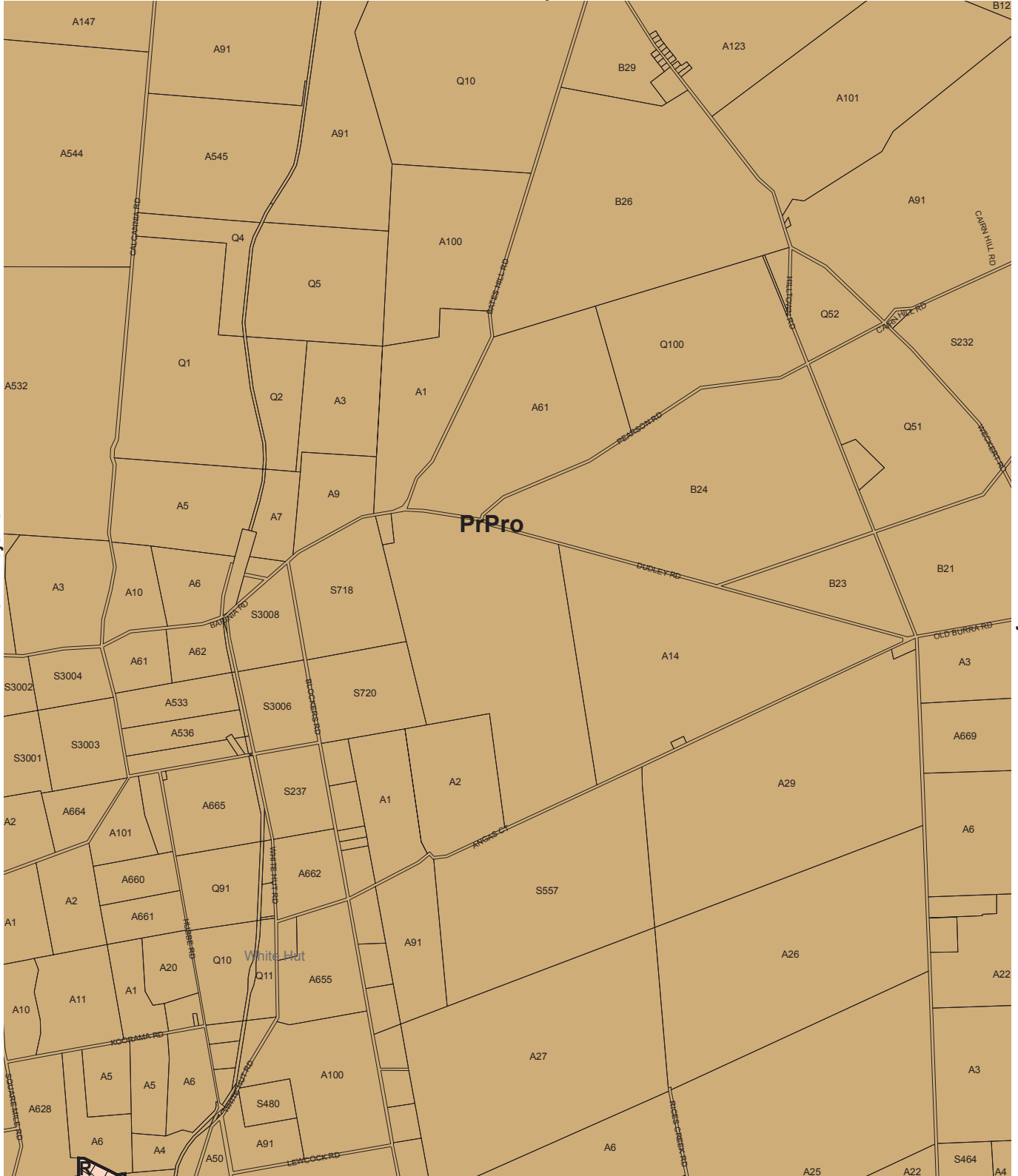


Overlay Map CGV/3

HERITAGE

• Local heritage place

MAP CGV/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

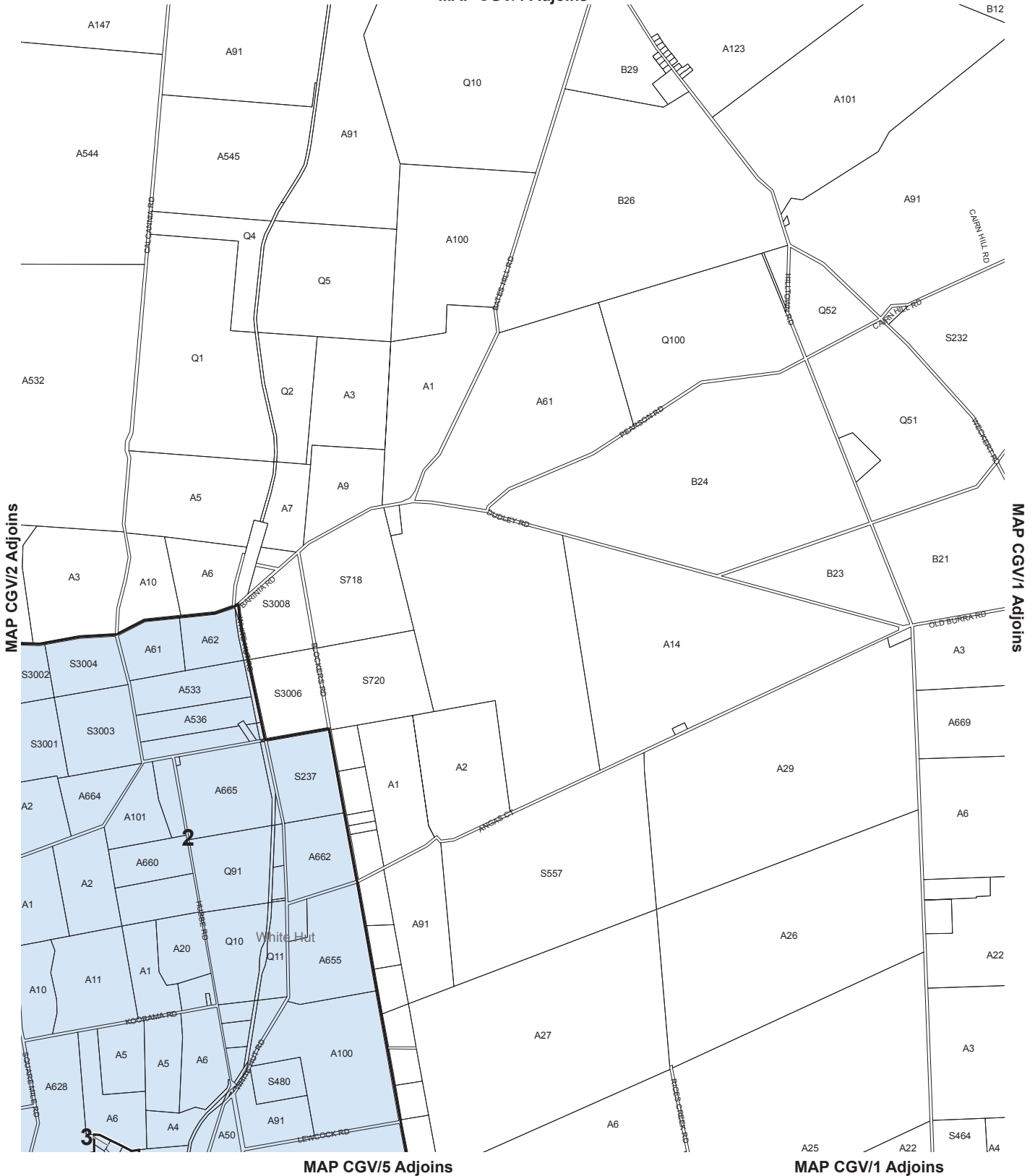


Zone Map CGV/3

Zones

- PrPro Primary Production
- R Residential
- Zone Boundary

MAP CGV/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

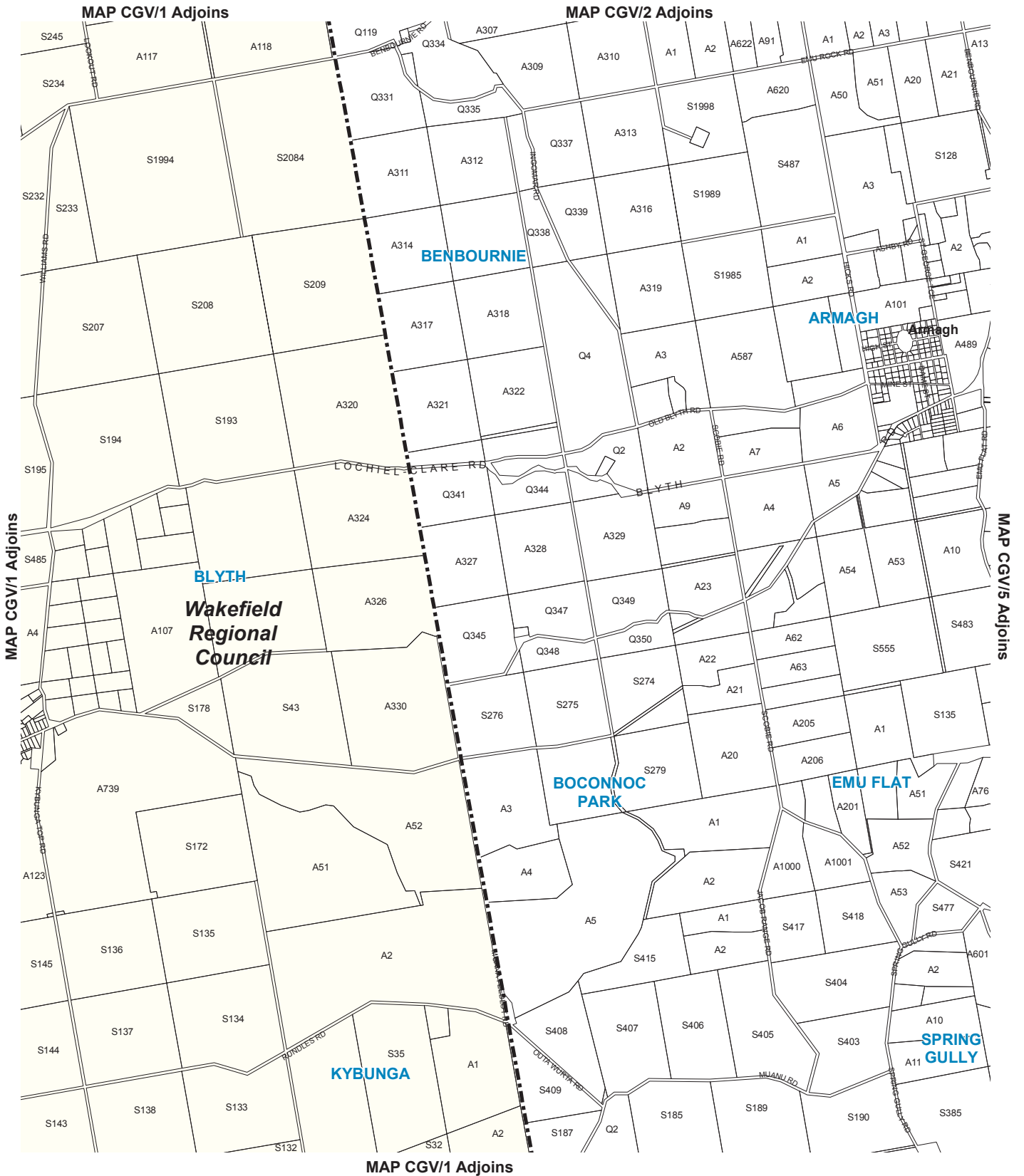
Policy Area

- 2 Horticulture
- 3 Clare Low Density Housing



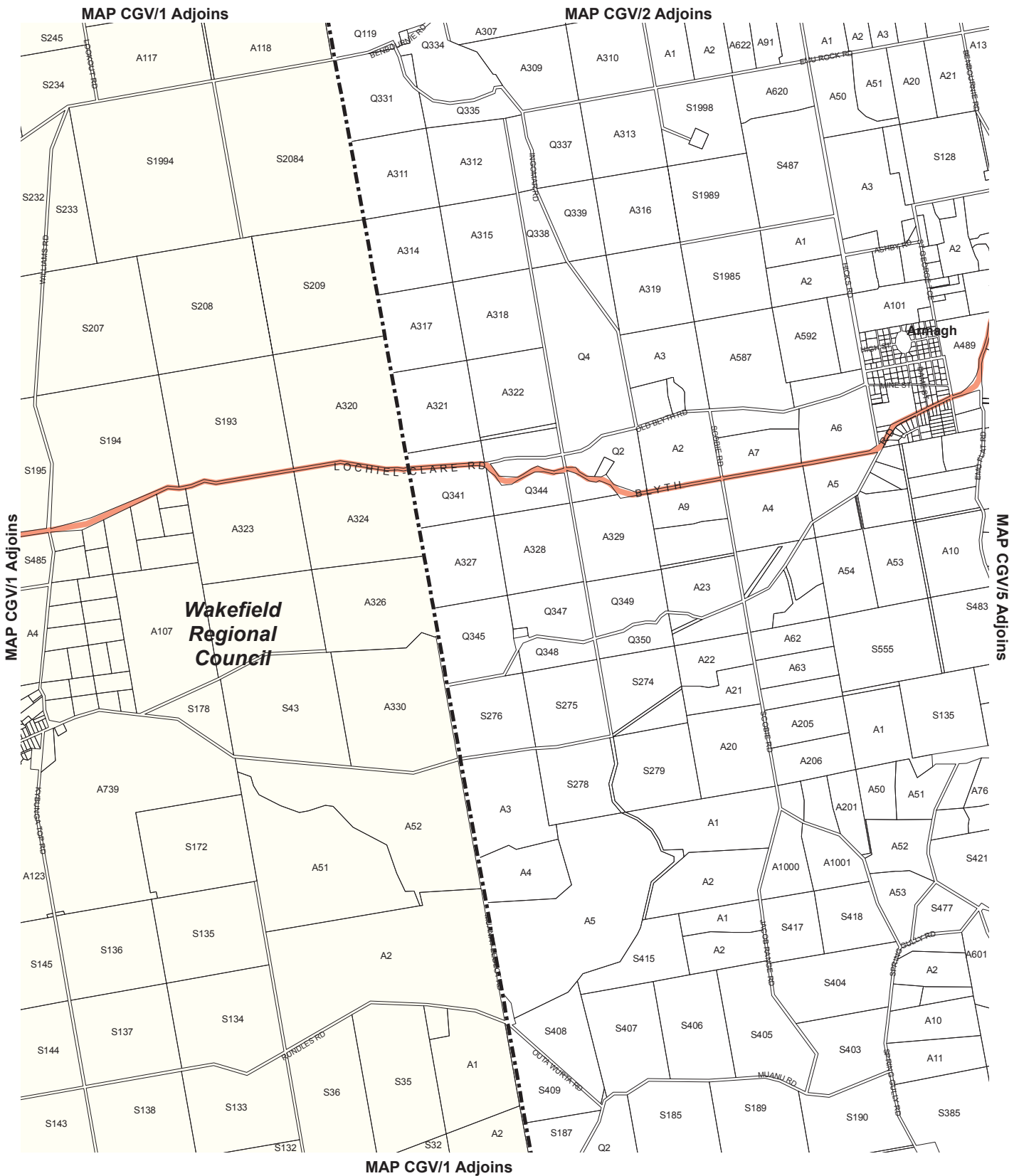
Policy Area Map CGV/3

Policy Area Boundary



Location Map CGV/4

----- Development Plan Boundary



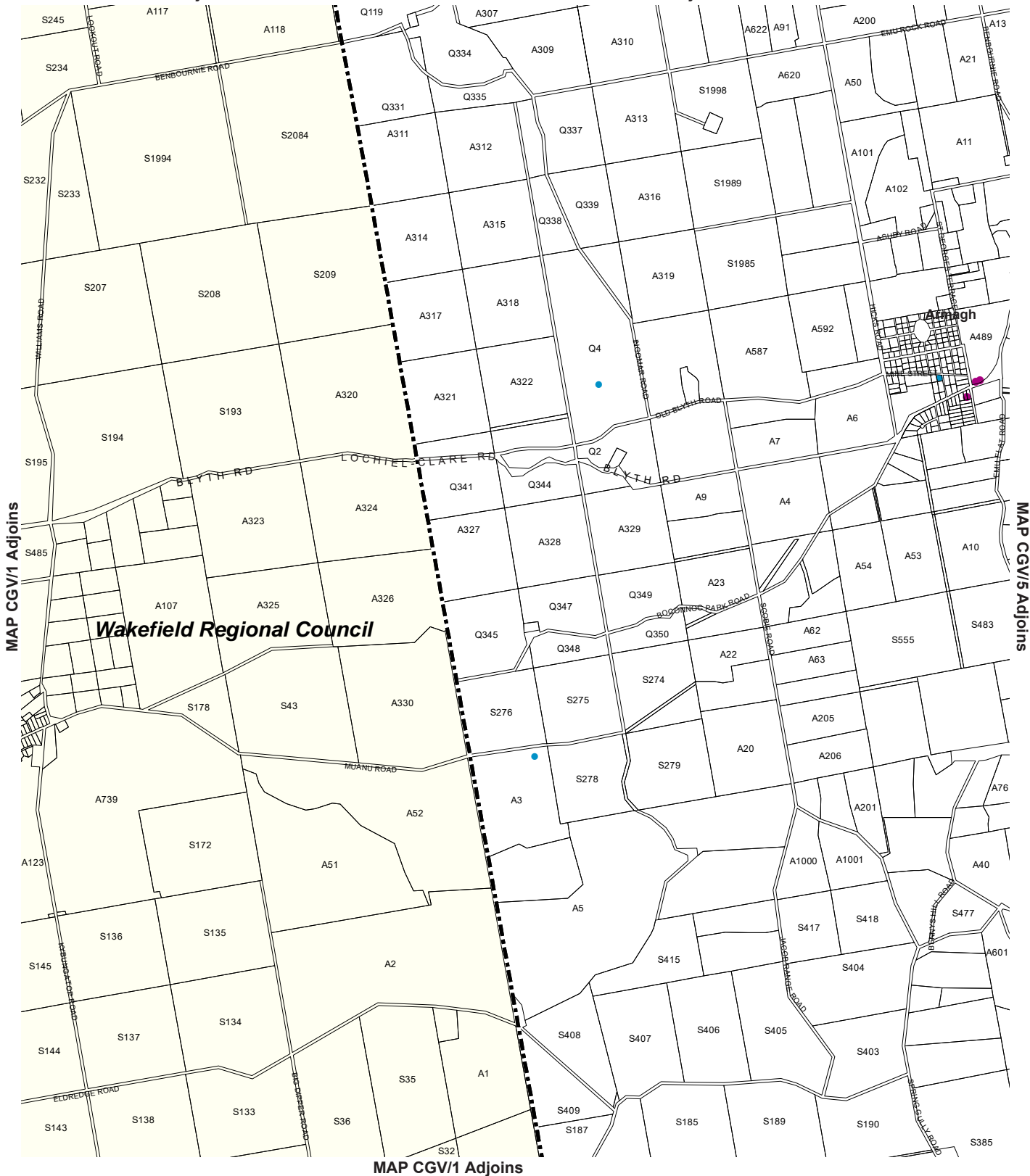
Overlay Map CGV/4 TRANSPORT

- Secondary Arterial Roads
- - - - - Development Plan Boundary



MAP CGV/1 Adjoins

MAP CGV/2 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

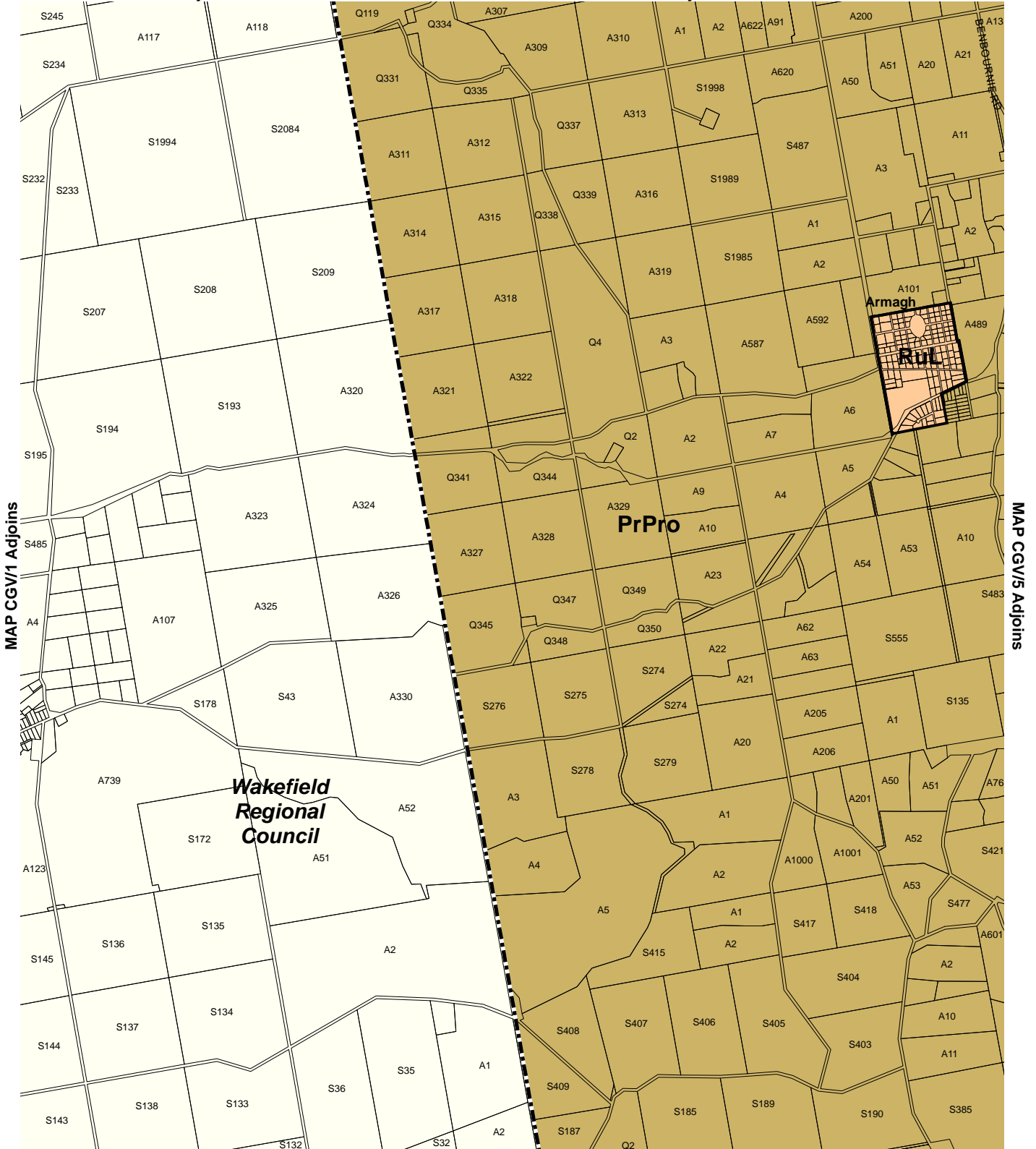


- State heritage place
- Local heritage place
- Development Plan Boundary

Overlay Map CGV/4 HERITAGE

MAP CGV/1 Adjoins

MAP CGV/2 Adjoins



MAP CGV/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



0 2,000m

Zones

PrPro Primary Production

RuL Rural Living

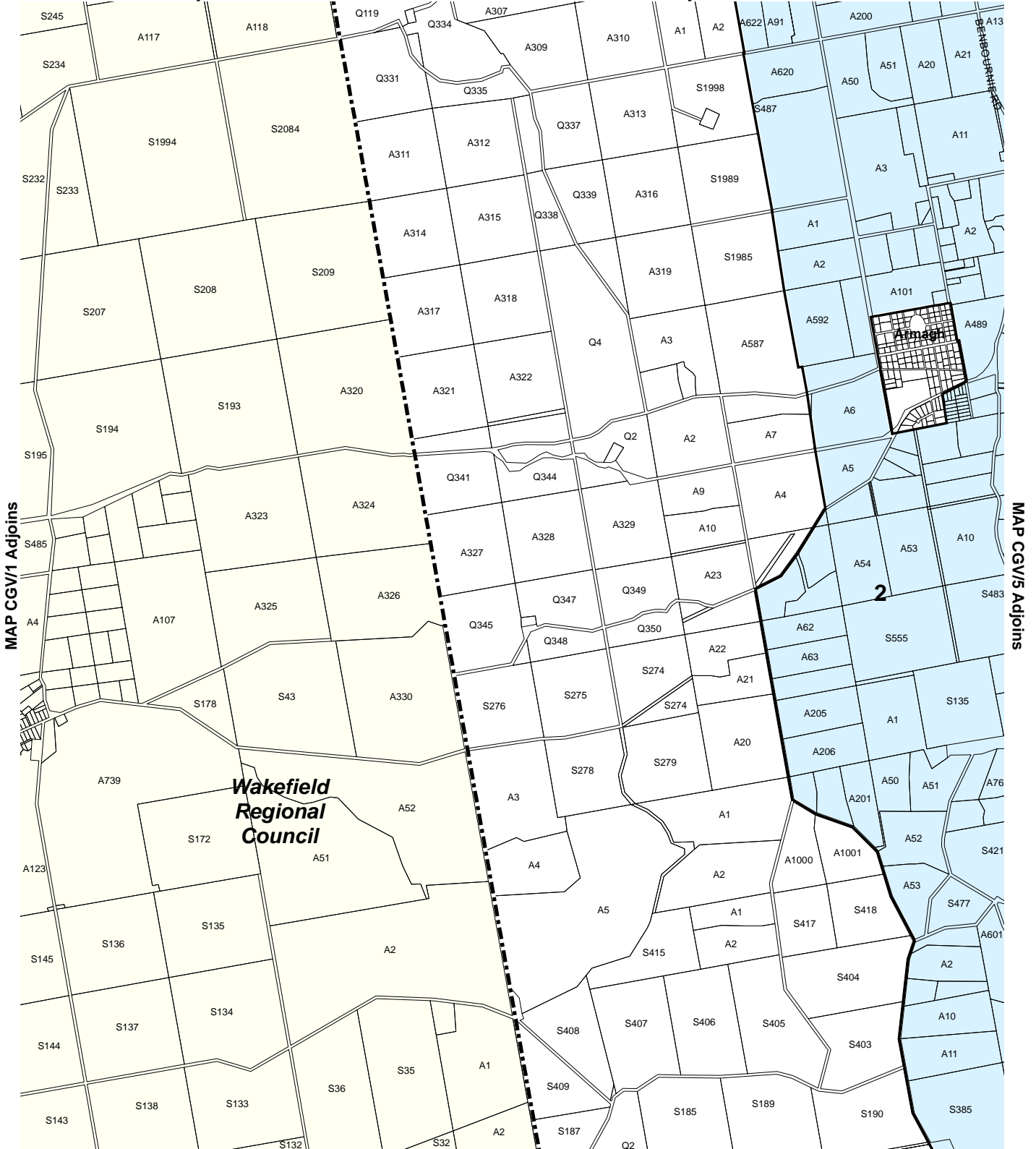
Zone Boundary

Development Plan Boundary

Zone Map CGV/4

MAP CGV/1 Adjoins

MAP CGV/2 Adjoins



Lamberts Conformal Conic Projection, GDA94

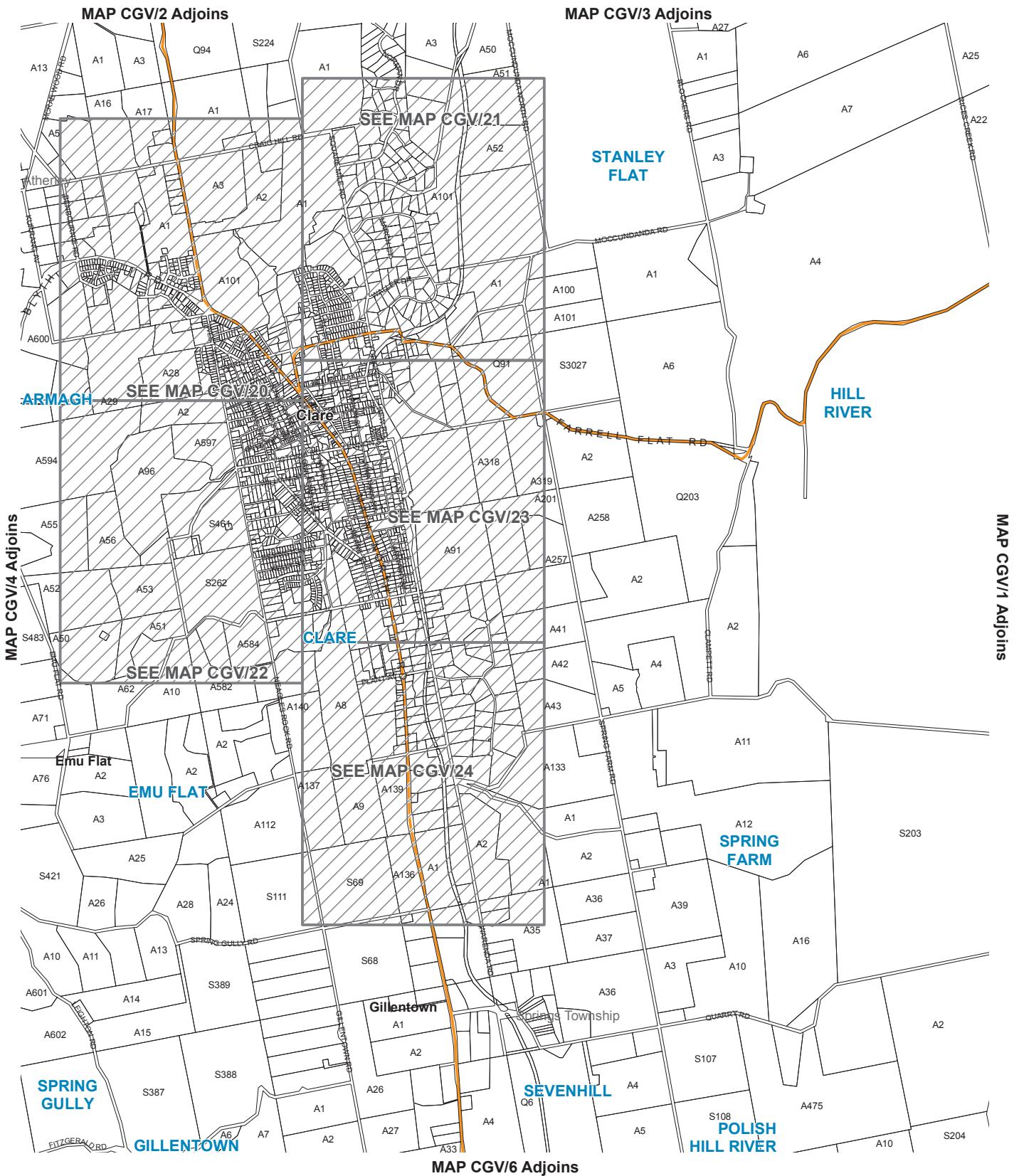
Policy Area
2 Horticulture



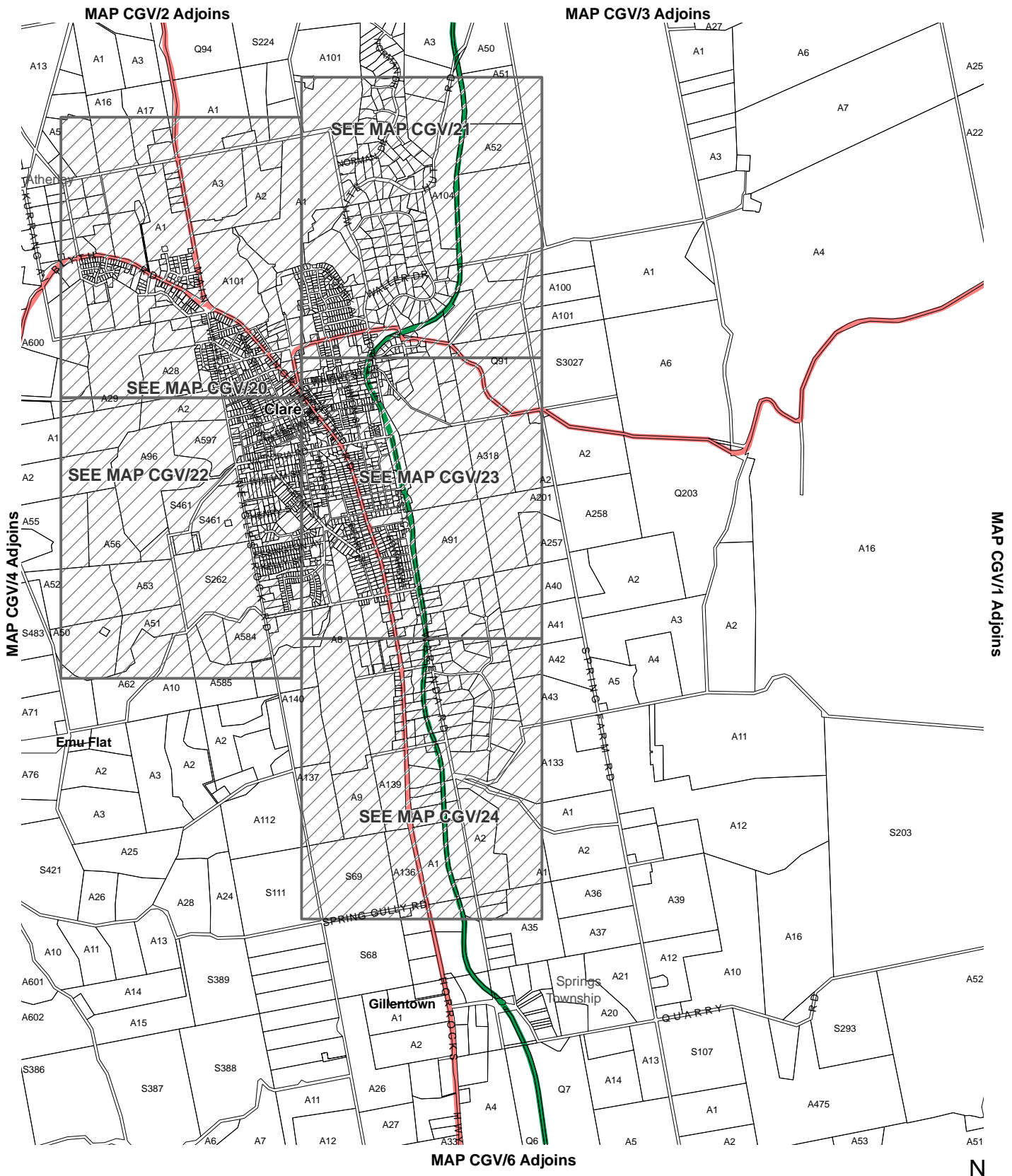
0 2,000m

Policy Area Map CGV/4

- Policy Area Boundary
- Development Plan Boundary



Location Map CGV/5



Overlay Map CGV/5 TRANSPORT

- Riesling Trail
- Secondary Arterial Roads

MAP CGV/2 Adjoins

MAP CGV/3 Adjoins



Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



Flood Risk Categories

- Low
- Medium
- High
- Extreme

Overlay Map CGV/5 DEVELOPMENT CONSTRAINTS

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019



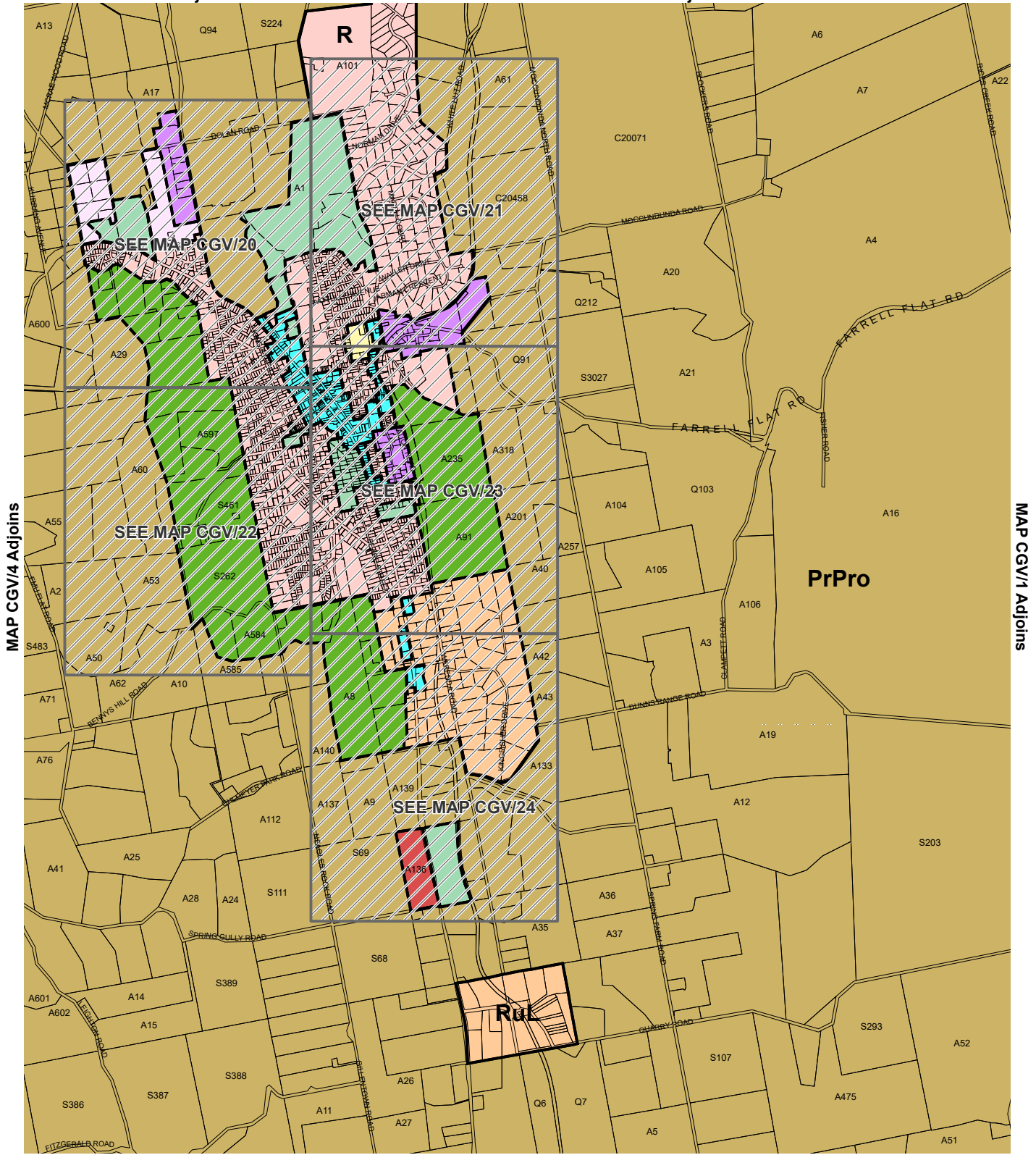
For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

- State heritage place
- Local heritage place

Overlay Map CGV/5 HERITAGE

MAP CGV/2 Adjoins

MAP CGV/3 Adjoins



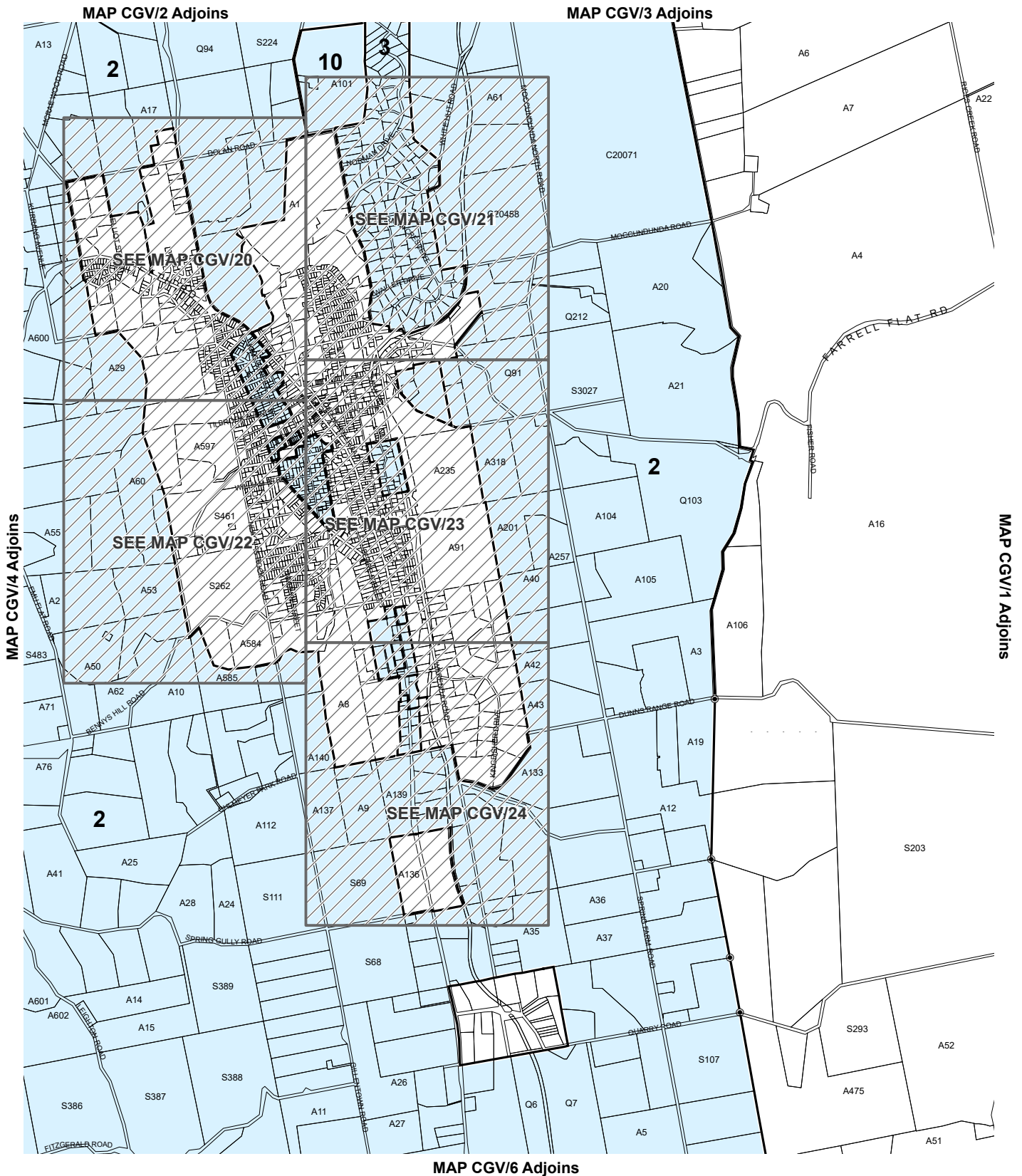
MAP CGV/6 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94



- Zones**
- PrPro Primary Production
 - R Residential
 - RuL Rural Living
 - Zone Boundary

Zone Map CGV/5



See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94

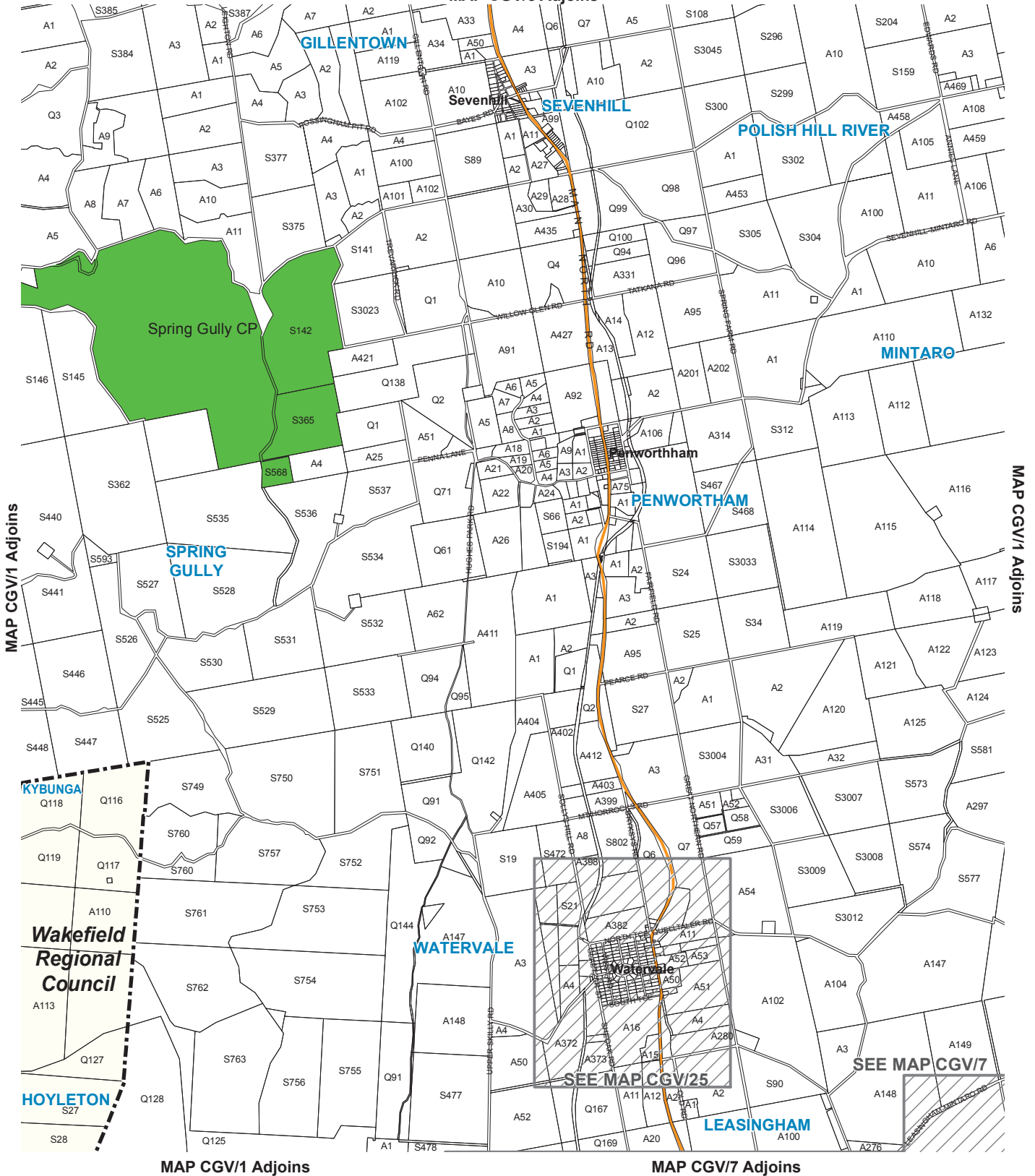
- Policy Area**
- 2 Horticulture
 - 3 Clare Low Density Housing
 - 10 Square Mile Road



Policy Area Map CGV/5

Policy Area Boundary

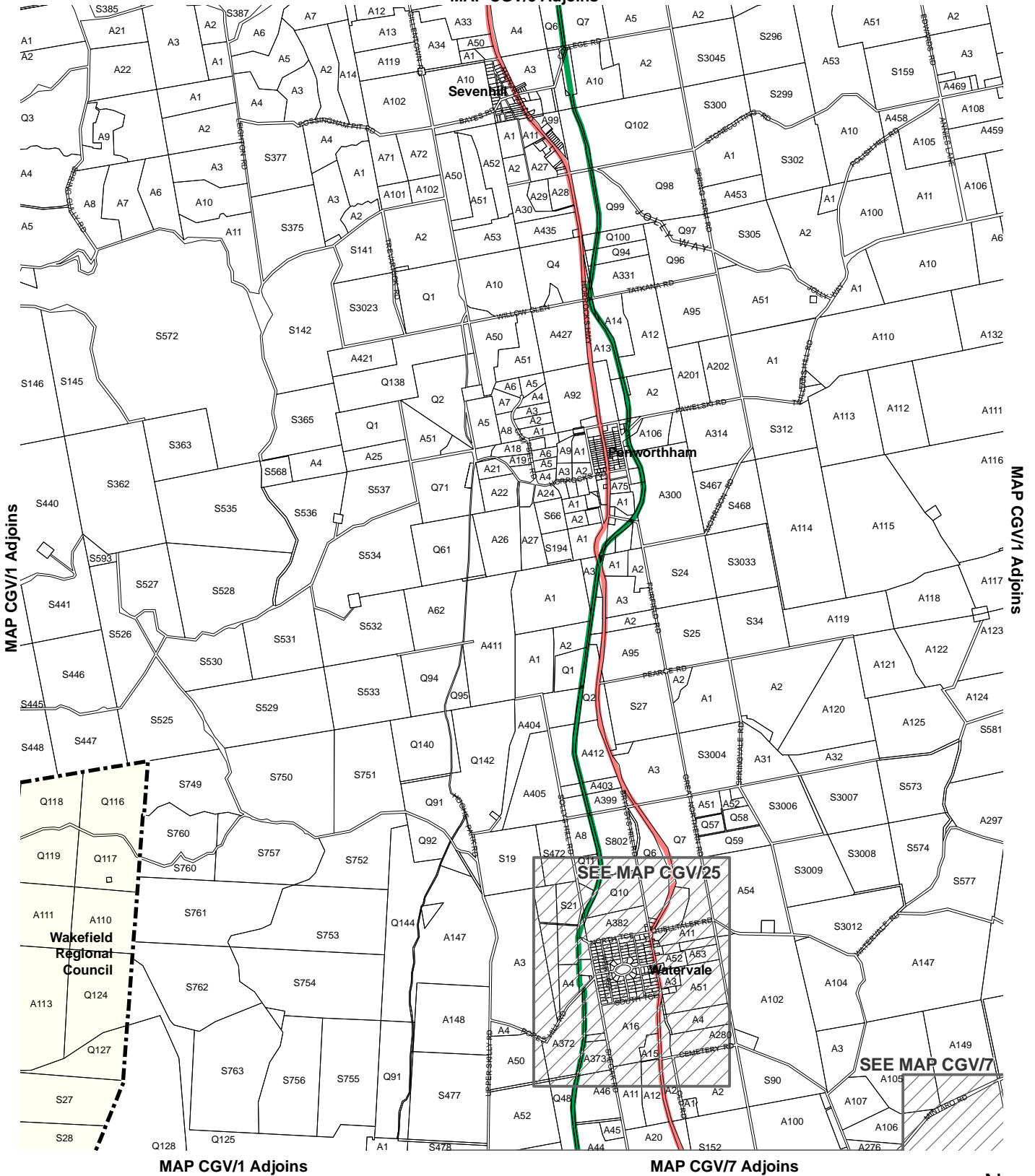
MAP CGV/5 Adjoins



Location Map CGV/6

- Tourist Routes
- Conservation Park
- Development Plan Boundary

MAP CGV/5 Adjoins



Overlay Map CGV/6 TRANSPORT

- Riesling Trail
- Secondary Arterial Roads
- Development Plan Boundary

MAP CGV/5 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

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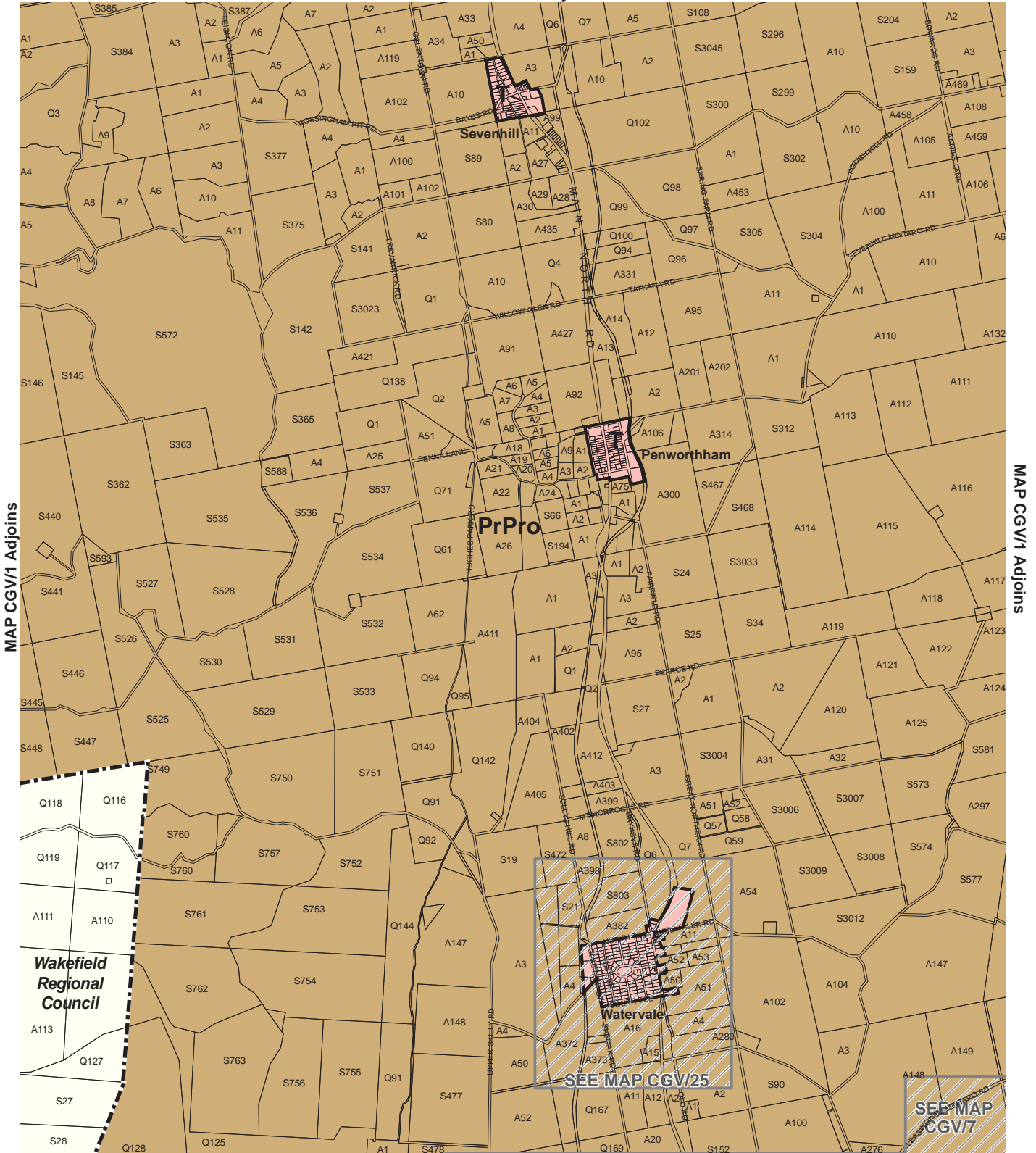
5 km

Overlay Map CGV/6

HERITAGE

- State heritage place
- Local heritage place
- Development Plan Boundary

MAP CGV/5 Adjoins



MAP CGV/1 Adjoins

MAP CGV/5 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

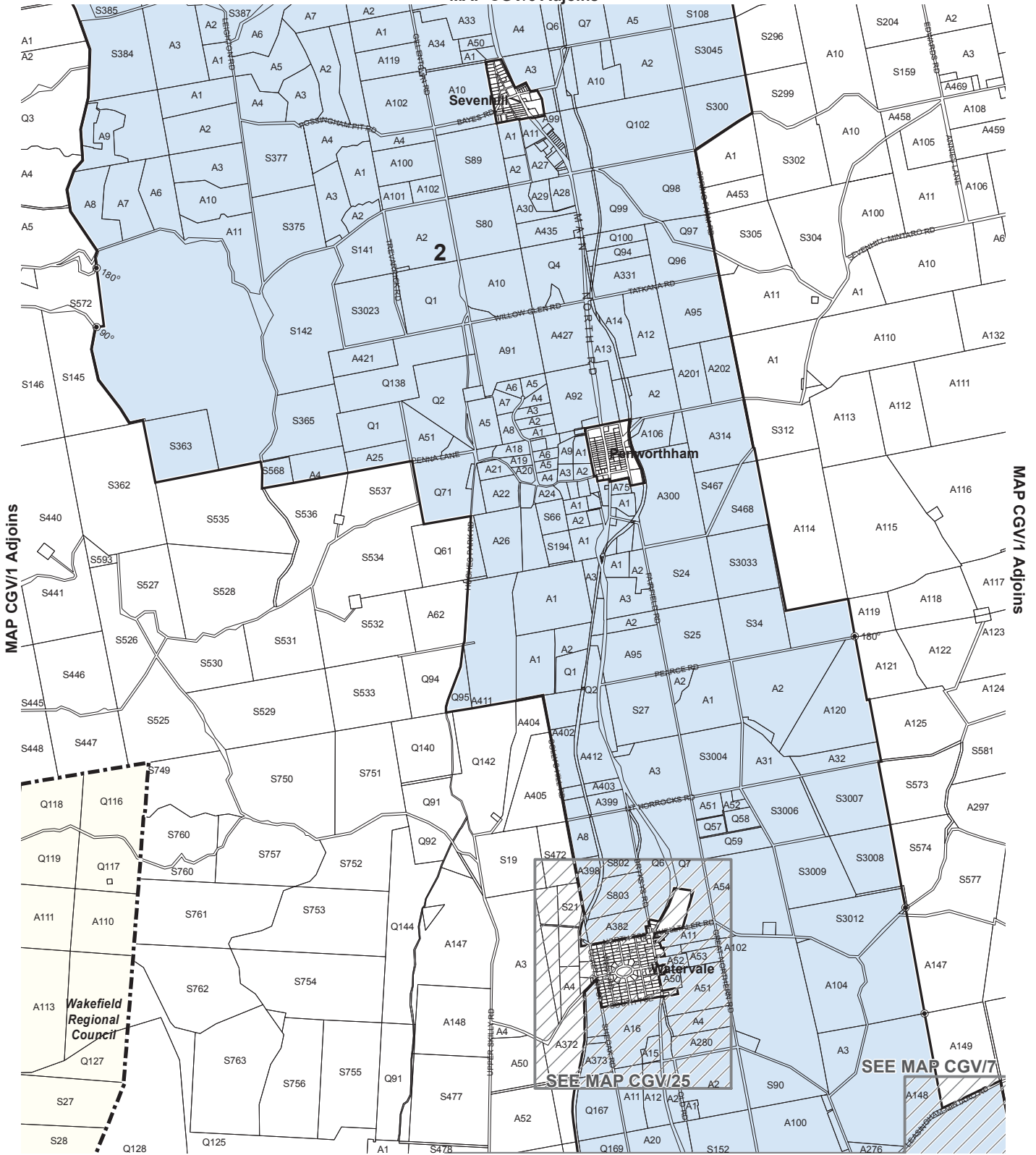


Zones

- PrPro Primary Production
- T Township
- Zone Boundary
- Development Plan Boundary

Zone Map CGV/6

MAP CGV/5 Adjoins



MAP CGV/1 Adjoins

MAP CGV/7 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Policy Area
2 Horticulture

0



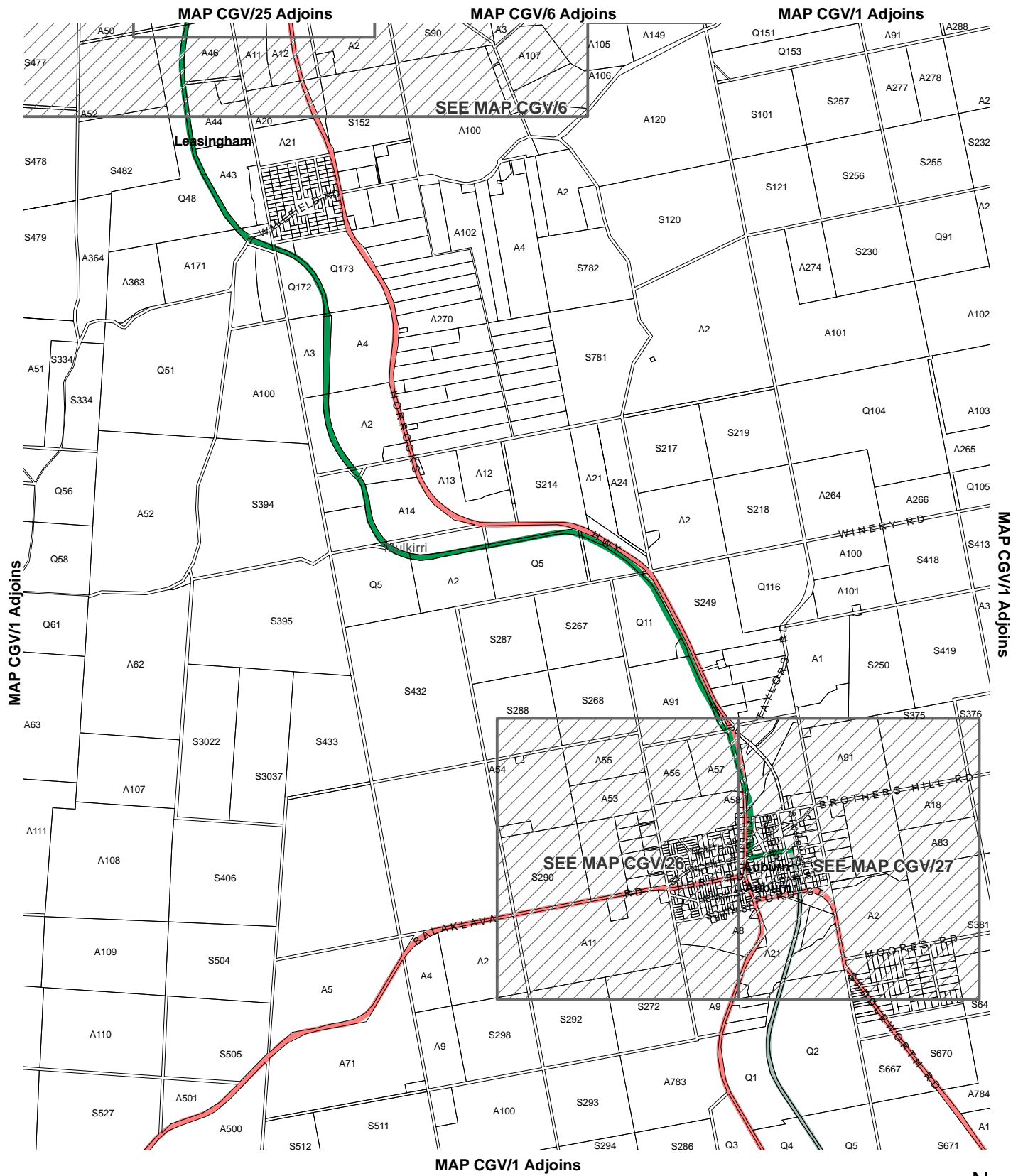
5 km

Policy Area Map CGV/6

- Policy Area Boundary
- Development Plan Boundary



Location Map CGV/7



Overlay Map CGV/7 TRANSPORT

- Riesling Trail
- Rattler Trail
- Secondary Arterial Roads



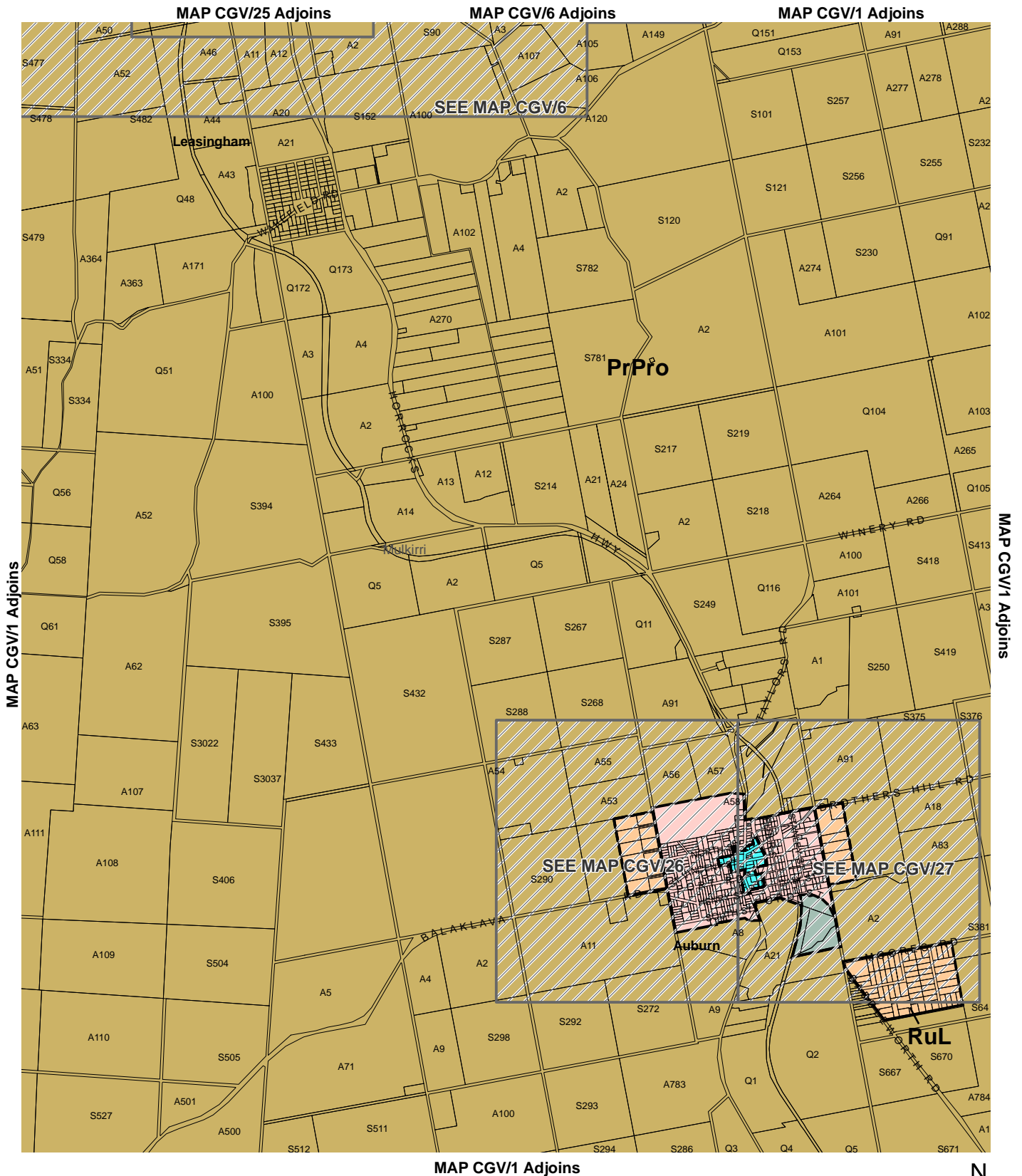
For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.



Overlay Map CGV/7

HERITAGE

● State heritage place



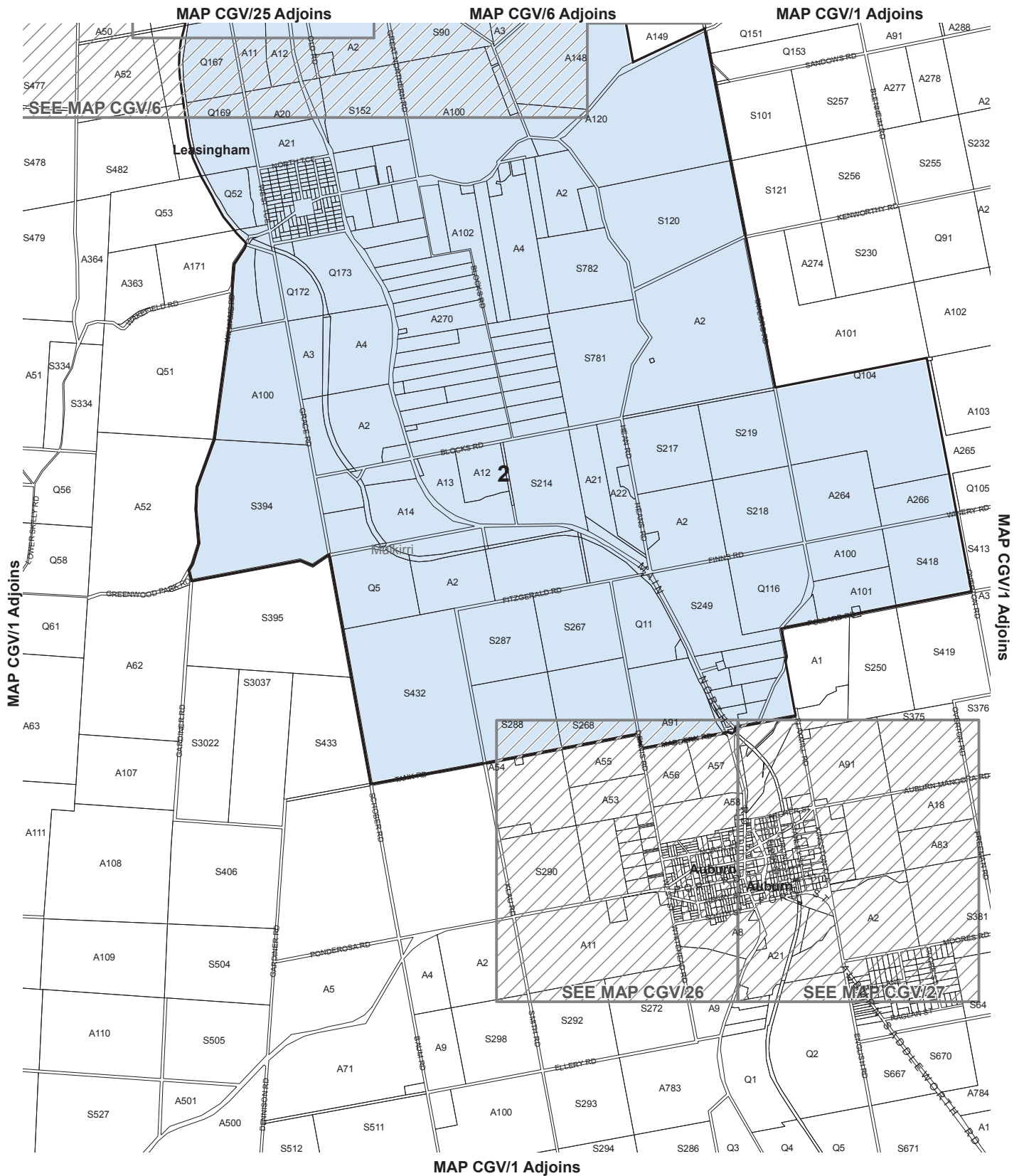
See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94



0 2,000m

Zone Map CGV/7

- Zones**
- PrPro Primary Production
 - RuL Rural Living
 - Zone Boundary



See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

Policy Area
2 Horticulture



Policy Area Map CGV/7

Policy Area Boundary



Lamberts Conformal Conic Projection, GDA94

Precinct

5 Leasingham



Precinct Map CGV/7

Precinct Boundary

MAP CGV/1 Adjoins



MINTARO

Location Map CGV/8

MAP CGV/1 Adjoins

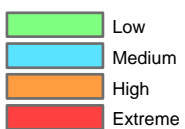


Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



MINTARO

Flood Risk Categories



Overlay Map CGV/8 DEVELOPMENT CONSTRAINTS

MAP CGV/1 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.



MINTARO

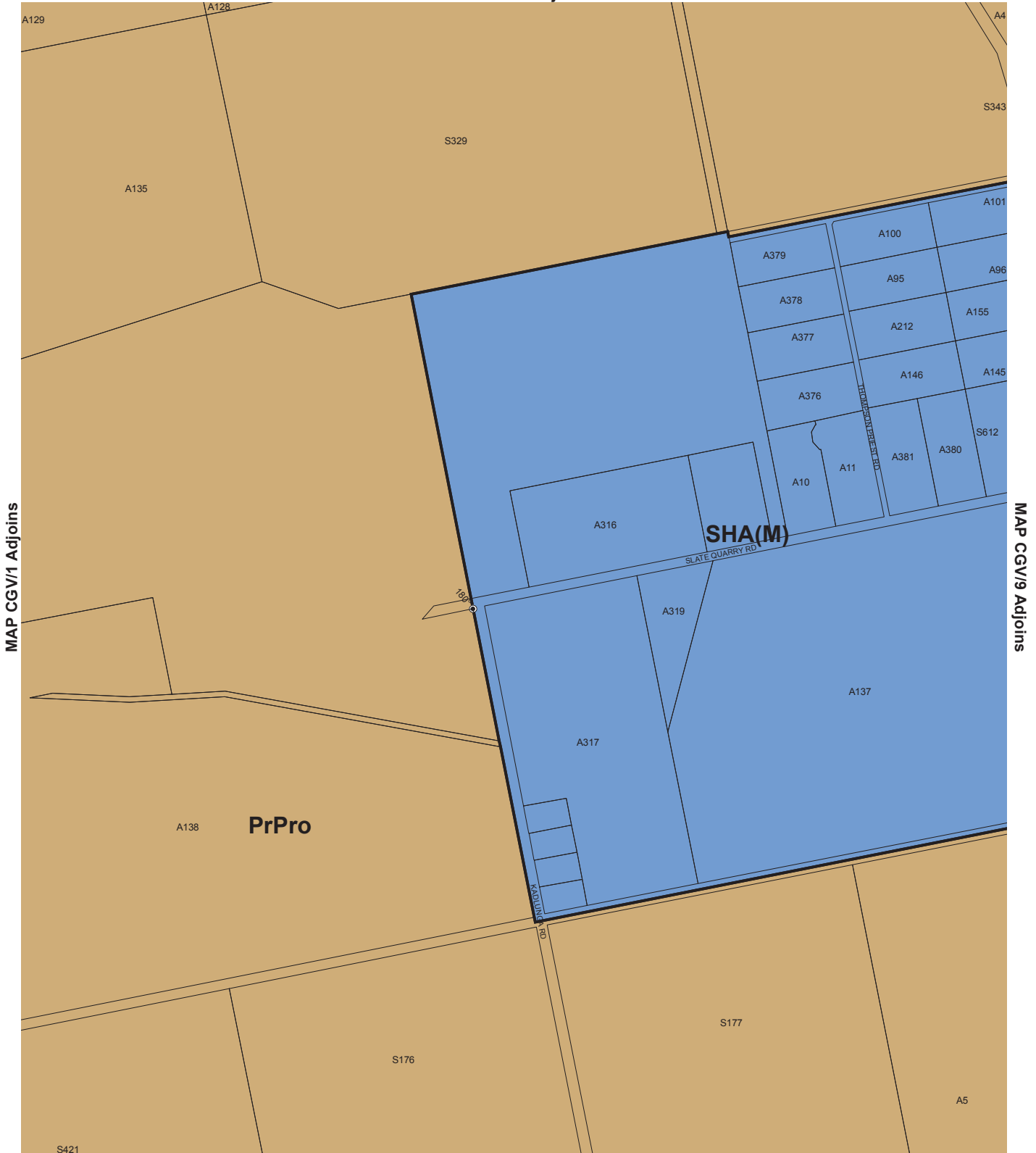
Overlay Map CGV/8

HERITAGE

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

- State heritage place
- State Heritage Area

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



MINTARO

Zone Map CGV/8

Zones

- PrPro Primary Production
- SHA(M) State Heritage Area (Mintaro)
- Zone Boundary

MAP CGV/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area

- 7 Residential (Mintaro)
- 8 Rural Living (Mintaro)
- 9 Township Fringe (Mintaro)



MINTARO

Policy Area Map CGV/8

Policy Area Boundary

MAP CGV/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct
2 Western Residential



MINTARO

Precinct Map CGV/8

 Precinct Boundary

MAP CGV/1 Adjoins

STANLEY

MINTARO

Mintaro

MAP CGV/8 Adjoins

MAP CGV/1 Adjoins

MAP CGV/1 Adjoins



MINTARO

Location Map CGV/9

S School



MAP CGV/1 Adjoins



MAP CGV/8 Adjoins

MAP CGV/1 Adjoins

MAP CGV/1 Adjoins

Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



Flood Risk Categories

- Low
- Medium
- High
- Extreme

MINTARO

Overlay Map CGV/9 DEVELOPMENT CONSTRAINTS

MAP CGV/1 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.



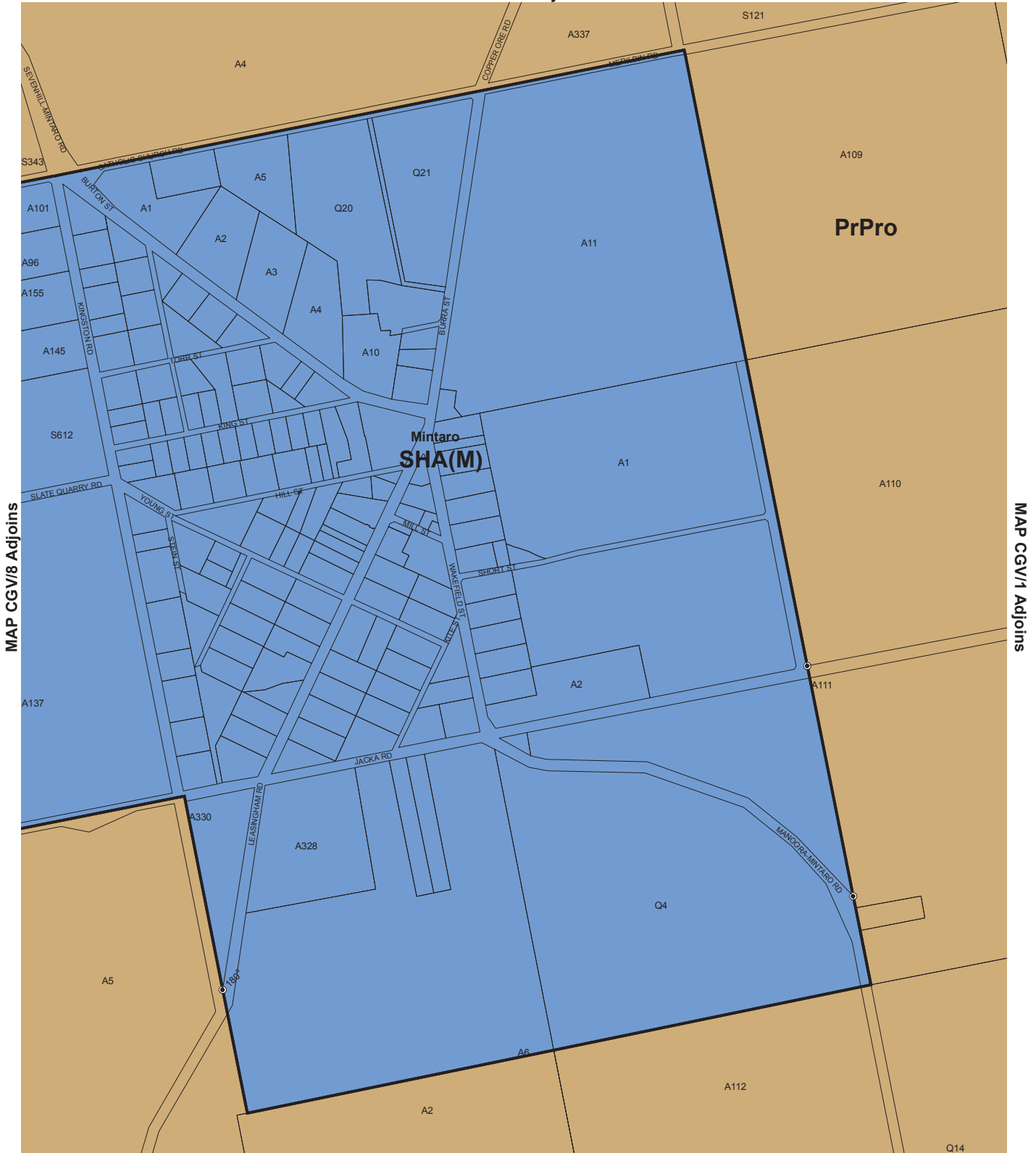
MINTARO

Overlay Map CGV/9 HERITAGE

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

- State heritage place
- State Heritage Area

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



MINTARO

Zone Map CGV/9

Zones

- PrPro Primary Production
- SHA(M) State Heritage Area (Mintaro)
- Zone Boundary

MAP CGV/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area

- 6 Town Centre (Mintaro)
- 7 Residential (Mintaro)
- 8 Rural Living (Mintaro)
- 9 Township Fringe (Mintaro)

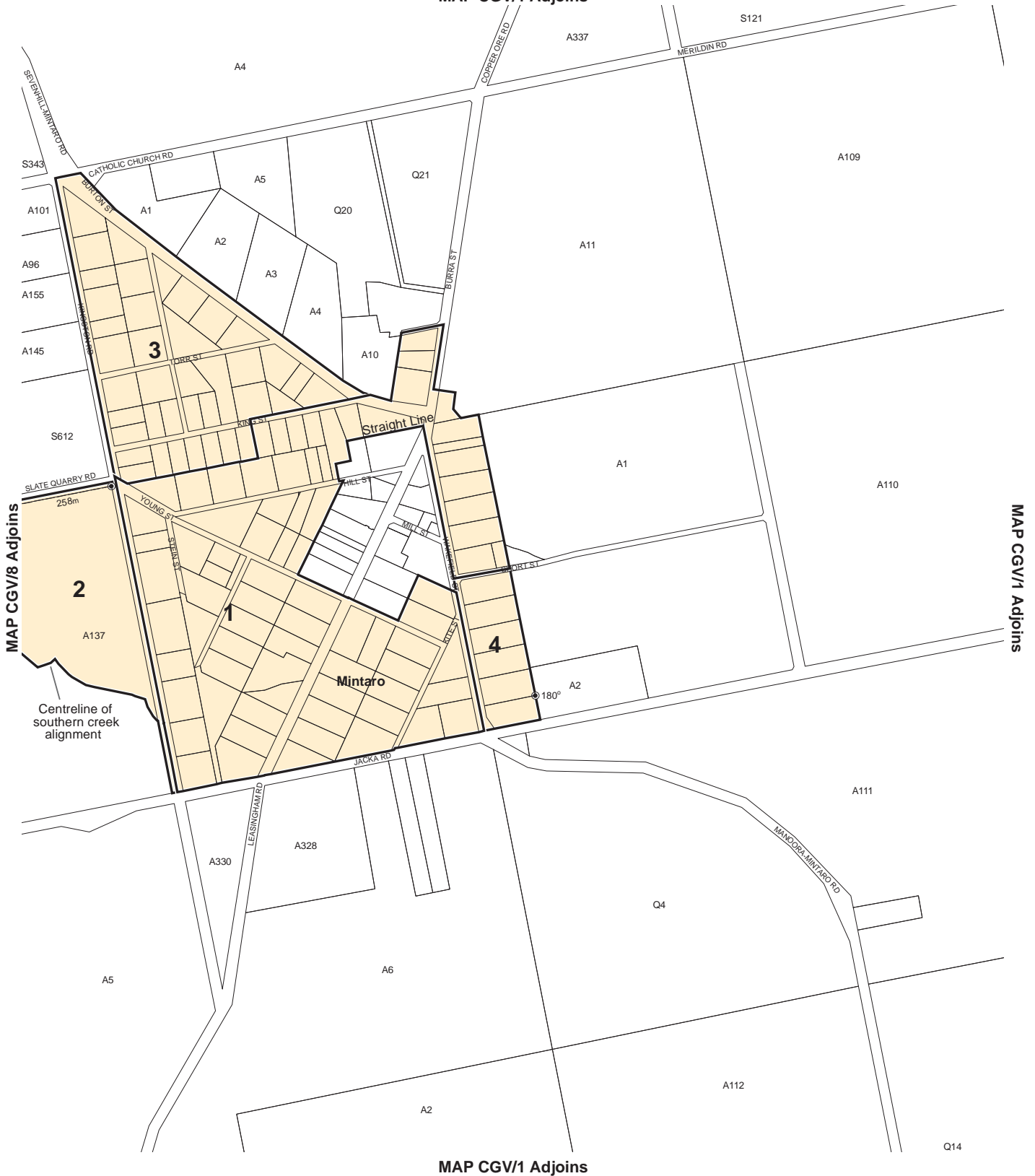


MINTARO

Policy Area Map CGV/9

 Policy Area Boundary

MAP CGV/1 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct

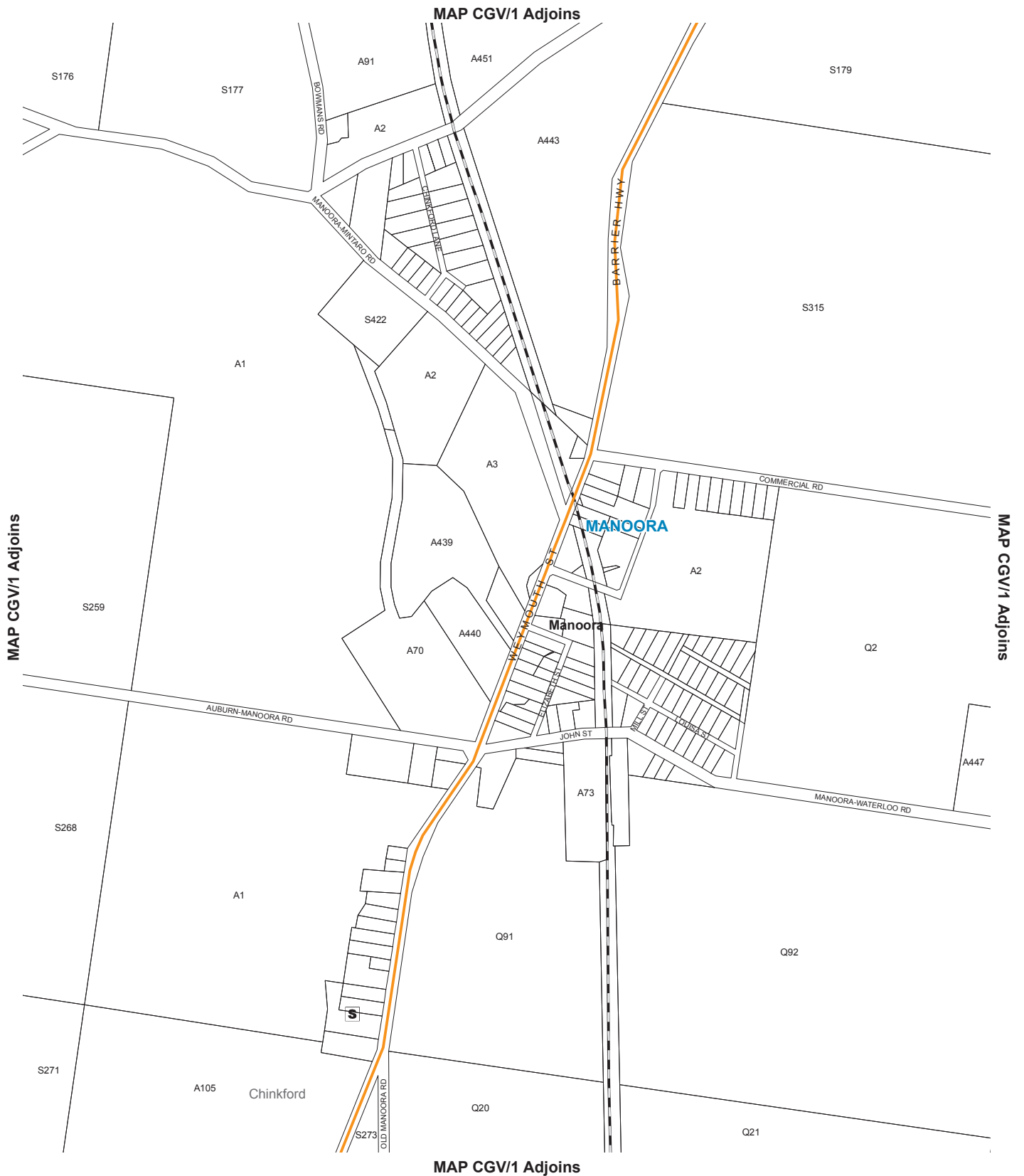
- 1 Core Residential
- 2 Western Residential
- 3 Northern Residential
- 4 Eastern Residential



MINTARO




Precinct Map CGV/9

Precinct Boundary

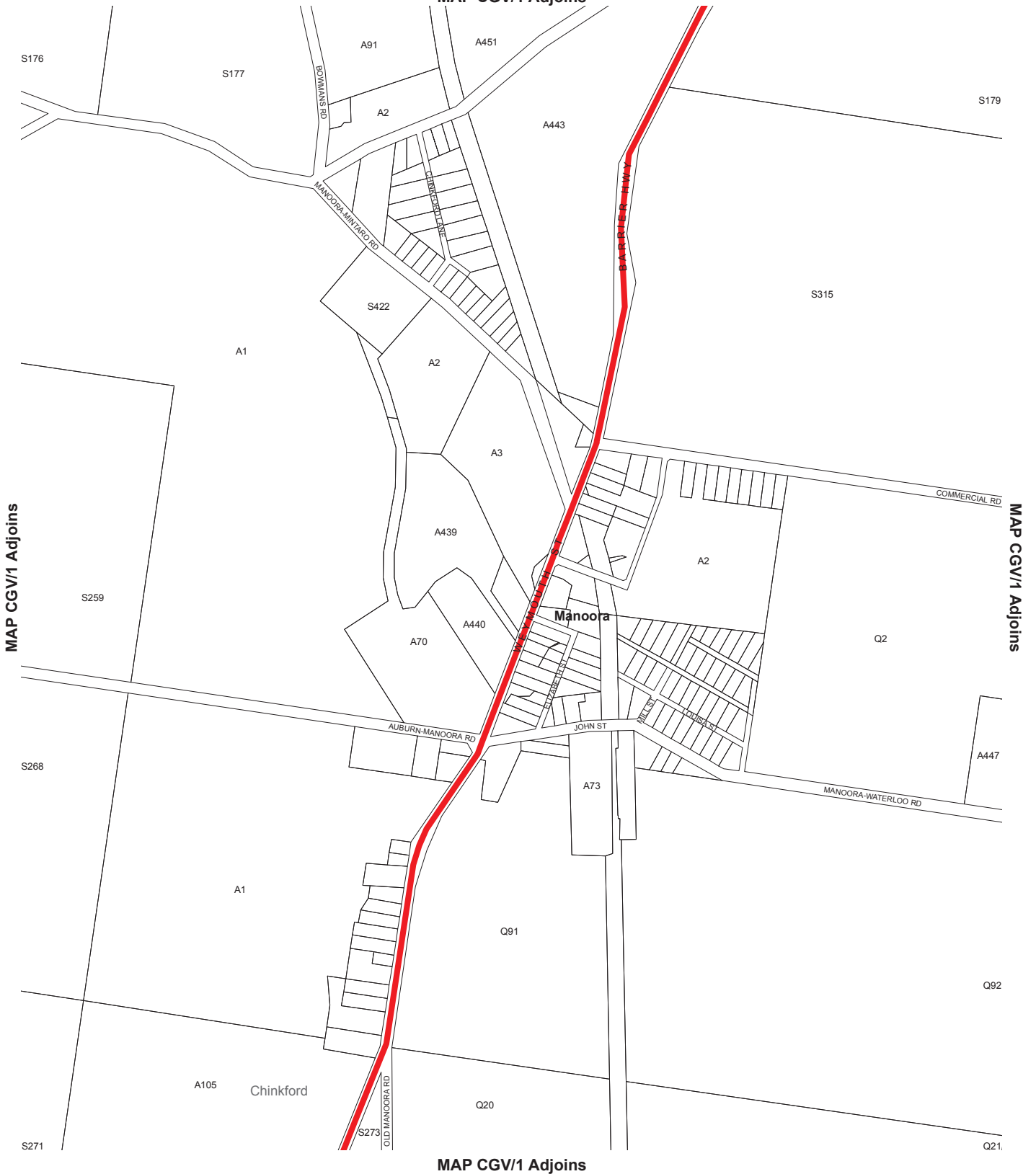


MANOORA

Location Map CGV/10

-  School
-  Railways
-  Tourist Routes

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

MAP CGV/1 Adjoins

MAP CGV/1 Adjoins




MANOORA

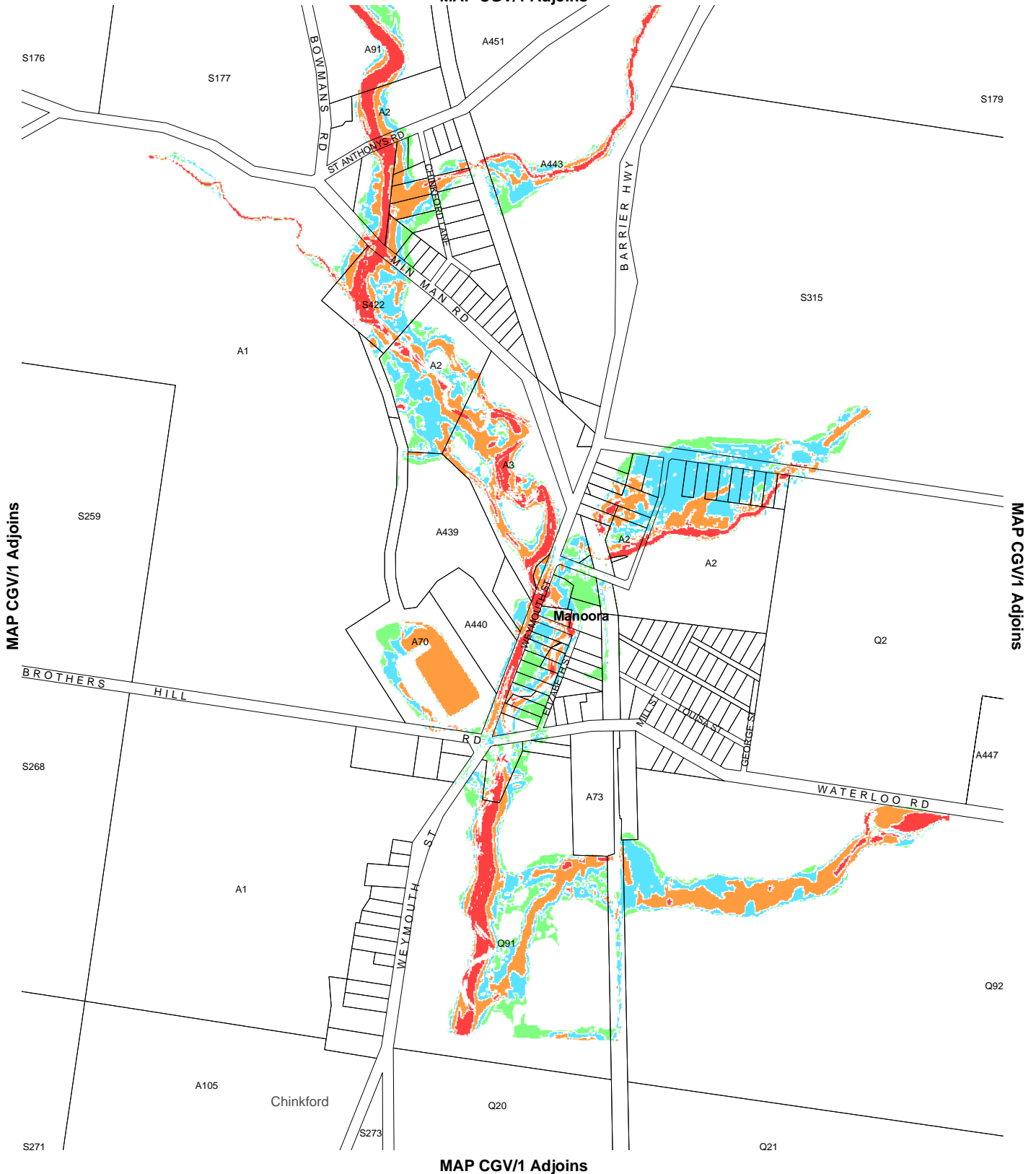
Overlay Map CGV/10

TRANSPORT

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

 Primary Arterial Roads

MAP CGV/1 Adjoins



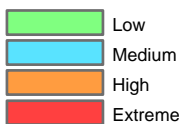
MAP CGV/1 Adjoins

Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



MANOORA

Flood Risk Categories



Overlay Map CGV/10 DEVELOPMENT CONSTRAINTS

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

MAP CGV/1 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

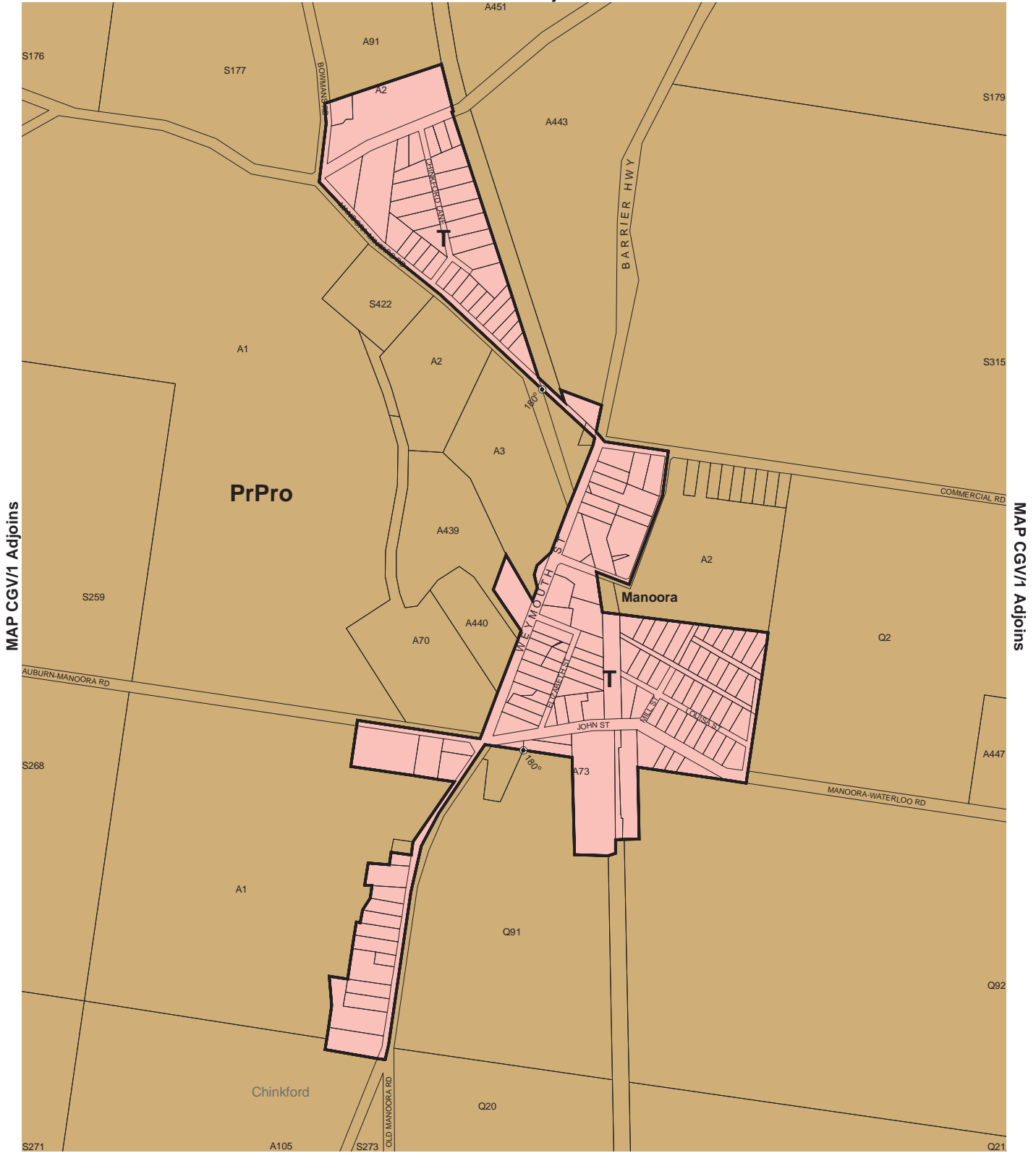


MANOORA

Overlay Map CGV/10 HERITAGE

● State heritage place

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



MANOORA

Zone Map CGV/10

Zones

- PrPro Primary Production
- T Township
- Zone Boundary

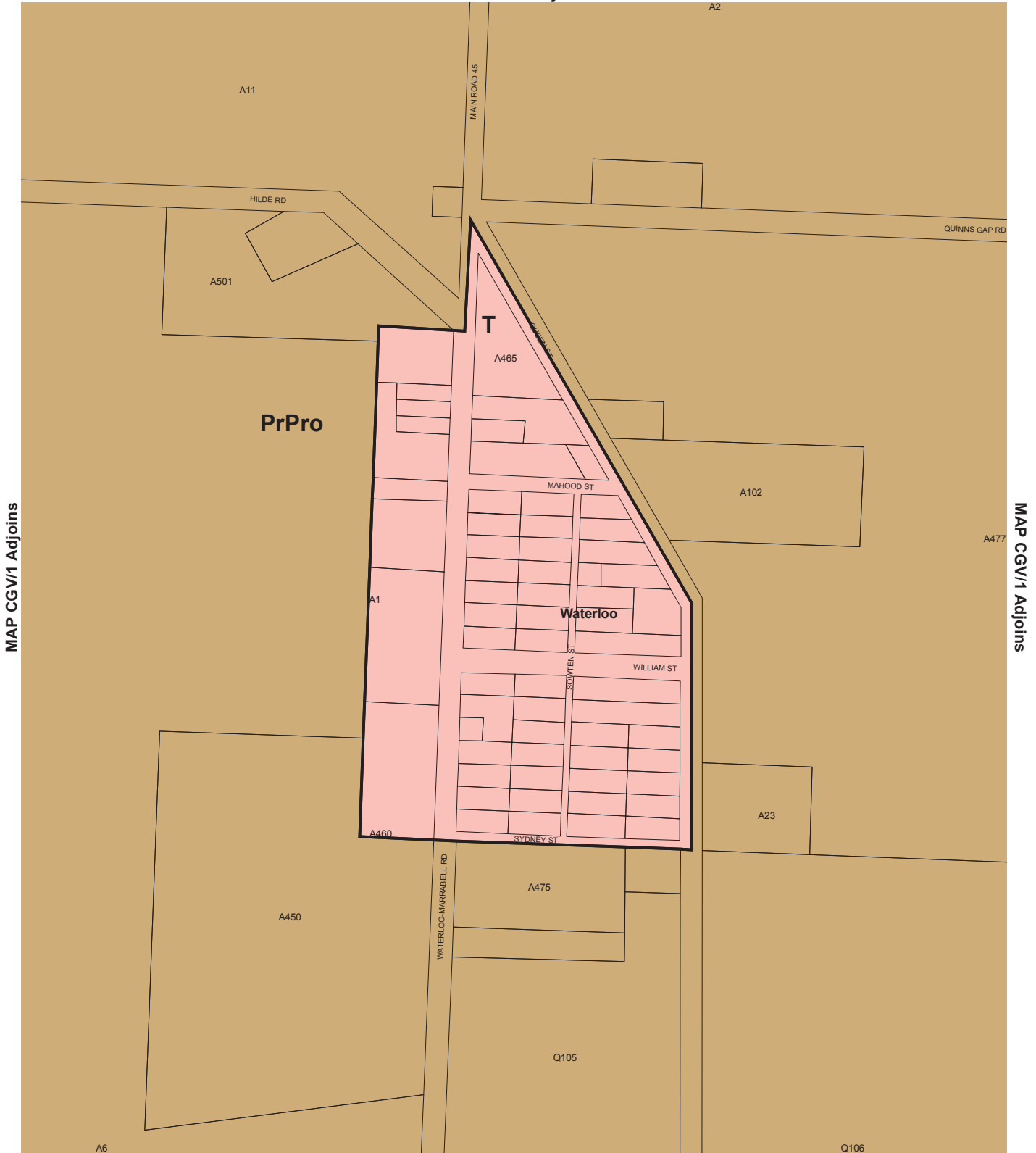
MAP CGV/1 Adjoins



WATERLOO

Location Map CGV/11

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



WATERLOO

Zone Map CGV/11

Zones

- PrPro Primary Production
- T Township
- Zone Boundary

MAP CGV/1 Adjoins







MAP CGV/13 Adjoins



SADDLEWORTH

Location Map CGV/12

-  School
-  Public Library
-  Railways
-  Tourist Routes

MAP CGV/1 Adjoins



0 500 m

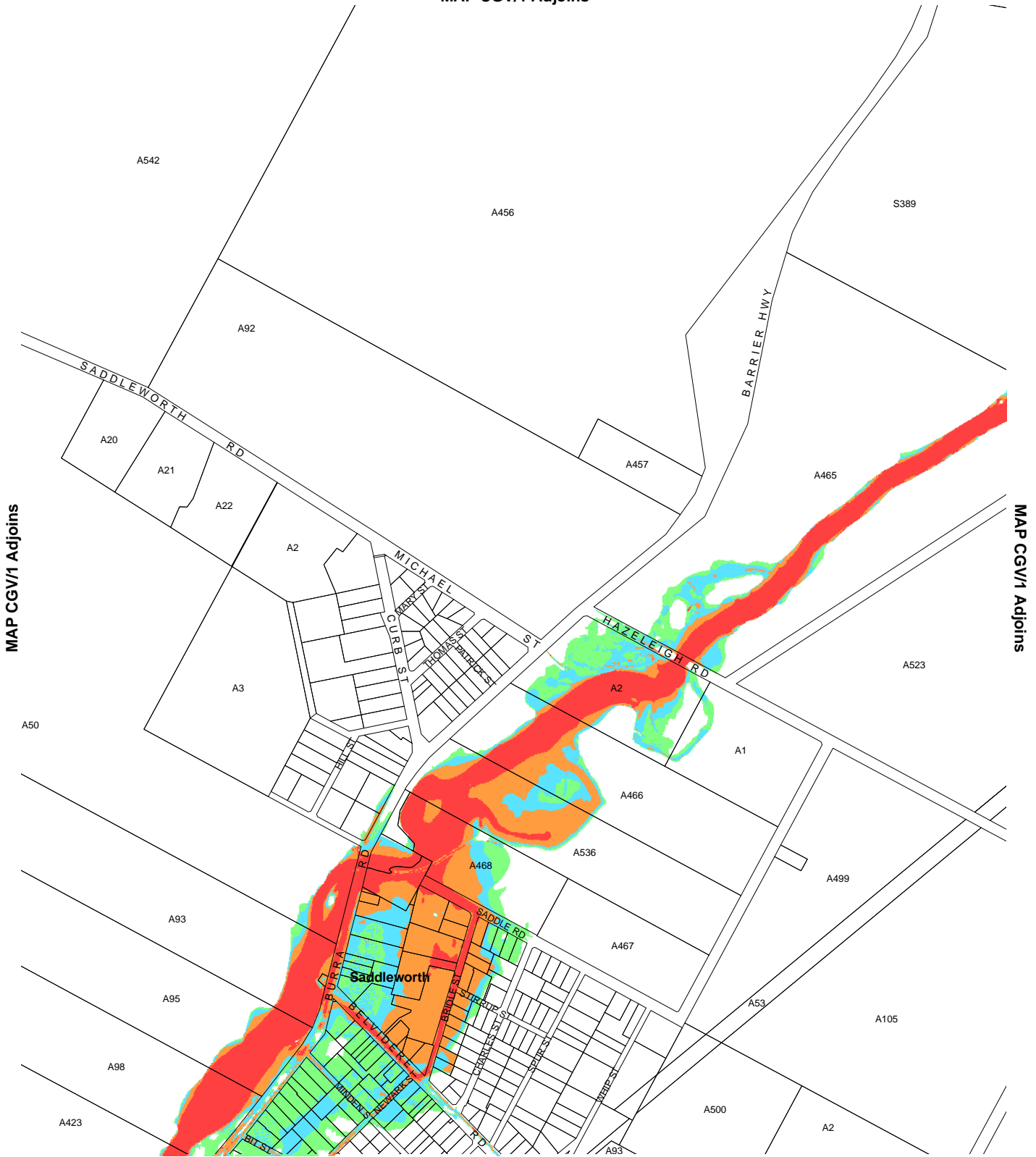
SADDLEWORTH

Overlay Map CGV/12 TRANSPORT

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

- Primary Arterial Roads
- Secondary Arterial Roads

MAP CGV/1 Adjoins

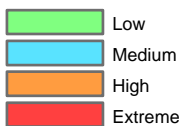


Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



SADDLEWORTH

Flood Risk Categories



Overlay Map CGV/12 DEVELOPMENT CONSTRAINTS

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

MAP CGV/1 Adjoins



MAP CGV/13 Adjoins

For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

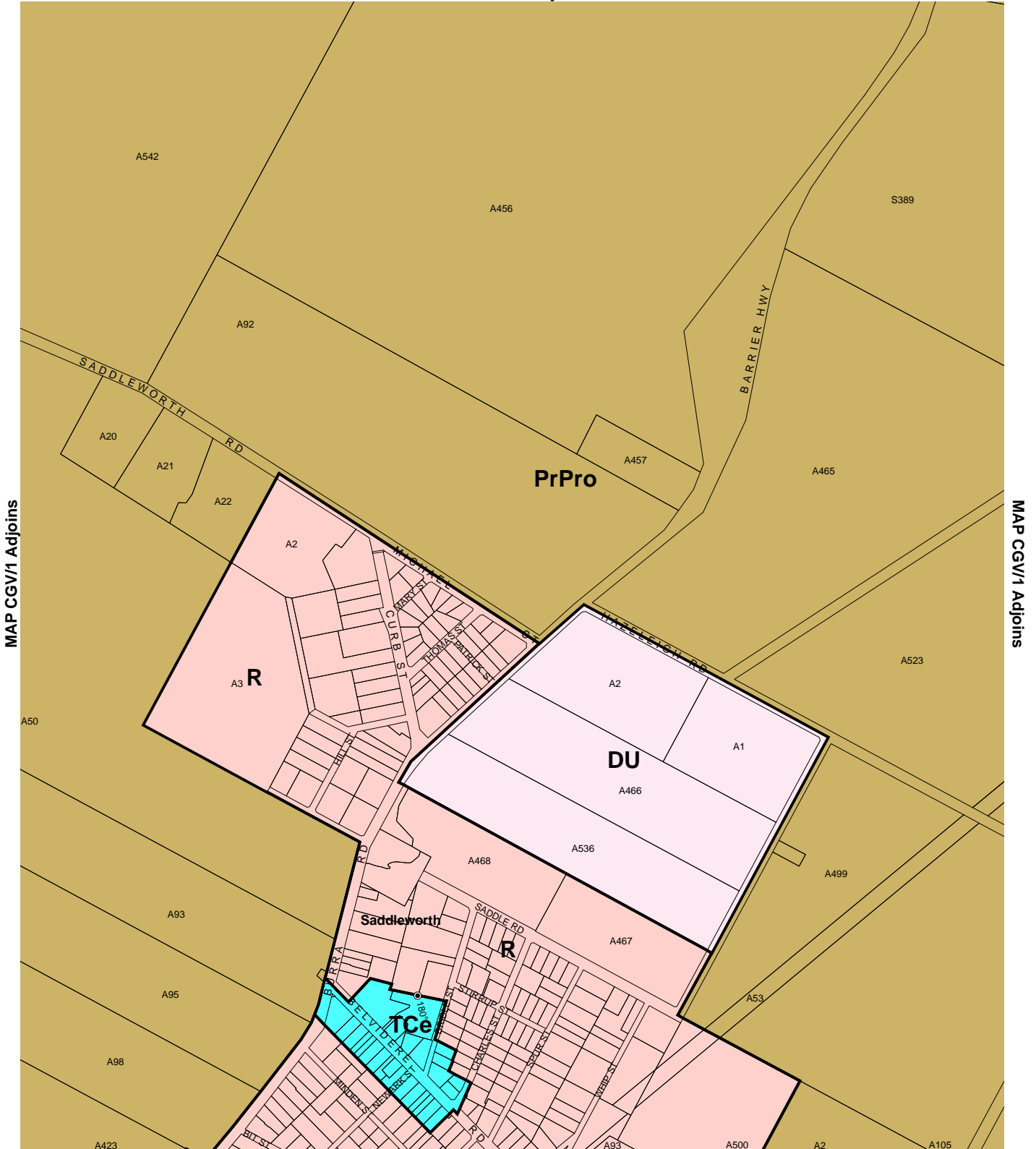


SADDLEWORTH

Overlay Map CGV/12 HERITAGE

● State heritage place

MAP CGV/1 Adjoins



MAP CGV/13 Adjoins

Lamberts Conformal Conic Projection, GDA94



0 500m

SADDLEWORTH

Zone Map CGV/12

Zones

- DU Deferred Urban
- PrPro Primary Production
- R Residential
- TCe Town Centre
- Zone Boundary

MAP CGV/12 Adjoins



SADDLEWORTH



SADDLEWORTH

Location Map CGV/13

-  Railways
-  Tourist Routes

MAP CGV/12 Adjoins

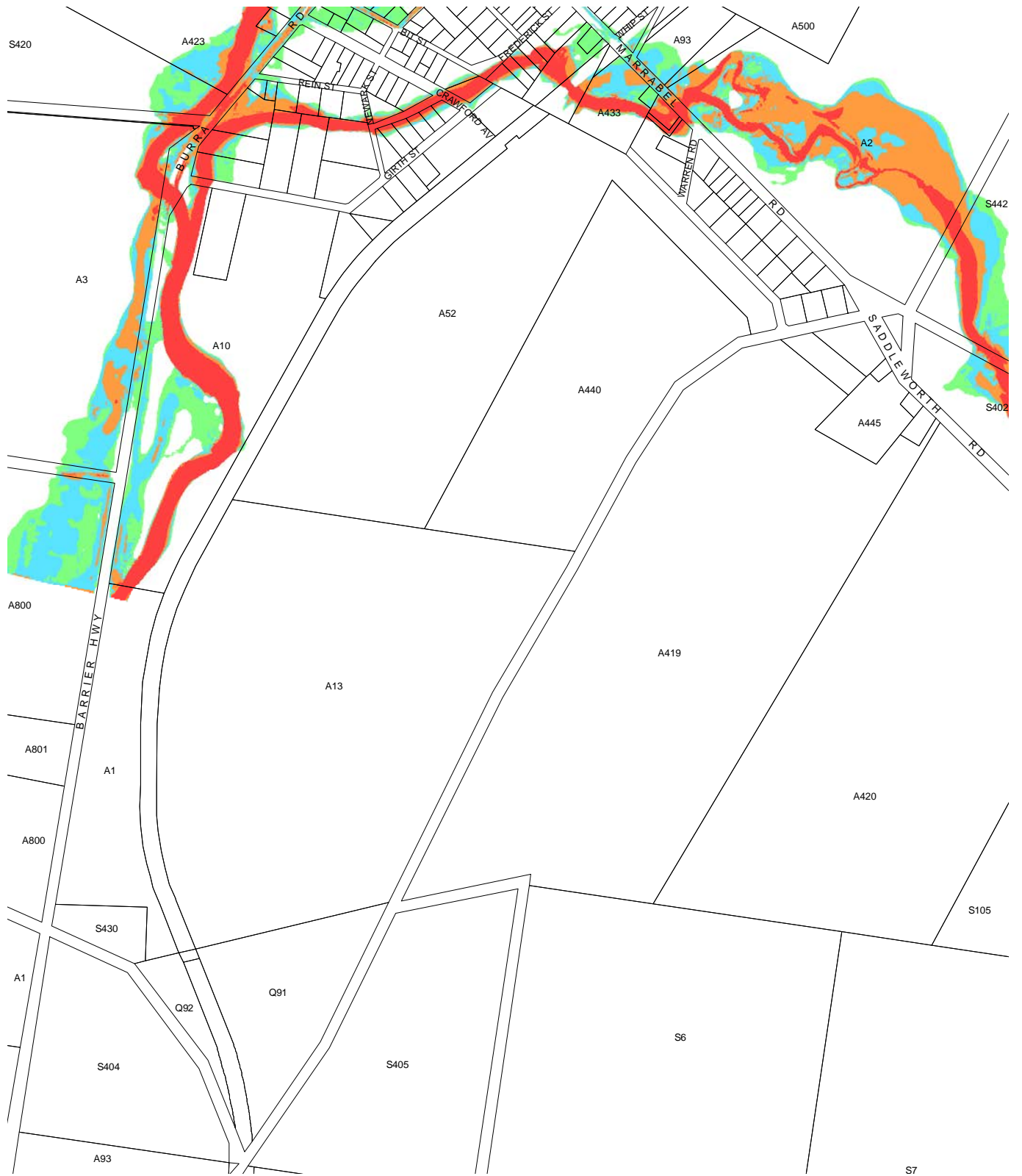


SADDLEWORTH

Overlay Map CGV/13 TRANSPORT

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

- █ Primary Arterial Roads
- █ Secondary Arterial Roads



Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



Flood Risk Categories

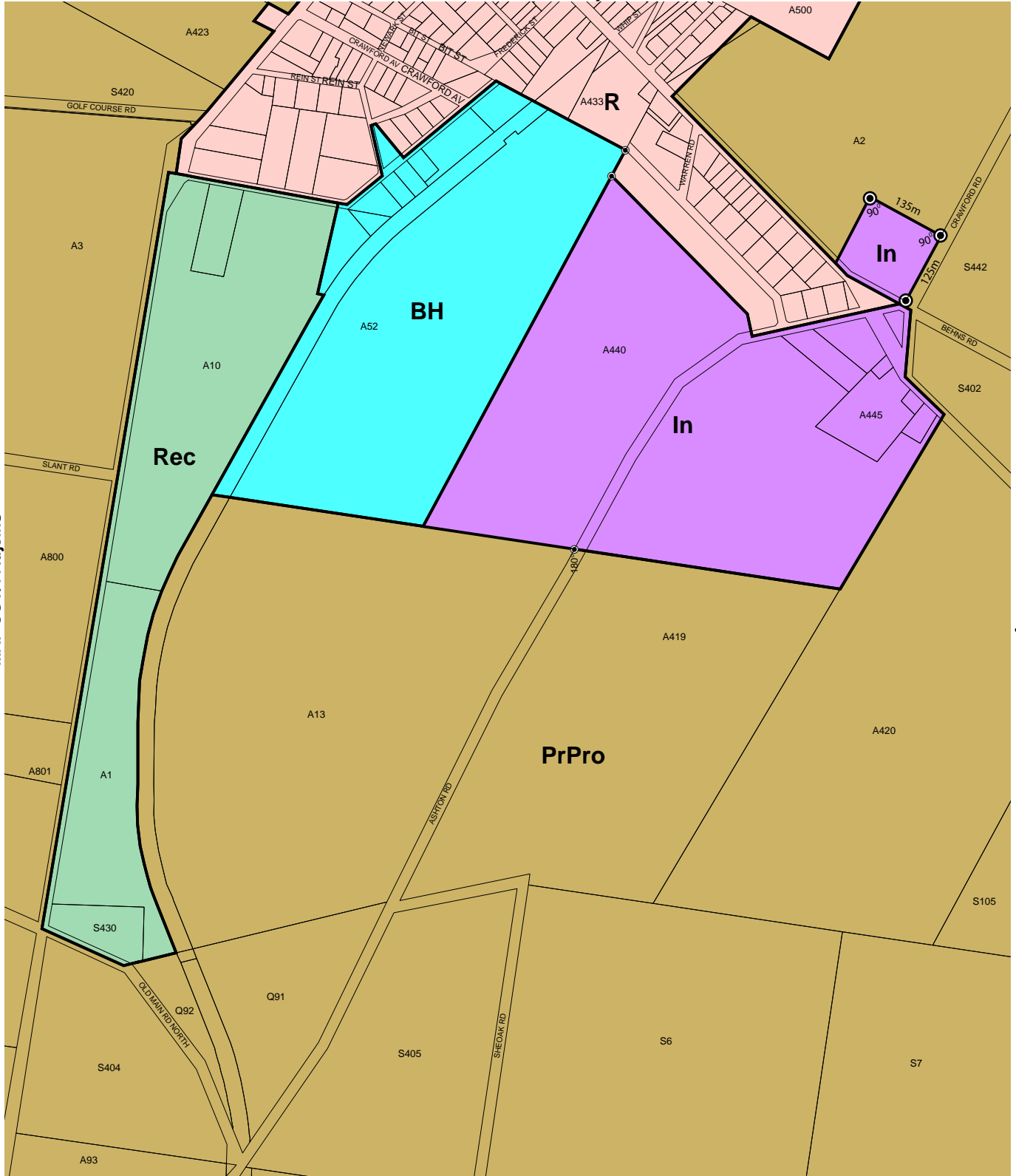
- Low
- Medium
- High
- Extreme

SADDLEWORTH

Overlay Map CGV/13

DEVELOPMENT CONSTRAINTS

MAP CGV/12 Adjoins



MAP CGV/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



SADDLEWORTH

Zone Map CGV/13

- Zones**
- Bulk Handling
 - Industry
 - Primary Production
 - Recreation
 - Residential
 - Zone Boundary

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

RHYNIE



RHYNIE

Location Map CGV/14

— Tourist Routes

MAP CGV/1 Adjoins





MAP CGV/1 Adjoins



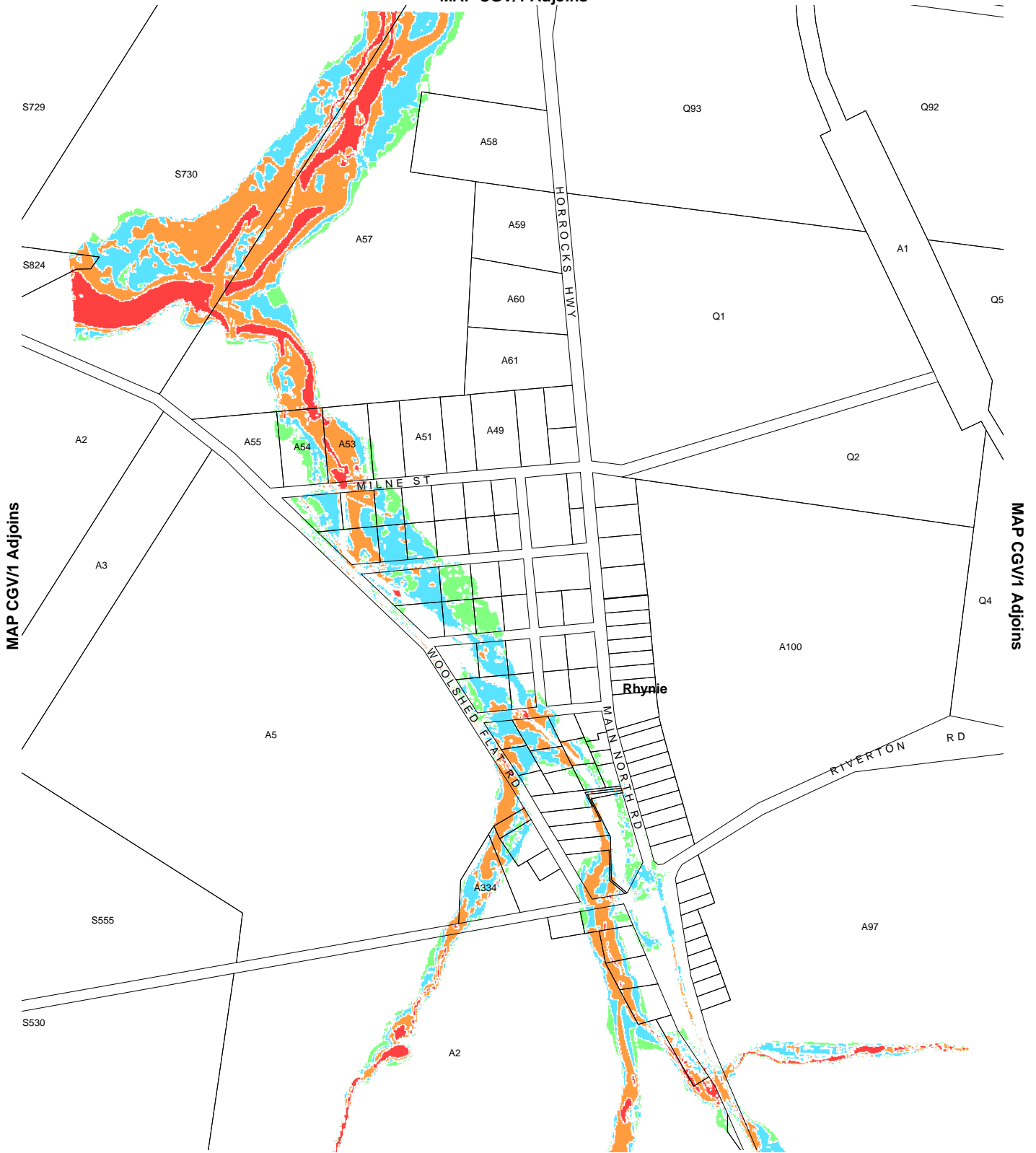
RHYNIE

Overlay Map CGV/14

TRANSPORT

-  Rattler Trail
-  Secondary Arterial Roads

MAP CGV/1 Adjoins



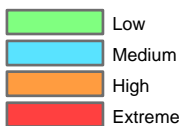
MAP CGV/1 Adjoins

Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



RHYNIE

Flood Risk Categories



Overlay Map CGV/14 DEVELOPMENT CONSTRAINTS

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

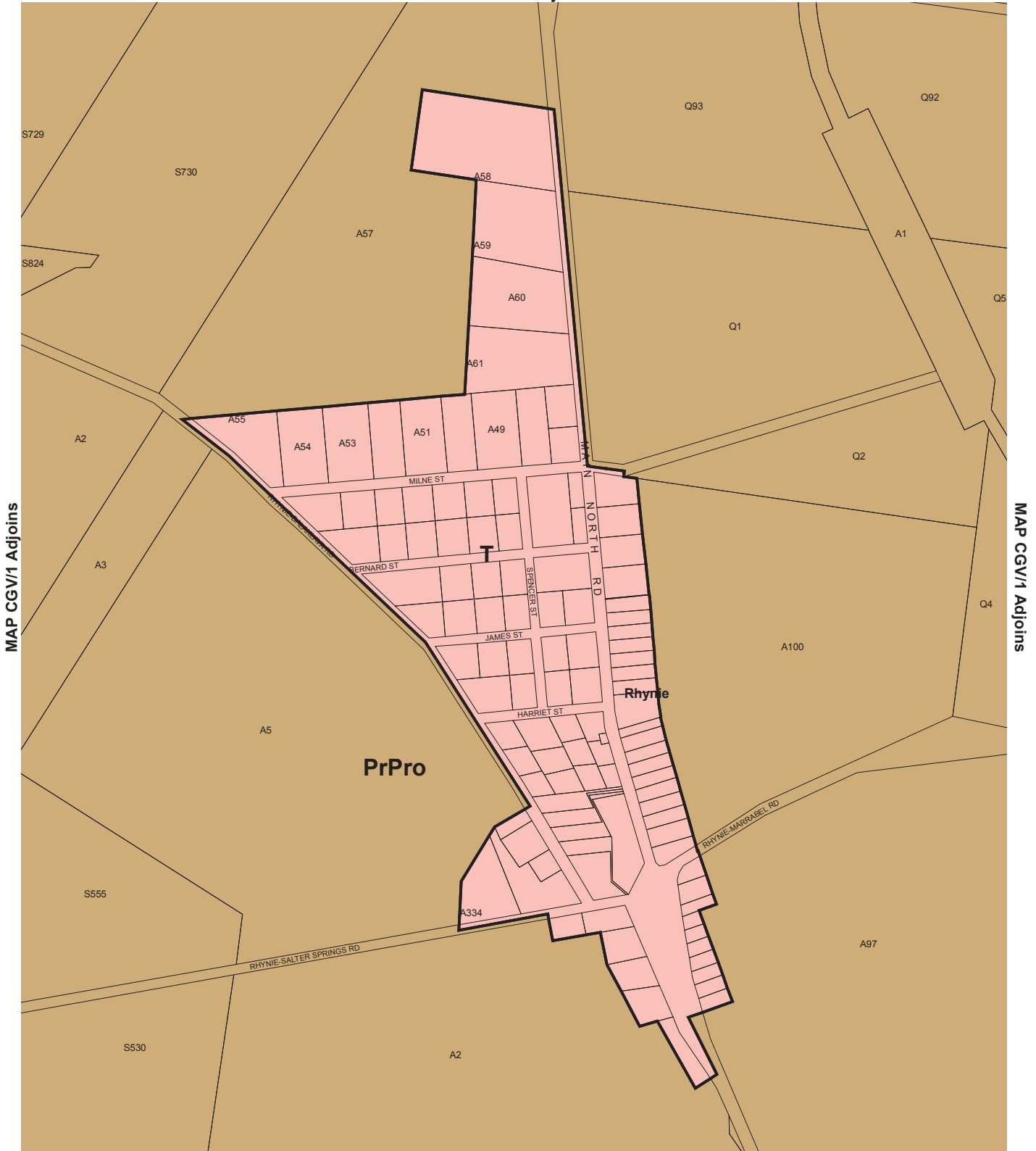


RHYNIE

Overlay Map CGV/14 HERITAGE

● State heritage place

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



RHYNIE

Zone Map CGV/14

Zones

- PrPro Primary Production
- T Township
- Zone Boundary

MAP CGV/1 Adjoins



0 500 m

RIVERTON

Location Map CGV/15

- School
- Public Library
- Other Health Services
- Hospital
- Railways
- Tourist Routes

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

MAP CGV/1 Adjoins




MAP CGV/1 Adjoins



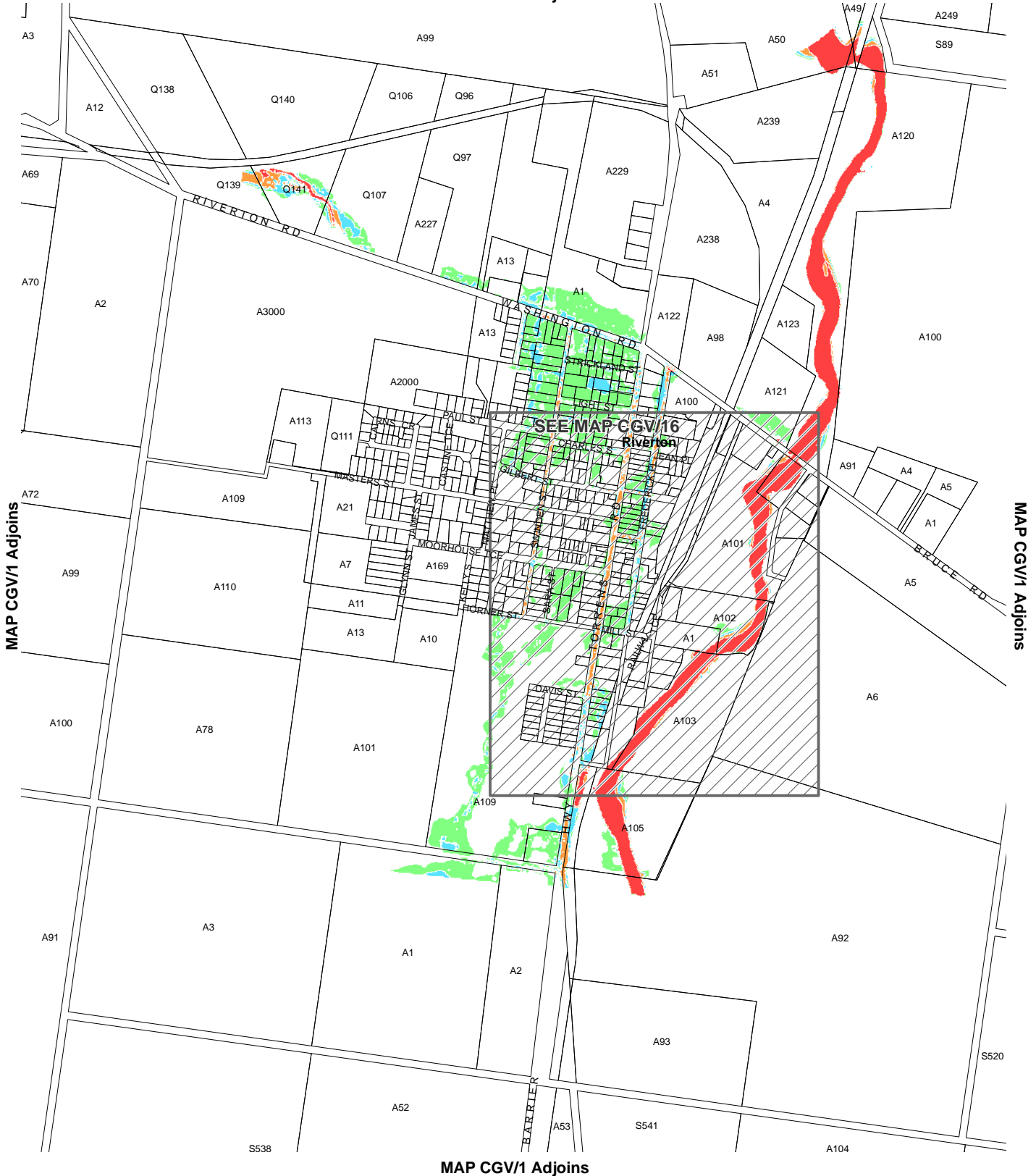
0 500m

RIVERTON

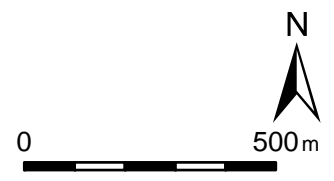
Overlay Map CGV/15 TRANSPORT

-  Rattler Trail
-  Primary Arterial Roads
-  Secondary Arterial Roads

MAP CGV/1 Adjoins



Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



RIVERTON

Flood Risk Categories

- Low
- Medium
- High
- Extreme

Overlay Map CGV/15 DEVELOPMENT CONSTRAINTS

MAP CGV/1 Adjoins



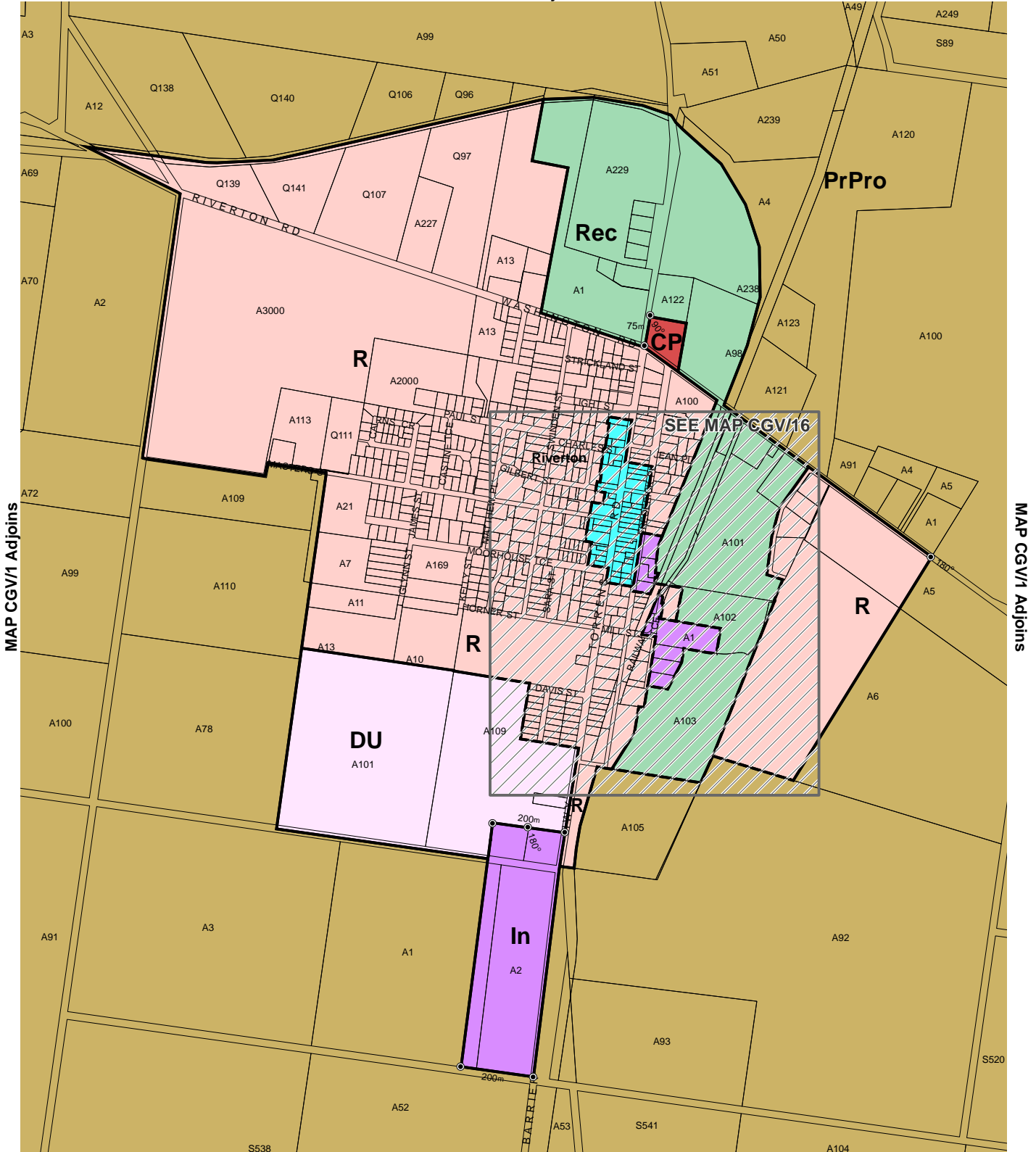
For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.



RIVERTON
Overlay Map CGV/15
HERITAGE

● State heritage place

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

See enlargement map for accurate representation.
Lamberts Conformal Conic Projection, GDA94

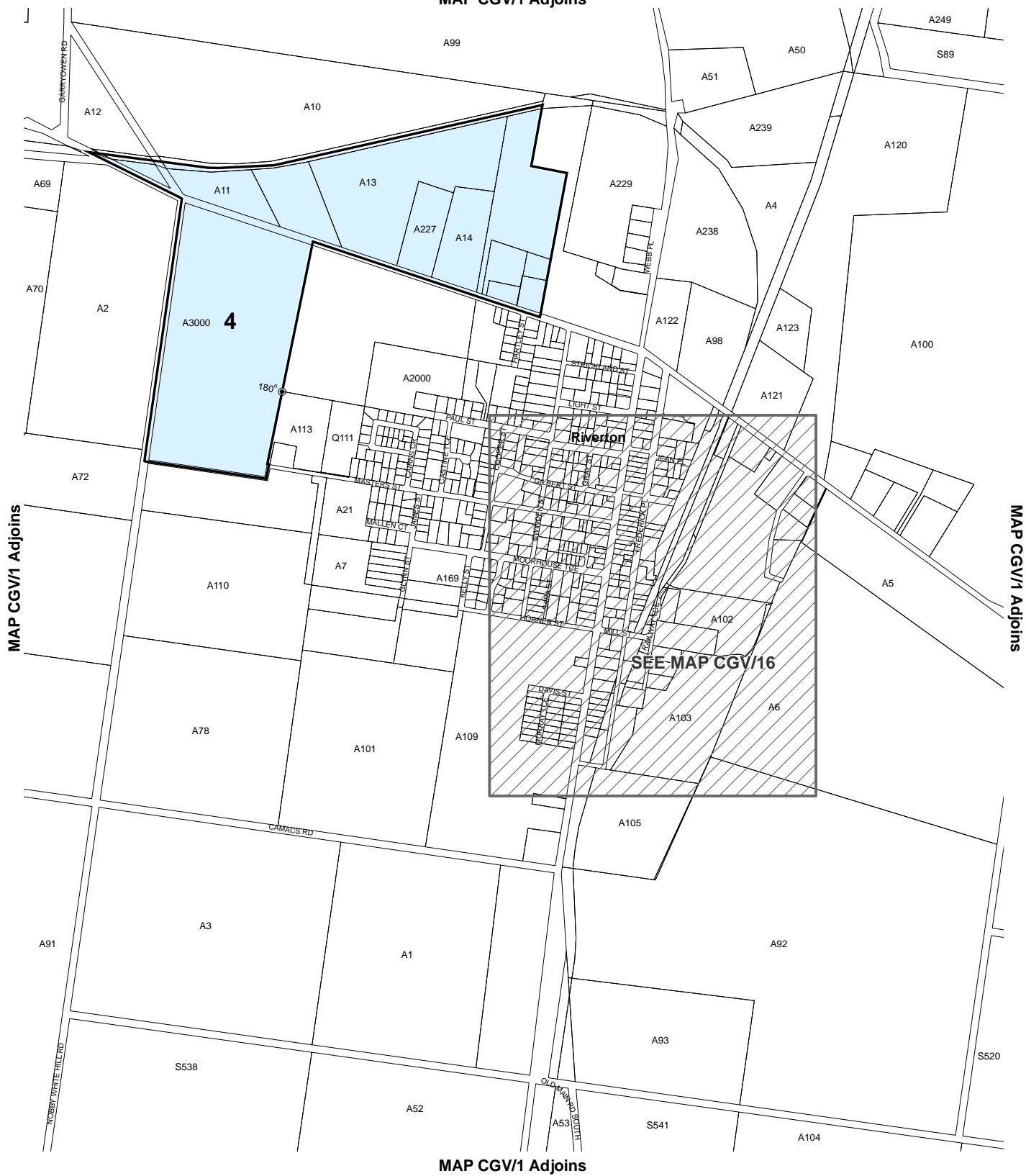


Zones	
CP	Caravan and Tourist Park
DU	Deferred Urban
In	Industry
PrPro	Primary Production
Rec	Recreation
R	Residential
	Zone Boundary

RIVERTON

Zone Map CGV/15

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

See enlargement map for accurate representation.

Lamberts Conformal Conic Projection, GDA94

Policy Area

4 Riverton Low Density Housing



RIVERTON






Policy Area Map CGV/15

Policy Area Boundary



RIVERTON

Location Map CGV/16

-  Other Health Services
-  Police Station
-  Railways
-  Tourist Routes
-  Waterbodies

MAP CGV/15 Adjoins

Riverton



MAP CGV/15 Adjoins



RIVERTON

Overlay Map CGV/16

TRANSPORT

- Primary Arterial Roads
- Secondary Arterial Roads

MAP CGV/15 Adjoins



MAP CGV/15 Adjoins

Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



RIVERTON

Flood Risk Categories

- Low
- Medium
- High
- Extreme

Overlay Map CGV/16 DEVELOPMENT CONSTRAINTS

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

MAP CGV/15 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

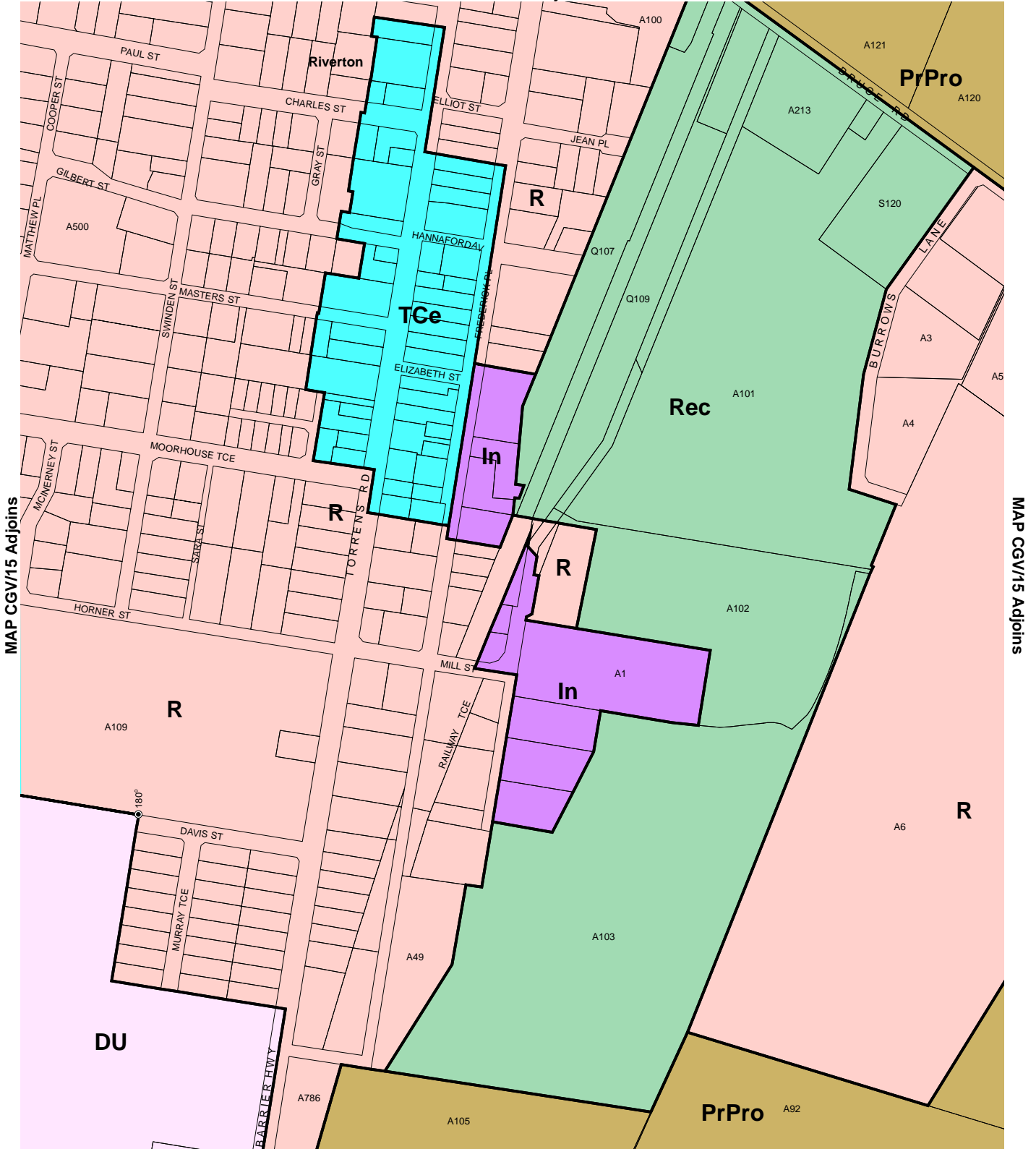


RIVERTON

Overlay Map CGV/16 HERITAGE

● State heritage place

MAP CGV/15 Adjoins



MAP CGV/15 Adjoins

Lamberts Conformal Conic Projection, GDA94



- Zones**
- DU Deferred Urban
 - In Industry
 - PrPro Primary Production
 - Rec Recreation
 - R Residential
 - TCe Town Centre
 - Zone Boundary

RIVERTON

Zone Map CGV/16

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

MAP CGV/1 Adjoins

MAP CGV/1 Adjoins



MARRABEL

Location Map CGV/17

MAP CGV/1 Adjoins



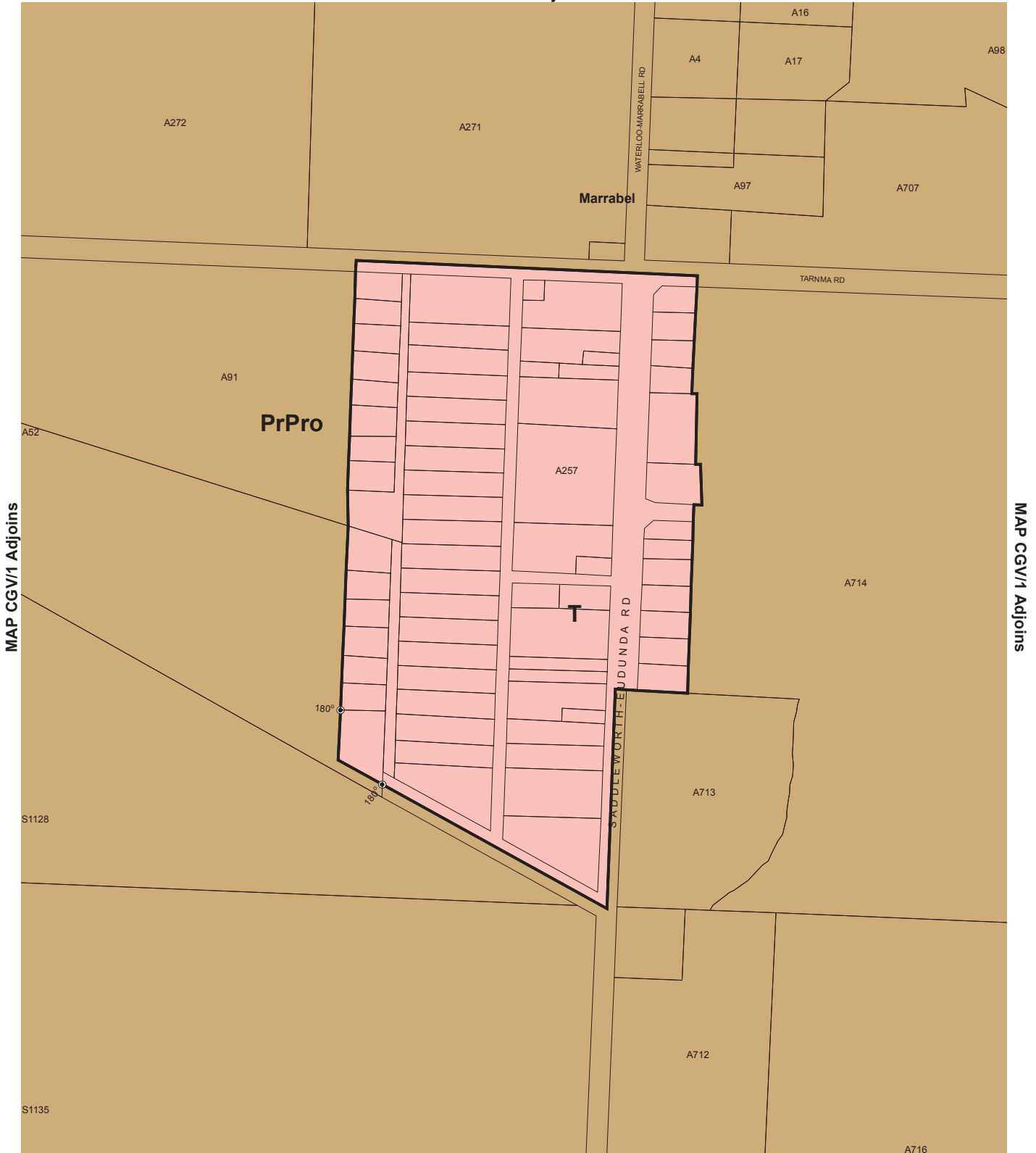
MAP CGV/1 Adjoins



MARRABEL

Overlay Map CGV/17 TRANSPORT

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



MARRABEL

Zone Map CGV/17

Zones

- PrPro Primary Production
- T Township
- Zone Boundary

MAP CGV/1 Adjoins






MAP CGV/1 Adjoins



TARLEE

Location Map CGV/18

-  School
-  Railways
-  Tourist Routes

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

MAP CGV/1 Adjoins

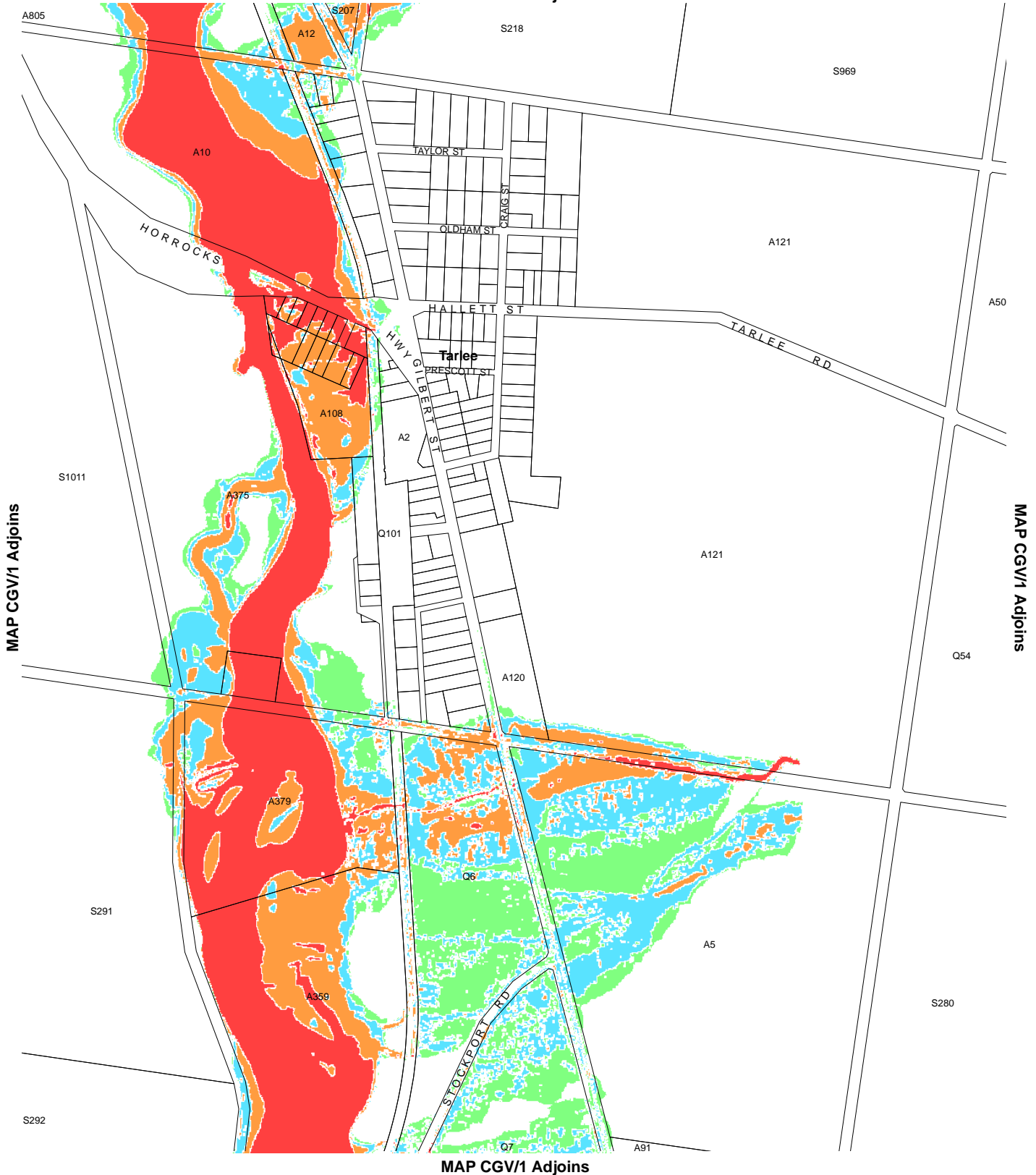
Secondary Arterial Roads



TARLEE

Overlay Map CGV/18 TRANSPORT

MAP CGV/1 Adjoins



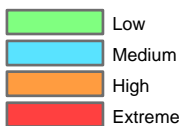
MAP CGV/1 Adjoins

Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



TARLEE

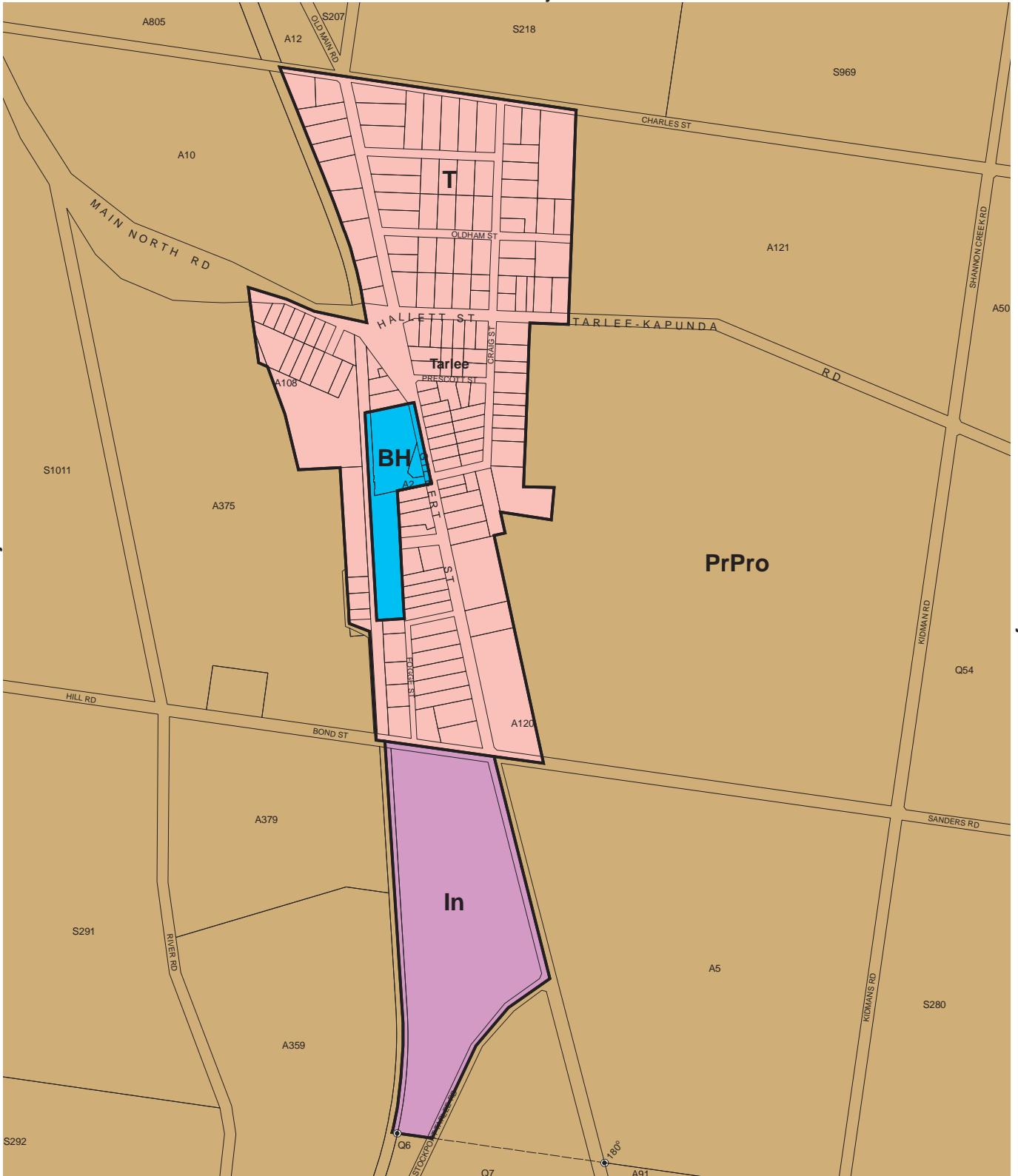
Flood Risk Categories



Overlay Map CGV/18 DEVELOPMENT CONSTRAINTS

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



TARLEE

Zone Map CGV/18

- Zones**
- Bulk Handling
 - Industry
 - Primary Production
 - Township
 - Zone Boundary



0 500 m

STOCKPORT

Location Map CGV/19

MAP CGV/1 Adjoins



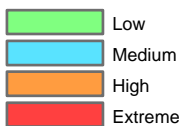
MAP CGV/1 Adjoins

Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



STOCKPORT

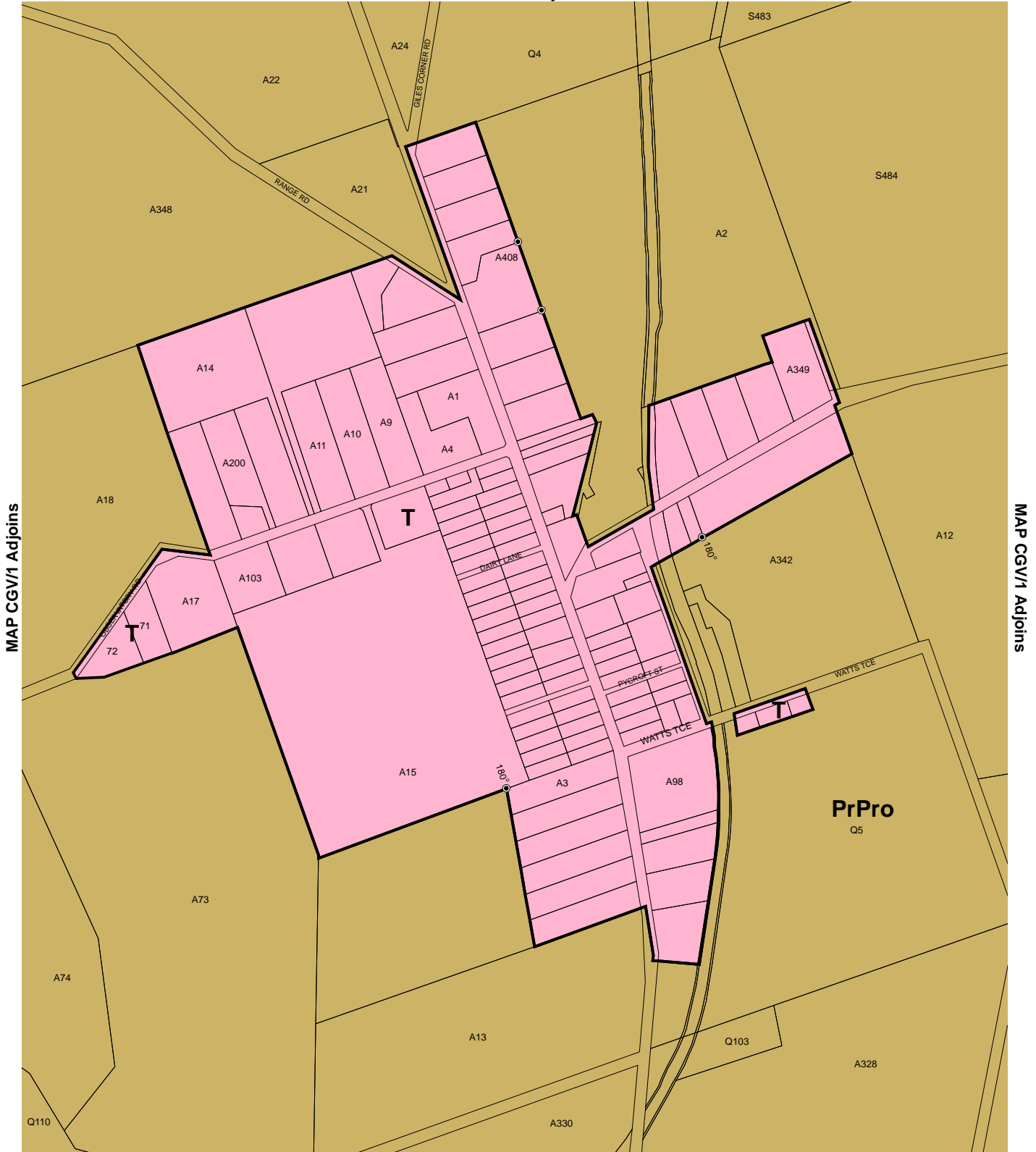
Flood Risk Categories



Overlay Map CGV/19 DEVELOPMENT CONSTRAINTS

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

MAP CGV/1 Adjoins



MAP CGV/1 Adjoins

Lamberts Conformal Conic Projection, GDA94



STOCKPORT




Zone Map CGV/19

- Zones**
- PrPro Primary Production
 - T Township
 - Zone Boundary



CLARE

Location Map CGV/20

-  School
-  Police Station
-  Tourist Routes

MAP CGV/5 Adjoins

MAP CGV/21 Adjoins

MAP CGV/5 Adjoins



MAP CGV/22 Adjoins



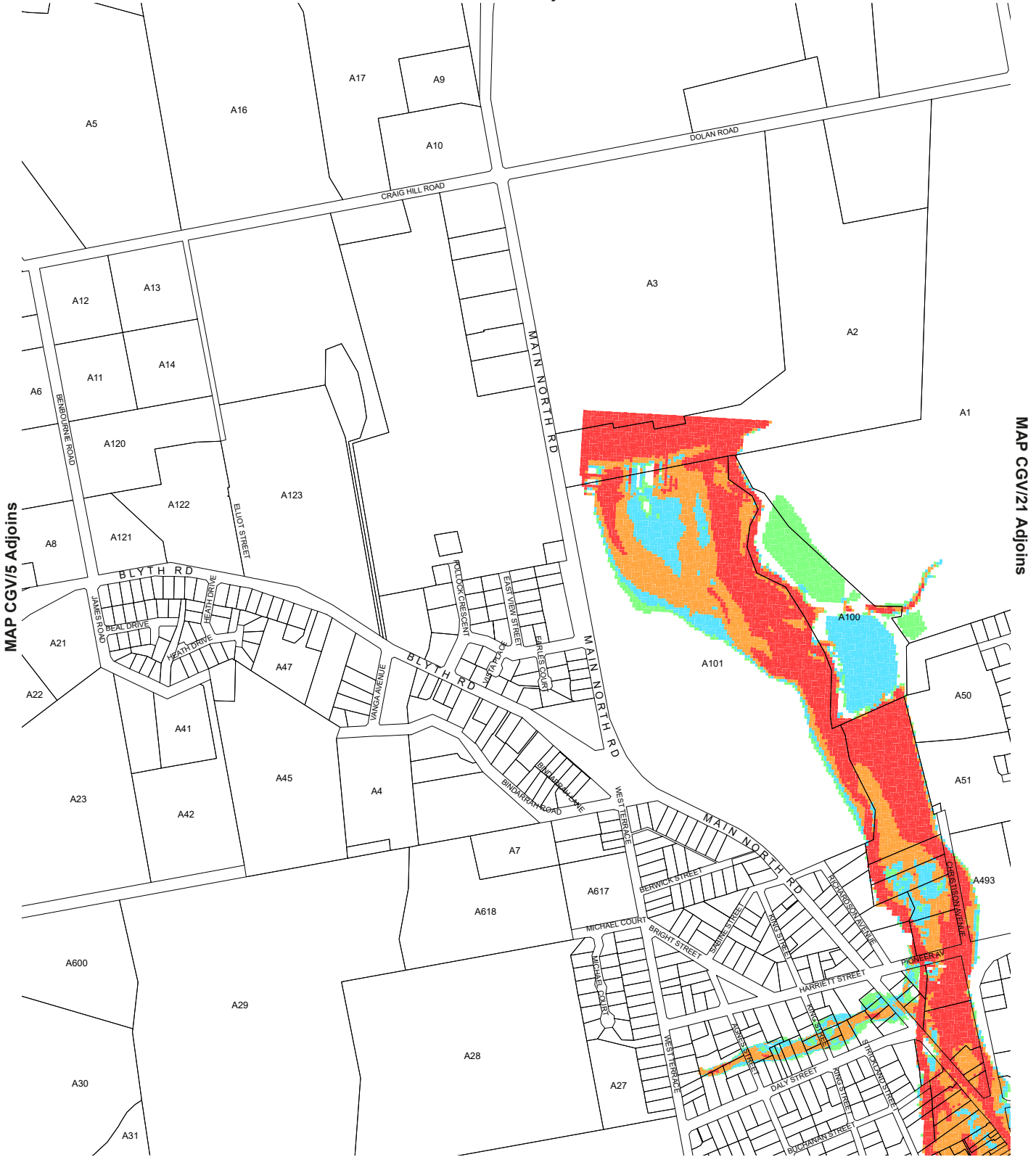
CLARE

Overlay Map CGV/20

TRANSPORT

 Secondary Arterial Roads

MAP CGV/5 Adjoins



MAP CGV/21 Adjoins

MAP CGV/22 Adjoins

Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



CLARE

Overlay Map CGV/20 DEVELOPMENT CONSTRAINTS

Flood Risk Categories

- Low
- Medium
- High
- Extreme

MAP CGV/5 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

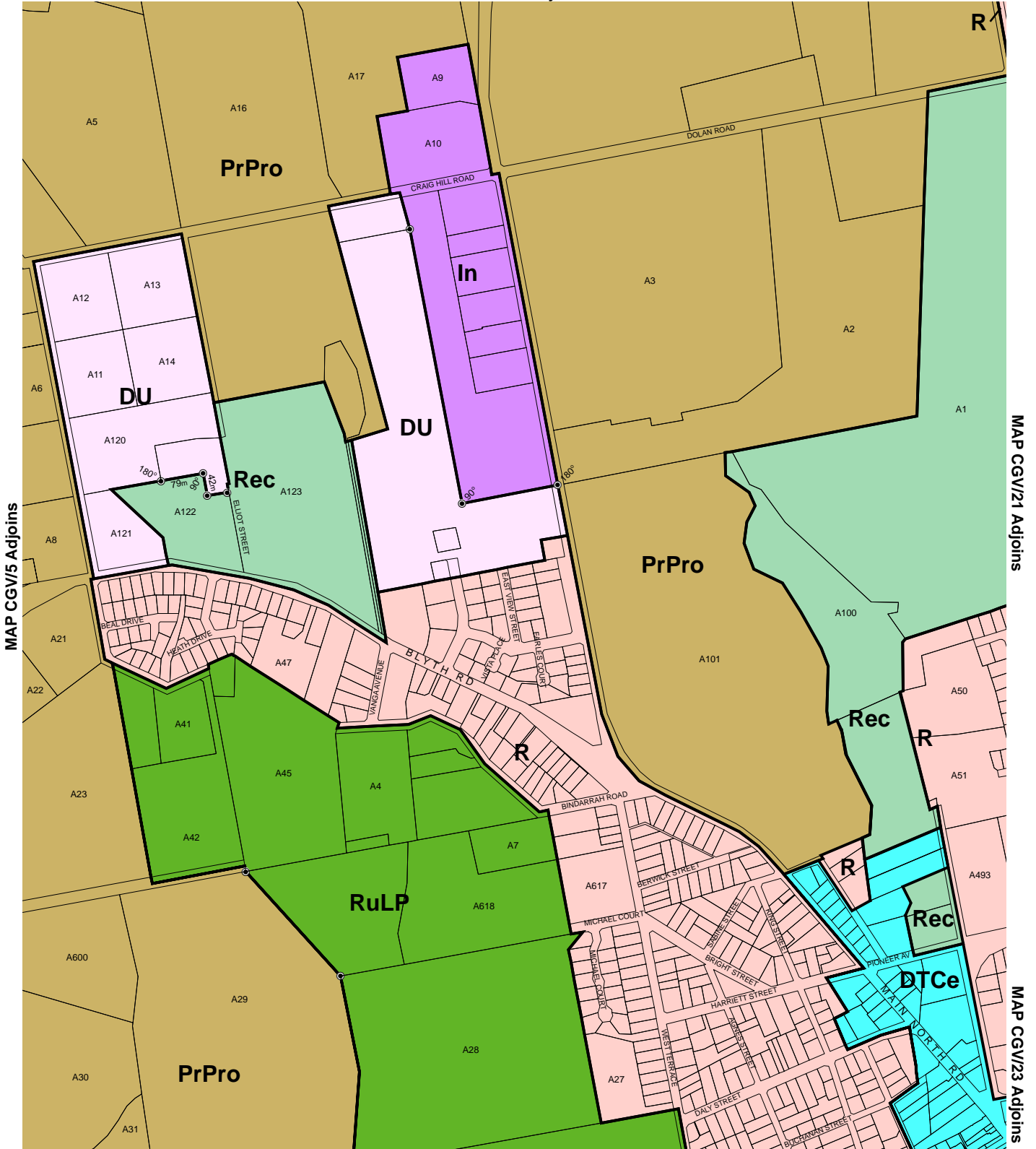


CLARE

Overlay Map CGV/20 HERITAGE

- State heritage place
- Local heritage place

MAP CGV/5 Adjoins



MAP CGV/22 Adjoins

Lamberts Conformal Conic Projection, GDA94

Zones

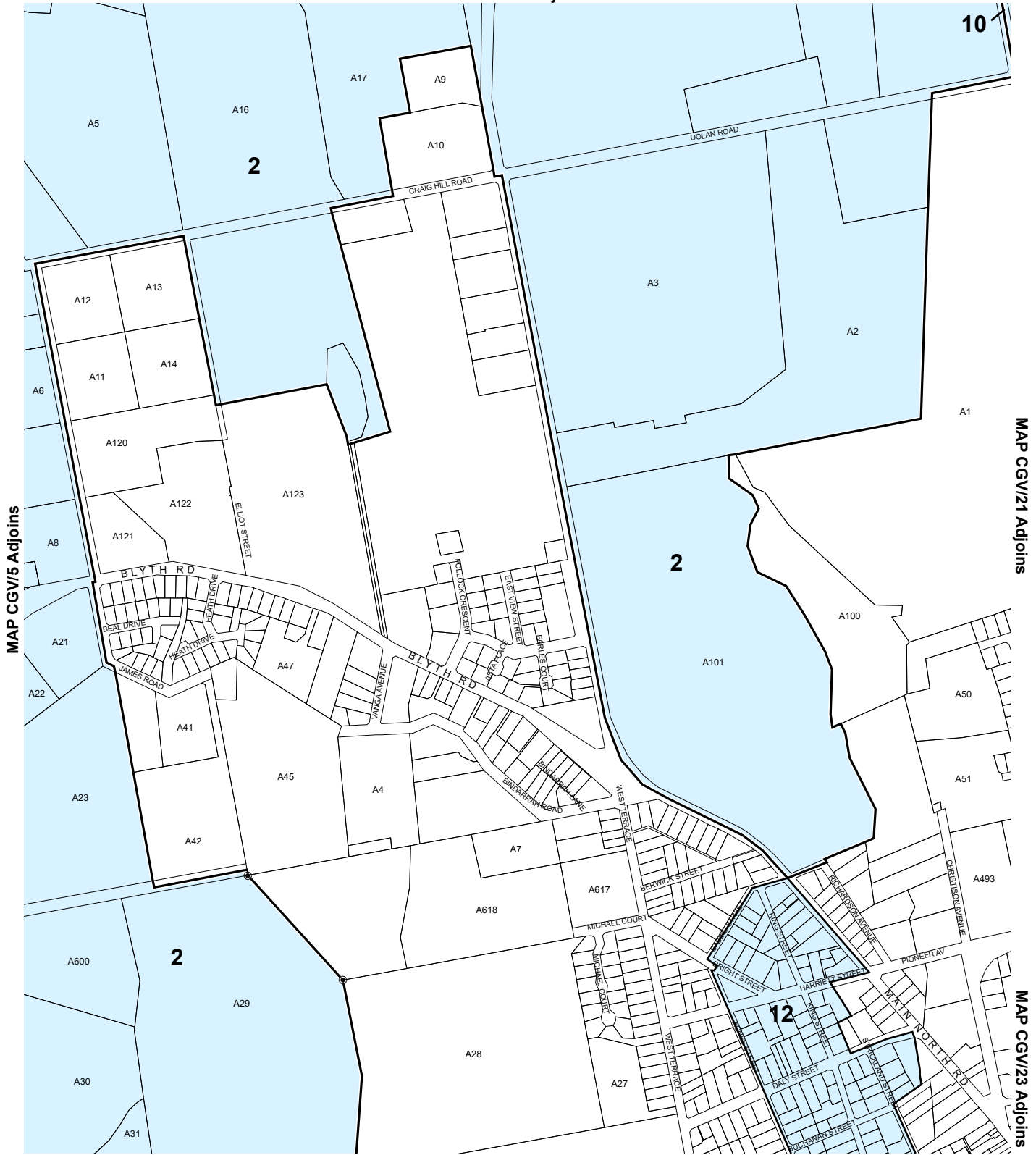
- DU Deferred Urban
- DTCe District Town Centre
- In Industry
- PrPro Primary Production
- Rec Recreation
- R Residential
- RuLP Rural Landscape Protection
- Zone Boundary



CLARE

Zone Map CGV/20

MAP CGV/5 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area

- 2 Horticulture
- 10 Square Mile Road
- 12 Clare Medium Density



CLARE

Policy Area Map CGV/20




Policy Area Boundary

MAP CGV/5 Adjoins

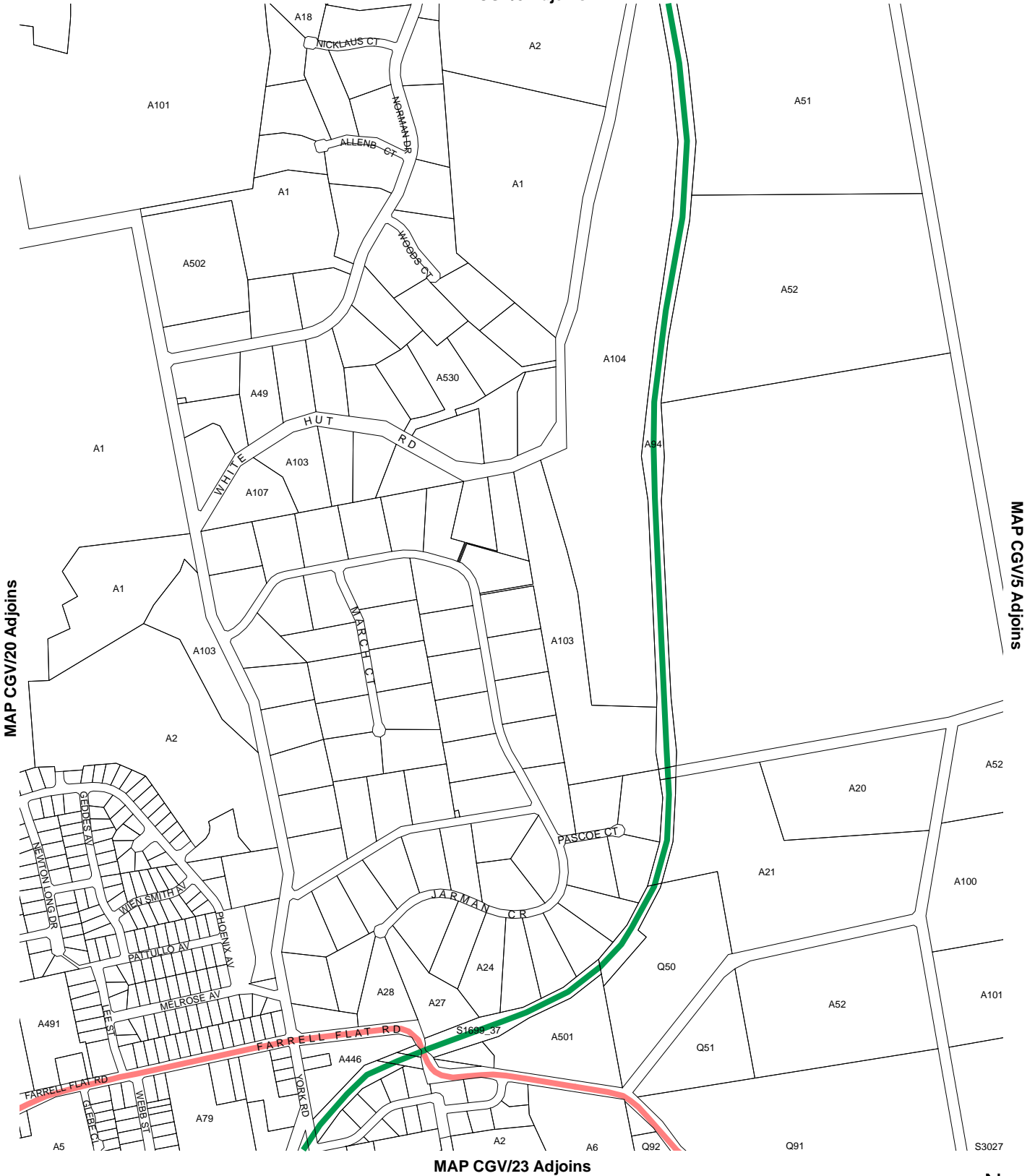


CLARE

Location Map CGV/21

-  Other Health Services
-  Hospital
-  Tourist Routes

MAP CGV/5 Adjoins



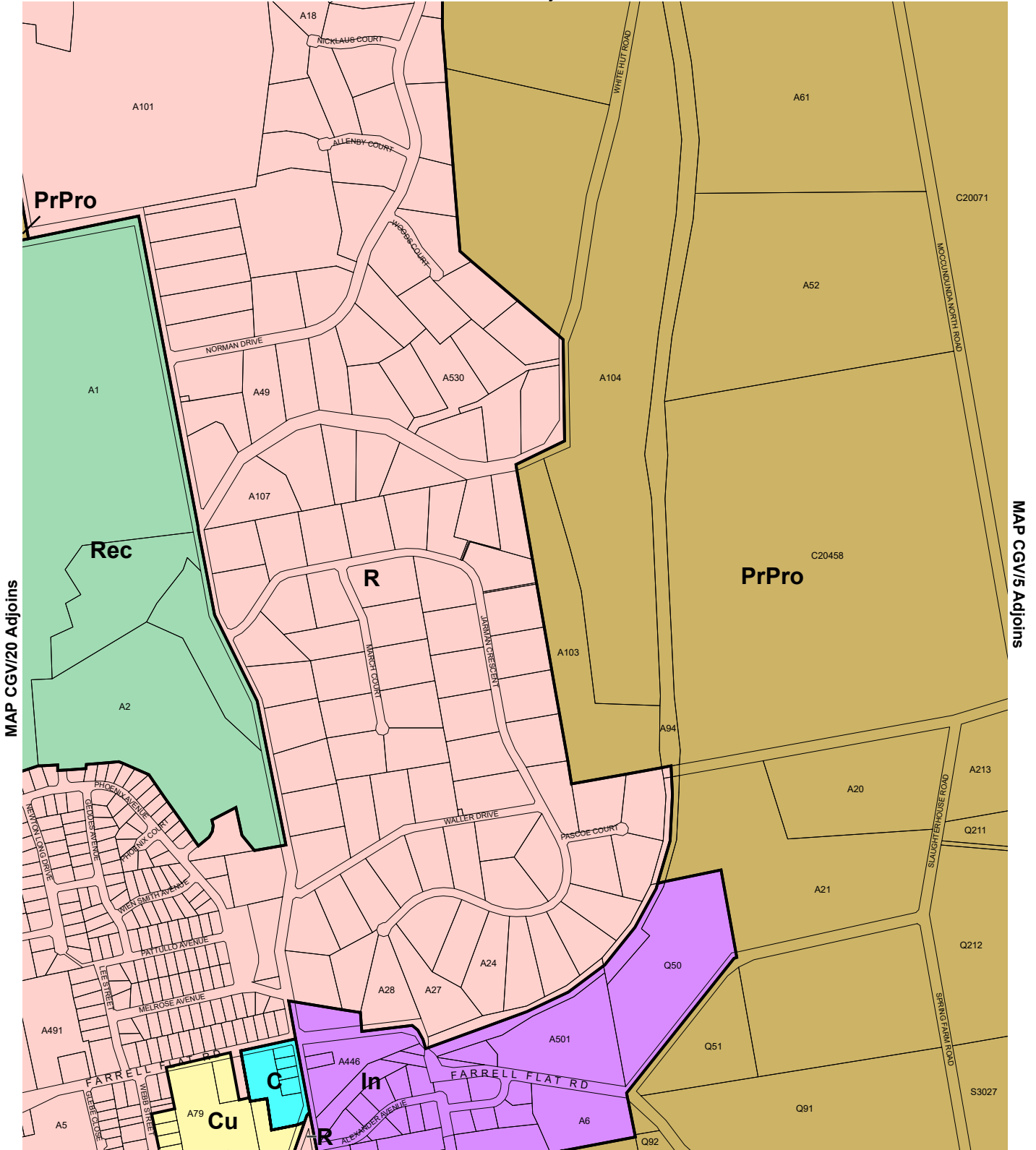
0 500m

CLARE

Overlay Map CGV/21 TRANSPORT

- Riesling Trail
- Secondary Arterial Roads

MAP CGV/5 Adjoins



Lamberts Conformal Conic Projection, GDA94

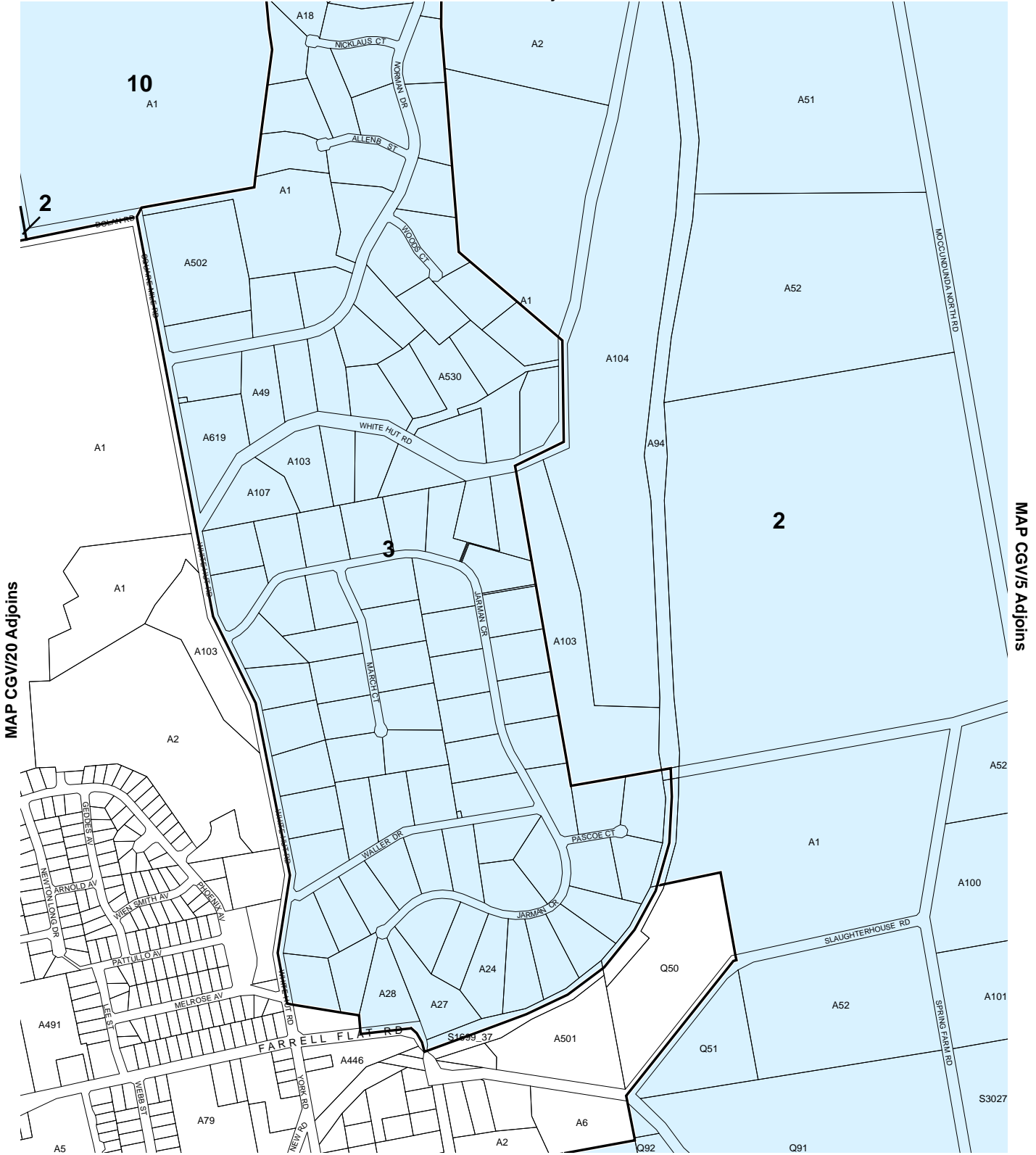


- Zones**
- Cu Community
 - C Commercial
 - In Industry
 - PrPro Primary Production
 - Rec Recreation
 - R Residential
 - Zone Boundary

CLARE

Zone Map CGV/21

MAP CGV/5 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area

- 2 Horticulture
- 3 Clare Low Density Housing
- 10 Square Mile Road

 Policy Area Boundary



CLARE

Policy Area Map CGV/21

MAP CGV/20 Adjoins



CLARE

Location Map CGV/22

S School

MAP CGV/20 Adjoins



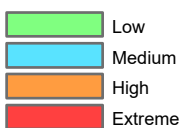
MAP CGV/5 Adjoins

Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



CLARE

Flood Risk Categories



Overlay Map CGV/22 DEVELOPMENT CONSTRAINTS

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

MAP CGV/20 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

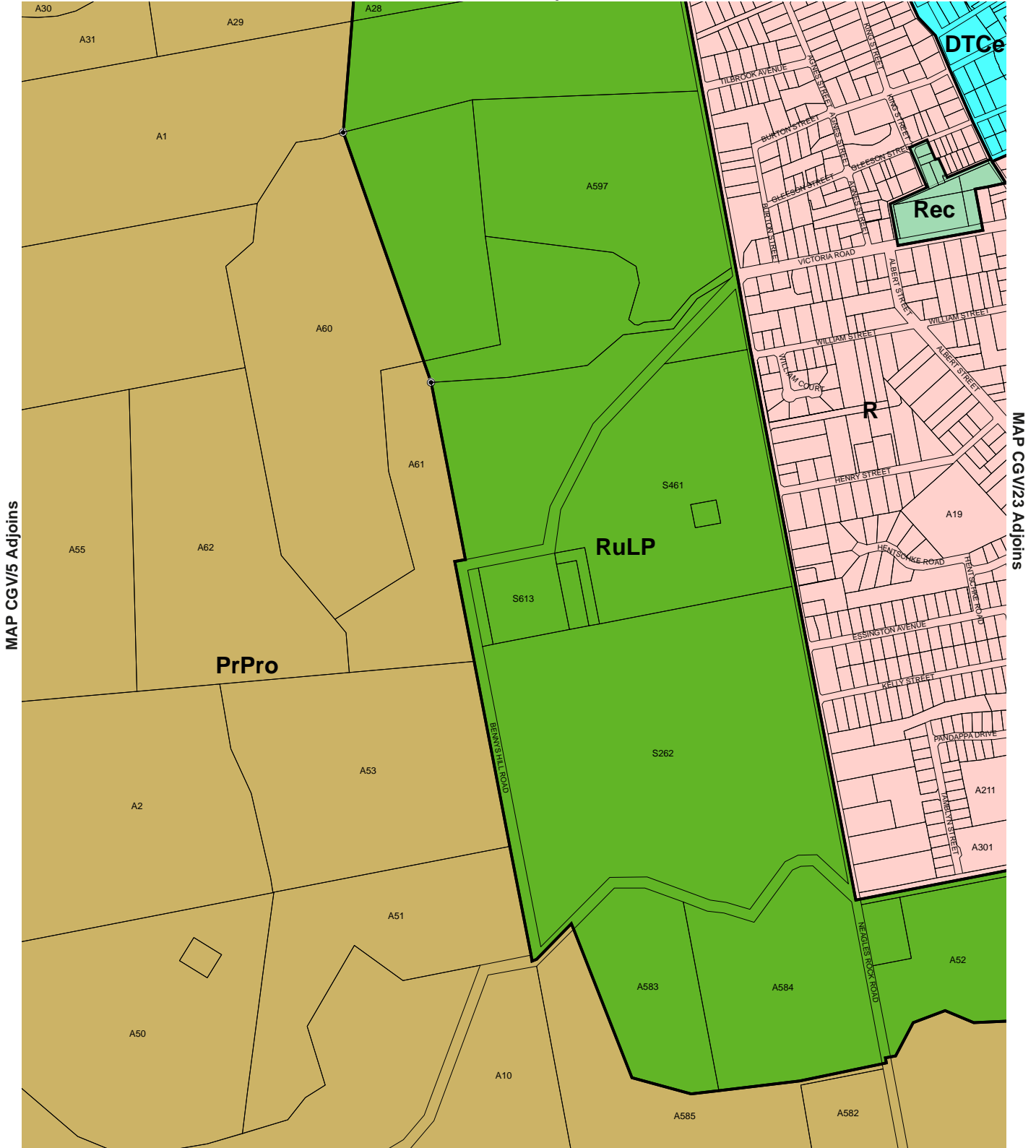


CLARE

Overlay Map CGV/22 HERITAGE

- State heritage place
- Local heritage place

MAP CGV/20 Adjoins



MAP CGV/5 Adjoins

Lamberts Conformal Conic Projection, GDA94

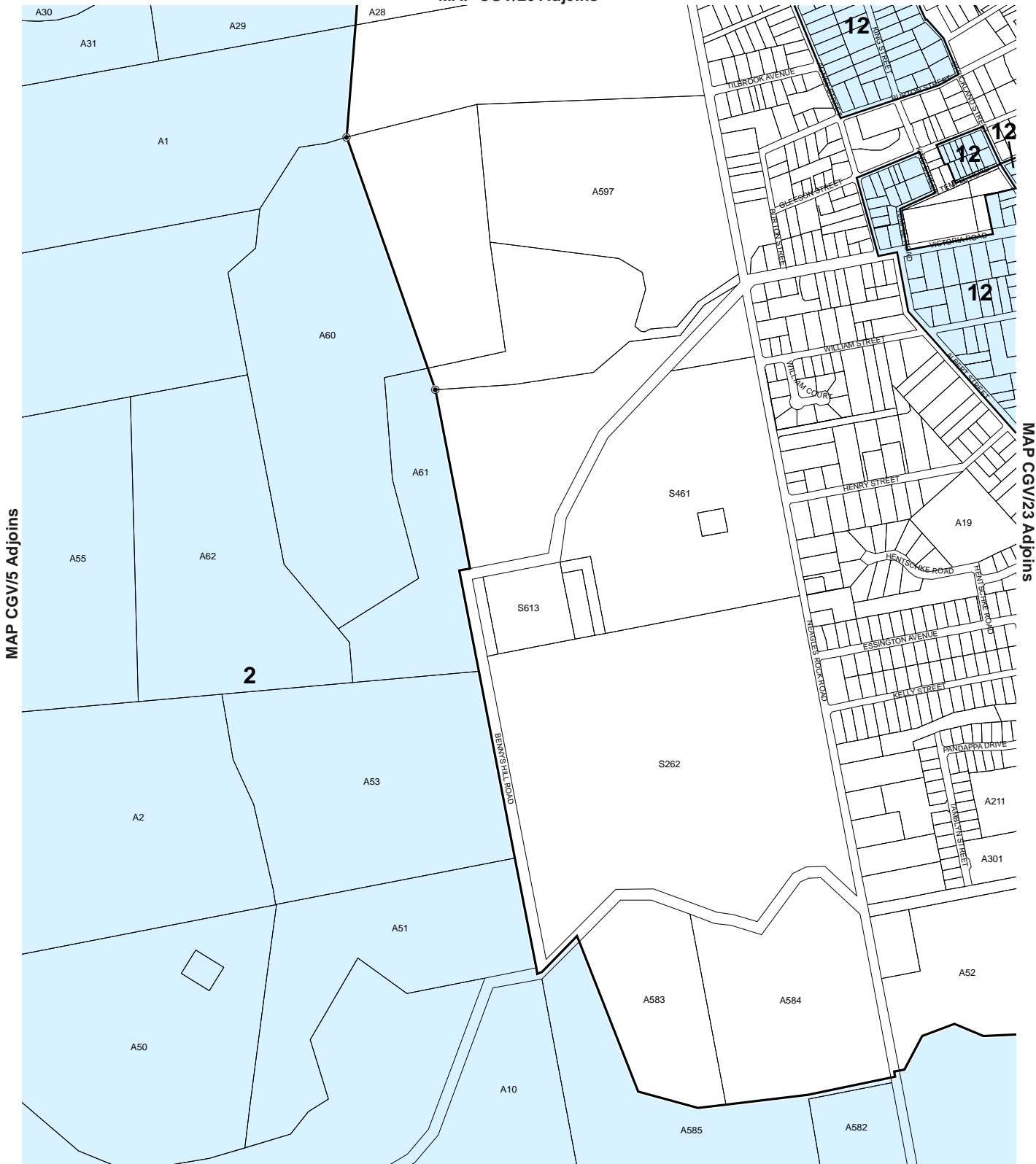


CLARE

Zone Map CGV/22

- Zones**
- DTCE District Town Centre
 - PrPro Primary Production
 - Rec Recreation
 - R Residential
 - RuLP Rural Landscape Protection
 - Zone Boundary

MAP CGV/20 Adjoins



MAP CGV/5 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area

- 2 Horticulture
- 12 Clare Medium Density



CLARE

Policy Area Map CGV/22

 Policy Area Boundary

MAP CGV/21 Adjoins



CLARE

Location Map CGV/23

- S School
- L Public Library
- C Council Office
- H Other Health Services
- Tourist Routes

MAP CGV/21 Adjoins



MAP CGV/24 Adjoins

MAP CGV/22 Adjoins

MAP CGV/5 Adjoins

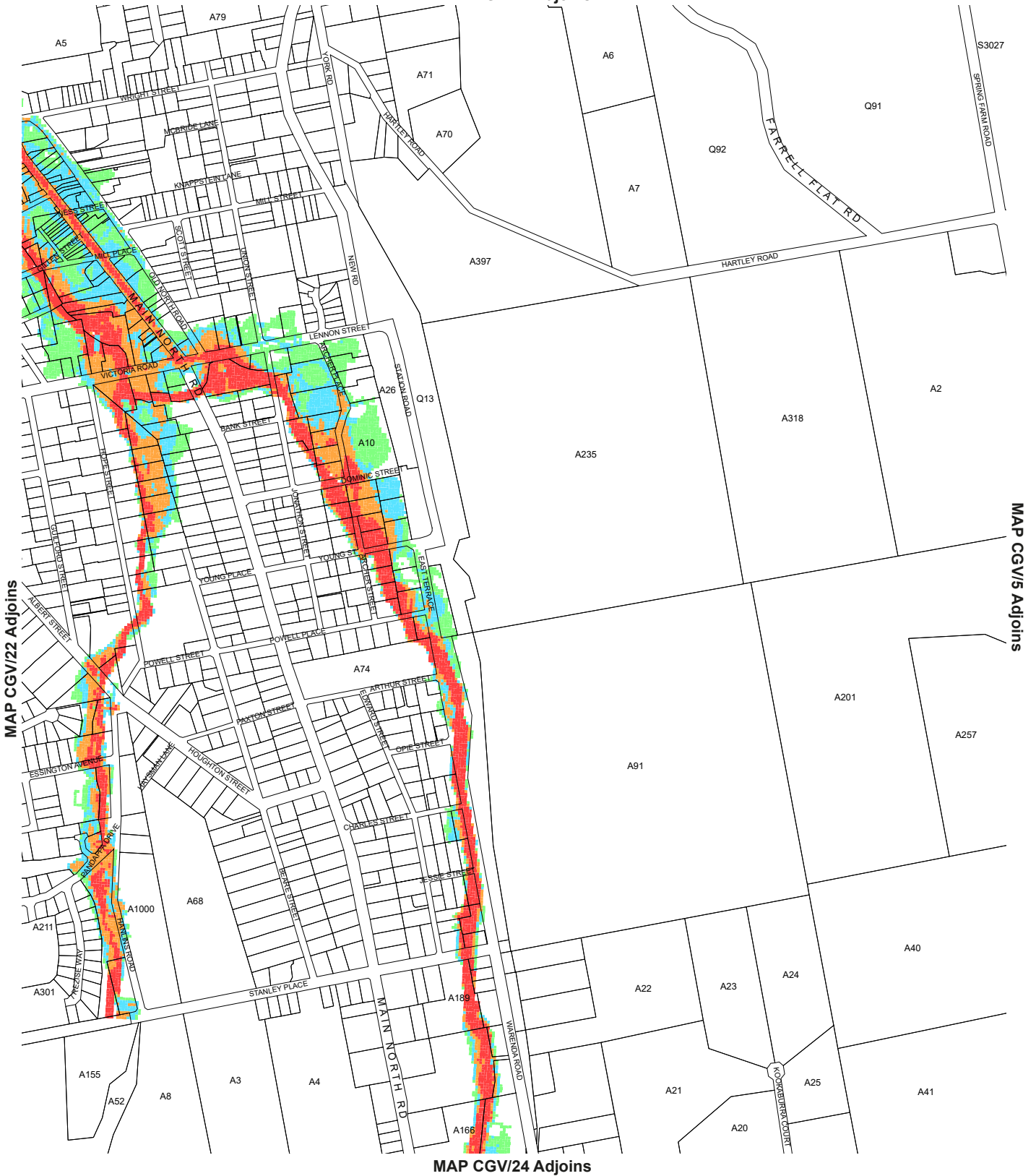


CLARE

**Overlay Map CGV/23
TRANSPORT**

- Riesling Trail
- Secondary Arterial Roads

MAP CGV/21 Adjoins



Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



CLARE

Flood Risk Categories

- Low
- Medium
- High
- Extreme

Overlay Map CGV/23 DEVELOPMENT CONSTRAINTS

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

MAP CGV/21 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

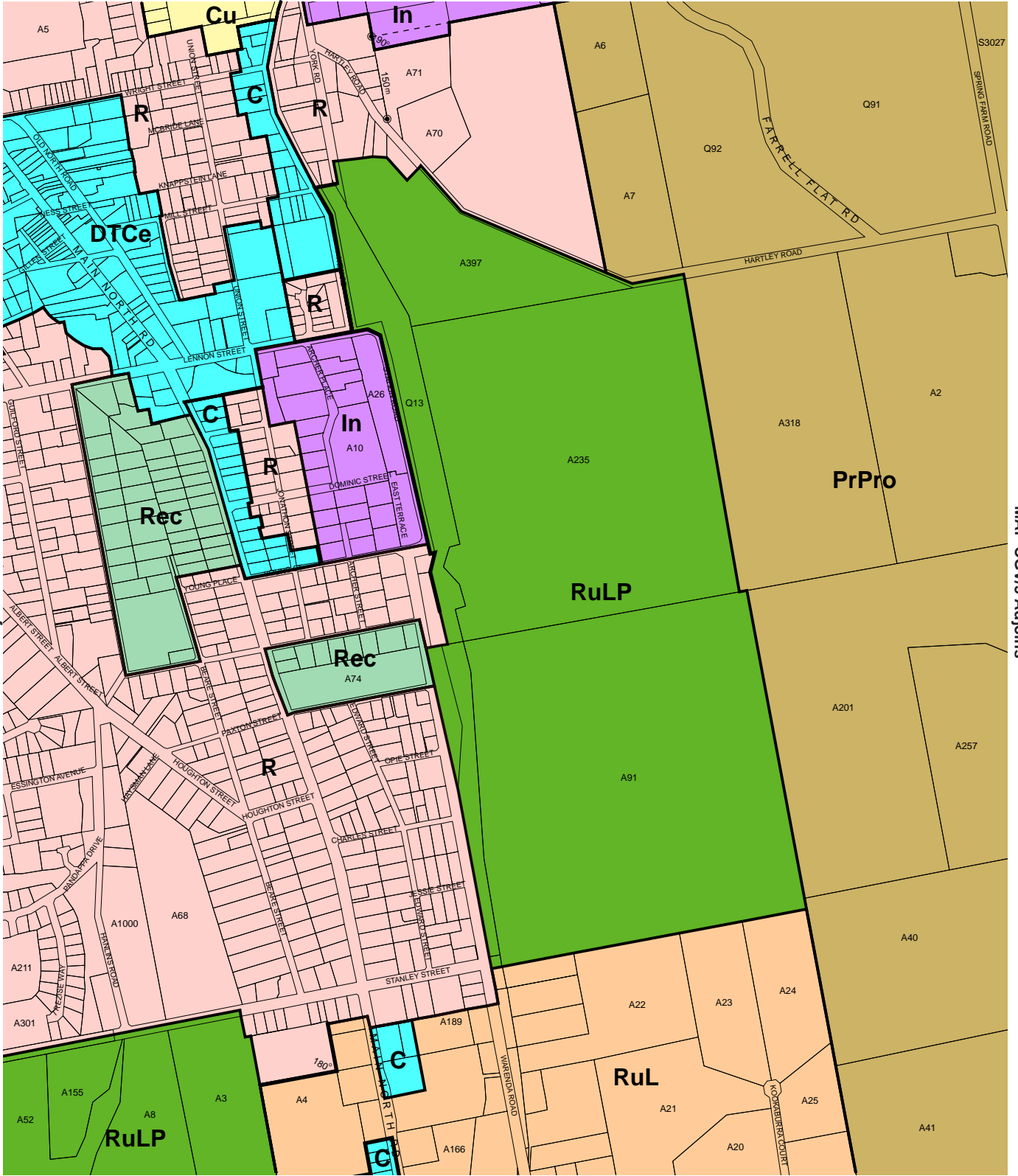


CLARE

Overlay Map CGV/23 HERITAGE

- State heritage place
- Local heritage place

MAP CGV/21 Adjoins



MAP CGV/24 Adjoins

Lamberts Conformal Conic Projection, GDA94

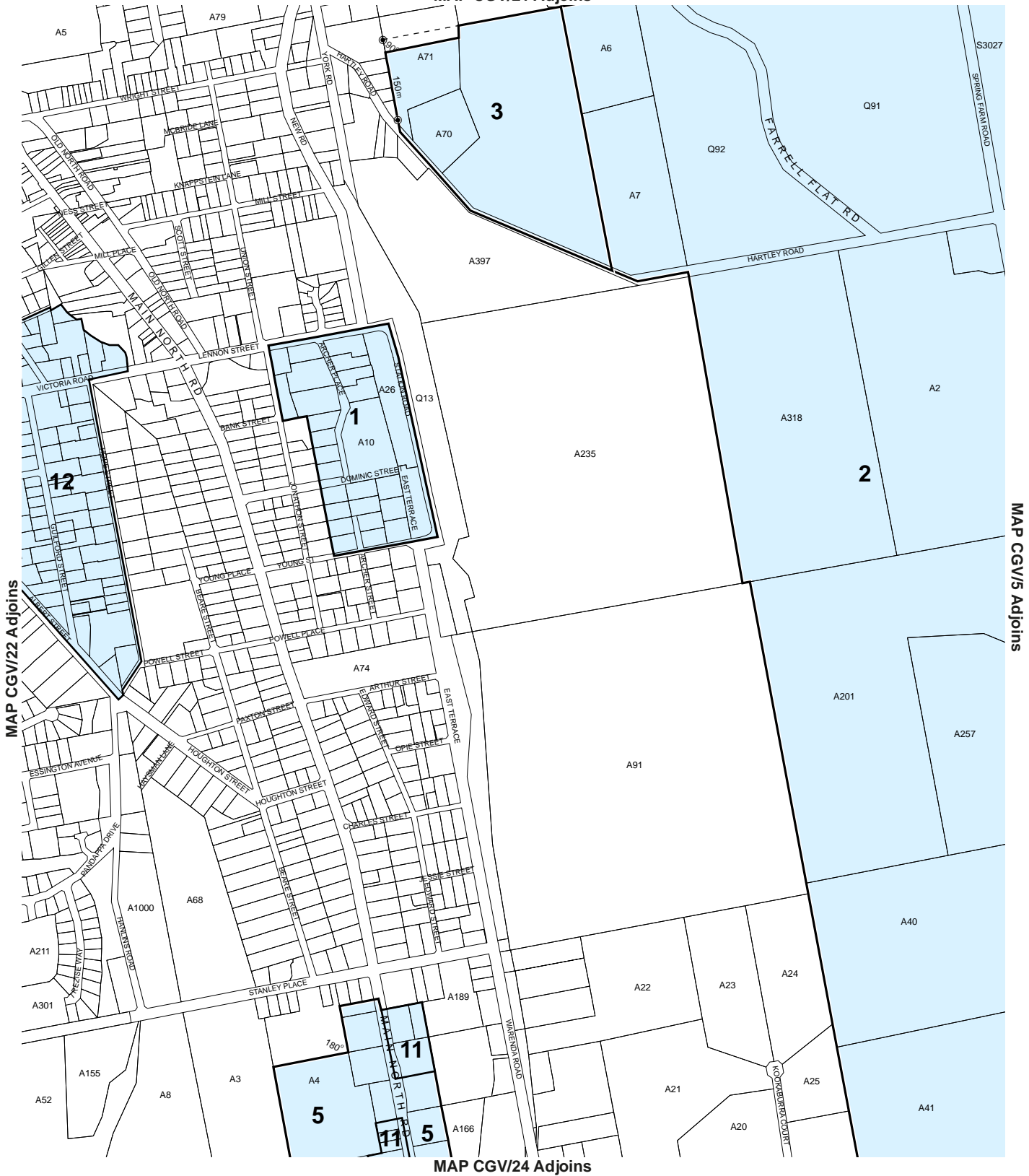
- Zones**
- Cu** Community
 - C** Commercial
 - DTCe** District Town Centre
 - In** Industry
 - PrPro** Primary Production
 - Rec** Recreation
 - R** Residential
 - RuLP** Rural Landscape Protection
 - RuL** Rural Living
 - Zone Boundary**



CLARE

Zone Map CGV/23

MAP CGV/21 Adjoins



Lamberts Conformal Conic Projection, GDA94

Policy Area

- 1 Archer Place
- 2 Horticulture
- 3 Clare Low Density Housing
- 5 Town Approach
- 11 Southern Township Gateway
- 12 Clare Medium Density



CLARE

Policy Area Map CGV/23

Policy Area Boundary

MAP CGV/21 Adjoins



Lamberts Conformal Conic Projection, GDA94

Precinct
6 Precinct 6 Commercial Approach



CLARE

Precinct Map CGV/23

 Precinct Boundary

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MAP CGV/23 Adjoins



CLARE

Location Map CGV/24

MAP CGV/23 Adjoins



MAP CGV/5 Adjoins

MAP CGV/5 Adjoins

MAP CGV/5 Adjoins



0 500m

CLARE

Overlay Map CGV/24

TRANSPORT

- Riesling Trail
- Secondary Arterial Roads

MAP CGV/23 Adjoins



MAP CGV/5 Adjoins

MAP CGV/5 Adjoins

MAP CGV/5 Adjoins

Note: See Overlay Map CGV/1 Development Constraints for flood data definition explanation and disclaimer.



CLARE

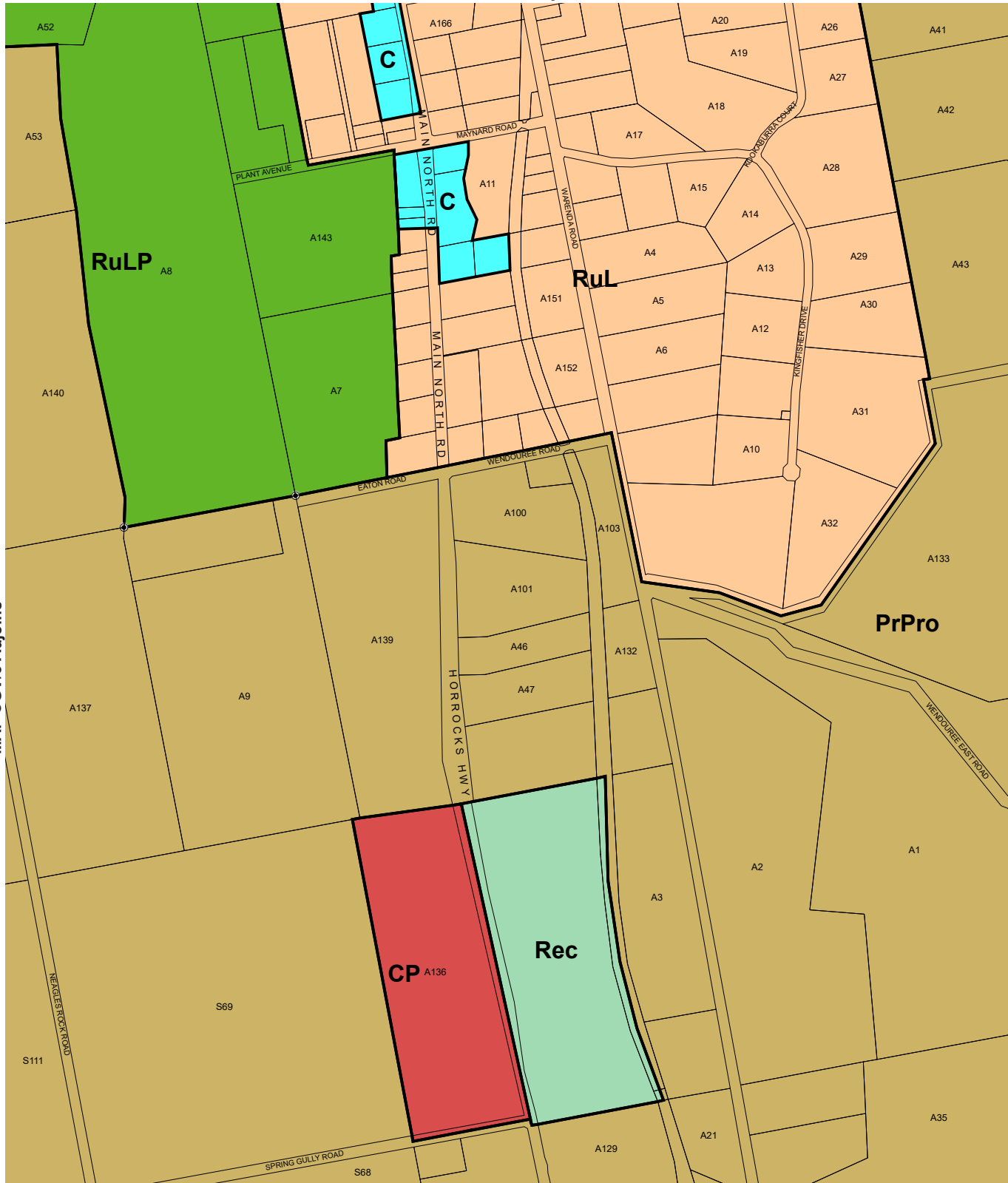
Flood Risk Categories

- Low
- Medium
- High
- Extreme

Overlay Map CGV/24 DEVELOPMENT CONSTRAINTS

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019

MAP CGV/23 Adjoins



MAP CGV/5 Adjoins

Lamberts Conformal Conic Projection, GDA94



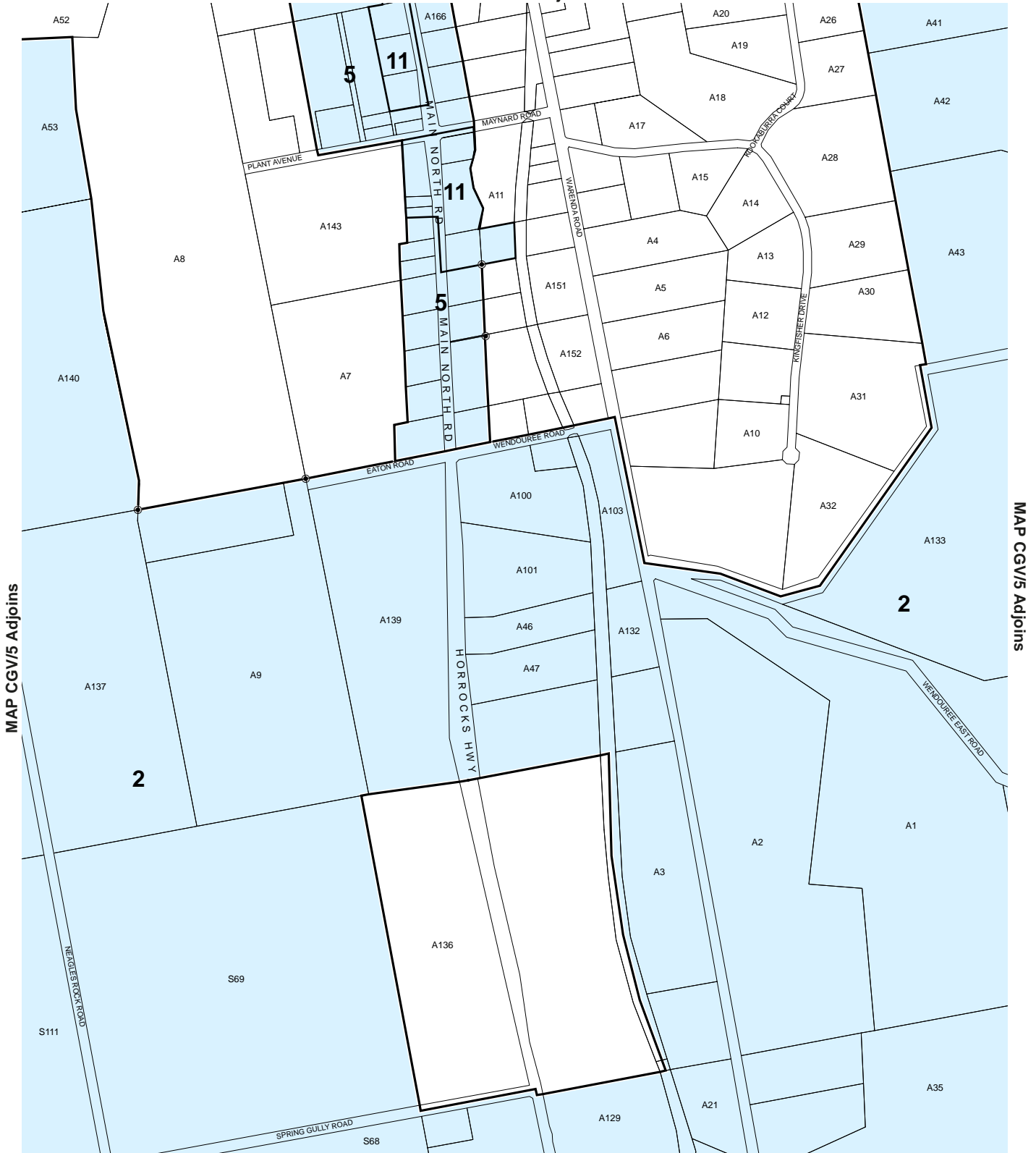
Zones

- Commercial
- Caravan and Tourist Park
- Primary Production
- Recreation
- Rural Landscape Protection
- Rural Living
- Zone Boundary

CLARE

Zone Map CGV/24

MAP CGV/23 Adjoins



MAP CGV/5 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area

- 2 Horticulture
- 5 Town Approach
- 11 Southern Township Gateway



0 500 m

CLARE

Policy Area Map CGV/24

Policy Area Boundary

MAP CGV/6 Adjoins





MAP CGV/6 Adjoins



WATERVALE

Location Map CGV/25

-  School
-  Tourist Routes

MAP CGV/6 Adjoins



MAP CGV/6 Adjoins



0 500m

WATERVALE

Overlay Map CGV/25 TRANSPORT

- Riesling Trail
- Secondary Arterial Roads

MAP CGV/6 Adjoins



For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.



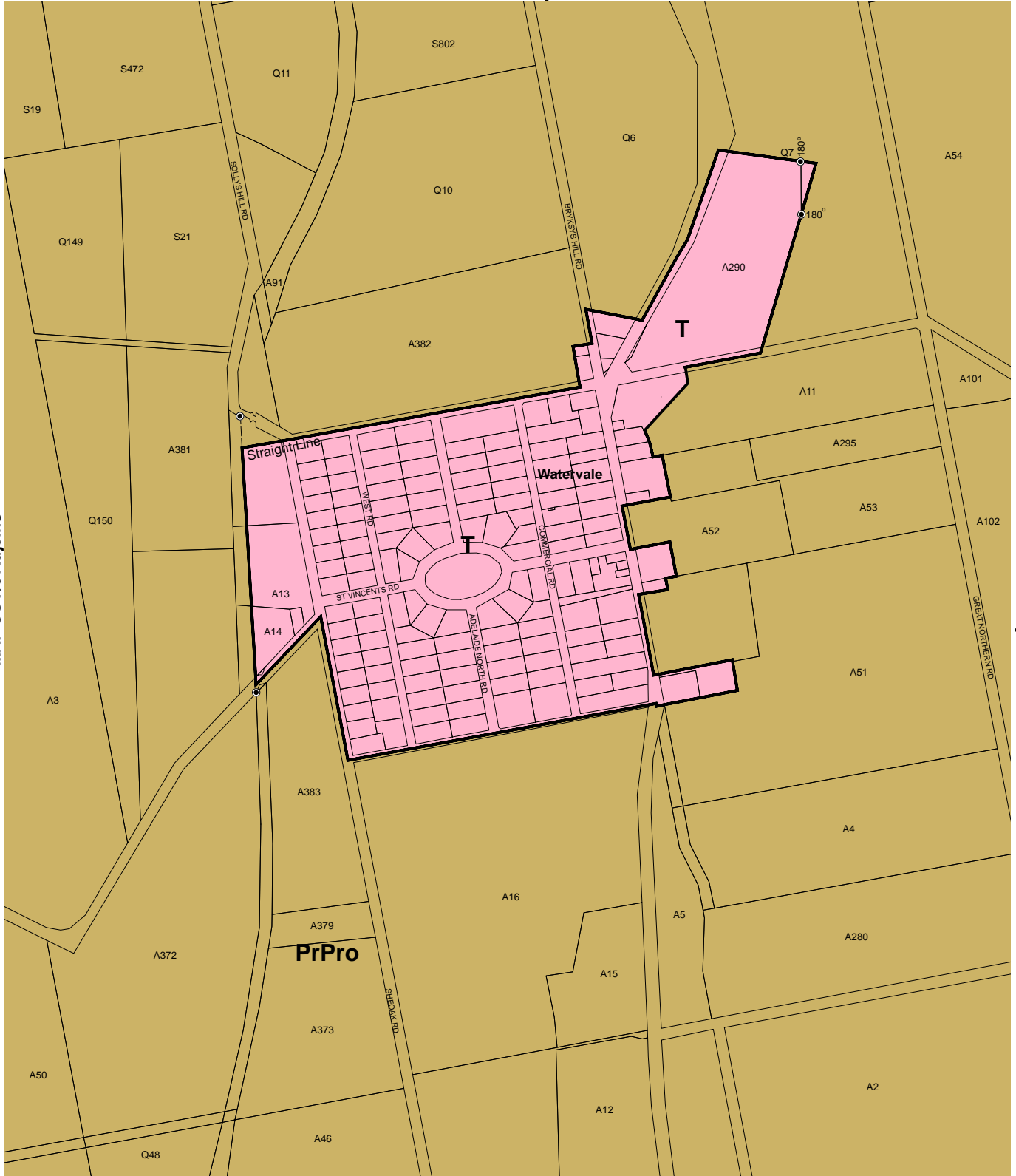
WATERVALE

Overlay Map CGV/25

HERITAGE

● State heritage place

MAP CGV/6 Adjoins



MAP CGV/6 Adjoins

Lamberts Conformal Conic Projection, GDA94

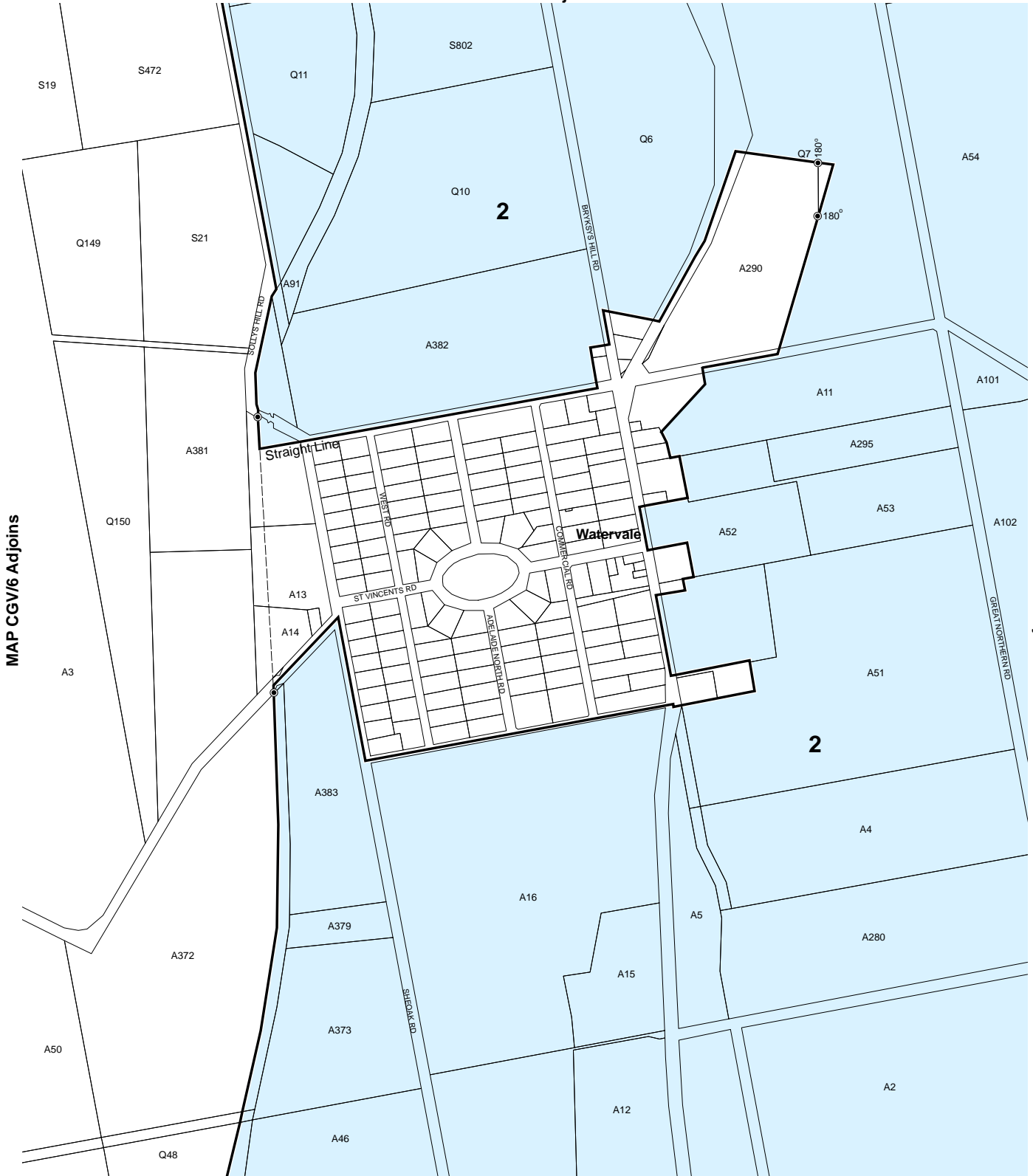


WATERVALE

Zone Map CGV/25

- Zones**
- PrPro Primary Production
 - T Township
 - Zone Boundary

MAP CGV/6 Adjoins



MAP CGV/6 Adjoins

Lamberts Conformal Conic Projection, GDA94

Policy Area
2 Horticulture



WATERVALE

Policy Area Map CGV/25

 Policy Area Boundary

MAP CGV/7 Adjoins





MAP CGV/7 Adjoins



AUBURN

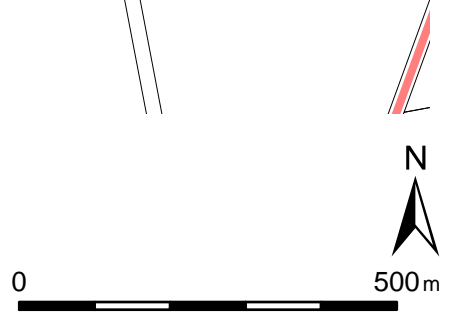
Location Map CGV/26

-  School
-  Tourist Routes

MAP CGV/7 Adjoins



MAP CGV/7 Adjoins



AUBURN

Overlay Map CGV/26

TRANSPORT

- Riesling Trail
- Secondary Arterial Roads

MAP CGV/7 Adjoins



Heritage points are indicative only.
For further information on State and Local Heritage Places and Contributory Items please refer to the relevant tables within this document.

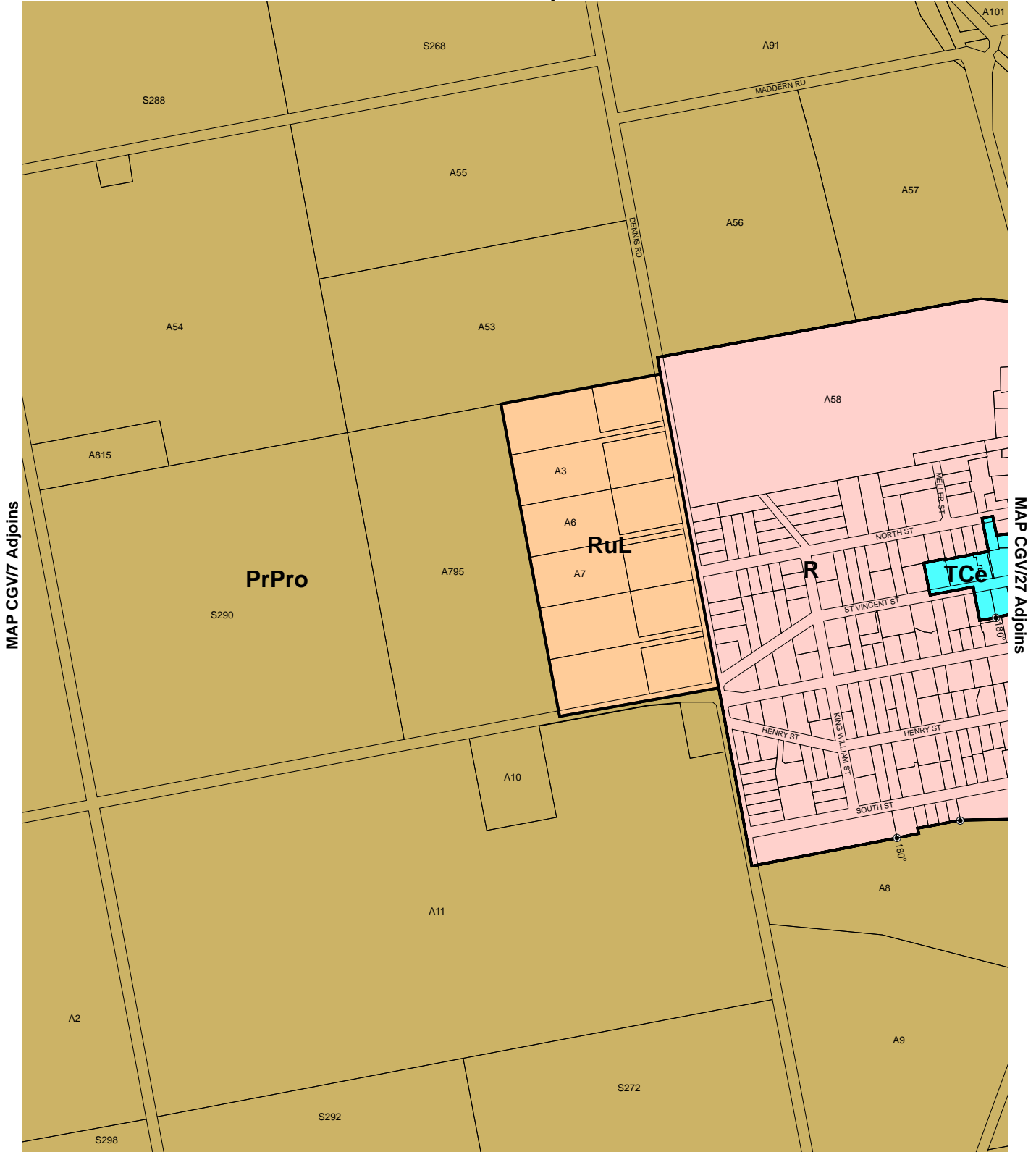


AUBURN

Overlay Map CGV/26 HERITAGE

- State heritage place
- Historic Conservation Area
- Contributory item

MAP CGV/7 Adjoins



MAP CGV/7 Adjoins

Lamberts Conformal Conic Projection, GDA94



AUBURN

Zone Map CGV/26

- Zones**
- PrPro Primary Production
 - R Residential
 - RuL Rural Living
 - TCe Town Centre
 - Zone Boundary

MAP CGV/7 Adjoins

2



Lamberts Conformal Conic Projection, GDA94

Policy Area
2 Horticulture



AUBURN

Policy Area Map CGV/26

 Policy Area Boundary



— Tourist Routes



AUBURN

Location Map CGV/27

MAP CGV/7 Adjoins



MAP CGV/7 Adjoins

MAP CGV/7 Adjoins



0 500m

AUBURN

Overlay Map CGV/27

TRANSPORT

- Riesling Trail
- Rattler Trail
- Secondary Arterial Roads



Heritage points are indicative only.
 For further information on State and Local Heritage Places and Contributory
 Items please refer to the relevant tables within this document.



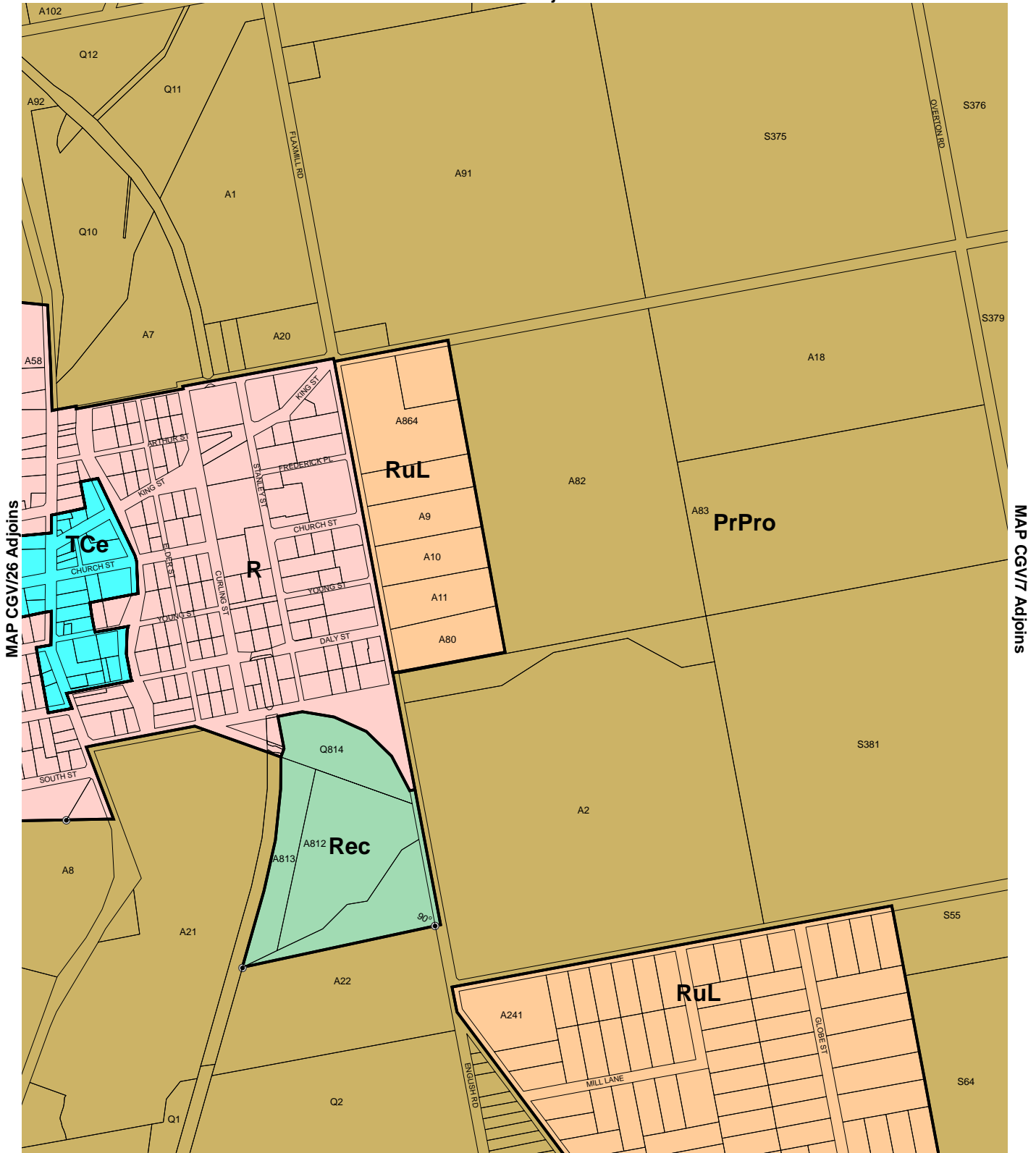
AUBURN

Overlay Map CGV/27 HERITAGE

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- State heritage place
- Historic Conservation Area
- Contributory item

MAP CGV/7 Adjoins



MAP CGV/7 Adjoins

Lamberts Conformal Conic Projection, GDA94



AUBURN

Zone Map CGV/27

- Zones**
- PrPro Primary Production
 - Rec Recreation
 - R Residential
 - RuL Rural Living
 - TCe Town Centre
 - Zone Boundary



Lamberts Conformal Conic Projection, GDA94

Policy Area
2 Horticulture

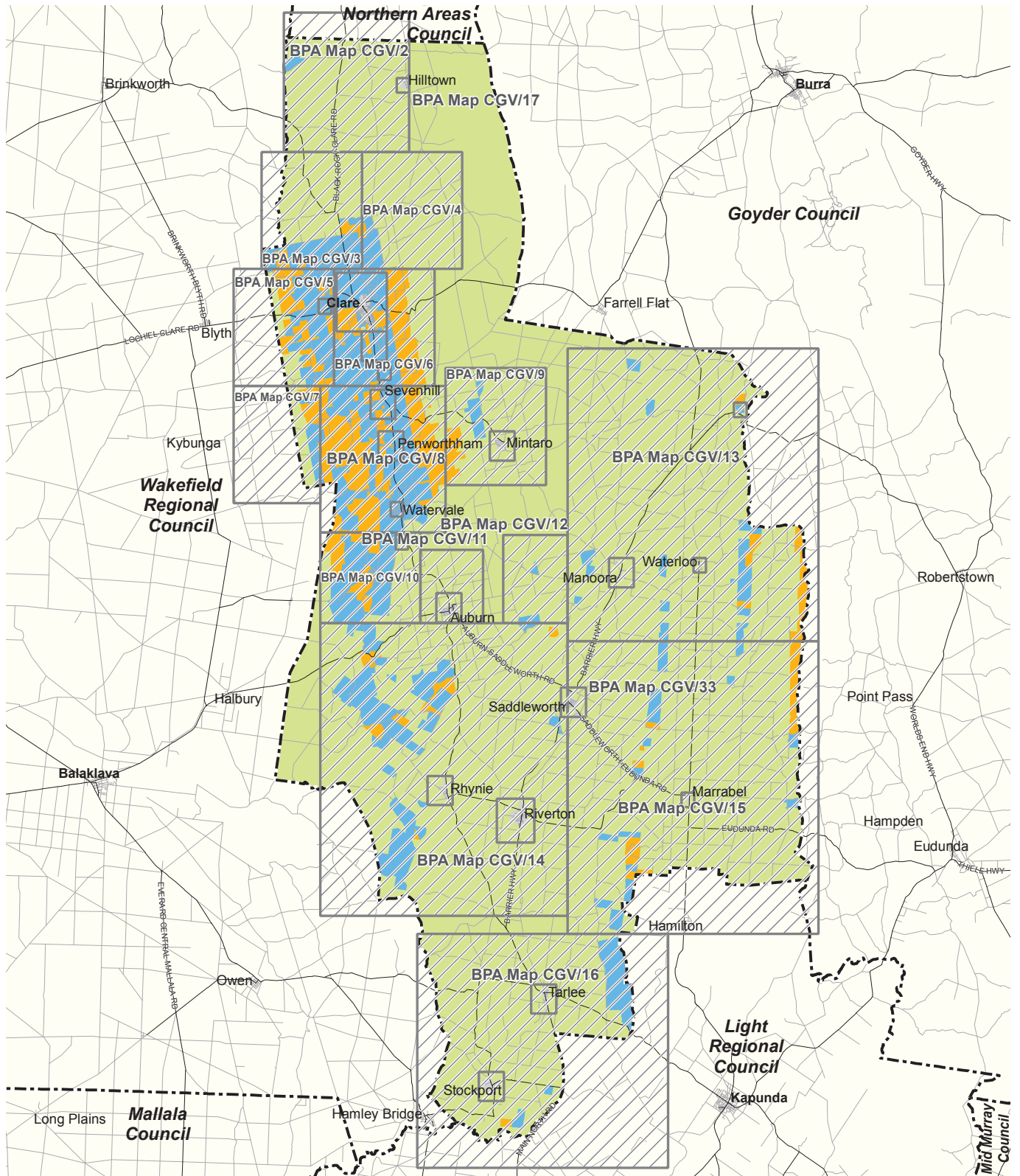


AUBURN

Policy Area Map CGV/27

 Policy Area Boundary

Bushfire Risk BPA Maps



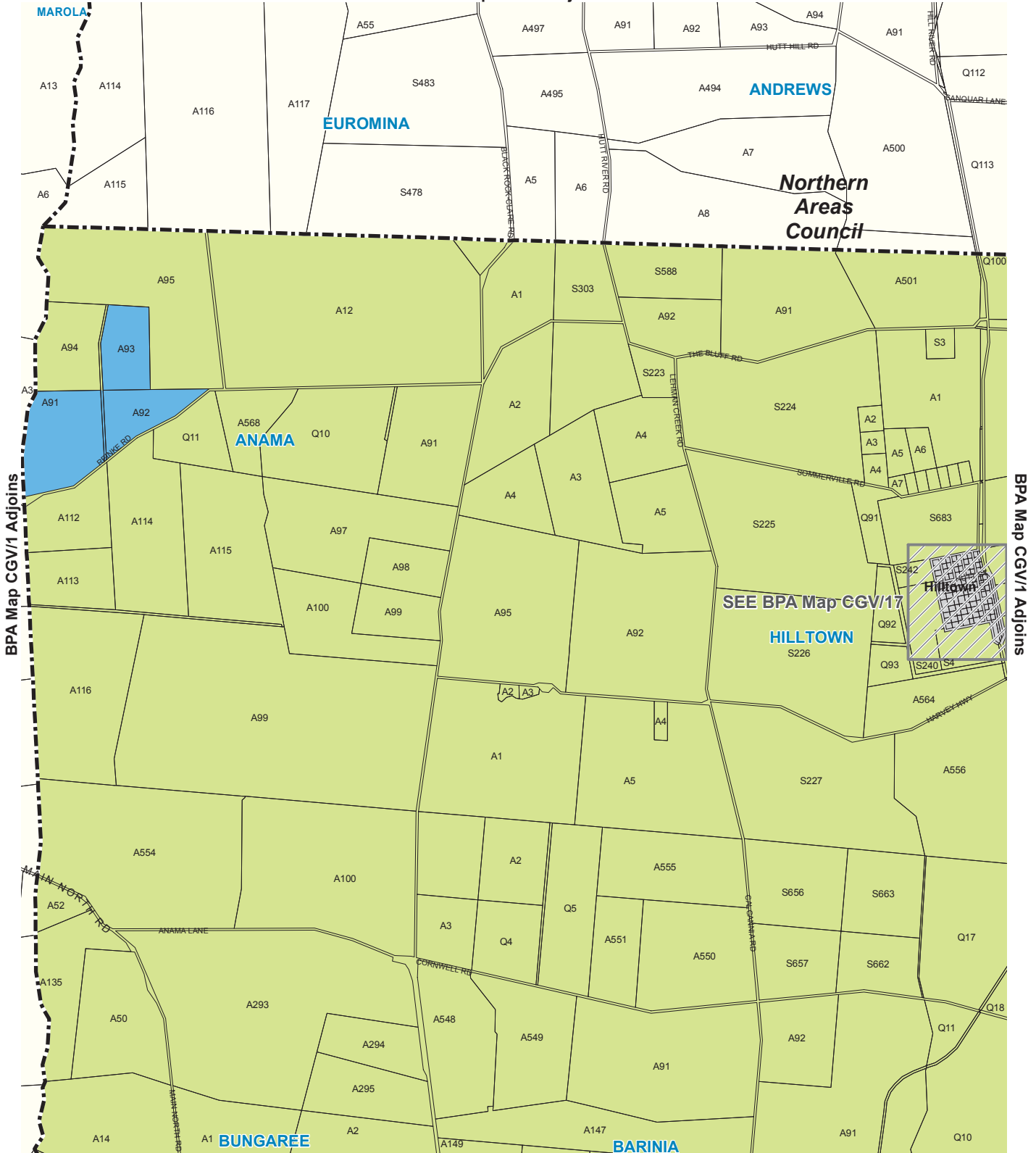
See enlargement map for accurate representation.



Bushfire Protection Area BPA Map CGV/1 BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map CGV/1 Adjoins



BPA Map CGV/3 Adjoins

BPA Map CGV/4 Adjoins

See enlargement map for accurate representation.



Bushfire Protection Area

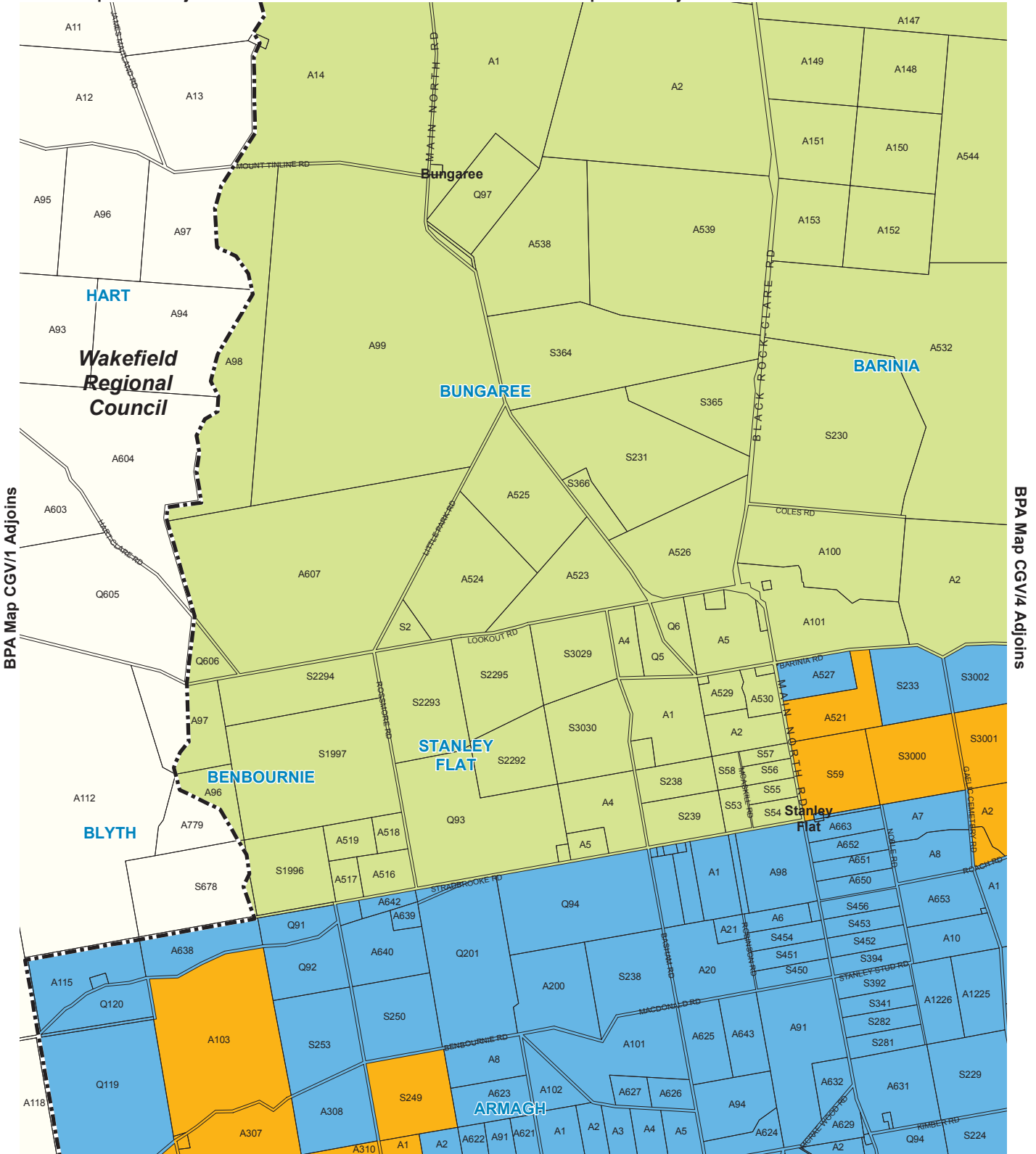
BPA Map CGV/2

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map CGV/1 Adjoins

BPA Map CGV/2 Adjoins



BPA Map CGV/1 Adjoins

BPA Map CGV/4 Adjoins

BPA Map CGV/5 Adjoins

BPA Map CGV/6 Adjoins

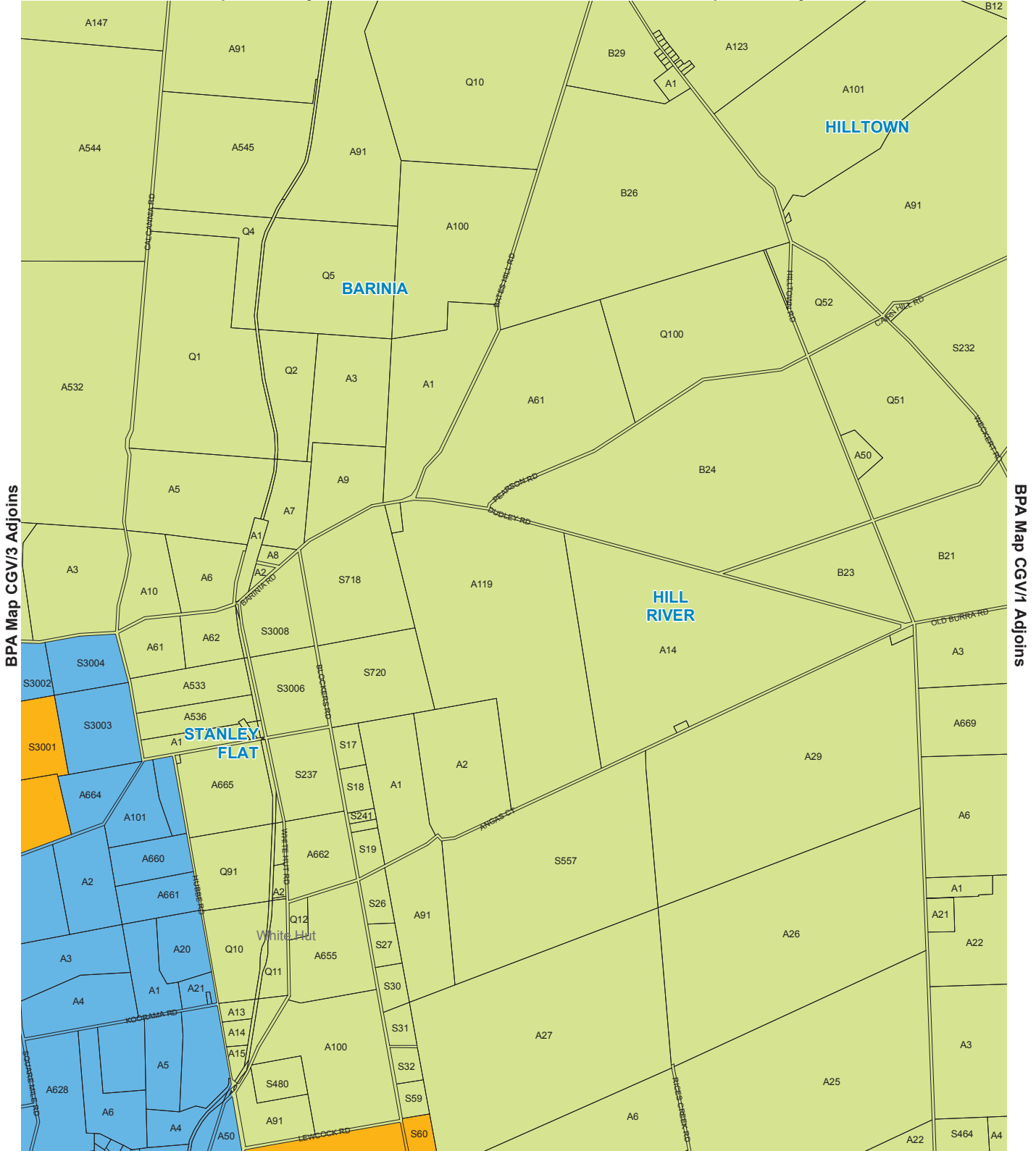


Bushfire Protection Area BPA Map CGV/3 BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map CGV/2 Adjoins

BPA Map CGV/1 Adjoins



BPA Map CGV/6 Adjoins

BPA Map CGV/1 Adjoins



0 2,000 m

Bushfire Protection Area

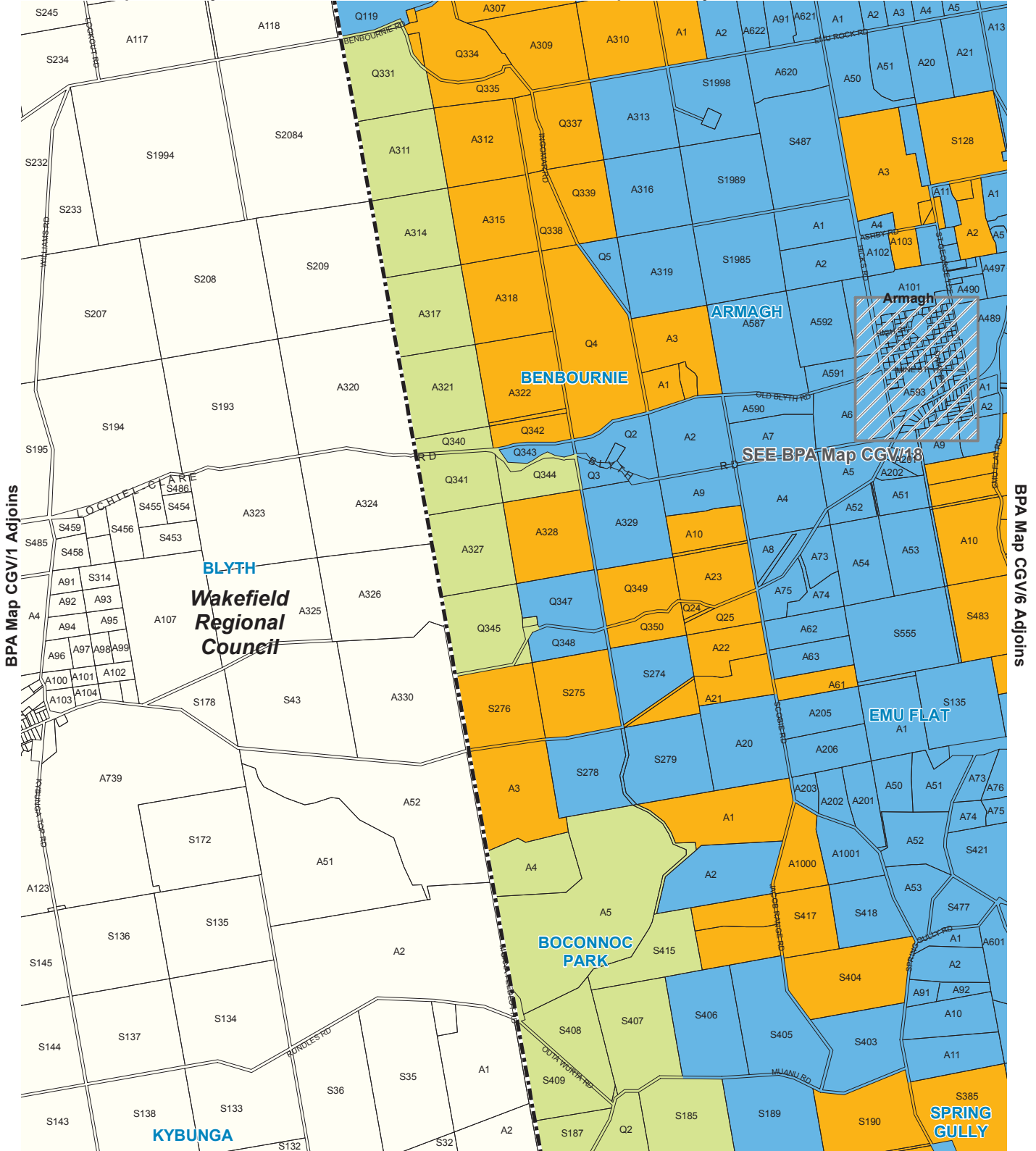
BPA Map CGV/4

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk

BPA Map CGV/1 Adjoins

BPA Map CGV/3 Adjoins



BPA Map CGV/7 Adjoins

See enlargement map for accurate representation.



Bushfire Protection Area

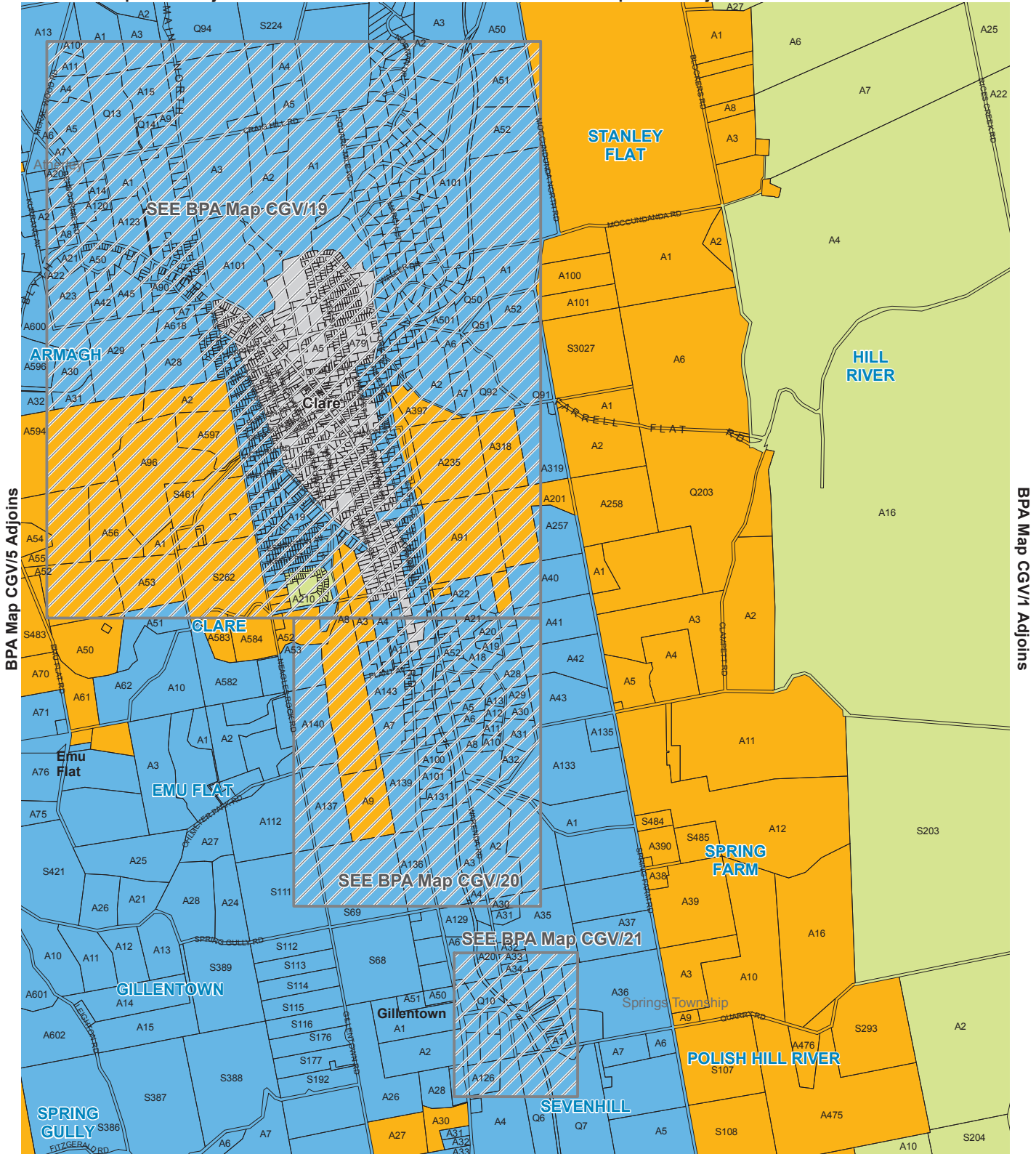
BPA Map CGV/5

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map CGV/3 Adjoins

BPA Map CGV/4 Adjoins



BPA Map CGV/8 Adjoins

See enlargement map for accurate representation.



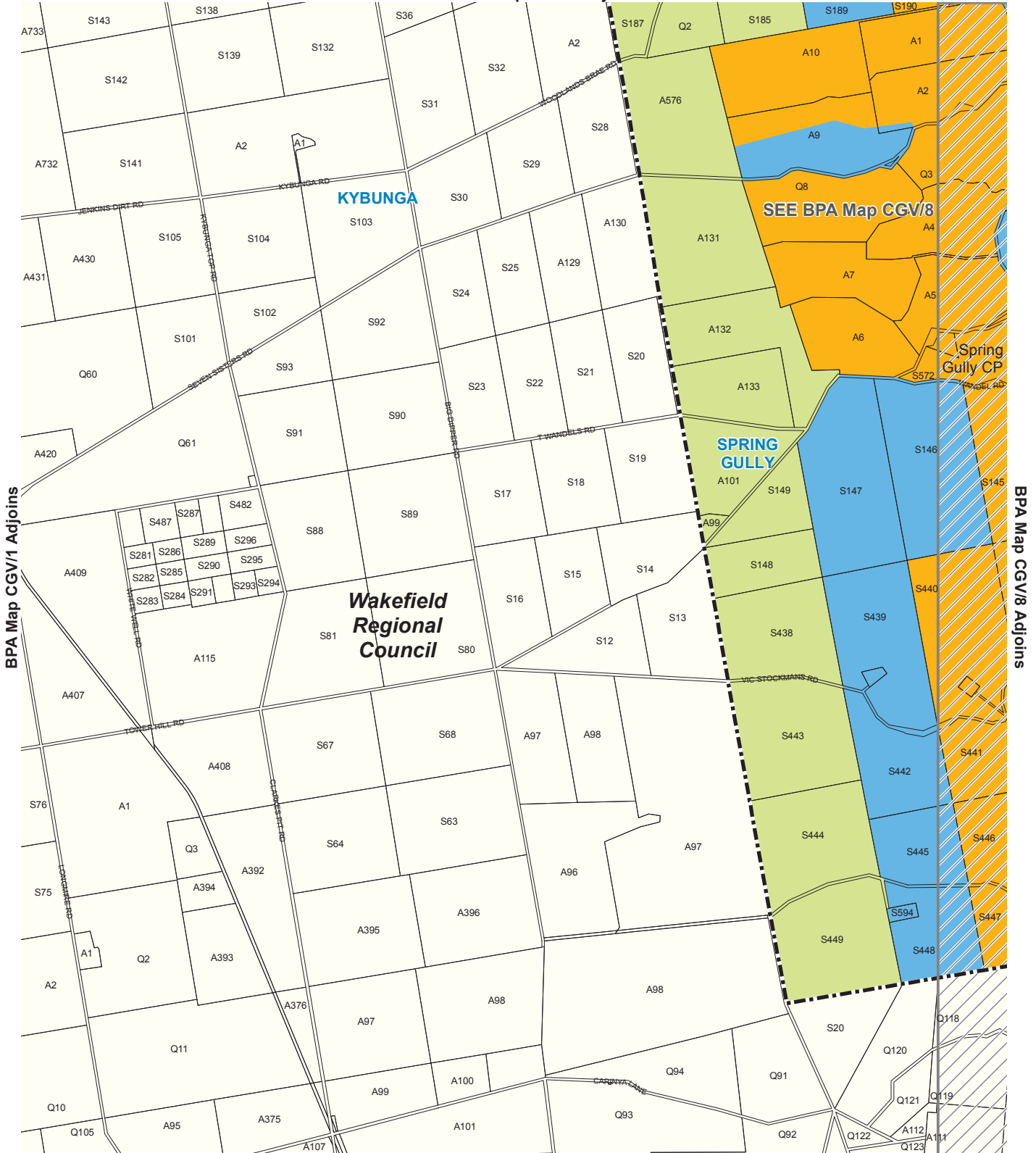
Bushfire Protection Area

BPA Map CGV/6

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map CGV/5 Adjoins



BPA Map CGV/1 Adjoins

See enlargement map for accurate representation.



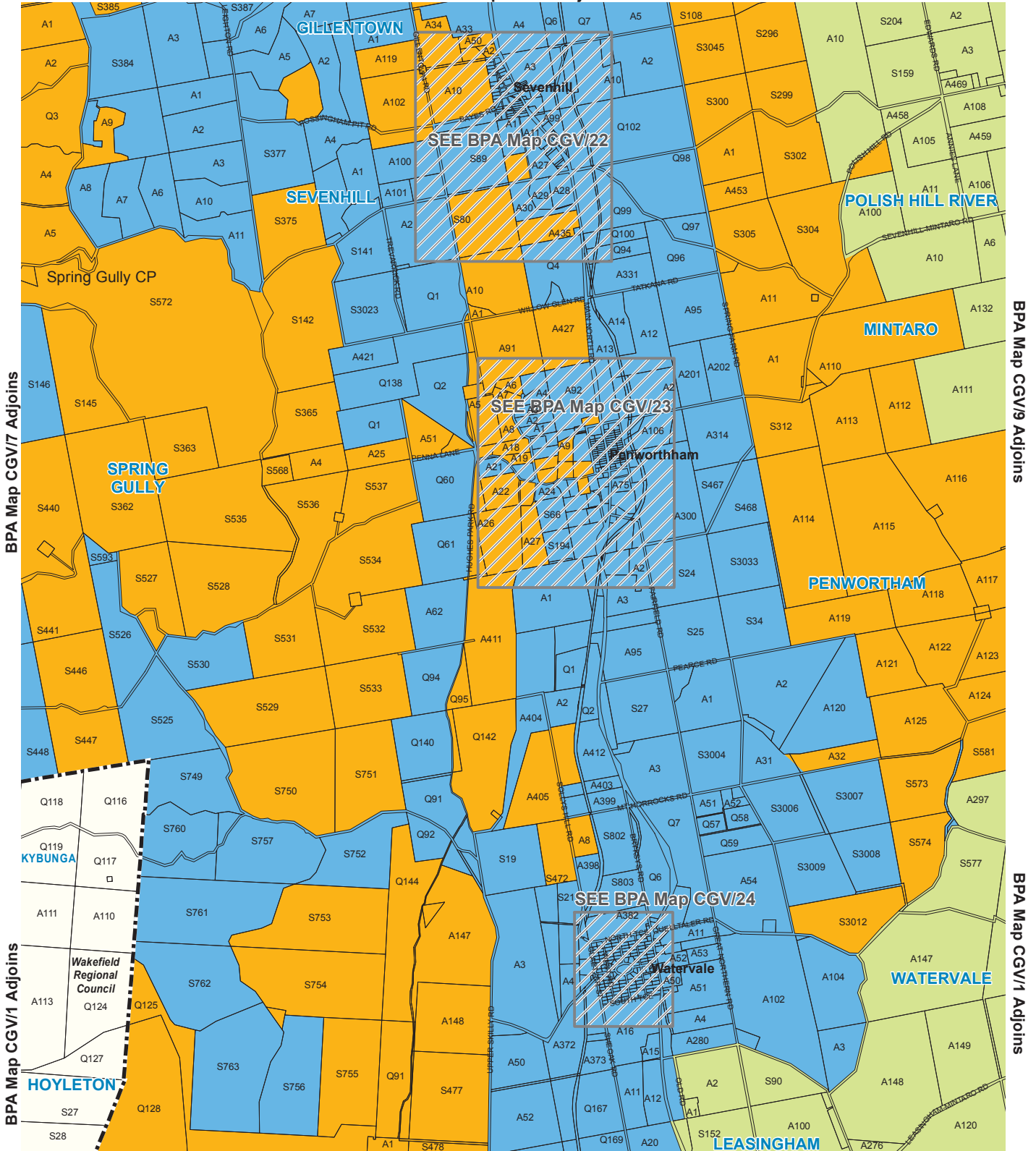
Bushfire Protection Area

BPA Map CGV/7

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map CGV/6 Adjoins



BPA Map CGV/10 Adjoins

BPA Map CGV/1 Adjoins

See enlargement map for accurate representation.

0



5 km

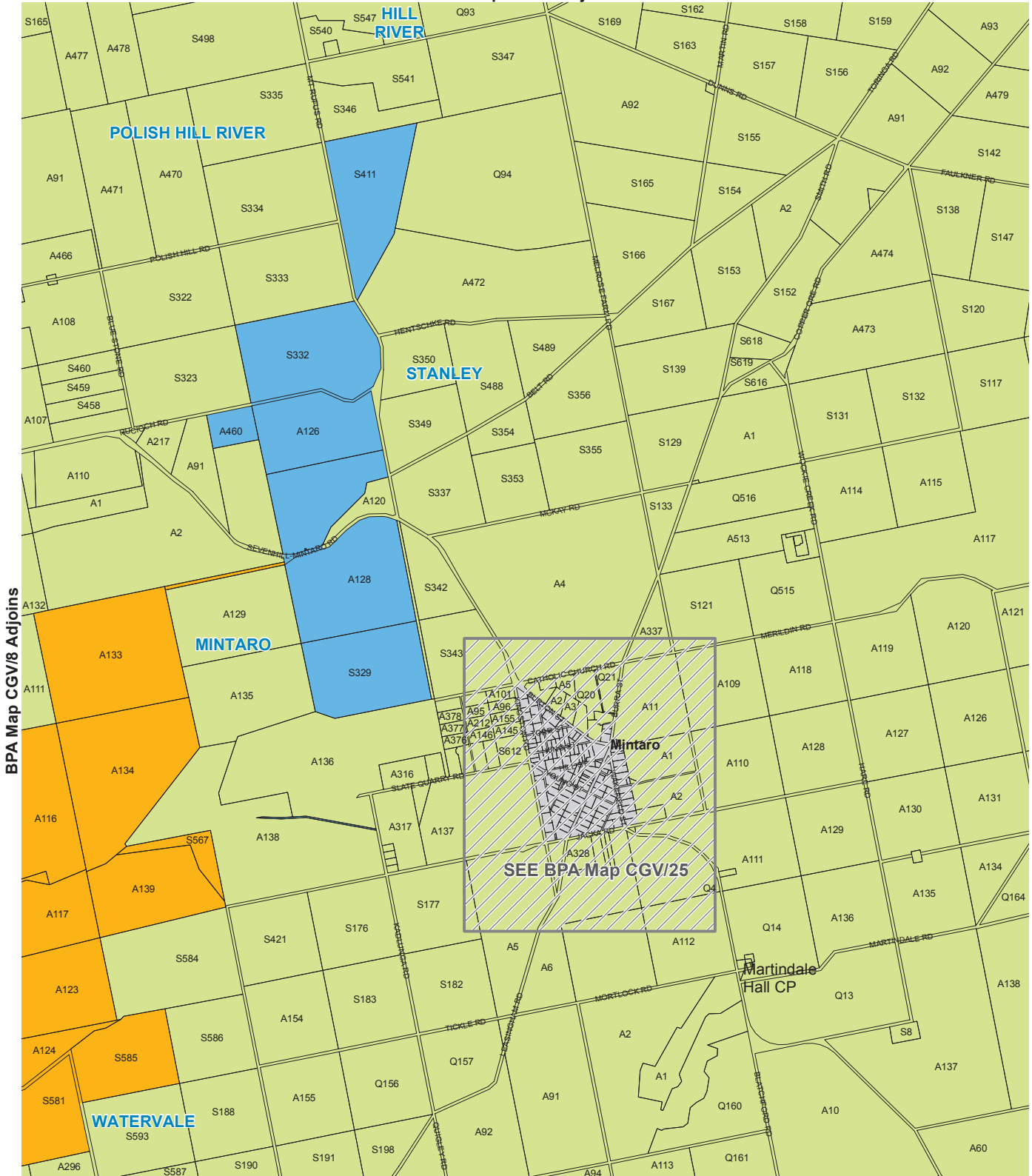
Bushfire Protection Area

BPA Map CGV/8

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map CGV/1 Adjoins



BPA Map CGV/8 Adjoins

BPA Map CGV/1 Adjoins

BPA Map CGV/1 Adjoins

See enlargement map for accurate representation.

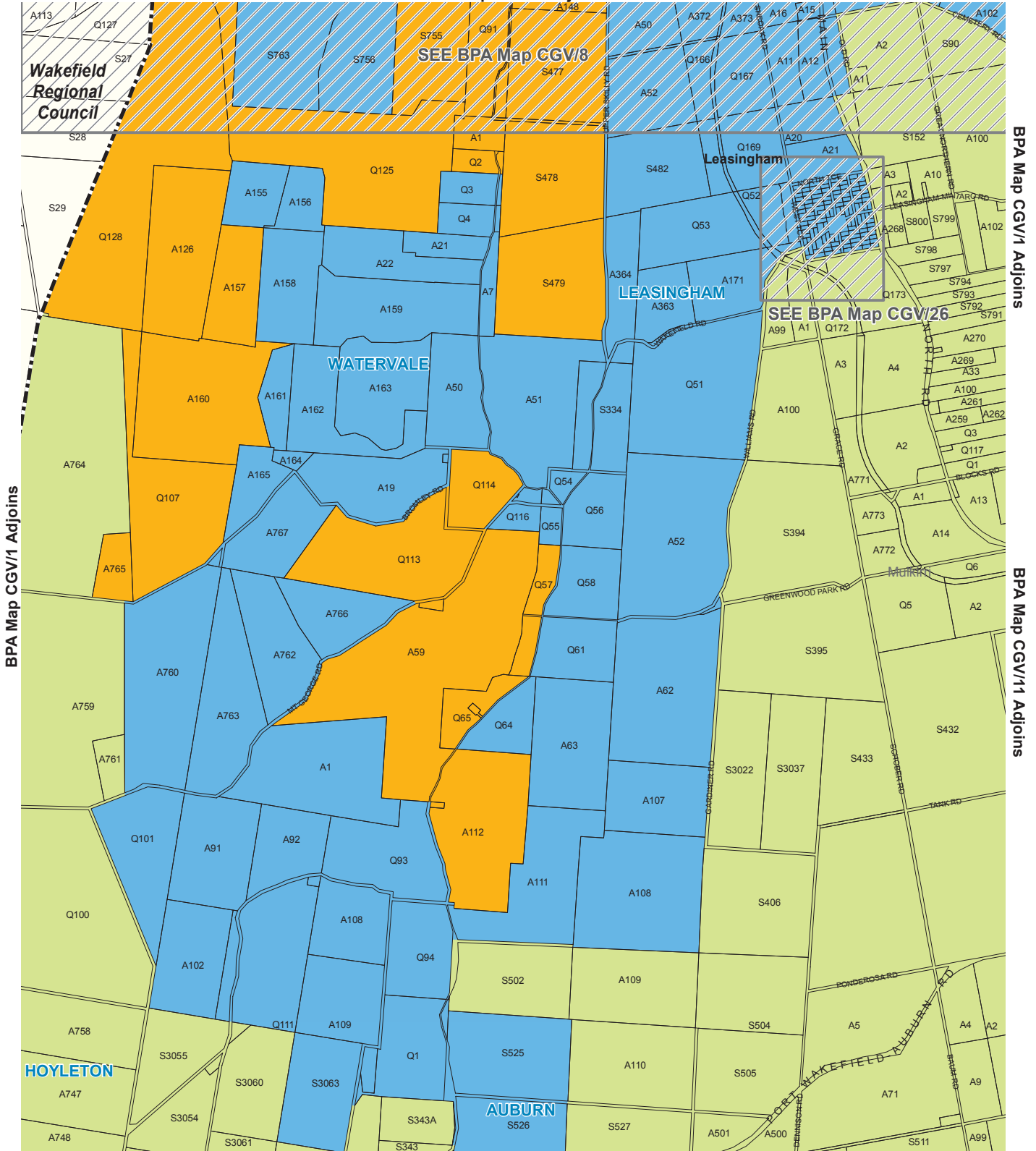
- BPA
- High Bushfire Risk
 - Medium Bushfire Risk
 - General Bushfire Risk
 - Excluded area from bushfire protection planning provisions

Bushfire Protection Area

BPA Map CGV/9

BUSHFIRE RISK

BPA Map CGV/8 Adjoins



See enlargement map for accurate representation.

BPA Map CGV/14 Adjoins



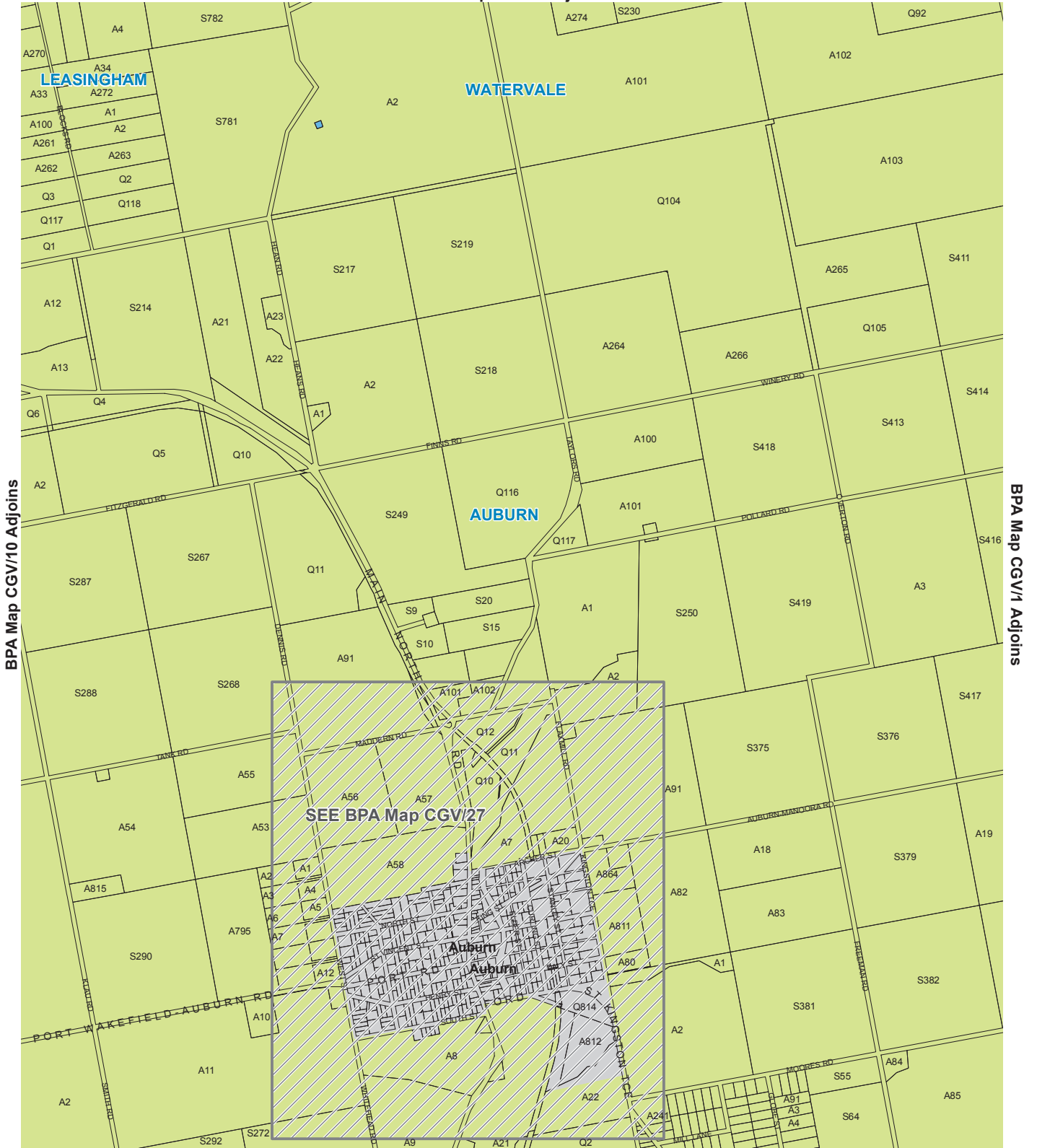
Bushfire Protection Area

BPA Map CGV/10

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Development Plan Boundary

BPA Map CGV/1 Adjoins



BPA Map CGV/14 Adjoins

See enlargement map for accurate representation.



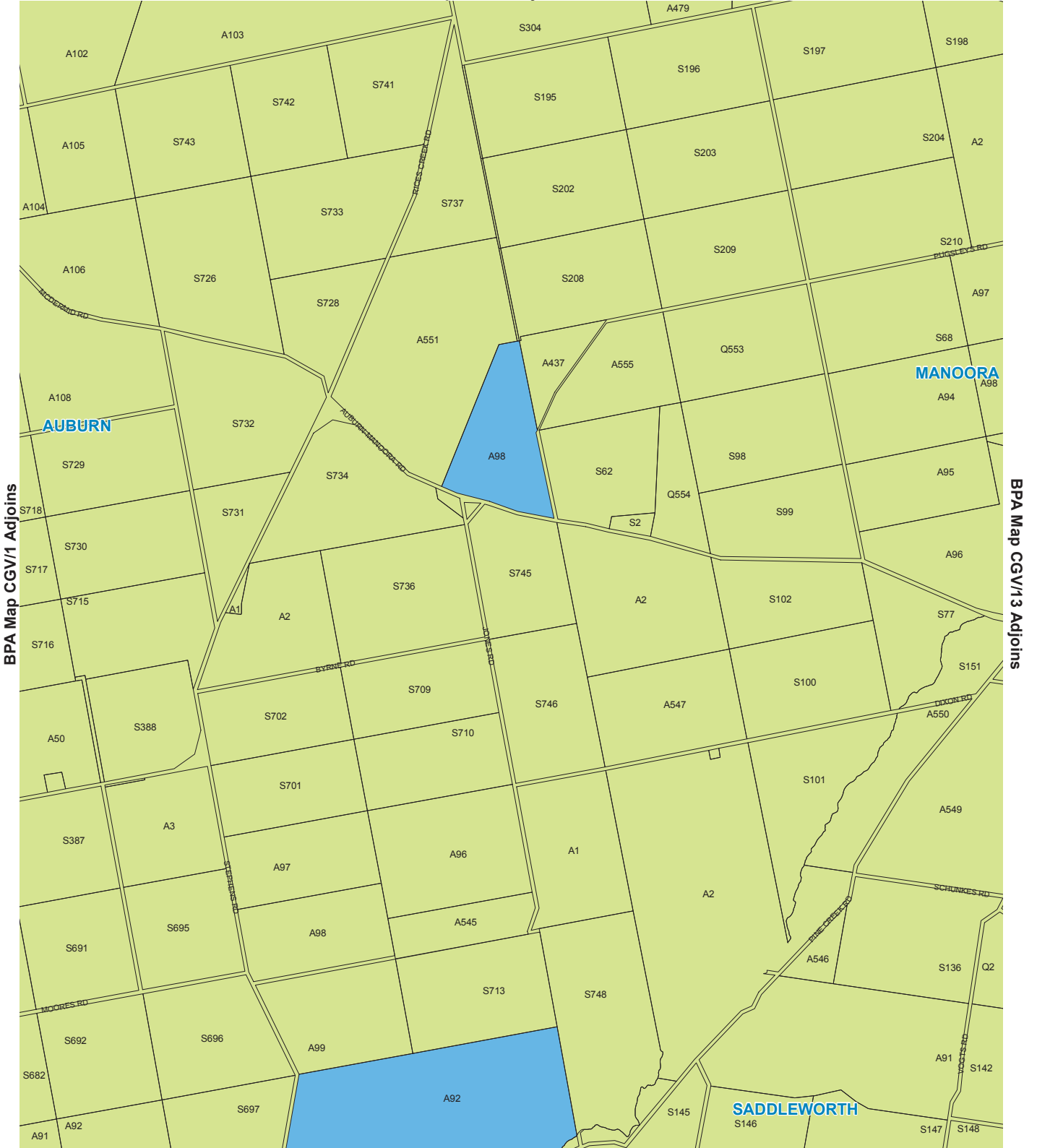
Bushfire Protection Area

BPA Map CGV/11

BUSHFIRE RISK

- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map CGV/1 Adjoins



BPA Map CGV/14 Adjoins





0 2,000 m

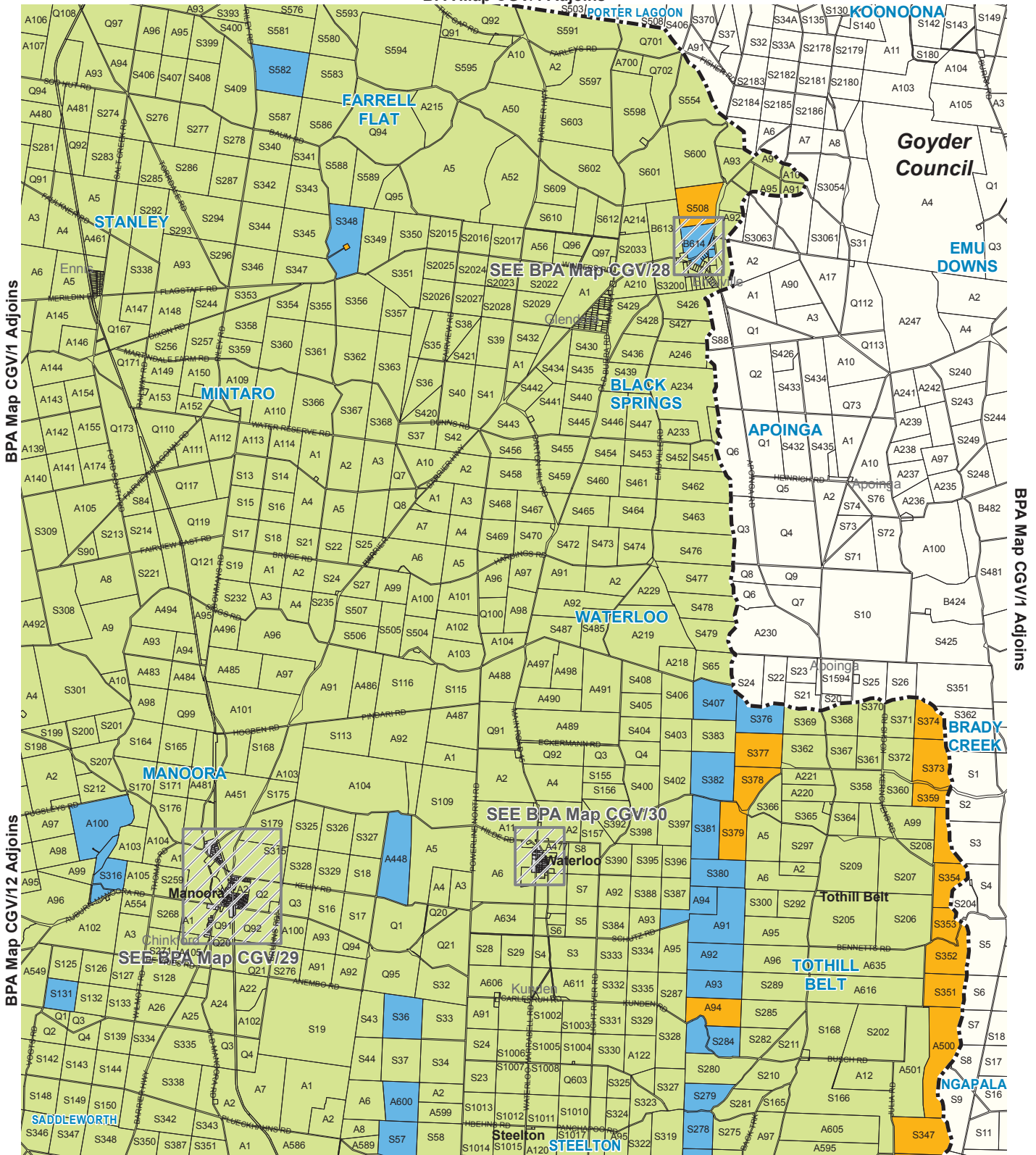
Bushfire Protection Area

BPA Map CGV/12

BUSHFIRE RISK

-  Medium Bushfire Risk
-  General Bushfire Risk

BPA Map CGV/1 Adjoins



BPA Map CGV/15 Adjoins

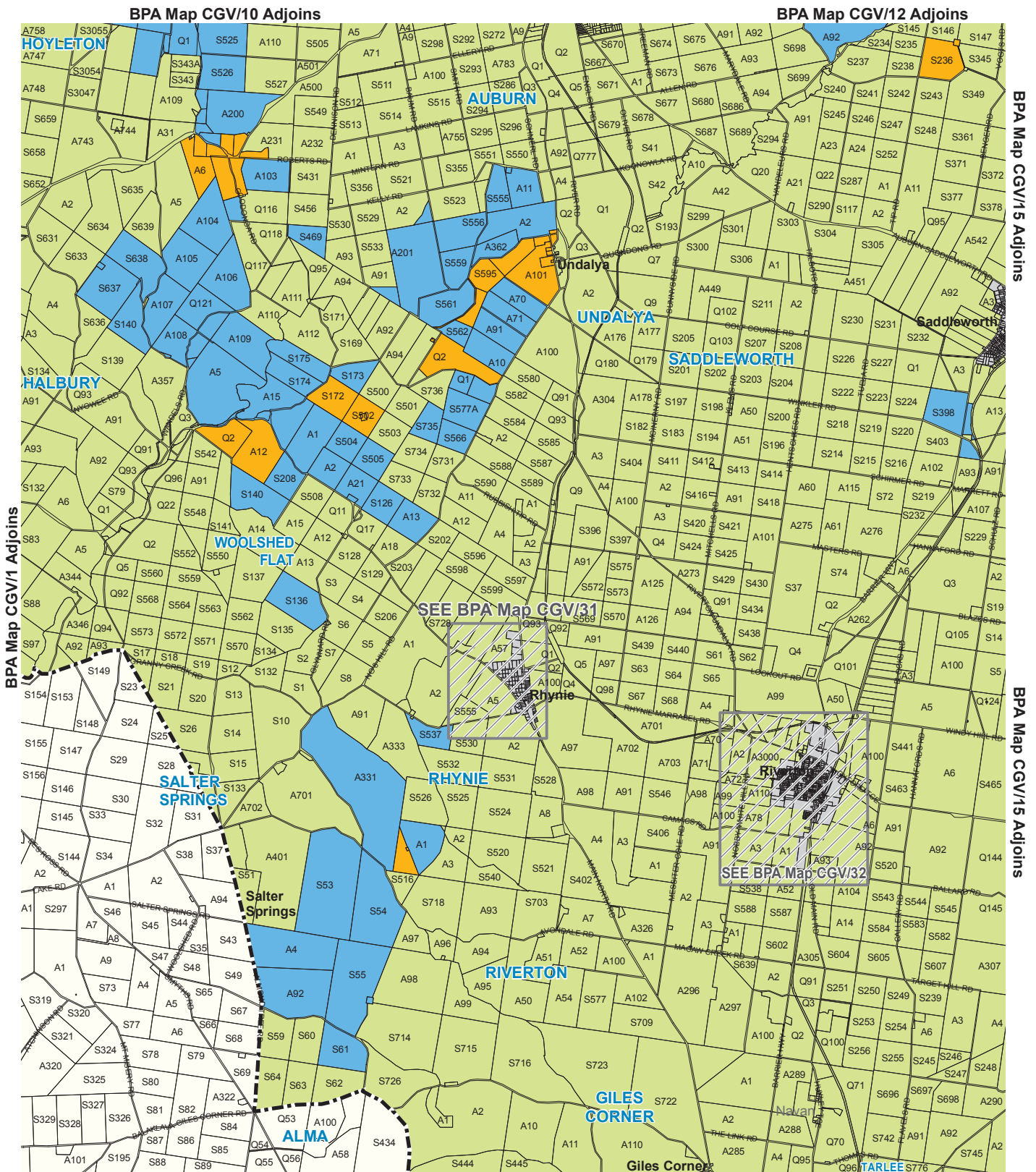
See enlargement map for accurate representation.

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

Bushfire Protection Area

BPA Map CGV/13

BUSHFIRE RISK



See enlargement map for accurate representation.



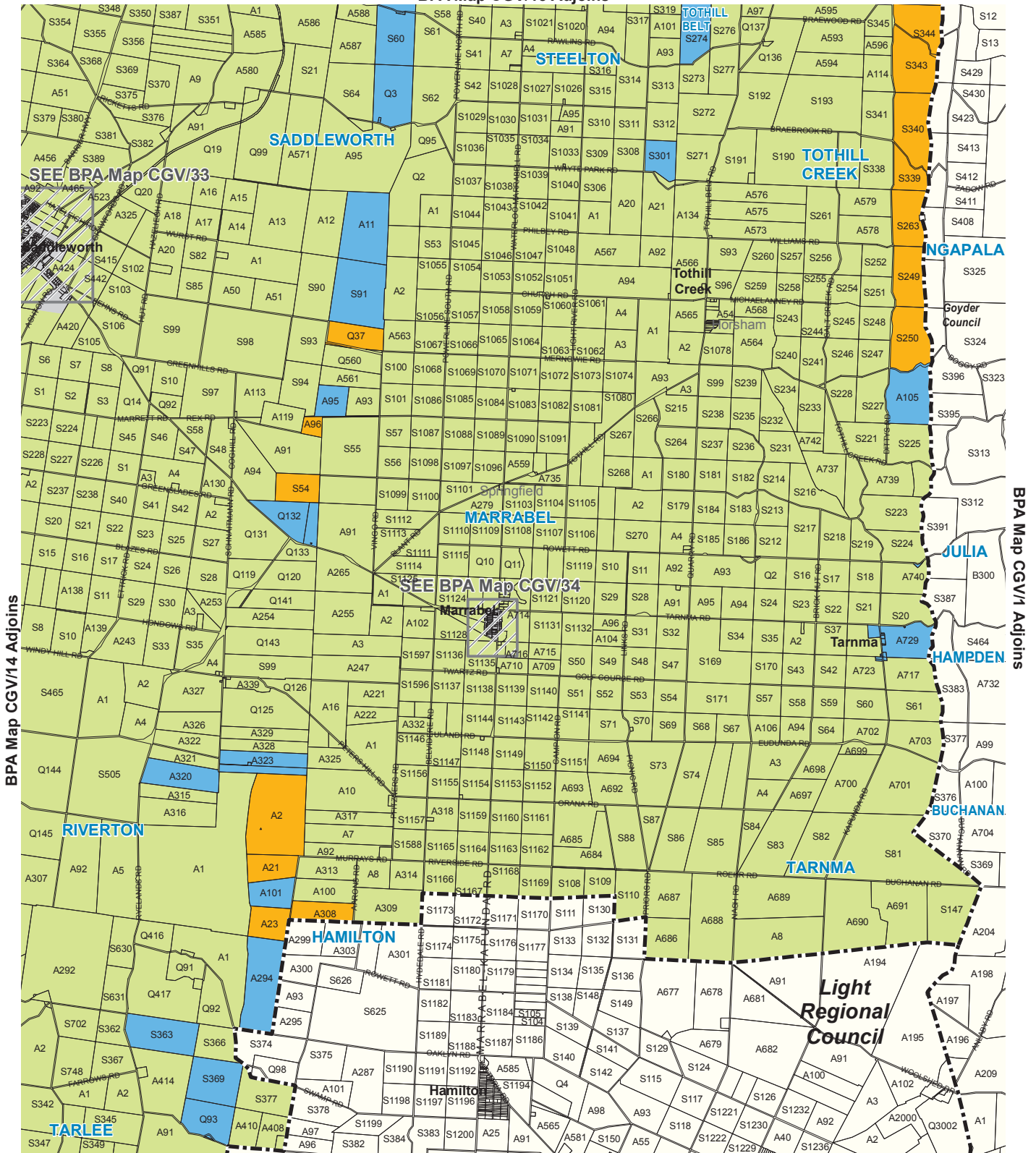
Bushfire Protection Area

BPA Map CGV/14

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map CGV/13 Adjoins



BPA Map CGV/16 Adjoins

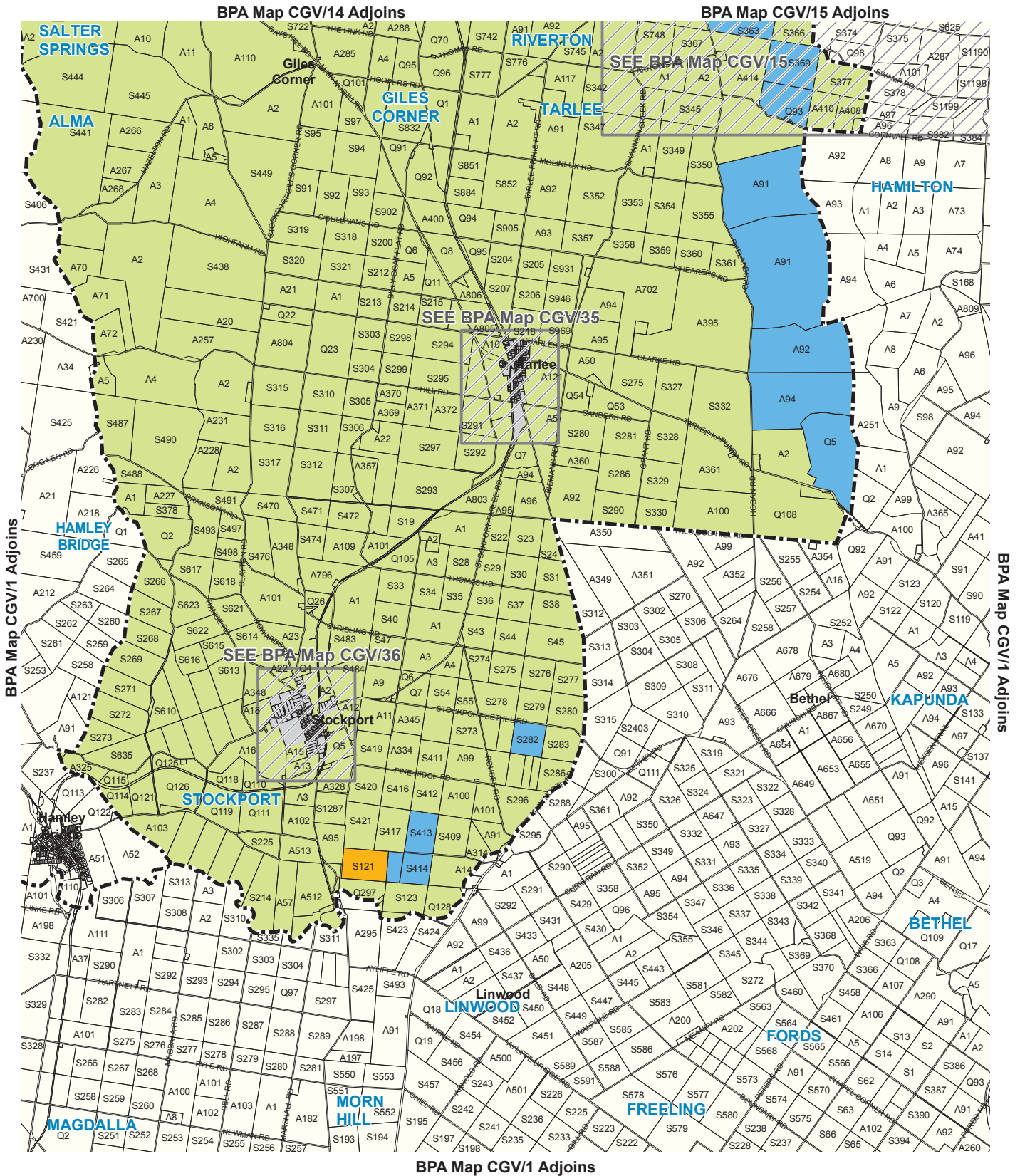
BPA Map CGV/1 Adjoins

See enlargement map for accurate representation.



Bushfire Protection Area BPA Map CGV/15 BUSHFIRE RISK

- BPA**
- High Bushfire Risk
 - Medium Bushfire Risk
 - General Bushfire Risk
 - Excluded area from bushfire protection planning provisions
 - Development Plan Boundary



See enlargement map for accurate representation.



Bushfire Protection Area BPA Map CGV/16 BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions
- Development Plan Boundary

BPA Map CGV/2 Adjoins

BPA Map CGV/2 Adjoins

BPA Map CGV/1 Adjoins



BPA Map CGV/2 Adjoins



Bushfire Protection Area

BPA Map CGV/17

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions



BPA Map CGV/5 Adjoins

BPA Map CGV/5 Adjoins



0 250 m

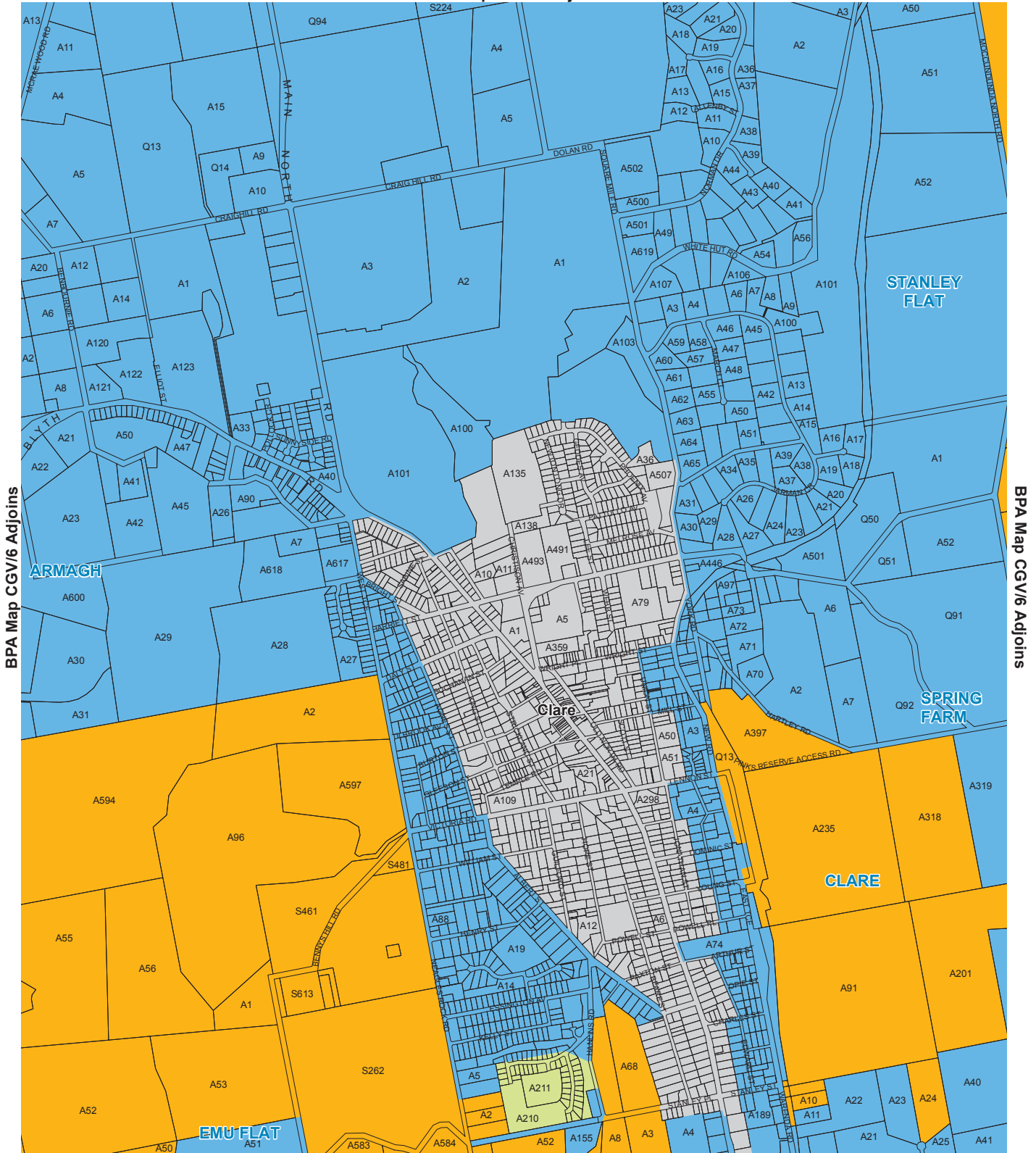
Bushfire Protection Area

BPA Map CGV/18

BUSHFIRE RISK

 Medium Bushfire Risk

BPA Map CGV/6 Adjoins



BPA Map CGV/6 Adjoins

BPA Map CGV/20 Adjoins

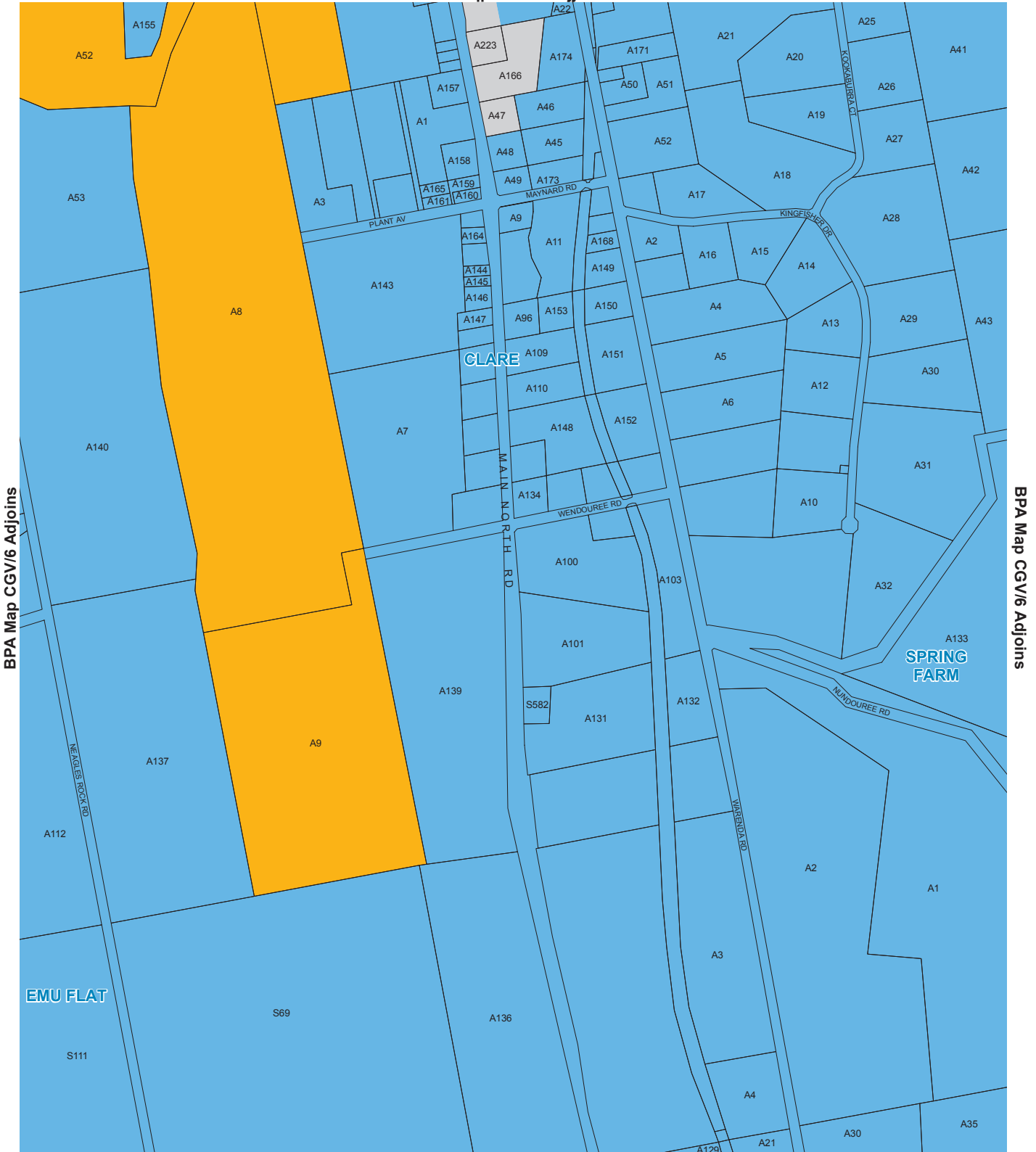


Bushfire Protection Area

BPA Map CGV/19

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- General Bushfire Risk
- Excluded area from bushfire protection planning provisions



BPA Map CGV/6 Adjoints



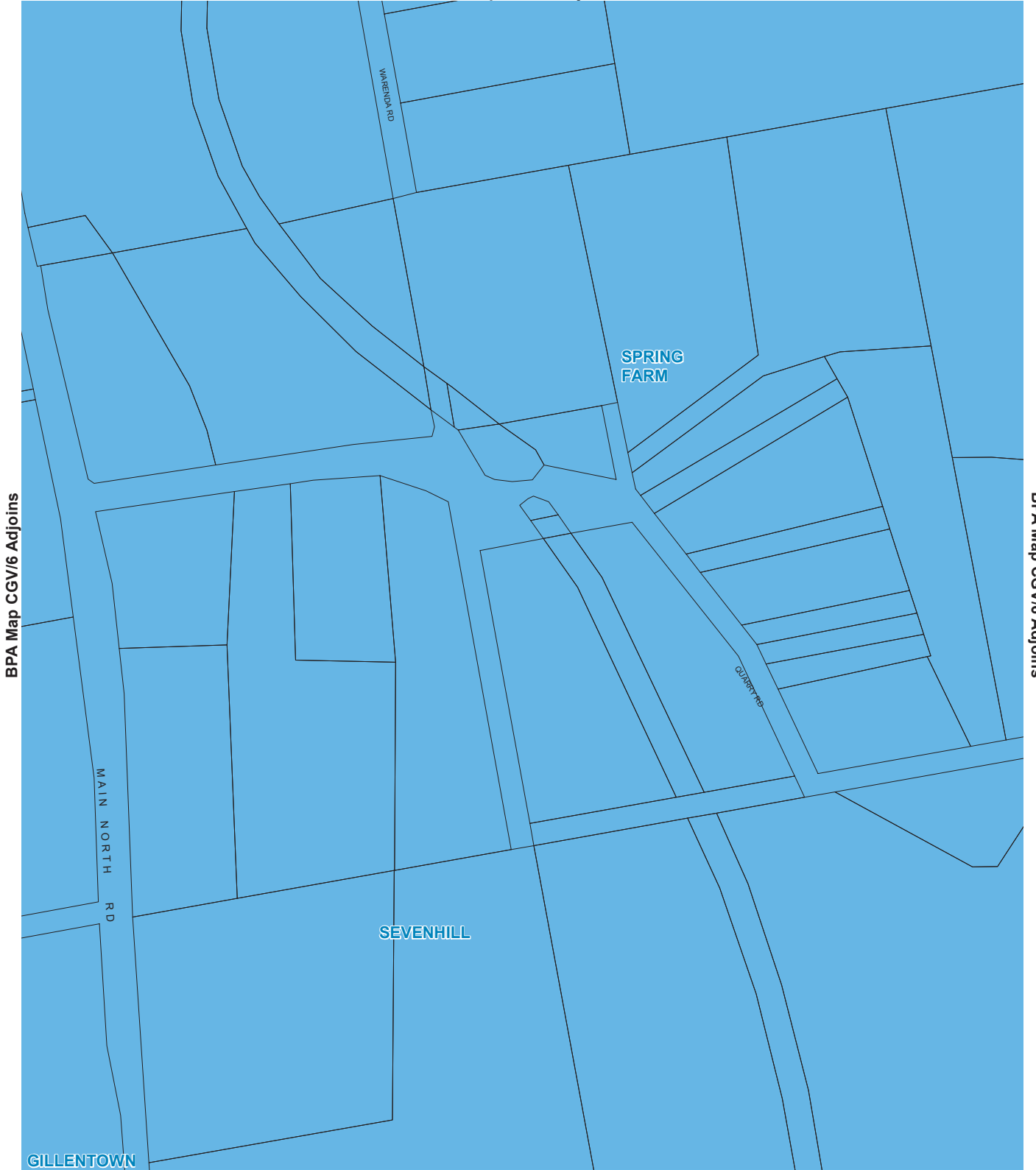
Bushfire Protection Area

BPA Map CGV/20

BUSHFIRE RISK

- High Bushfire Risk
- Medium Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map CGV/6 Adjoins



BPA Map CGV/6 Adjoins



0  250 m

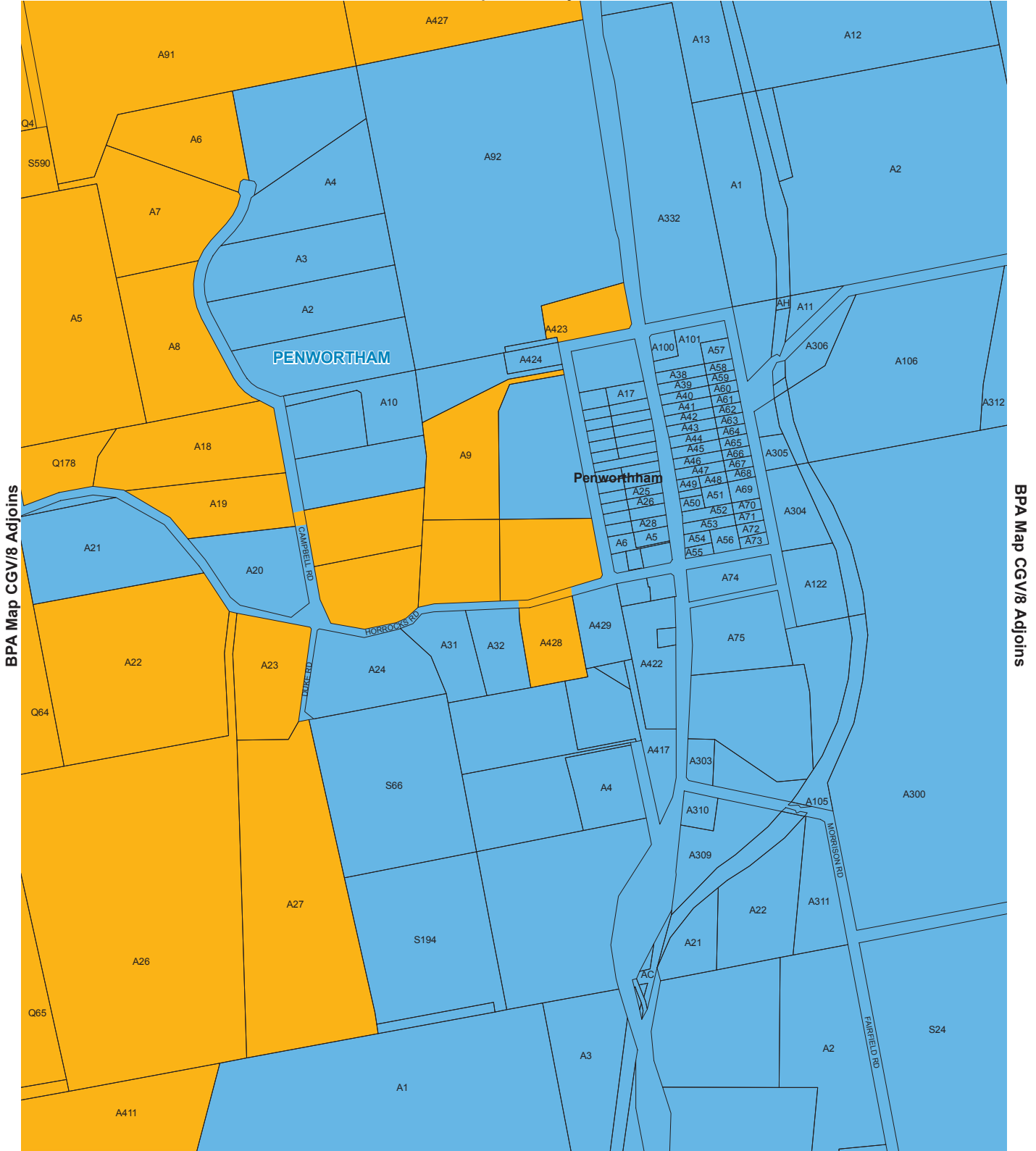
Bushfire Protection Area

BPA Map CGV/21

BUSHFIRE RISK

 Medium Bushfire Risk

BPA Map CGV/8 Adjoins



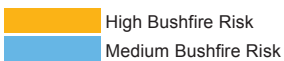
BPA Map CGV/8 Adjoins



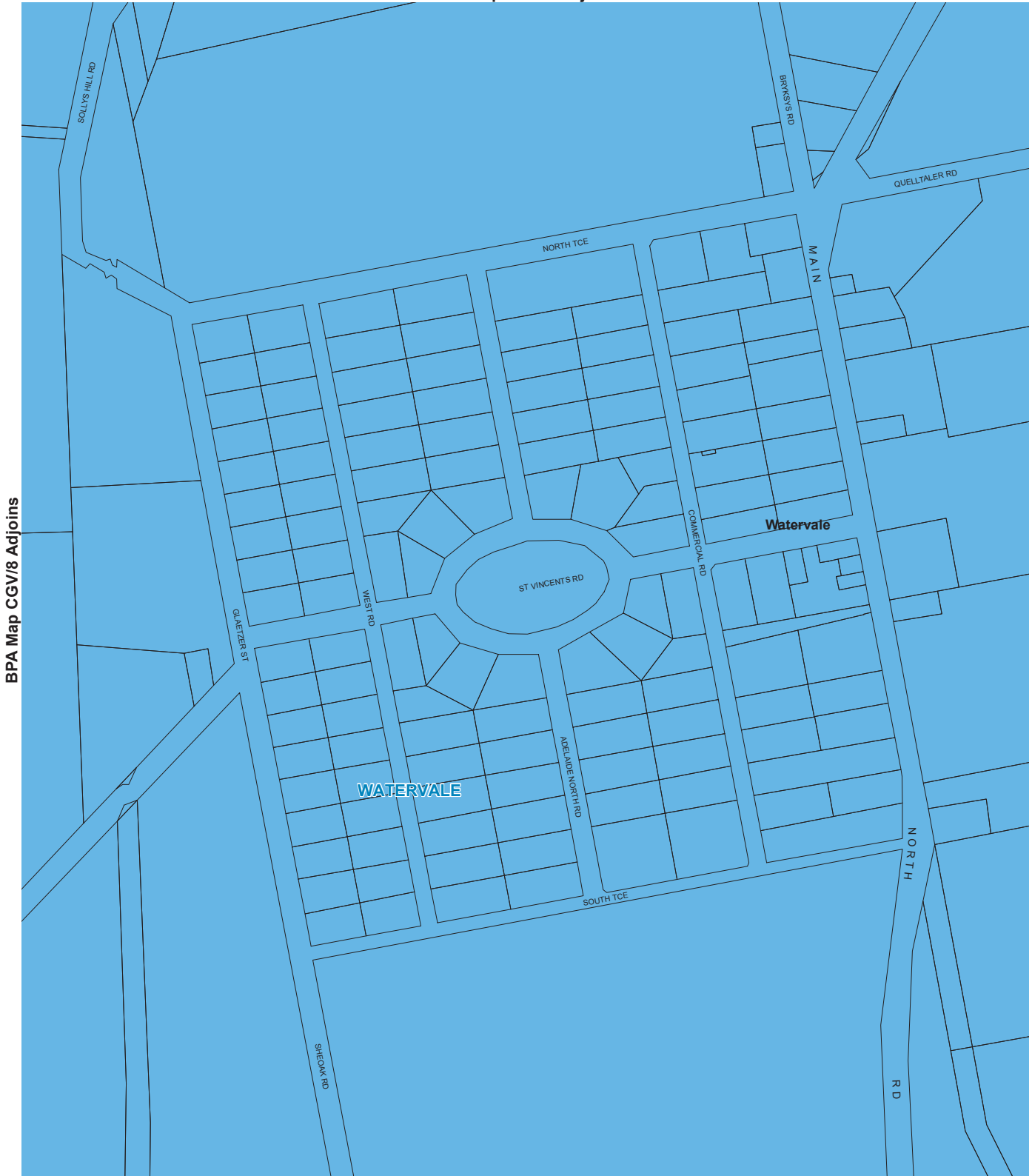
Bushfire Protection Area

BPA Map CGV/23

BUSHFIRE RISK



BPA Map CGV/8 Adjoins



BPA Map CGV/8 Adjoins



Bushfire Protection Area

BPA Map CGV/24

BUSHFIRE RISK

 Medium Bushfire Risk



BPA Map CGV/9 Adjoins

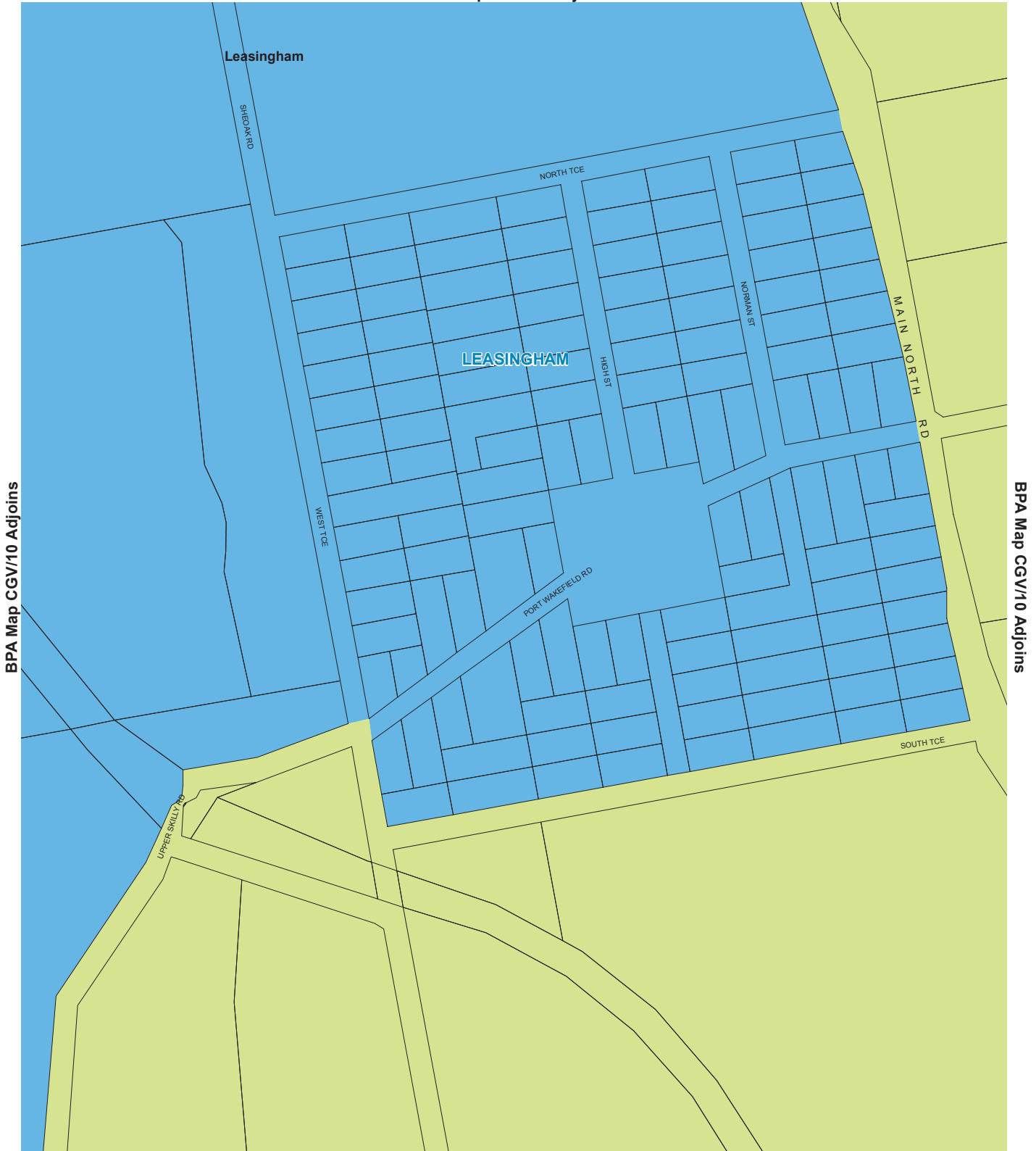


BPA Map CGV/9 Adjoins



Bushfire Protection Area BPA Map CGV/25 BUSHFIRE RISK



-  General Bushfire Risk
-  Excluded area from bushfire protection planning provisions



Bushfire Protection Area

BPA Map CGV/26

BUSHFIRE RISK

-  Medium Bushfire Risk
-  General Bushfire Risk

BPA Map CGV/11 Adjoins



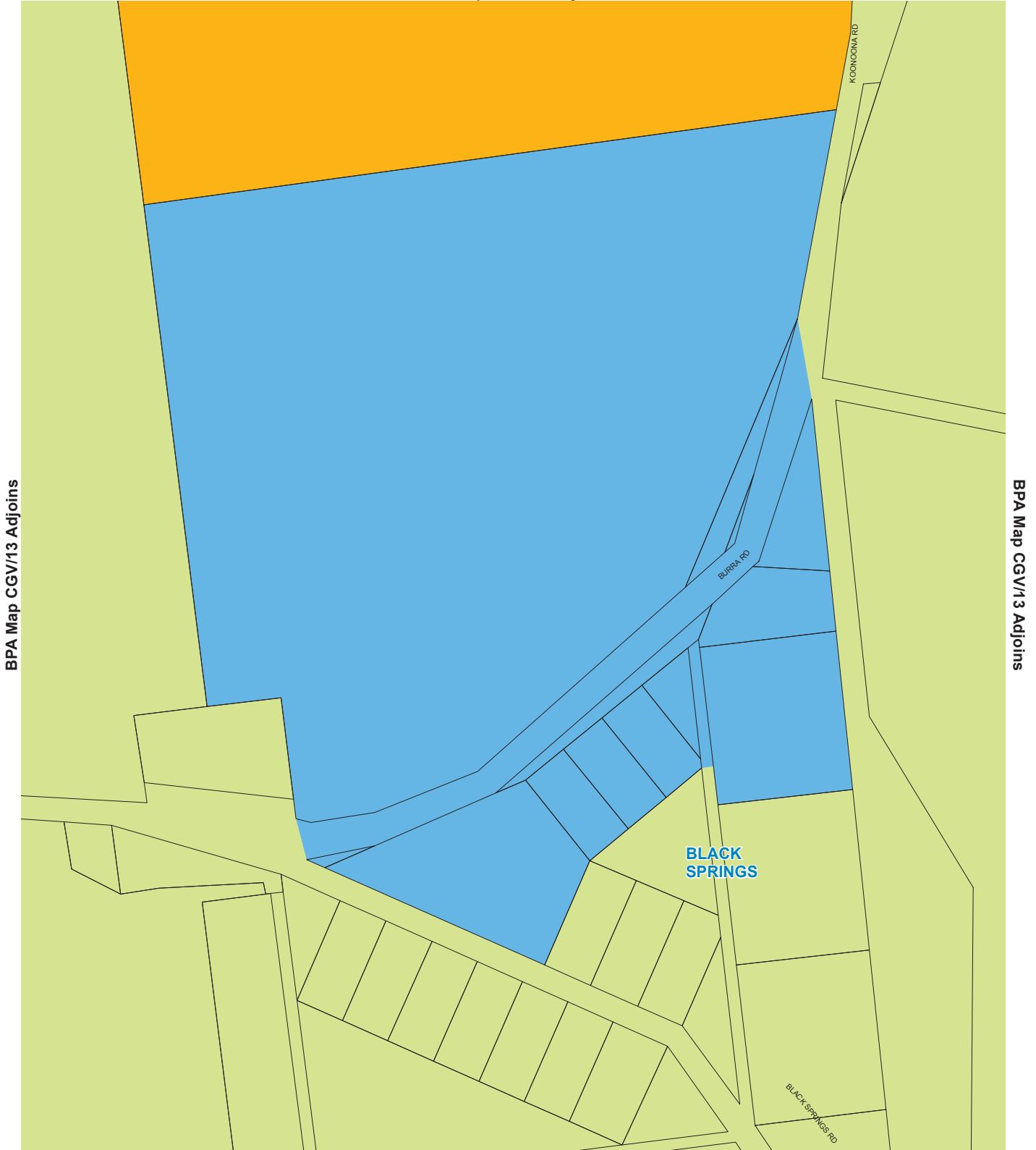
BPA Map CGV/11 Adjoins



Bushfire Protection Area BPA Map CGV/27 BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map CGV/13 Adjoins



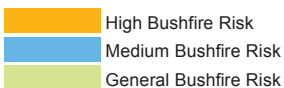
BPA Map CGV/13 Adjoins



Bushfire Protection Area

BPA Map CGV/28

BUSHFIRE RISK



BPA Map CGV/13 Adjoins



BPA Map CGV/13 Adjoins



Bushfire Protection Area

BPA Map CGV/29

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions



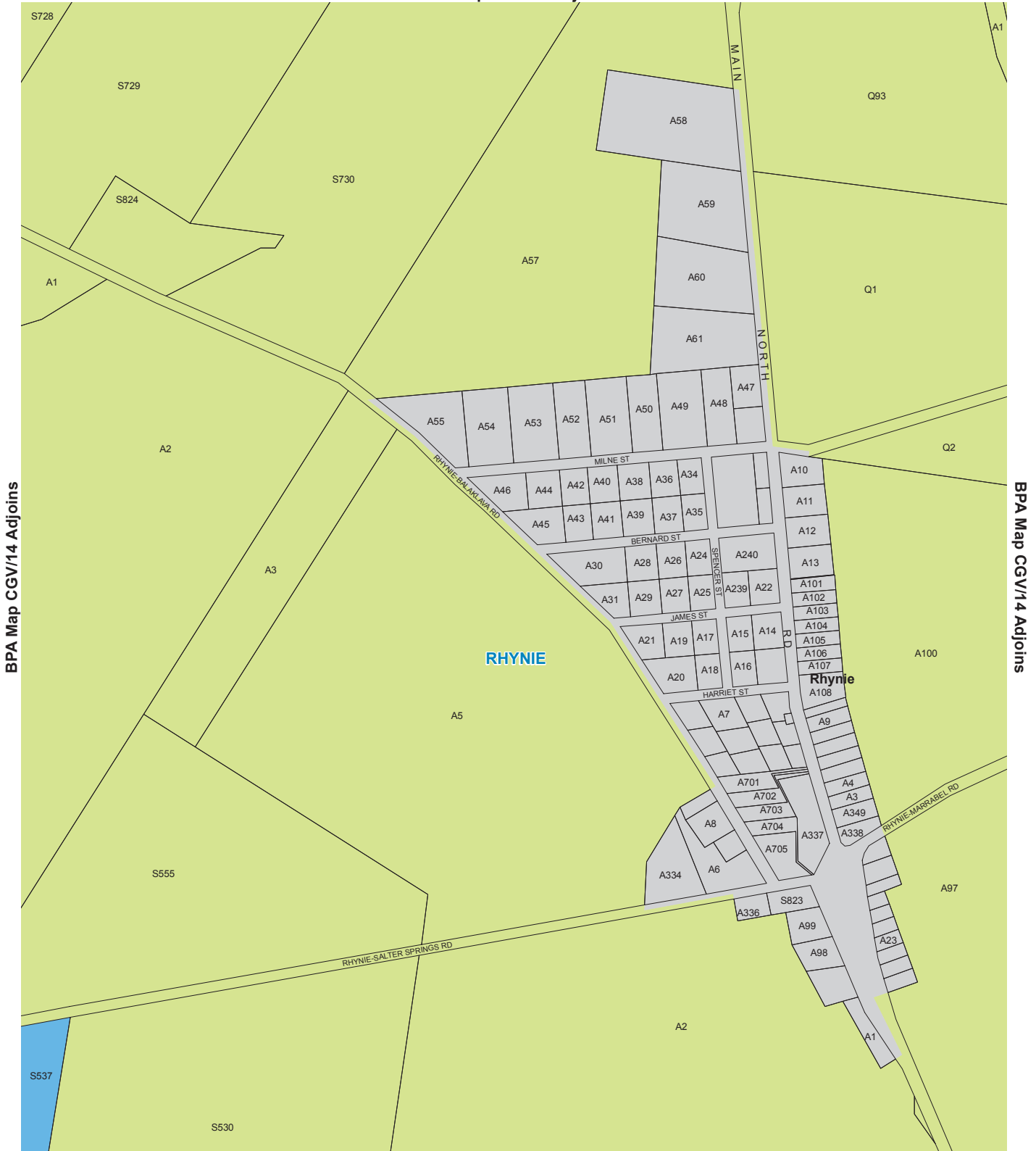
Bushfire Protection Area

BPA Map CGV/30

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map CGV/14 Adjoins






BPA Map CGV/14 Adjoins



Bushfire Protection Area

BPA Map CGV/31

BUSHFIRE RISK

-  Medium Bushfire Risk
-  General Bushfire Risk
-  Excluded area from bushfire protection planning provisions

BPA Map CGV/14 Adjoins



BPA Map CGV/14 Adjoins

BPA Map CGV/14 Adjoins

BPA Map CGV/14 Adjoins



0 500 m

Bushfire Protection Area

BPA Map CGV/32

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map CGV/14 Adjoins

BPA Map CGV/15 Adjoins



BPA Map CGV/14 Adjoins

BPA Map CGV/15 Adjoins



0 500 m

Bushfire Protection Area

BPA Map CGV/33

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map CGV/15 Adjoins



BPA Map CGV/15 Adjoins

BPA Map CGV/15 Adjoins

BPA Map CGV/15 Adjoins



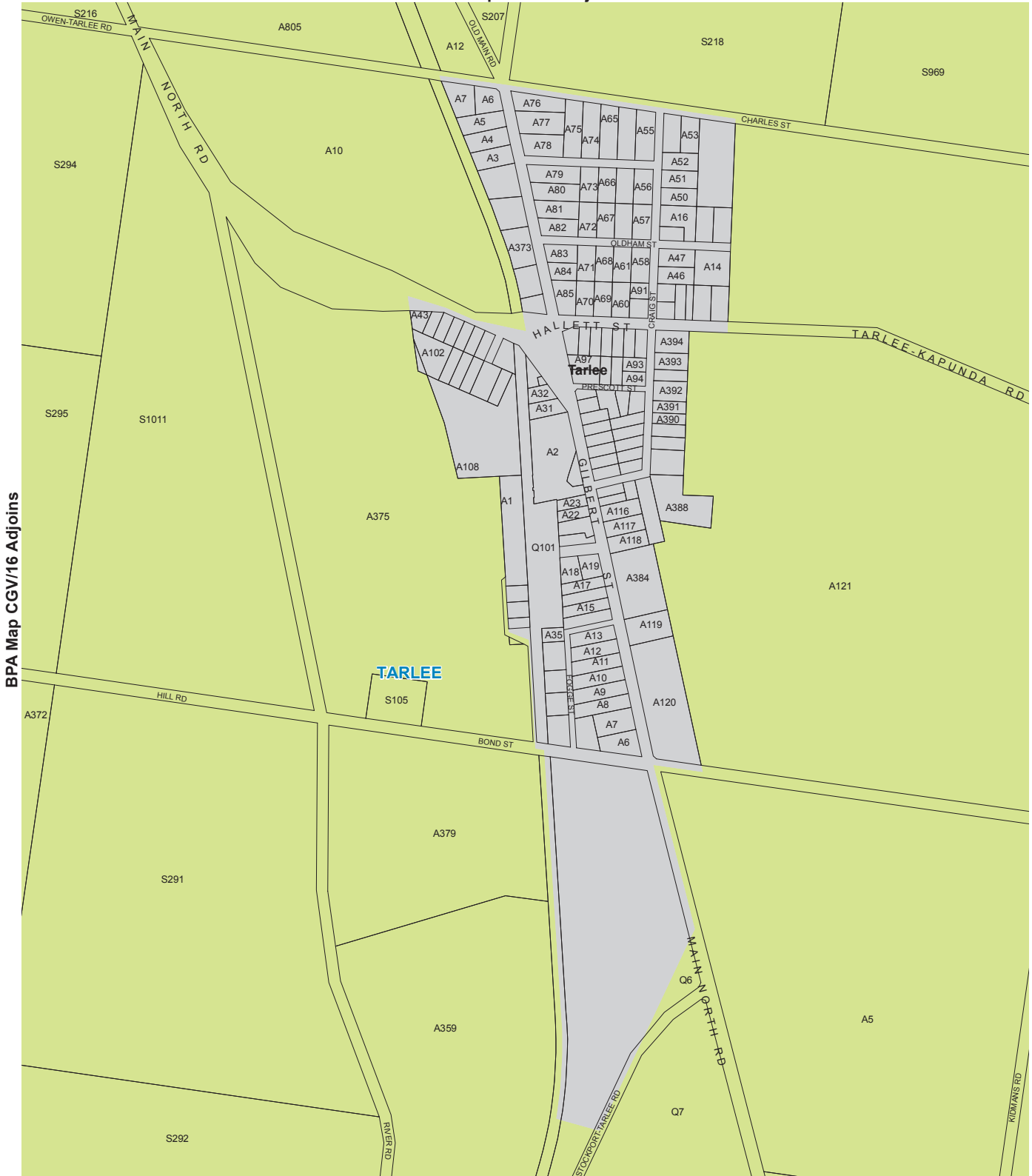
Bushfire Protection Area

BPA Map CGV/34

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

BPA Map CGV/16 Adjoins



BPA Map CGV/16 Adjoins



Bushfire Protection Area

BPA Map CGV/35

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions



0 500 m

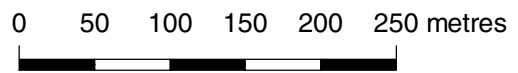
Bushfire Protection Area

BPA Map CGV/36

BUSHFIRE RISK

- General Bushfire Risk
- Excluded area from bushfire protection planning provisions

Concept Plan Maps



--- Proposed allotments / road reserve

- A** Allotments to have a minimum frontage of 60.6m and a minimum area of 0.4Ha
 - B** Allotments to have a minimum frontage of 66.0m and a minimum area of 0.4365Ha
 - C** Allotments to have a minimum frontage of 30.3m and a minimum area of 0.2Ha
- All new road reserves to be 20.0m wide



Landscaped Buffer



Proposed Open Space



Approximate Location of Existing Vegetation

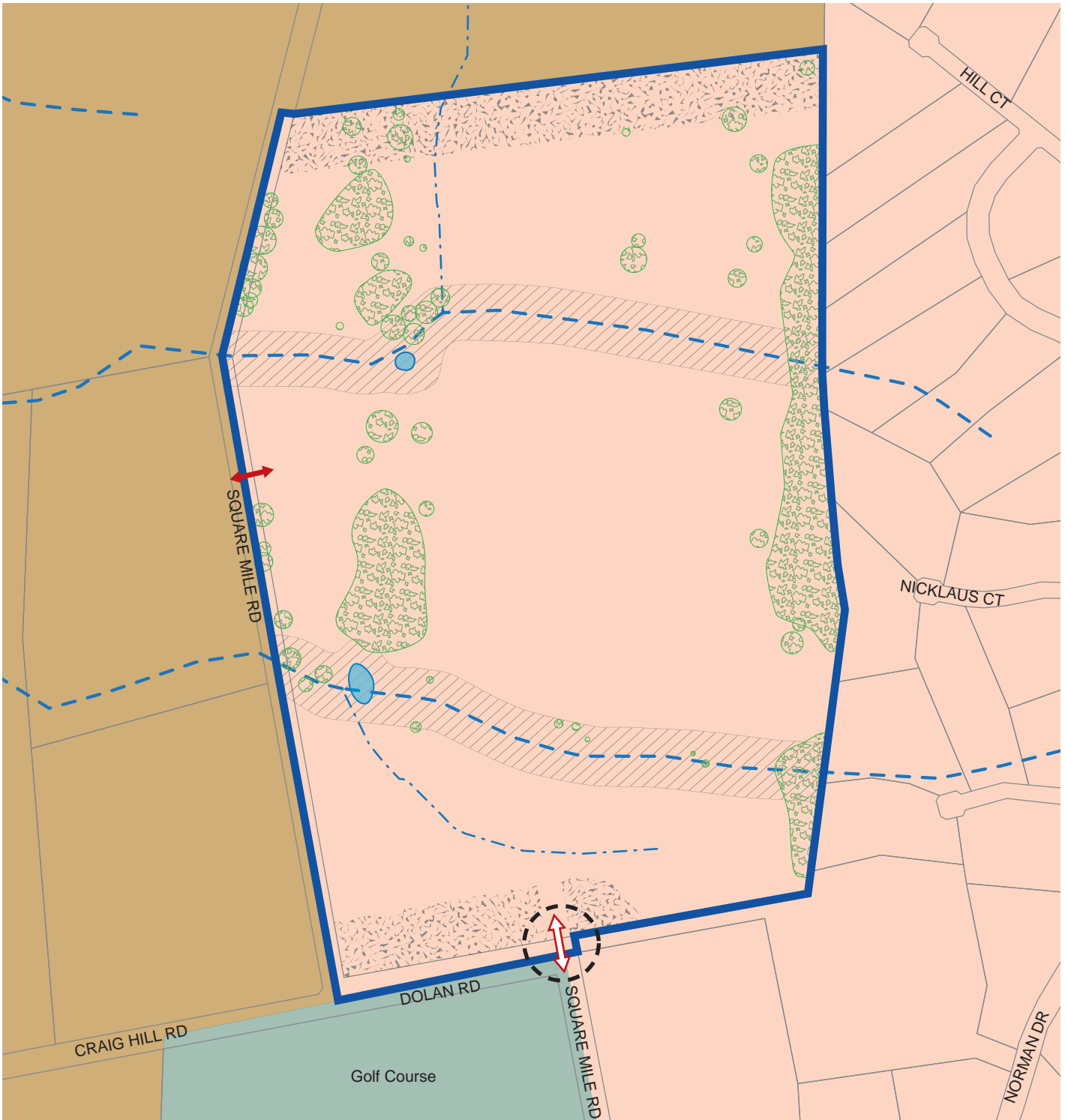















Existing Waterway

MINTARO

Concept Plan Map CGV/1

WESTERN RESIDENTIAL



-  Concept Area boundary
-  50m Landscaped Buffer
-  25m Setback
-  Approximate Location of Existing Vegetation
-  Stormwater Retention/Detention (Existing Dams)
-  Minor Overland Flow Path
-  Existing Watercourse
-  Principal Access Point
-  Access Point
-  Intersection Upgrade
-  Primary Production
-  Recreation
-  Residential

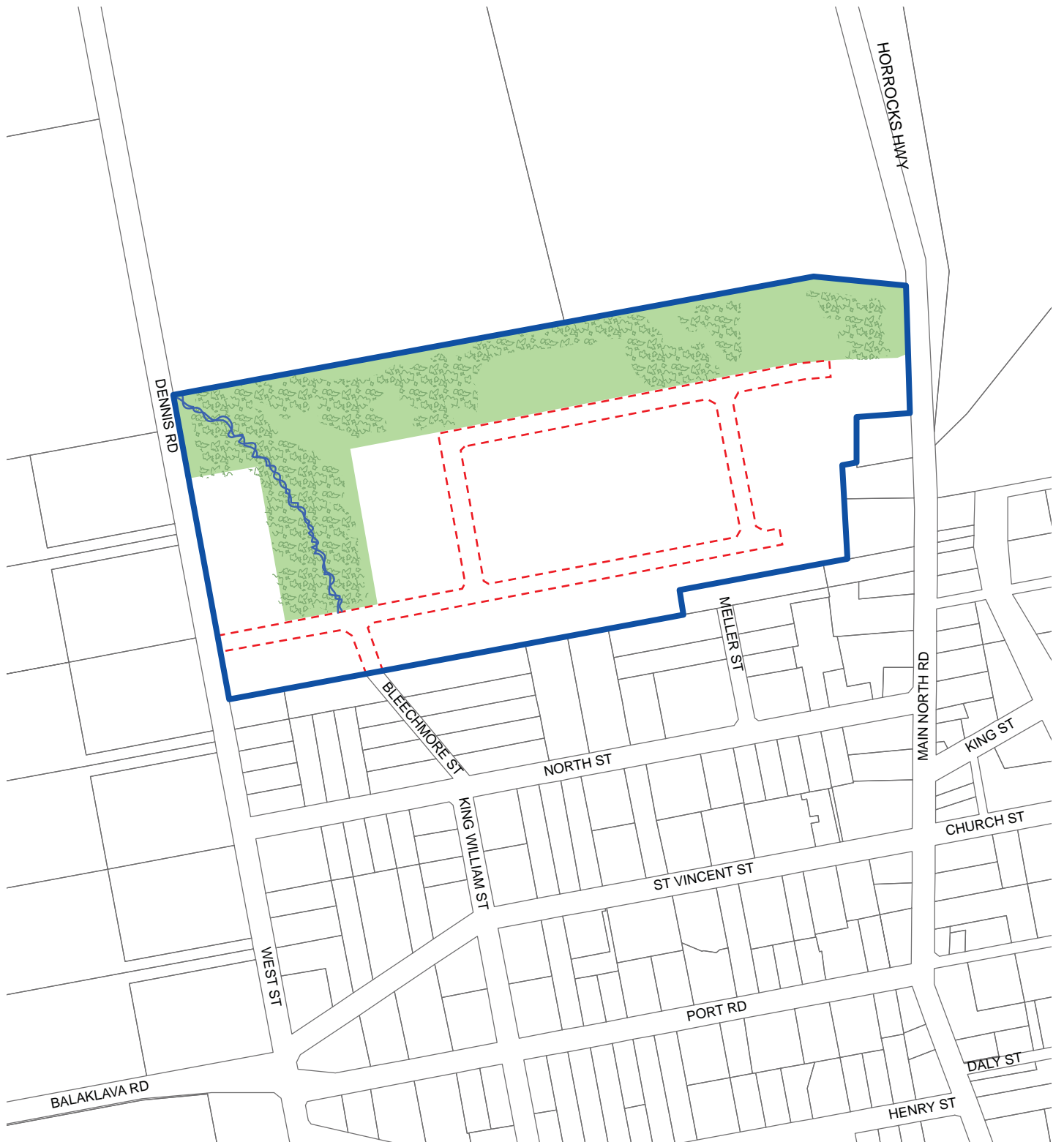


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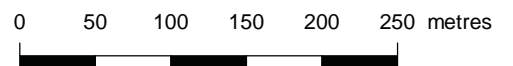
0 50 100 150 200 250 metres






Concept Plan Map CGV/2

SQUARE MILE ROAD



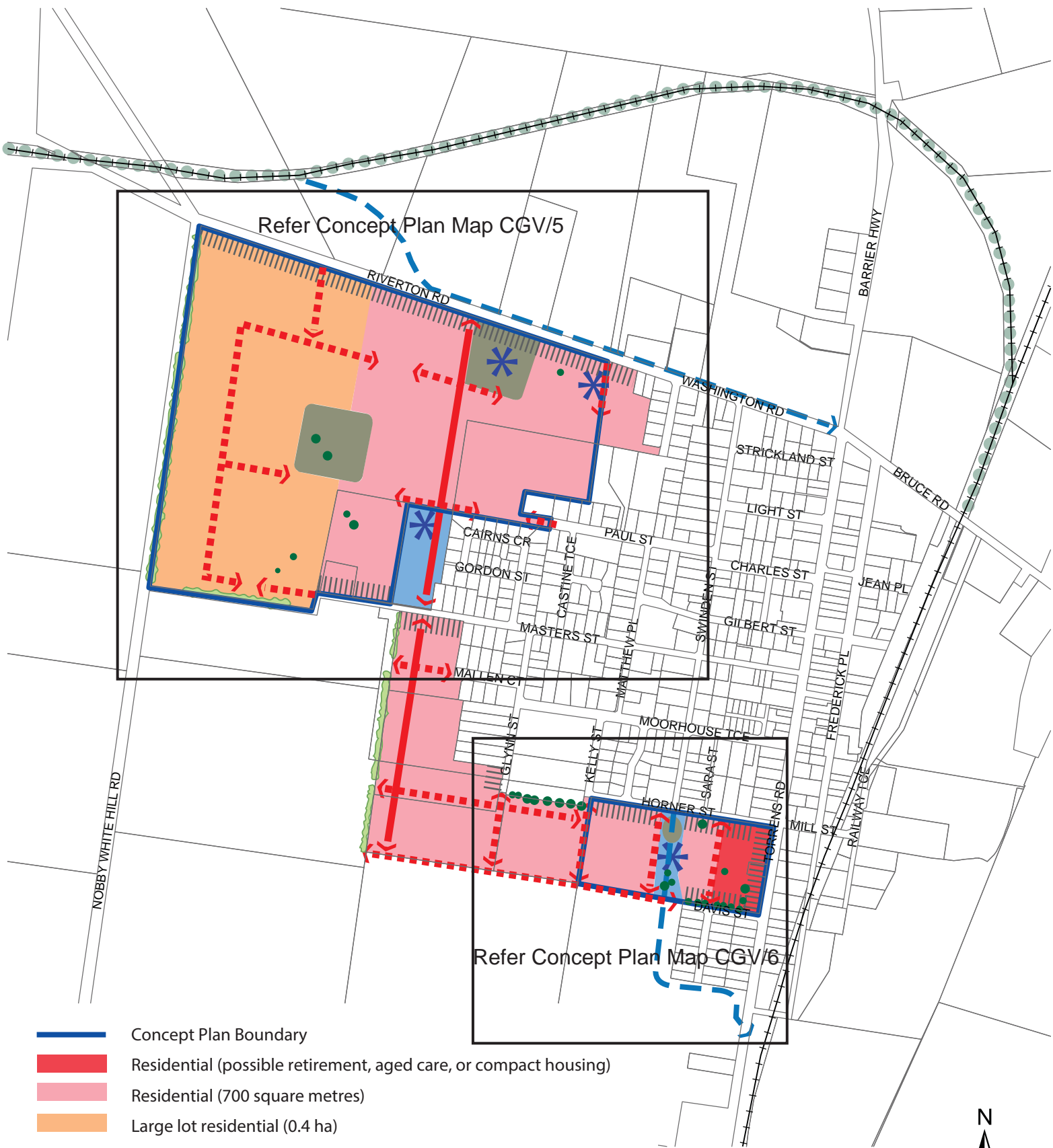
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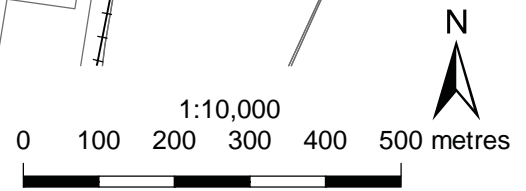
-  Concept Plan Boundary
-  Rural Interface Open Space Buffer and Creek Line
-  Indicative Trees
-  Indicative Road Layout
-  Creek Line

Concept Plan Map CGV/3 AUBURN NORTH RESIDENTIAL

CLARE AND GILBERT VALLEYS COUNCIL
Consolidated - 9 May 2019



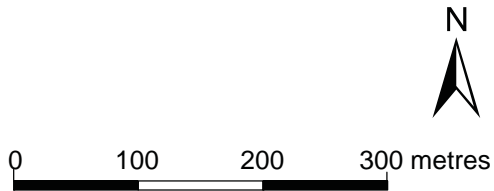
-  Concept Plan Boundary
-  Residential (possible retirement, aged care, or compact housing)
-  Residential (700 square metres)
-  Large lot residential (0.4 ha)
-  Drainage
-  Drainage reserve / possible linear park
-  Approximate stormwater detention and treatment location
-  Existing trees
-  Local park indicative
-  Landscaped interface to rural land
-  Direct individual property access not envisaged
-  Rattler trail
-  Access, indicative streets, views to rural hinterland, stormwater conveyance and long term access to deferred urban
-  Connector (collector) street



Concept Plan Map CGV/4 RIVERTON RESIDENTIAL AREAS

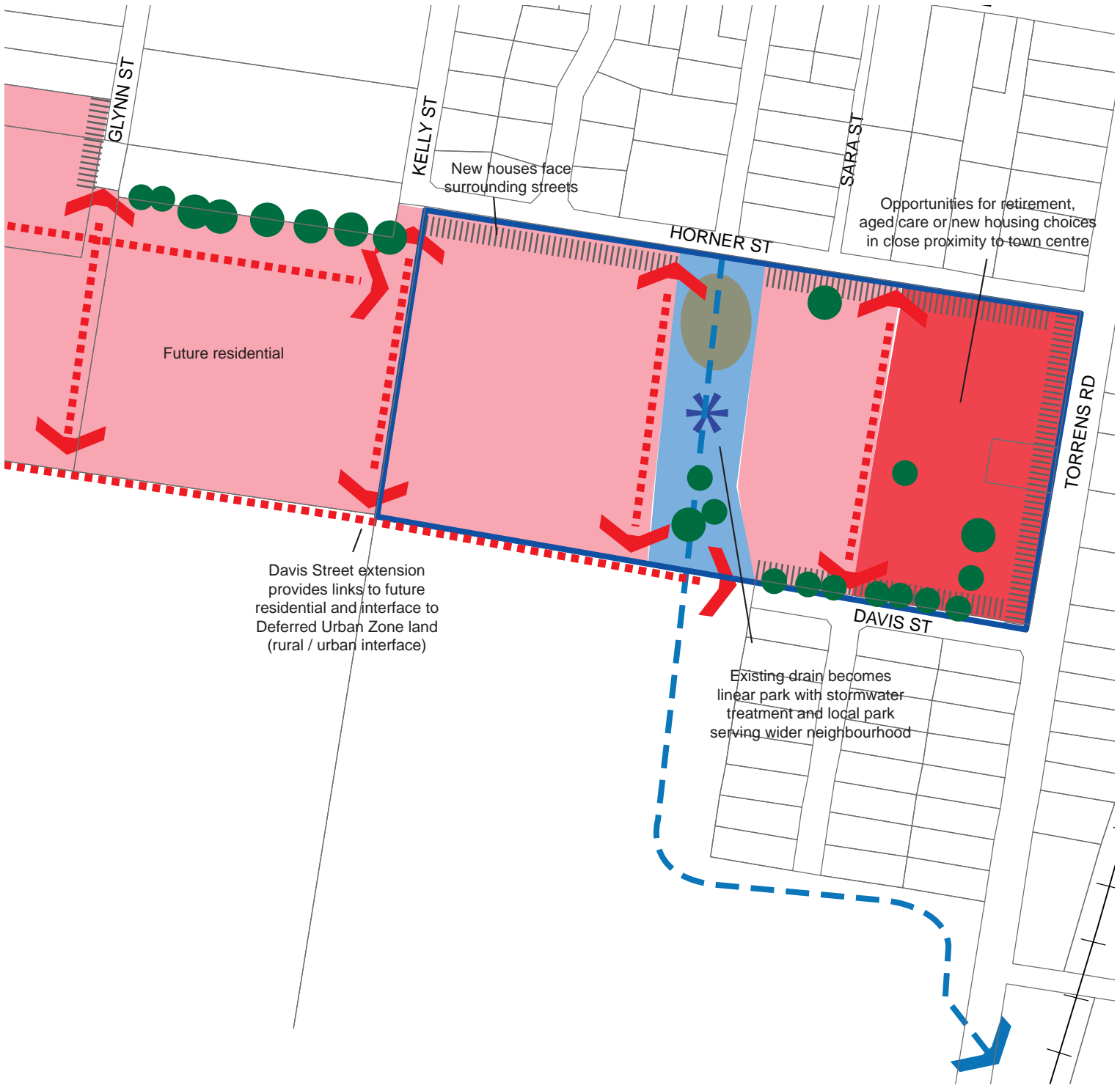


- ①②③ Staging
- Concept Plan Boundary
- Residential (700 square metres)
- Large lot residential (0.4 ha)
- - - Drainage
- Drainage reserve / possible linear park
- * Approximate stormwater detention and treatment location
- Existing trees
- Local park indicative
- Landscaped interface to rural land
- Direct individual property access not envisaged
- - - Access, indicative streets, views to rural hinterland, stormwater conveyance and long term access to deferred urban
- Connector (collector) street



Concept Plan Map CGV/5 RIVERTON WEST

CLARE AND GILBERT VALLEYS COUNCIL



- Concept Plan Boundary
- Residential (possible retirement, aged care, or compact housing)
- Residential (700 square metres)
- Drainage
- Drainage reserve / possible linear park
- * Approximate stormwater detention and treatment location
- Existing trees
- Front of houses face existing streets
- Access, indicative streets, views to rural hinterland, stormwater conveyance and long term access to deferred urban

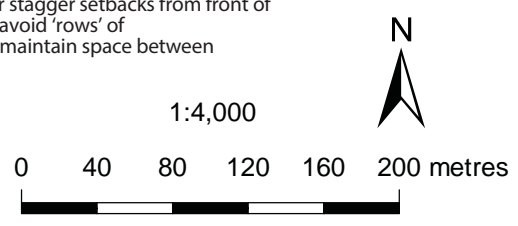
Concept Plan Map CGV/6

RIVERTON SOUTH



- Concept Plan Boundary
- Vacant allotment
- Existing building
- Existing trees and vegetation
- Medium, high or extreme flood hazard
- Low flood hazard
- Future house location and indicative building footprint
- View
- X Allotment unsuitable for new house

- Criteria for allotment suitability for development
- Outside of 1:100 year ARI flood plain
 - Access outside of 1:100 year ARI flood plain
- Criteria for building siting
- Outside of 1:100 year ARI flood plain
 - Access outside of 1:100 year ARI flood plain
 - Avoid or minimise tree clearing
 - Maximum site cover of 10% (house and outbuildings combined)
 - Min setback 10m from front and rear boundaries (house only); 6m from side boundaries
 - Min 20m separation from other buildings
 - Vary or stagger setbacks from front of property to avoid 'rows' of houses and maintain space between buildings



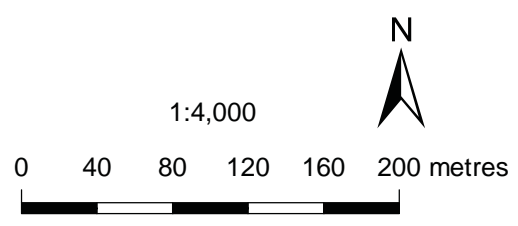
Concept Plan Map CGV/7

MINTARO PRECINCT 3

NORTHERN RESIDENTIAL

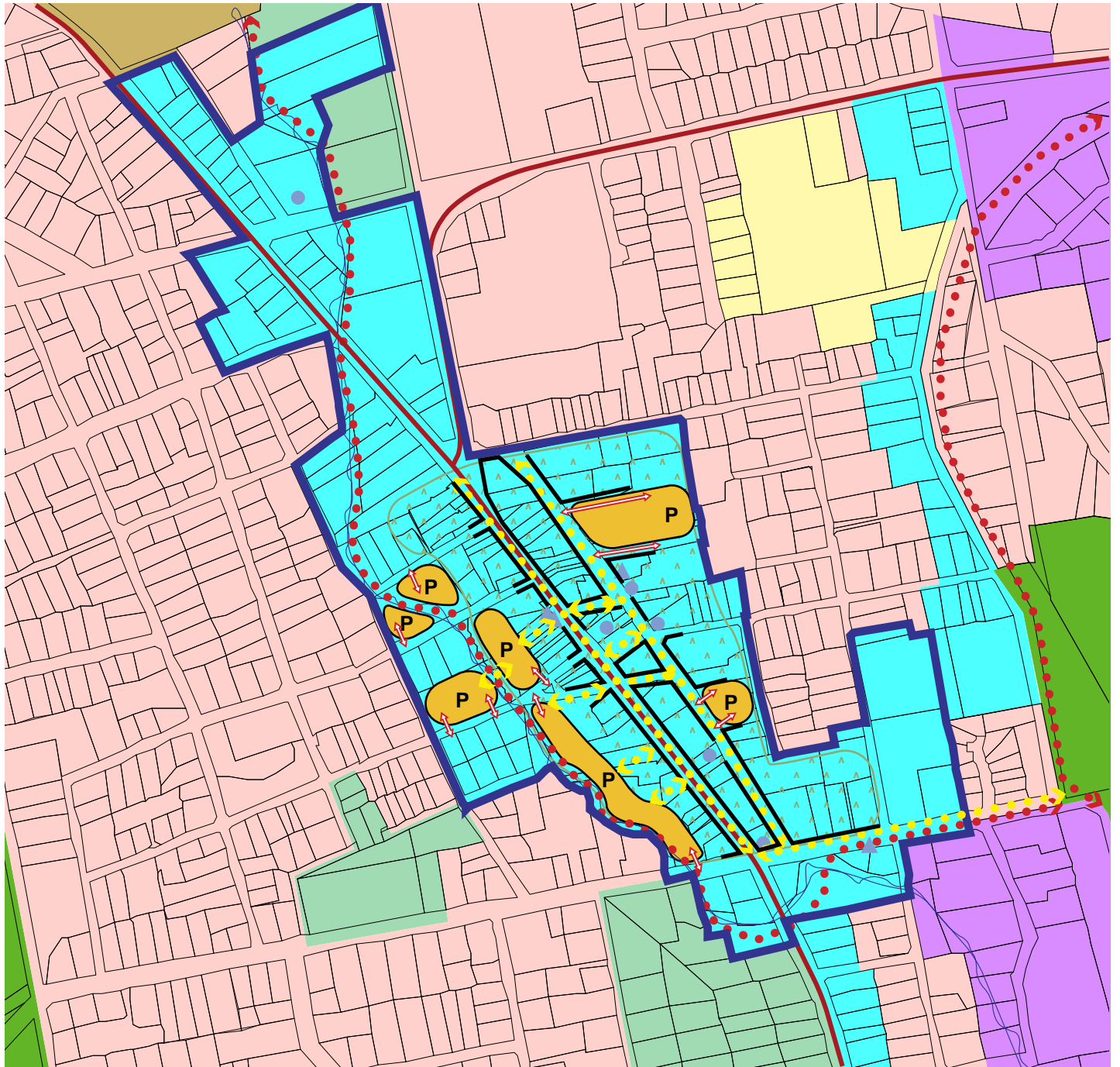


- Concept Plan Boundary
- Vacant allotment
- Existing building
- Existing trees and vegetation
- Medium, high or extreme flood hazard
- Low flood hazard
- X Allotment unsuitable for new house



Concept Plan Map CGV/8

MINTARO PRECINCT 4 EASTERN RESIDENTIAL



- | | | | |
|--|---|--|--|
| | Core Retail Area | | Rural Landscape Protection |
| | State Heritage Place | | Industry |
| | Local Heritage Place | | District Town Centre / Commercial Zone |
| | Consolidated Car Parking | | Recreation |
| | Bicycle/Pedestrian Trail | | Residential |
| | Primary Pedestrian Route | | Community |
| | Continuous Built Form Edge and Activated Frontage | | |
| | Proposed Access | | |
| | Hutt River | | |
| | Secondary Arterial Road | | |
| | Concept Plan Boundary | | |



CLARE

Concept Plan Map CGV/9

DISTRICT TOWN CENTRE