

# Development Plan

## Mid Murray Council

Consolidated - 25 February 2021

Please refer to the Mid Murray Council page at [www.sa.gov.au/developmentplans](http://www.sa.gov.au/developmentplans) to see any amendments not consolidated.



**Government of South Australia**  
Attorney-General's Department

The following table is a record of authorised amendments and their consolidation dates for the Mid Murray Council Development Plan since its inception on 25 November 1999. Further information on authorised amendments prior to this date may be researched through the council, the Planning and Land Use Services Division of the Attorney-General's Department or by viewing Gazette records.

CONSOLIDATED	AMENDMENT – [Gazetted date]
25 November 1999	Amalgamation of Ridley-Truro (DC), Mannum (DC), Morgan (DC) and Mount Pleasant (DC) (Part) – General Policy Review PAR – [25 November 1999]
Not consolidated	Telecommunications Facilities State-wide Policy Framework PAR (Interim) ( <i>Ministerial</i> ) – [31 August 2000]
16 February 2001	Section 27(5) Amendment - Waste Disposal (Landfill) PAR ( <i>Ministerial</i> ) – [9 March 2000] River Murray Valley PAR – [16 February 2001]
8 March 2001	Editorial correction - insert Figure Sh(Wong Lan)/1 – [8 March 2001]
20 September 2001	Telecommunications Facilities State-wide Policy Framework PAR ( <i>Ministerial</i> ) – [30 August 2001] Bushfire Management PAR ( <i>Ministerial</i> ) – [6 September 2001]
21 February 2002	Organic Waste Processing (Composting) PAR (Interim) ( <i>Ministerial</i> ) – [20 December 2001]
26 June 2003	Organic Waste Processing (Composting) PAR ( <i>Ministerial</i> ) – [5 December 2002] Rural Areas PAR – [26 June 2003] Section 29(2)(a) Amendment – Bushfire Prone Area Mapping – [26 June 2003]
14 August 2003	Wind Farms PAR ( <i>Ministerial</i> ) – [24 July 2003]
24 March 2005	Enterprise Zone PAR – [24 March 2005]
31 May 2007	Mannum Neighbourhood Centre PAR – [31 May 2007]
13 December 2007	Bushfire Management (Part 3) PAR ( <i>Ministerial</i> ) – [29 November 2007] Section 29(2)(b)(ii) Amendment – [6 December 2007]
3 December 2009	Murray Valley River Settlement Policy Area and Miscellaneous Minor Amendments DPA – [26 November 2009]
29 April 2010	Bushfires (Miscellaneous Amendments) DPA (Interim) ( <i>Ministerial</i> ) – [10 December 2009]
9 December 2010	Bushfires (Miscellaneous Amendments) DPA ( <i>Ministerial</i> ) – [9 December 2010] Mannum Township DPA – [9 December 2010]
17 November 2011	Barossa Valley and McLaren Vale Protection Districts DPA (Interim) ( <i>Ministerial</i> ) – [28 September 2011] Township Boundaries DPA – [6 October 2011] Statewide Wind Farms DPA (Interim) ( <i>Ministerial</i> ) – [19 October 2011] Mannum Waters Marina and Residential Development (Stage 1) DPA – [27 October 2011] River Murray Zone – Minor Amendments DPA (Interim) – [10 November 2011]
19 April 2012	Termination of the Barossa Valley and McLaren Vale Protection Districts DPA ( <i>Ministerial</i> ) and its removal from the Mid Murray Council Development Plan – [5 April 2012]
18 October 2012	Section 29(2)(b)(i) Amendment – [5 July 2012] River Murray Zone – Minor Amendments DPA – [11 October 2012] Termination of the Statewide Wind Farms DPA ( <i>Ministerial</i> ) and its removal from the Mid Murray Council Development Plan – [18 October 2012] Statewide Wind Farms DPA ( <i>Ministerial</i> ) – [18 October 2012]
6 December 2012	Section 29(2)(c) Amendment – [29 November 2012] Section 29(2)(b)(ii) Amendment – [6 December 2012]
24 October 2013	Myall Place DPA – [24 October 2013]
31 July 2014	Cadell (Horticulture) DPA – [31 July 2014]

CONSOLIDATED	AMENDMENT – [Gazetted date]
14 June 2017	Integrated Water Management DPA – [24 November 2016] River Murray Zone (Strengthening Basin Communities) DPA – [14 June 2017]
23 August 2018	Southern Heritage Places DPA – [16 August 2018]
25 February 2021	Walker Avenue, Mannum DPA – [25 February 2021]

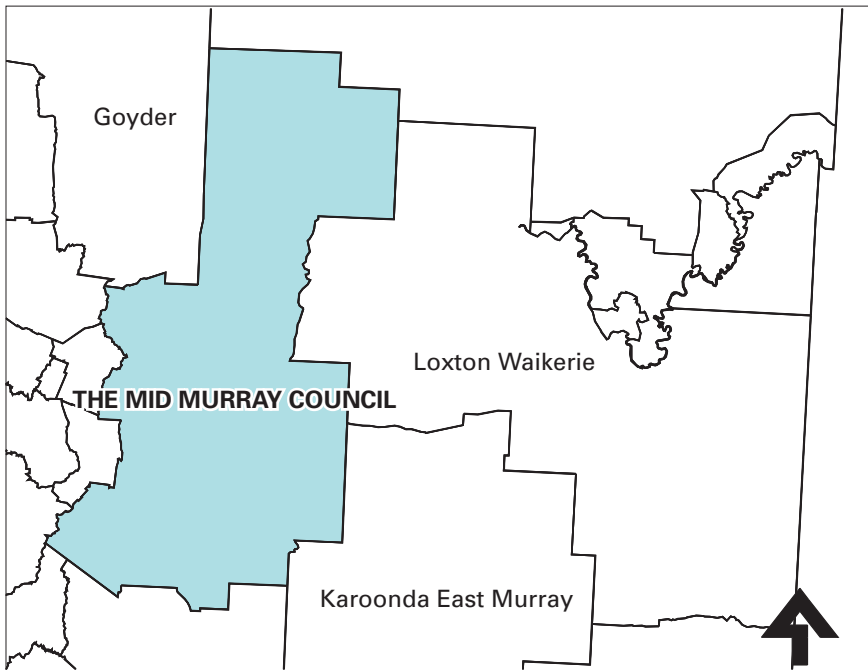
Consolidated: The date of which an authorised amendment to a Development Plan was consolidated (incorporated into the published Development Plan) pursuant to section 31 of the *Development Act 1993*.

Gazetted: The date of which an authorised amendment was authorised through the publication of a notice in the Government Gazette pursuant to Part 3 of the *Development Act 1993*.

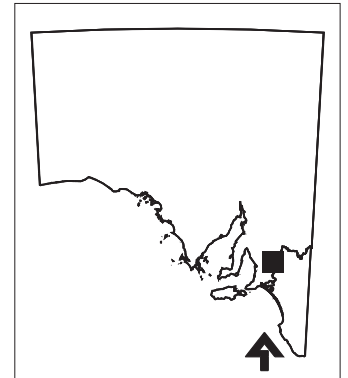
## Preface

The objectives and principles of development control that follow apply within the area of the THE MID MURRAY COUNCIL Development Plan as shown on Map MiMu/1

The Development Plan is arranged with the objectives and principles of development control for the Riverland Region, appearing first, followed by the Council Wide policies and in turn more detailed policies relating to particular zones, and areas



**Enlargement Map**



**Location Map**



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## MID MURRAY COUNCIL

### Introduction

The following objectives and principles of development control apply to the whole area of the Mid Murray Council.

Reference should be made to the Council Wide, Zone and or Policy Area provisions and Structure Plans to determine all the policies relevant to the assessment of an application for development.

### Background

The Mid Murray Council area comprises land within various planning regions known as Murray Mallee, Riverland and the eastern foothills of the Mount Lofty Ranges.

In the Murray Mallee district, sheep, cereals, dairying and horticulture are the principal farming activities. The marginal lands in the dry northern part of the region are used for grazing and higher rainfall areas in the south are used for cropping.

The River Murray is a major source of water for the State and is a focus for recreation, holiday homes and tourism. The Murray Valley contains extensive areas of landscape beauty, wildlife habitats, sites of scientific interest and land used for primary production.

The Council area contains a portion of the eastern foothills of the Mount Lofty Ranges comprising land outside of the catchment of Adelaide's metropolitan water supply.

### OBJECTIVES

The following objectives apply to all land within the Mid Murray Council areas as shown on [Map MiMu/1 \(Overlay 1\)](#).

#### Form of Development

**Objective 1:** Orderly development with the economic extension of services and facilities in accordance with Structure Plan for the District [Map MiMu/1 \(Overlay 2\)](#).

Orderly development achieves economy in the provision of public utilities, and is conducive to the creation of the a safe, convenient and pleasant environment in which to live. Orderly development contributes to the retention of rural land for the purposes of primary production, recreation, and water and nature conservation.

**Objective 2:** Townships, Service Centres and Settlements contained within defined outer boundaries.

Development confined to defined areas assists in the economic provision of public services, the creation of a pleasant living environment, the retention of surrounding rural areas primarily for primary production and recreation, nature and water conservation.

Generally new dwellings not associated with primary production should be confined to defined areas described variously throughout the Development Plan as Townships, Service Centre Zones, Rural Living Zones, or Shack Settlement Policy Areas.

These areas make provision, where appropriate, for:

- (a) dwellings at a variety of densities to meet a wide range of community need;
- (b) open space and recreation facilities;
- (c) commercial and business development in a compact form to achieve convenience for users to provide incentive for the redevelopment of obsolete premises;
- (d) tourist accommodation;

- (e) flood protection works;
- (f) industrial development in urban areas; and
- (g) public utilities, inclusive of stormwater retention systems.

**Objective 3:** Mannum reinforced as the major urban and population centre.

**Objective 4:** Public and community facilities, located through the reservation of suitable land in advance of need.

**Objective 5:** Re-development of localities which have a bad or unsatisfactory layout, or unhealthy or obsolete development.

It is socially and economically desirable that areas of poor or low standard are re-developed using, where necessary special financial and legislative measures where appropriate.

**Objective 6:** Land liable to flooding from the River Murray, either kept free of development which could be damaged or which would impede floodwaters, or designed and located to minimise property damage or impede flood waters.

The losses and damage to property resulting from flooding have been considerable, and the cost has been borne partly by the community. The waterfront is generally regarded as being land within 100 metres of the water's edge at normal pool level. While recognising that the pool level of the River Murray fluctuates and the visible watermark does not necessarily represent 'normal pool level', the location of normal pool level should be confirmed prior to any development, where applicable to the form of development proposed, by reference to the following Australian Height Datum (current at May 2012) for development assessment purposes:

- (a) below Lock 1 – 0.75 metres Australian Height Datum
- (b) below Lock 2 – 3.2 metres Australian Height Datum

The area defined as floodplain is based on the extent of the 1956 floodwaters. Most of the floodplain is within the River Murray Zone Flood Plain Policy Area and the Conservation Policy Area. There are exceptions throughout the Council area and in these cases the area subject to flooding may be identified differently in the relevant zone or policy area provisions or corresponding map or figure applying to a particular piece of land. The scale of the Development Plan maps is likely to result in anomalies in relation to the alignment of the 1956 floodplain. Modification of the land form over time may also affect the movement of flood waters and the level of flood risk. The alignment of the 1956 floodplain and the potential flood hazard associated with waterfront land should be confirmed by the proponent of a development on a site by site basis and identified on proposal plans for the purpose of assessment.

**Objective 7:** Development safe from natural or man-made hazards and to be compatible with land capability.

The risk to life and property caused by natural and man-made hazards including flooding, land slip, bushfire, industrial explosion or discharge is an important consideration. The capability of land in terms of terrain, soil, geology, erosion potential and land use to support a proposed development is an important consideration before allowing the development to proceed. Development should not lead to deterioration in the quality of surface or underground water.

**Objective 8:** Maintenance and promotion of a diverse local economy.

Sufficient land and infrastructure needs to be available to accommodate economic growth in the region, particularly in the areas of tourism, horticulture and industry. Development providing job opportunities to boost local employment is a high priority.

**Objective 9:** Satisfaction of the social, economic and cultural needs of the community.

## Land Division

- Objective 10:** Land division that occurs in an orderly sequence allowing efficient provision of new infrastructure and facilities and making optimum use of existing under utilised infrastructure and facilities.
- Objective 11:** Land division that creates allotments appropriate for the intended use.
- Objective 12:** Land division that is integrated with site features, including landscape, environmental features, adjacent land uses and heritage places, the existing transport network and the availability of infrastructure.
- Objective 13:** Land division restricted in rural areas to ensure the efficient use of rural land for primary production and avoidance of uneconomic infrastructure and service provision.

## Movement of People and Goods

- Objective 14:** Safe and efficient movement of people and goods by road.

The primary and secondary road network serving local and district traffic is shown on [Map MiMu/1 \(Overlay 1\)](#).

- Objective 15:** Provision of a system of scenic routes serving the district and their protection from inappropriate development.

The district's scenic routes are shown on [Map MiMu/1 \(Overlay 1\)](#).

- Objective 16:** Free flow of traffic on roads by minimising interference from adjoining development.

## Public Utilities

- Objective 17:** New development serviced with adequate public infrastructure commensurate with projected demands at the cost of the proponent.

## Appearance of Land and Buildings

- Objective 18:** Amenity of localities not impaired by the appearance of land, buildings and structures including landscape.

Buildings or structures should be sited and designed displaying regard to physical setting qualities and existing built form. In the River Murray Valley in particular buildings should conform to standards covering such matters as building materials, maintenance and colouring, and tree planting.

- Objective 19:** Development of a high architectural standard that responds to and reinforces positive aspects of the local environment and built form.

- Objective 20:** Roads, open spaces, buildings and land uses laid out and linked so that they are easy to understand and navigate.

## Retail and Business

- Objective 21:** Shopping, administrative, cultural, community, entertainment, educational, religious and recreational facilities located in designated centres or country townships.

Grouping of facilities will benefit the community by encouraging economic development and shared use of facilities, providing a meeting place for communities, and encouraging ready access by community, public and private transport.

Retail, commercial and community development in designated areas will:

- (a) cater for existing and future shopping needs;
- (b) improve access to the population to be served;
- (c) contribute to a safe environment for users;
- (d) reduce adverse impacts on residential areas; and
- (e) reinforce the local economy and existing investment.

The following facilities are appropriate in centres within Townships and Service Centre Zones:

Bank	Indoor Recreation Centre
Child Minding/Child Care Centre	Library
Church	Motel
Cinema	Office (general, professional, governmental)
Civic Centre	Outdoor recreation, sport and open space areas
Club/Meeting Hall	Personal Service Establishments
Community Health Centre	Police Station
Commercial Development	Pre-School
Consulting Room	Restaurant
Day Care Centre	Service Station
Discount Department Store	Speciality Shop
Education Establishments (Primary and Secondary Schools)	Supermarket
Hospital/Ambulance Station	Swimming Pool
Hotel/Tavern	

**Objective 22:** Mannum Township (Town Centre Zone and Mannum Neighbourhood Centre Zone) designated as the major centre supported by centres nominated as the Country Townships of Cambrai, Morgan, Swan Reach and Truro.

**Objective 23:** Blanchetown, Sedan, Cadell, Palmer, Tungkillo and Keyneton designated as a Service Centres.

**Objective 24:** Centres that ensure rational, economic and convenient provision of goods and services and provide:

- (a) a focus for community life; and
- (b) safe, permeable, pleasant and accessible walking and cycling networks.

### Interface Between Land Uses

**Objective 25** Development located and designed to prevent adverse impact and conflict between land uses.

**Objective 26** Protect community health and amenity and support the operation of all desired land uses.

### Industry

**Objective 27:** An adequate supply of suitable and appropriately located land to accommodate current and projected industrial activities.

**Objective 28:** Industrial land and activities protected from encroachment by incompatible land uses.

**Objective 29:** Development at the interface between industrial activities and sensitive uses which is compatible with surrounding activities, particularly those in adjoining zones.



**Objective 30:** General Industry development located in designated zones.

**Objective 31:** Light Industry and Service Industry located in designated zones or in rural areas where there is an association with primary production.

**Objective 32:** Industrial buildings of a standard and design compatible with adjoining development.

#### **Mineral Extraction**

**Objective 33:** Development of mining activities in a way that contributes to the sustainable growth of the industry.

**Objective 34:** Protection of mineral deposits against intrusion by inappropriate forms of development.

**Objective 35:** Areas with scenic or conservation significance protected from undue damage arising from mining operations.

**Objective 36:** Mining operations undertaken with minimal adverse impacts on the environment and on the health and amenity of adjacent land uses.

**Objective 37:** Minimisation of the impacts from mining activities upon the existing groundwater level and the quality of groundwater resources.

**Objective 38:** Mining operations that make adequate provision for site rehabilitation.

#### **Waste Management Facilities**

**Objective 39:** The orderly and economic development of waste management facilities in appropriate locations.

**Objective 40:** Minimisation of environmental impacts from the location and operation of waste management facilities.

**Objective 41:** Waste management facilities to be protected from incompatible development.

#### **Residential Development**

**Objective 42:** A range of attractive living environments and housing types.

Paths should provide direct links to open space, centres and community facilities and should follow local streets or open space reserves as far as practicable.

**Objective 43:** Safe, convenient, pleasant and healthy-living environments that meet the needs and preferences of the community.

**Objective 44:** An increased mix in the range and number of dwelling types available within urban boundaries to cater for changing demographics, particularly smaller household sizes and supported accommodation.

**Objective 45:** Higher dwelling densities in areas close to centres, public and community transport and public open spaces.

**Objective 46:** Urban regeneration of selected areas identified at zone and/or policy area levels.

**Objective 47:** Affordable housing and housing for seniors provided in appropriate locations.

**Objective 48:** Public open space providing diverse recreational opportunities.

**Objective 49:** Residential environments with a safe, convenient and legible network of all-weather paths for pedestrians and cyclists. Paths should provide direct links to open space, centres and community facilities and should follow local streets or open space reserves as far as practicable.

### **Supported Accommodation, Housing for Aged Persons and People with Disabilities**

**Objective 50:** Provision of well designed supported accommodation for community groups with special needs in appropriate locations.

### **Rural Development**

**Objective 51:** Retention of rural areas for agricultural and pastoral purposes.

**Objective 52:** Maintenance of the character of rural areas.

Rural areas should be retained primarily for agricultural and pastoral purposes and horticultural use where natural resources such as groundwater supplies and surface catchments are not adversely affected. Conservation of bushland and wildlife are also important considerations. The design and siting of buildings in rural areas should be compatible with the object of conserving rural character.

The use of rural land for residential use should be discouraged because it diminishes rural character; makes the provision of public services uneconomic; increases land values with consequential upward pressure on rates and taxes; and contributes to land use conflicts which has the affect of limiting the right to farm.

The removal of primary production from rural areas also places greater dependence upon the diminishing fertile areas. It is in the community interest therefore as much agricultural land as possible be retained in primary production and without residential incursions other than where residential use is required to manage land.

### **Rural Living**

**Objective 53:** Rural living development in defined areas.

Development of rural land as small holdings primarily for residential purposes should be undertaken only in defined zones or policy areas assessed in accordance with strict design and siting conditions.

Land should be adequately fenced wherever livestock is proposed to be kept or animals bred. Controls may need to be placed on numbers of livestock to prevent overgrazing. Cottage industries may be considered in rural living areas provided restrictions are placed on hours of operation, number of employees and vehicles operated.

### **Siting and Visibility**

**Objective 54:** Protection of scenically attractive areas, particularly natural, rural and riverine landscapes.

### **Natural Resources**

**Objective 55:** Retention, protection and restoration of the natural resources and environment.

**Objective 56:** Protection of the quality and quantity of South Australia's surface waters, including inland, riverine and underground waters.

**Objective 57:** The ecologically sustainable use of natural resources including soil and water resources (including underground water, surface water and watercourses as defined in the current Environment Protection (Water Quality) Policy).

**Objective 58:** Natural hydrological systems and environmental flows reinstated, and maintained and enhanced.

**Objective 59:** Development consistent with the principles of water sensitive design.

**Objective 60:** Development sited and designed to:

- (a) protect natural ecological systems;
- (b) achieve the sustainable use of water;
- (c) protect water quality, including receiving waters;
- (d) reduce runoff and peak flows and prevent the risk of downstream flooding;
- (e) minimise demand on reticulated water supplies;
- (f) maximise the harvest and use of stormwater;
- (g) protect stormwater from pollution sources.

**Objective 61:** Storage and use of stormwater which avoids adverse impact on public health and safety.

**Objective 62:** Native flora, fauna and ecosystems protected, retained, conserved and restored.

**Objective 63:** Restoration, expansion and linking of existing native vegetation to facilitate habitat corridors for ease of movement of fauna.

**Objective 64:** Minimal disturbance and modification of the natural landform.

**Objective 65:** Protection of the physical, chemical and biological quality of soil resources.

**Objective 66:** Protection of areas prone to erosion or other land degradation processes from inappropriate development.

**Objective 67:** Protection of the scenic qualities of natural and rural landscapes.

**Objective 68:** Preservation of the River Murray landscape and environment.

### Conservation

**Objective 69:** Conservation of land, buildings, structures and other items of significant historical, social and architectural or other Aboriginal or European heritage significance.

The region contains buildings and sites of European historic and cultural interest, and Aboriginal burial grounds and camp sites important to the study of archaeology and anthropology. The area north of the Marne River contains examples of Aboriginal and early European settlement, and the eastern escarpment of the Mount Lofty Ranges, north of Palmer, contains sites of early settlement, historic buildings including ruins and mining relics, and unusual granite tors. These and other geological sites should be protected for education and research purposes and to provide historic links with the past.

### Heritage Places

**Objective 70:** The conservation of State and local heritage places through the recognition, protection and promotion of the distinct cultural heritage of the Mid Murray region derived from a combination of elements associated with the origin of its early settlers, patterns of development, architecture, unique buildings and structures, and strong association with riverboat trade and irrigation, expansion of German settlement, growth of pastoralism, sourcing alternative water supplies, and early mining and industrial enterprises.

**Objective 71:** The continued use, or adaptive reuse, of State and local heritage places that supports the conservation of their cultural significance.

**Objective 72:** Conservation of the setting of State and local heritage places.

### Energy Efficiency

**Objective 73:** Development designed and sited to conserve energy and minimise waste.

**Objective 74:** Conservation of energy.

Building orientation and siting, appropriate window design, sun protection, solar water heating, insulation and landscaping assists in reducing energy requirements.

**Objective 75:** Development that provides for on-site power generation including photovoltaic cells and wind power.

### Open Space

**Objective 76:** Creation of passive and active recreation areas.

The River Murray contains vast habitats for waterfowl and other wildlife and a diversity of natural scenery. These features have special significance for recreation and holiday purposes because of their close proximity to metropolitan Adelaide.

Reserves, parks and other recreational facilities need to be provided at appropriate locations in towns and along the River to serve both residents and visitors. Existing fauna and flora sanctuaries and reserves should be maintained and areas in public and private ownership of conservation value should be preserved.

Land acquisition and or preparing management plans for land immediately adjoining the River Murray and significant bodies of water connected to the River, should be continued as the opportunity arises. Waterfront land in public ownership means that greater control in the public interest can be exercised over the riverine system.

**Objective 77:** Provision of open spaces.

In new and developing residential areas open space should be provided where access to parks and reserves is remote or unavailable or there is a need to preserve natural features such as remnant vegetation.

### Tourism Development

**Objective 78:** Environmentally sustainable and innovative tourism development.

**Objective 79:** Tourism development that assists in the conservation, interpretation and public appreciation of significant natural and cultural features including State or local heritage places.

**Objective 80:** Tourism development that sustains or enhances the local character, visual amenity and appeal of the area.

**Objective 81:** Tourism development that protects areas of exceptional natural value, allows for appropriate levels of visitation, and demonstrates an environmental analysis and design response which enhances environmental values.

**Objective 82:** Tourism development in rural areas that does not adversely affect the use of agricultural land for primary production.

**Objective 83:** Tourism development that contributes to local communities by adding vitality to neighbouring townships, regions and settlements.

**Objective 84:** Increased opportunities for visitors to stay overnight.

**Objective 85:** Ensure new development, together with associated bushfire management minimise the threat and impact of bushfires on life and property while protecting the environment.

### **Marinas, Moorings and River Structures**

**Objective 86:** The provision, in appropriate locations, of marinas, pontoons, jetties, piers, wharves and boat moorings that cater for vessels and:

- (a) maintain public access to the waterfront;
- (b) meet the needs of users;
- (c) do not compromise public safety;
- (d) preserve the structural integrity of the riverine infrastructure;
- (e) preserve the operational requirements of public infrastructure such as ferry crossings and SA Water pumping stations; and
- (f) minimise adverse impacts on the natural environment.

### **Outdoor Advertisements**

**Objective 87:** Urban environments and a rural landscape not disfigured by advertisements.

**Objective 88:** Advertisements in retail, commercial and industrial urban areas, and centre zones, designed to enhance the appearance of those areas.

**Objective 89:** Advertisements not hazardous to any person.

**Objective 90:** Advertisements should not detract from or obscure existing visible elements of historic value of a State or local heritage place on the site or an adjoining allotment.

### **Hazards**

**Objective 91:** Maintenance of the natural environment and systems by limiting development in areas susceptible to natural hazard risk.

**Objective 92:** Development located away from areas that are vulnerable to, and cannot be adequately and effectively protected from the risk of natural hazards.

**Objective 93:** Protection of human health and the environment wherever site contamination has been identified or suspected to have occurred.

**Objective 94:** Appropriate assessment and remediation of site contamination to ensure land is suitable for the proposed use and provides a safe and healthy living and working environment.

**Objective 95:** Minimisation of harm to life, property and the environment through appropriate location of development and appropriate storage, containment and handling of hazardous materials.

### **Flood Protection**

**Objective 96:** Protection of life and property from the effects of flooding.

Development in floodplains of the River Murray Valley and Marne Valley increases the risk of both life and property. Areas known to be subject to occasional flooding should be kept free of new

development or developed to protect property whilst development itself should not impede the flow of flood waters.

**Objective 97:** Prevention of development which could lead to a potential hazard in the event of a major flood.

Control of all development within floodplains is necessary to ensure that hazards are not created.

### Telecommunications Facilities

**Objective 98:** Telecommunications facilities provided to meet the needs of the community.

**Objective 99:** Telecommunications facilities located and designed to minimise visual impact on the amenity of the local environment.

Telecommunications facilities are an essential infrastructure required to meet the rapidly increasing community demand for communications technologies. To meet this demand there will be a need for new telecommunications facilities to be constructed.

The Commonwealth Telecommunications Act 1997 is pre-eminent in relation to telecommunications facilities. The Telecommunications (Low-impact Facilities) Determination 1997 identifies a range of facilities that are exempt from State planning legislation. The development of low impact facilities to achieve necessary coverage is encouraged in all circumstances where possible to minimise visual impacts on local environments.

Where required, the construction of new facilities is encouraged in preferred industrial and commercial and appropriate non-residential zones. Recognising that new facility development will be unavoidable in more sensitive areas in order to achieve coverage for users of communications technologies, facility design and location in such circumstances must ensure visual impacts on the amenity of local environments are minimised.

### Sloping Land

**Objective 100:** Development on sloping land designed to minimise environmental and visual impacts and protect soil stability and water quality.

### Bushfire Protection

Bushfire Protection Objectives apply to the General, Medium and High Bushfire Risk areas shown on Bushfire Protection Area [Figures MiMu\(BPA\)/1 to 9](#), except where exempted.

**Objective 101:** Development should minimise the threat and impact of bushfires on life and property while protecting the natural and rural character.

**Objective 102:** Buildings and the intensification of non-rural land uses directed away from areas of high bushfire risk.

### Renewable Energy

**Objective 103:** Development of renewable energy facilities that benefit the environment, the community and the state.

**Objective 104:** The development of renewable energy facilities, such as wind farms and ancillary development, in areas that provide opportunity to harvest natural resources for the efficient generation of electricity.

**Objective 105:** Location, siting, design and operation of renewable energy facilities to avoid or minimise adverse impacts on the natural environment and other land uses.

## Waste

**Objective 106:** Development that, in order of priority, avoids the production of waste, minimises the production of waste, reuses waste, recycles waste for reuse, treats waste and disposes of waste in an environmentally sound manner.

**Objective 107:** Development that includes the treatment and management of solid and liquid waste to prevent undesired impacts on the environment including soil, plant and animal biodiversity, human health and the amenity of the locality.

## PRINCIPLES OF DEVELOPMENT CONTROL

The principles of development control apply to all land within the Mid Murray Council area as shown on [Map MiMu/1 \(Overlay 1\)](#).

Reference should be made to the Council Wide, Zone or Policy Area provisions and Structure Plans to determine all the policies relevant to the assessment of an application for development.

### Form of Development

- 1 Orderly Development in accordance with the Structure Plan [Maps MiMu/1 \(Overlay 1\) and Enlargements A to M and MiMu/1 \(Overlay 2\)](#).
- 2 The economic base of the region should be expanded in a sustainable manner, and may include the adaptive reuse of heritage places identified in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places to complement the area's tourism appeal.
- 3 Urban development should form a compact extension to an existing built-up area and linkages between urban areas and significant regional recreational areas and conservation features should be established or enhanced.
- 4 Extensions of built-up areas should not be in the form of linear development along roads.
- 5 Development in localities having an unsatisfactory layout, or unhealthy or obsolete conditions, should be undertaken so as to improve or rectify those conditions.
- 6 Development which is incompatible with other uses within the locality of the proposed development should not be undertaken.
- 7 Generally buildings should not be erected on land liable to inundation by water other than in designated areas and where designed to protect property and maintain flood flows.
- 8 Urban development should not be undertaken unless it is capable of being served with necessary utilities at minimal cost to the community.

### Land Division

- 9 Land should not be divided in designated urban areas where it would prevent the satisfactory future division of the land or any part thereof.
- 10 When land is divided:
  - (a) any reserves or easements necessary for the provision of public utility services should be provided;
  - (b) stormwater should be capable of being managed in a manner which does not have an adverse impact on natural drainage systems, the water quality of receiving waters, or exceeds the capacity of downstream drainage systems or results in or exacerbates the flooding of any property;
  - (c) a water supply sufficient for the purpose for which the allotment is to be used should be made available to each allotment; and

- (d) provision should be made for the collection, treatment and the disposal of waste water, sewage, and other effluent on each allotment without risk to health.

**11** Land should not be divided if any of the following apply:

- (a) the size, shape, location, slope or nature of the land makes any of the allotments unsuitable for the intended use;
- (b) any allotment will not have a frontage to one of the following:
  - (i) an existing road;
  - (ii) a proposed public road;
  - (iii) access to a public road via an internal roadway in a plan of community division;
- (c) the intended use of the land is likely to require excessive cut and/or fill;
- (d) it is likely to lead to undue erosion of the subject land or land within the locality;
- (e) the area is unsewered and cannot accommodate an appropriate waste disposal system within the allotment to suit the intended development;
- (f) the intended use of the land would be contrary to the zone objectives and desired future character of the zone; or
- (g) any allotments will straddle more than one zone or policy area.

**12** The division of land adjoining an allotment containing a State or local heritage place, as spatially located on State and Local Heritage Places [Figures MiMu/1 \(HER\) to MiMu/17 \(HER\)](#) and more specifically identified in [Table MiMu/6 - State Heritage Places](#) and [Table MiMu/7 - Local Heritage Places](#), should ensure that any resultant allotment will contain a building envelope capable of accommodating envisaged forms of building development that will not unreasonably impact on the visibility of elements of heritage value of a place that can already be viewed from public roads or other public spaces.

### **Design and Layout**

- 13** The size, shape and layout of allotments should be determined with regard to physical characteristics and the intended use of the land.
- 14** Battle-axe allotments should not be created in the Rural Zone and the River Murray Zone.
- 15** Allotment boundaries should be located where interference with native vegetation and drainage lines will be minimal and in locations which enhance the management of the natural features and so that the allotments can accommodate the proposed or likely development without the need for clearance of native vegetation.
- 16** Land divisions should be designed to ensure that areas of native vegetation and wetlands:
  - (a) are not fragmented or reduced in size; and
  - (b) do not need to be cleared as a consequence of subsequent development.
- 17** The design of a land division should incorporate:
  - (a) roads, thoroughfares and open space that result in safe and convenient linkages with the surrounding environment, including public and community transport facilities, and which, where necessary, facilitate the satisfactory future division of land and the inter-communication with neighbouring localities;



- (b) safe and convenient access from each allotment to an existing or proposed public road or thoroughfare;
  - (c) areas to provide appropriate separation distances between potentially conflicting land uses and/or zones;
  - (d) suitable land set aside for useable local open space;
  - (e) public utility services within road reserves and where necessary within dedicated easements;
  - (f) the preservation of significant natural, cultural or landscape features including State and local heritage places;
  - (g) protection for existing vegetation and drainage lines; and
  - (h) where appropriate, the amalgamation of smaller allotments to ensure coordinated and efficient site development.
- 18** Land division within an area identified as being 'Excluded Area from Bushfire Protection Planning Provisions' on Bushfire Protection Area [Figures MiMu\(BPA\)/1 to 9](#) should be designed to make provision for:
- (a) emergency vehicle access through to the Bushfire Protection Area and other areas of open space connected to it;
  - (b) a mainly continuous street pattern serving new allotments that eliminates the use of cul-de-sacs or dead end roads; and
  - (c) a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation
- 19** Allotments should have an orientation, size and configuration to encourage development that:
- (a) minimises the need for earthworks and retaining walls;
  - (b) maintains natural drainage systems;
  - (c) faces abutting streets and open spaces;
  - (d) does not require the removal of existing native vegetation to facilitate that development; and
  - (e) will not overshadow, dominate, encroach on or otherwise detrimentally affect the setting of the surrounding locality.
- 20** Within defined townships and settlements where the land to be divided borders a river, lake, wetland or creek, the land adjoining the bank should become public open space and linked with an existing or proposed pedestrian or transport network.
- 21** Within defined townships and settlements land division should make provision for a reserve or an area of open space that is at least 30 metres wide from the top of the bank of a watercourse and that incorporates land within the 1 in 100 year average return interval flood event area.
- 22** The layout of a land division should keep flood-prone land free from development.
- 23** The arrangement of roads, allotments, reserves and open space should enable the provision of a stormwater drainage system that:
- (a) contains and retains all watercourses, drainage lines and native vegetation;

- (b) enhances amenity; and
- (c) integrates with the open space system and surrounding area.

## **Residential Land Division**

### *Neighbourhood Planning*

#### **24** New housing should:

- (a) form a compact and continuous extension of an existing built-up area;
- (b) be orderly and promote logical and continuous extensions of preceding development;
- (c) be staged and compact, or undertaken comprehensively, rather than promoting ribbon development along existing roads;
- (d) be cohesive and integrated with preceding development;
- (e) optimise use of, and promote economies in the provision of, infrastructure and public services; and
- (f) create a safe, convenient and pleasant environment in which to live.

#### **25** Neighbourhoods should have a layout which:

- (a) integrates movement networks and land-use;
- (b) reduces local vehicle trips, travel distances and speeds in residential streets; and
- (c) facilitates walking and cycling to daily activities.

#### **26** The design of a land division should be capable of, or provide for:

- (a) linkage with the surrounding urban environment and facilitate shared use of public facilities;
- (b) access to public open space through provision of land or linkage to existing areas of open space;
- (c) protection, where practicable, of significant vegetation;
- (d) minimised impact on landform and drainage systems;
- (e) retention of State and local heritage places;
- (f) flood prone land being kept free from development;
- (g) effective solar access for dwellings and private open space; and
- (h) minimised risk to personal safety and potential for crime.

#### **27** Residential allotments in the form of a battleaxe configuration should not be created unless all of the following criteria apply:

- (a) have an area of at least 600 square metres (excluding the area of the 'handle' of such an allotment) where connected to an approved sewerage or common effluent disposal scheme and 1200 square metres (excluding the area of the 'handle' of such an allotment) in other circumstances;

- (b) provide for an access onto a public road, with the driveway 'handle' being not less than 6 metres in width nor more than 30 metres in length;
- (c) contain sufficient area on the allotment for a vehicle to turn around to enable it to egress the allotment in a forward direction;
- (d) not be created where it would lead to multiple access points onto a road which would dominate or adversely affect the amenity of the streetscape;
- (e) be avoided where their creation would be incompatible with the prevailing pattern of development;
- (f) the allotment conforms with all other requirements for land division; and
- (g) a post and rail fence (or similar) to the satisfaction of Council is constructed along the common boundary of the allotment entranceway.

### Community Title

**28** Land Division in the form of Community Title should be designed to incorporate:

- (a) a common allotment of sufficient size and dimensions to accommodate common infrastructure, access, car parking areas and landscaping areas;
- (b) a common allotment servicing allotments containing or intended for detached dwellings should:
  - (i) be at least 8 metres wide;
  - (ii) contain an access road at least 4.5 metres wide kerb to kerb;
  - (iii) contain a footpath on one side of the access road at least 1.2 metres wide;
  - (iv) contain landscaping areas on either side of the access road at least one metre wide;
- (c) a common allotment servicing three or more residential flat or group dwellings should:
  - (i) be at least 5 metres wide;
  - (ii) contain an access driveway at least 3.5 metres wide;
  - (iii) contain pedestrian access;
  - (iv) contain landscaping areas on either side of the access driveway at least one metre wide;
- (d) a common allotment servicing industrial or commercial development should:
  - (i) be at least 8 metres wide;
  - (ii) contain an access driveway of at least 6 metres wide for two-way vehicle movement;
  - (iii) contain landscaping areas of at least one metre wide.

### Roads and Access

**29** Road reserves should be of a width and alignment that can:

- (a) provide for safe and convenient movement and parking of projected volumes of vehicles and other users;

- (b) provide for footpaths, cycle lanes and shared-use paths for the safety and convenience of residents and visitors;
  - (c) allow vehicles to enter or reverse from an allotment or site in a single movement allowing for a car parked on the opposite side of the street;
  - (d) accommodate street tree planting, landscaping and street furniture;
  - (e) accommodate the location, construction and maintenance of stormwater drainage and public utilities;
  - (f) provide unobstructed, safe and efficient vehicular access to individual allotments and sites; and
  - (g) allow for the efficient movement of service and emergency vehicles.
- 30** The design of the land division should facilitate the most direct route to local facilities for pedestrians and cyclists and enable footpaths, cycle lanes and shared-use paths to be provided of a safe and suitable width and reasonable longitudinal gradient.
- 31** The layout of land divisions should result in roads designed and constructed to ensure:
- (a) that traffic speeds and volumes are restricted where appropriate by limiting street length and/or the distance between bends and slow points;
  - (b) there are adequate sight distances for motorists at intersections, junctions, pedestrian and cyclist crossings, and crossovers to allotments to ensure the safety of all road users and pedestrians; and
  - (c) that existing dedicated cycling and walking routes are not compromised.
- 32** The design of the land division should provide space sufficient for on-street visitor car parking for the number and size of allotments, taking account of:
- (a) the size of proposed allotments and sites and opportunities for on-site parking;
  - (b) the availability and frequency of public and community transport; and
  - (c) on-street parking demand likely to be generated by nearby uses.
- 33** The layout of land divisions should incorporate street patterns designed to enhance the efficient movement of traffic and minimise trip lengths.

#### **Land Division in Rural Areas**

- 34** Rural land should not be divided if the resulting allotments would be of a size and configuration likely to impede the efficient use of rural land for any of the following:
- (a) primary production;
  - (b) value adding industries related to primary production;
  - (c) protection of natural resources.
- 35** Rural land should not be divided where new allotments would result in any of the following:
- (a) fragmentation of productive primary production land;
  - (b) strip development along roads or water mains;
  - (c) prejudice against the proper and orderly development of townships;

- (d) removal of native vegetation for allotment boundaries, access roads, infrastructure, dwellings and other buildings or firebreaks; and
- (e) separation of individual elements of heritage value of State and local heritage places identified in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places.

### **Movement of People and Goods**

- 36** Development liable to generate traffic volumes which cannot safely and conveniently be accommodated on the existing or proposed road system should not be undertaken.
- 37** Development should be provided with off-street car parking on the site, or on a suitable site nearby, in accordance with the standards in [Table MiMu/1](#) and provide parking areas with suitable access for the disabled.
- 38** Parking areas associated with development, excluding residential development in the form of a detached dwelling or semi-detached dwelling should:
  - (a) be sited and suitably screened with fencing or landscaping to enhance the amenity of the locality;
  - (b) provide vehicle parks, service areas and access and manoeuvring areas which are constructed and bituminised or brick paved or concreted in accordance with sound engineering prior to the occupation or use of the development herein approved; and
  - (c) be graded so that surface water is directed to the water table of a public road, landscape reserves or otherwise to the satisfaction of the relevant authority;
  - (d) be designed so that access aisles and manoeuvring areas allow for vehicles to enter a public road in a forward direction; and
  - (e) be maintained thereafter to the reasonable satisfaction of the relevant authority.
- 39** Development should include an appropriate provision on the site to enable the parking, loading, unloading, turning and fuelling of vehicles and pedestrian or cycle movement in a safe and convenient manner. Shared parking areas or sites located elsewhere other than on site should only be provided where such an arrangement is to be benefit of the community.
- 40** The construction of access ways onto public roads should:
  - (a) not interfere with or restrict drainage channels or watercourses; and
  - (b) be located in a safe and convenient location.
- 41** Driveways, access tracks and parking areas should:
  - (a) follow the natural contours of the land;
  - (b) follow the geometric pattern of plantings;
  - (c) be designed and constructed with a minimum amount of excavation and/or fill;
  - (d) be designed and constructed to minimise the potential for erosion from run-off; and
  - (e) not involve the removal of existing vegetation.
- 42** Development should not be undertaken if the design and location of access points will create unsafe conditions or cause interference with the free flow of traffic on any adjoining road.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

40.1 *In place of direct access to arterial roads use service roads or access to local roads.*

40.2 *Where there is direct access to arterial roads development should allow all vehicles to enter and exit the site in a forward direction.*

- 43** Development involving the erection of a building with public access should make suitable provision for access by the disabled.

### **Public Utilities and Servicing**

- 44** Provision and maintenance of utility services and easements should be undertaken in such a way that any existing or potentially adverse visual or environmental effects are minimised.

- 45** Infrastructure required for development should:

- (a) be able to be economically provided;
- (b) be of a sufficient standard, design and capacity to accommodate the proposed development;
- (c) not have a detrimental impact on the environment qualities and the amenity of the area;
- (d) not necessitate the removal of native vegetation;
- (e) not increase the level of risk to public health;
- (f) be provided at full cost to the developer without public subsidy;
- (g) not compromise the level of service to other existing users;
- (h) not be at risk of damage by flood waters; and
- (i) not materially affect places of heritage value identified in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places.

- 46** Development should only be undertaken where demands placed on essential services such as water supply, common effluent drains or electricity can be met by existing facilities or their expansion.

- 47** An adequate permanent water supply for domestic use and or fire control should be available to new development including allotments.

- 48** In rural areas where there is no reticulated or indirect mains water supply, development should have an independent water supply of a nature, design, quality and capacity that can be demonstrated as suitable for meeting the ongoing requirements of the development, particularly for domestic, livestock and fire protection purposes.

- 49** Stormwater discharge points should be located and constructed so as to prevent soil erosion.

- 50** Development should incorporate on-site stormwater harvesting where possible and residential development should be designed so that as much rainwater as possible is retained on-site through the collection of roof run-off in rainwater tanks and provision of:

- (a) at least one tank of 10 000 litre capacity per dwelling; or
- (b) in the absence of a reticulated supply, tanks should be capable of storing the upper limit of anticipated annual run-off.

- 51 Stormwater systems should be designed with structures to minimise the entry of pollutants such as sediment, pesticides and herbicides, bacteria, animal wastes and oil and grease into drainage systems.
- 52 Stormwater systems should be located and designed to minimise the hydraulic impact of discharges on streams by mitigating peak flows and providing erosion protection at entry points.
- 53 Stormwater drainage systems should preserve rather than eliminate natural drainage systems.

#### **Development Adjacent to Heritage Places**

- 54 The design of multi-storey buildings should not detract from the form and materials of adjacent State and local heritage places, as listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places.
- 55 Development on land adjacent to a State or local heritage place, as listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places, should be sited and designed to reinforce the historic character of the place and maintain its visual prominence.
- 56 Buildings, and alterations and additions to buildings, on land adjacent to an allotment containing a heritage place identified in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places, should reflect the desired character of the locality while incorporating contemporary designs that have regard to:
  - (a) building height, mass and proportion;
  - (b) external materials, patterns, colours and decorative elements;
  - (c) roof form and pitch;
  - (d) facade articulation and detailing; and
  - (e) verandas, eaves, parapets and window screens.
- 57 Advertisements and/or advertising hoardings associated with a heritage place or on an allotment adjacent to a heritage place identified in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places should:
  - (a) be of a size, colour, shape and materials that enhances the character of the locality
  - (b) not dominate or detract from the prominence of any place and/or area of historic significance.

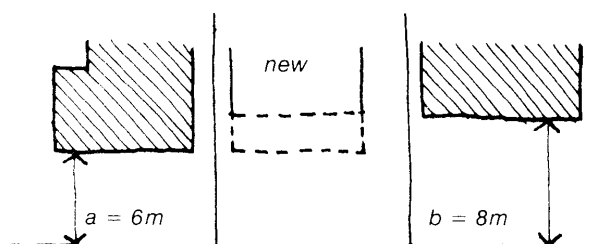
#### **General Design and Appearance**

- 58 Buildings should be designed and sited to avoid creating extensive areas of uninterrupted walling facing areas exposed to public view.
- 59 Buildings should be designed to reduce their visual bulk and provide visual interest through design elements such as:
  - (a) articulation;
  - (b) colour and detailing;
  - (c) small vertical and horizontal components;
  - (d) design and placing of windows; and
  - (e) variations to facades.

- 60** Where a building is sited on or close to a side boundary, the side boundary wall should be sited and limited in length and height to minimise:
- (a) the visual impact of the building as viewed from adjoining properties; and
  - (b) overshadowing of adjoining properties and allow adequate sun light to neighbouring buildings.
- 61** Building form should not unreasonably restrict existing views available from neighbouring properties and public spaces.
- 62** Transportable buildings and buildings which are elevated on stumps, posts, piers, columns or the like, should have their suspended footings enclosed around the perimeter of the building with brickwork or timber, and the use of verandas, pergolas and other suitable architectural detailing to give the appearance of a permanent structure.
- 63** The external walls and roofs of buildings should not incorporate highly reflective materials which will result in glare to neighbouring properties, drivers or cyclists.
- 64** Structures located on the roofs of buildings to house plant and equipment should be screened from view and should form an integral part of the building design in relation to external finishes, shaping and colours.
- 65** Building design should emphasise pedestrian entry points to provide perceptible and direct access from public street frontages and vehicle parking areas.
- 66** Development should provide clearly recognisable links to adjoining areas and facilities.
- 67** Buildings, landscaping, paving and signage should have a coordinated appearance that maintains and enhances the visual attractiveness of the locality.
- 68** Development should be landscaped in a manner that:
- (a) visually screens unattractive buildings and enhances desirable views;
  - (b) screens car parking areas from pedestrian areas;
  - (c) provides shade, and softens the effect of large areas of paved surface;
  - (d) enhances privacy;
  - (e) creates a buffer between incompatible development; and
  - (f) integrates the elements of streetscape.
- 69** Buildings (other than ancillary buildings or group dwellings) should be designed so that their main façade faces the primary street frontage of the land on which they are situated.
- 70** Where zero or minor setbacks are desirable, such as in town centres and in the main streets of other settlements and service centres where that is characteristic of non-residential buildings and/or heritage places, development should incorporate verandas over footpaths to enhance the quality of the pedestrian environment.
- 71** Outdoor storage, refuse, loading and service areas should be:
- (a) screened from public view by a combination of built form, solid fencing and/or landscaping;
  - (b) conveniently located and designed to enable the manoeuvring of service and delivery vehicles; and



- (c) sited away from sensitive land uses..
- 72** Trees, other vegetation and earth mounding should be retained or provided as part of the development where the environment will be visually improved by such a provision.
- 73** Development involving the use of materials or structures which are unsightly, or in a poorly-maintained or dilapidated condition, should not be undertaken.
- 74** Outdoor lighting should not result in light spillage on adjacent land.
- 75** Balconies should:
- be integrated with the overall architectural form and detail of the building;
  - be sited to face predominantly north, east or west to provide solar access; and
  - have a 2 metre minimum dimension.
- 76** Development should take place in a manner which will minimise alteration to the existing land form.
- 77** Excavation and earthworks should take place in a manner that is not extensively visible from surrounding localities.
- 78** Set-backs from allotment boundaries in townships and settled areas should achieve a satisfactory relationship with adjacent development and the streetscape. Adequate space for landscaping, where necessary should be provided.
- 79** The setback of buildings from public roads should:
- be similar to, or compatible with, setbacks of buildings on adjoining land and other buildings in the locality, accepting that wind farms and ancillary development may need to be located closer to road boundaries;
  - contribute positively to the streetscape character of the locality; and
  - not result in or contribute to a detrimental impact upon the function, appearance or character of the locality.
- 80** Except where specified in a particular zone or policy area, development fronting the primary street (excluding verandas, porches and similar) should be set back by either of the following distances:
- not less than the average of the setbacks of the adjoining buildings, if the difference between the setbacks of the adjoining buildings is greater than 2 metres; and
  - the same distance as one or the other of the adjoining buildings, provided the difference between the setbacks of the two adjoining buildings is less than or equal to 2 metres (as shown in figure below).



When  $b - a \leq 2$ , setback of new dwelling =  $a$  or  $b$

- 81** Except where otherwise specified in a zone or policy area, the setback of development from a secondary street frontage should reflect the setbacks of the adjoining buildings and other buildings in the locality.

### **Retail and Business**

- 82** Retail and business development should:

- (a) integrate facilities;
- (b) allow for the multiple use of facilities and the sharing of utility spaces; and
- (c) allow for the staging of development.

- 83** Development within centres, including the Town Centre Zone, should be designed to be compatible with adjoining areas. This should be promoted through landscaping, screen walls, centre orientation, location of access ways, buffer strips and transitional use areas.

- 84** Development within centres, including the Town Centre Zone, should provide:

- (a) public spaces;
- (b) street furniture, including lighting, signs, litter bins, seats, that is designed and located to complement the desired character;
- (c) unobtrusive facilities of a sufficient area to provide for the storage and collection of waste materials, including garbage, recyclable material and green organic waste;
- (d) public facilities including toilets, infant changing facilities, telephones and community information boards;
- (e) sheltered waiting areas for passengers;
- (f) lighting for pedestrian paths, buildings and associated areas;
- (g) a single landscaping theme; and
- (h) safe and secure bicycle parking.

### **Interface Between Land Uses**

- 85** Development should not detrimentally affect the amenity of the locality or cause unreasonable interference through any of the following:

- (a) the emission of effluent, odour, smoke, fumes, dust or other airborne pollutants;
- (b) noise;
- (c) vibration;
- (d) electrical interference;
- (e) light spill;
- (f) glare;
- (g) hours of operation; or
- (h) traffic impacts.

- 86** Development should be designed and sited to minimise negative impact on existing and potential future land uses considered appropriate in the locality.
- 87** Development adjacent to a Residential Zone or residential area within a Country Township, Service Centre or Settlement Zone should be designed to minimise overlooking and overshadowing of nearby residential properties.
- 88** Residential development adjacent to non-residential zones and land uses should be located, designed and/or sited to protect residents from potential adverse impacts from non-residential activities.
- 89** Sensitive uses likely to conflict with the continuation of lawfully existing developments and land uses considered appropriate for the zone should not be developed or should be designed to minimise negative impacts.
- 90** High pressure gas transmission pipelines that traverse the council area shown on Structure Plan [Map MiMu/1 \(Overlay 2\)](#) should be protected from development within defined easements and protected from the encroachment of sensitive uses. Development of sensitive uses or a change in use of land within the following radial distances of the pipelines will need to comply with Australian Standard AS2885 (Pipeline Gas and Liquid Petroleum) to ensure minimum safety requirements:
- (a) Riverland Gas Pipeline - 135 metre radial distance;
  - (b) Port Campbell to Adelaide Gas Pipeline – 640 metre radial distance.

### Noise

- 91** Development should be designed, constructed and sited to minimise negative impacts of noise and to avoid unreasonable interference.
- 92** Development should be consistent with the relevant provisions in the current Environment Protection (Noise) Policy.

### Rural Interface

- 93** The potential for adverse impacts resulting from rural development should be minimised by:
- (a) not locating horticulture or intensive animal keeping on land adjacent to townships; and
  - (b) maintaining an adequate separation distance between horticulture or intensive animal keeping and townships, other sensitive uses and, where desirable, other forms of primary production.
- 94** Traffic movement, spray drift, dust, noise, odour, and the use of frost fans and gas guns associated with primary production activities should not lead to unreasonable impact on adjacent land users.
- 95** Existing primary production uses and mineral extraction should not be prejudiced by the inappropriate encroachment of sensitive uses such as urban development.
- 96** Development that is adjacent to land used for primary production (within either the zone or adjacent zones) should include appropriate setbacks and vegetative plantings designed to minimise the potential impacts of chemical spray drift and other impacts associated with primary production.
- 97** New urban development should provide a buffer of at least 40 metres wide (inclusive of any fuel break, emergency vehicle access or road) separating urban and rural activities.
- 98** Development located within 300 metres of facilities for the handling, transportation and storage of bulk commodities should:

- (a) not prejudice the continued operation of those facilities;
- (b) be located, designed and developed having regard to the potential environmental impact arising from the operation of such facilities and the potential extended hours of operation.

## Industry

- 99** Industrial development should occur in areas which are identified for such a purpose. Where such development occurs outside of designated industry zones in Country Townships or Local Service Centres it must be:
- (a) associated with the processing, together with any ancillary distribution of primary produce from the site or adjacent land; or
  - (b) associated with the processing of minerals or extractive materials; or
  - (c) small scale light industry which can be economically connected to existing public utilities, will not place excessive demand on public utilities; or
  - (d) associated with a permanently occupied residential use of the same size; and
  - (e) be sited and designed in accordance with principles relevant to industrial zones where applicable.
- 100** Industrial activities should not result in unhealthy conditions through inadequate waste disposal.
- Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*
- 100.1 Discharge all solid and liquid wastes into a sewer or STEDS.*
- 100.2 Discharge all wastes into an authorised waste control system.*
- 100.3 Store solid and liquid wastes screened from view so as not to detract from the amenity of the locality and ensure there is no generation and discharge of effluent or nuisance.*
- 101** Activities which have the potential for off-site environmental impacts should be appropriately located in relation to more sensitive land uses.
- Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*
- 101.1 The proposed development fulfils the recommended separation distance nominated in [Table MiMu/2](#).*
- 101.2 The proposed development incorporates physical measures which justify a lesser distance than that nominated in [Table MiMu/2](#).*
- 102** The intensity and/or nature of an industrial activity should not result in land, water or air pollution and should effectively manage wastes/emissions in an environmentally responsible manner.
- 103** Industrial activities should not result in environmental harm or nuisance, nor cause risk to the health of residents, workers and visitors through the emission of airborne pollutants.
- 104** Commercial and passenger vehicles should be separated in order to minimise traffic conflict with commercial vehicles using arterial roads or routes.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

104.1 Where an industrial activity generates more than 50 vehicles movements per day and/or requires the use of vehicles exceeding 5 tonne tare, access to the proposed development is directly from an arterial road, or via a street which is designed as having a commercial vehicle access function; and

104.2 Where access is to be directly via an arterial road, the access point is designed to allow vehicles to decelerate and enter the premises without causing interference to other vehicles.

104.3 Roads in industrial areas should be designed to allow for movement of 25 metre B-Doubles.

**105** Sufficient on-site vehicle and bicycle parking should be provided commensurate with the intensity of the activity proposed and allowing safe and convenient access from a public road.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

105.1 A sealed car parking area is provided at the following rates:

- (a) one car parking space for each 50 square metres or part thereof for the first 200 square metres of total floor area; and
- (b) one car parking space for each 75 square metres or part thereof where the total floor area is more than 200 square metres and less than 2000 square metres; and
- (c) one car parking space for every 150 square metres or part thereof where the total floor area exceeds 2000 square metres.

**106** The dimensions of car parking spaces and associated manoeuvring areas should be sufficient to enable safe, convenient and efficient parking and circulation.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

106.1 Car parking spaces and areas are designed, constructed and line marked in accordance with Australian Standard 2890.1-1993: Off-street car parking.

**107** The surface treatment of car parking areas should be designed to withstand vehicular traffic in all weather conditions and to prevent soil erosion, dust and drainage problems.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

107.1 Car parking spaces and manoeuvring areas are sealed with an all-weather hard paved surface, (for example, bitumen, concrete or brick paving).

**108** Commercial vehicle movements, to, from and within industrial sites should be managed in a safe, efficient and convenient manner.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

108.1 The dimensions and arrangements of all parking, loading and manoeuvring areas are established in accordance with Australian Standards 2890.2-1989: Commercial vehicle facilities.

108.2 *Access points to industrial sites are arranged to enable all vehicles to enter/exit the site in a forward direction.*

108.3 *A designated loading/unloading area is provided separately from customer and employee car parking.*

**109** Car parking areas should be suitably planted with canopy trees and screened with landscaping to reduce visual impact.

**110** Servicing, including garbage collection services should not impact on adjoining developments and streets.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

110.1 *All servicing, including garbage collection, is capable of being carried out wholly within the site and with collection points being positioned at convenient locations.*

**111** Site drainage should:

- (a) include, where practicable, scope for on-site stormwater detention, retention and use, including the collection and storing of water from roofs and communal car parks in appropriate devices;
- (b) provide on-site infiltration where practicable, having regard to:
  - (i) the availability of unsealed areas or areas which are not built up;
  - (ii) the capacity of soils to absorb water;
  - (iii) the capacity of building footings on and adjacent to the site to withstand the likely effects of retained water; and
  - (iv) potential adverse impact on the level of groundwater;
- (c) allow convenient access to all components of the drainage system for maintenance purposes; and
- (d) not cause damage or nuisance flows on site or to adjoining properties.

**112** Buildings should be designed and constructed to minimise the risk to life and damage to property from flooding.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

112.1 *The floor levels of buildings are at least 100mm above the level of the 1 in 100 year flood event for the site.*

**113** The storm drainage system should maximise the interception, retention and removal of water-borne physical, chemical and biological pollutants prior to their discharge to surface or underground receiving waters, and dispose of them via on-site treatment or authorised disposal to a sewer or licensed waste depot by a licensed waste carrier.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

113.1 *Rainfall run-off from the roof of any building is discharged directly to the street water table or an approved stormwater system and not mixed with rainfall run-off originating from surfaces such as car parks, outdoor storage areas and display areas.*

113.2 *Rainfall run-off from ground surfaces is directed to open swales (long depressions that guide surface run-off), via purpose designed and built traps for litter, sediment, grease, oil and other substances capable of contaminating stormwater; and a high flow bypass is provided in conjunction with the traps, to enable water from extreme rainfall events to discharge direct to stormwater swales or to council stormwater systems.*

113.3 *Swales are designed in combination with roads and other paved surface areas to detain the whole run-off from a 1 in 10 year rainfall event flow, and a 1 in 100 year event storm, for a period of one hour.*

**114** Chemicals and materials used in industrial operations and related activities should be stored on site in a manner which adequately manages hazard and the risk of spills, fire and exposure to air.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

114.1 *Chemicals and materials are stored undercover within bunded areas or in airtight containers to prevent any airborne or waterborne migration from the designated storage area; and*

114.2 *Prior to on-site treatment or authorised disposal to a waste disposal system or licensed waste depot by a licensed waste carrier, contaminated water associated with the storage of hazardous substances identified in Schedule 22 of the Development Regulations 2008 is contained within a bunded area separate from stormwater.*

**115** Industry should not affect the level of amenity in adjoining non-industrial areas by virtue of hours of operation and noise emitted.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

115.1 *Where the industrial operation is to be located within 60 metres of a residential area:*

(a) *Delivery trucks only arrive and depart from the premises after 7.00am and before 10.00pm on any weekday or Saturday, and after 8.00am and before 10.00pm on a Sunday or Public Holiday; and*

(b) *Work shift breaks are after 7.00am and before 1.00pm on any weekday or Saturday, and after 8.00am and before 1.00pm on a Sunday or Public Holiday.*

115.2 *The noise level (Leq) emanating from an industrial premises is less than 58dB(A) leq between the hours of 7.00am and 10.00pm and within 5dB(A) of the existing background noise level (L90) between 1.00pm and 7.00am<sup>(1)</sup>.*

115.3 *An appropriately designed acoustic barrier in the form of a solid masonry wall or a similar structure (that does not unreasonably overshadow adjoining properties), is provided between the noise source and adjoining residential areas.*

**116** Outdoor lighting should be designed and installed so that it does not intrude on other properties or roads in the locality.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

116.1 *Outside lighting is directed down and towards the site to prevent spillage onto surrounding properties or thoroughfares.*

<sup>(1)</sup> *Leq measurement includes the addition of 5dB(A) penalties where tonal or modulation (amplitude or frequency) or impulse noise is being assessed.*

*All measurements are made at any residential boundary outside the industrial zone.*

*The onus of proof that engineered noise containment preventing noise impacts escaping from the development site will achieve this level of performance to rest with the proponent or applicant.*

116.2 *Outdoor lighting is provided in accordance with 'Interim Australian Standard 4282 - 1995: Control of the obtrusive effects of outdoor lighting'.*

**117** Building appearance should be compatible with the desired future character of the locality and existing development in the locality, and it should add visual interest and differentiation between structures when viewed from the street, with a particular emphasis on the following elements:

- (a) building mass and proportion;
- (b) materials, patterns, textures, colours and decorative elements;
- (c) ground floor height above natural ground level;
- (d) roof form and pitch;
- (e) facade articulation and detailing and window and door proportions;
- (f) verandahs, eaves and parapets; and
- (g) driveway crossovers, fence style and alignment.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

117.1 *Buildings to have a maximum unarticulated length of 30 metres (15 metres for any office or administration component) to the street frontage with punctuation by window, canopies, verandahs or wall offsets.*

117.2 *Group developments such as factory units are detailed or articulated to enable individual units to be identified from public streets or internal roadways.*

**118** Where industrial sites adjoin non-industrial properties, set-backs from side and rear boundaries should be progressively increased as building height increases to:

- (a) reduce visual impact of buildings from adjoining properties;
- (b) reduce overshadowing of adjoining properties; and
- (c) maintain adequate daylight to adjoining land uses.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

118.1 *Industrial buildings which exceed 3 metres in height are constructed a minimum of 3 metres away from the boundary of any adjoining residential property and an additional 500mm for every metre the building exceeds this height.*

**119** Buildings should be set-back from the front of an allotment to:

- (a) contribute to attractive existing or desired streetscape character; and
- (b) provide for the efficient use of the site.

**120** Boundary walls should be limited in length and height to minimise the impact on adjoining non-industrial land uses.

**121** Appropriate landscaping should be undertaken as part of an industrial development to reduce the visual impact of buildings and structures, particularly those which adjoin residential areas.



**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

121.1 *A landscaped area of not less than 2 metres in width is provided where the site adjoins a residential property boundary or street frontage, using species which will achieve a minimum height of 3 metres.*

121.2 *Species selected for landscaping are capable of forming a visual screen and include semi mature specimen trees located to reduce the visual bulk and prominence of building elevations.*

**122** Fencing as part of development should complement the architectural form of buildings on the site, the streetscape and the locality as a whole.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

122.1 *Fencing along a site boundary fronting a road and opposite a residential area does not exceed 2 metres in height and consists of masonry, brick or timber.*

**123** Fencing as part of development should not detract from the visual amenity of non-industrial land uses in the locality.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

123.1 *Security fencing between 2 and 3 metres in height, located on a site boundary fronting a road is set-back a minimum of 1 metre from the front property boundary.*

123.2 *Fencing which exceeds 2 metres in height and which is adjacent to a residential land use, is set-back a minimum of 3 metres from the common property boundary with suitable landscaping of the remaining strip of land.*

## **Mineral Extraction**

**124** Known reserves of economically-viable mineral deposits should be kept free of development that may inhibit their future exploitation.

**125** Development in proximity to mining operations should not be undertaken where it may be exposed to adverse impacts resulting from mining activities.

**126** Mining in scenic and native vegetation areas should only be undertaken if:

- (a) the proposed location is the best site in regard to minimising loss of amenity, degradation of the landscape and loss of native vegetation;
- (b) there are a limited number of known reserves of the minerals in the area or elsewhere in the State;
- (c) the extraction and transportation of materials from alternative sites to principal centres of consumption carry significantly higher costs;
- (d) the site is capable of restoration with locally indigenous plant species to counter the long-term impact on the landscape and biodiversity.

**127** Stormwater and/or wastewater from land used for mining should be diverted into a silt retention structure so that it can be reused on-site for purposes such as truck wash-down, dust control, washing of equipment and landscape irrigation or for disposal off-site in an environmentally responsible manner.

**128** Access to land used for mining should be sited and designed to accommodate heavy-vehicle traffic and ensure the safety of all road users.

**129** Mining operations should:

- (a) ensure that minimal damage is caused to the landscape;
- (b) minimise the area required for operations, and provide for the progressive reclamation of disturbed areas;
- (c) minimise disturbance to natural hydrological systems.

*Separation Treatments, Buffers and Landscaping*

**130** Mining development should be sited, designed and sequenced to protect the amenity of surrounding land uses from environmental nuisance such as dust or vibration emanating from mining operations.

**131** Mining operations that are likely to impact upon the amenity of the locality should incorporate a separation distance and/or mounding/vegetation between the mining operations (including stockpiles) and adjoining allotments to help minimise exposure to those potential impacts.

**132** Quarry faces should be orientated away from public view.

**133** Screening of mining areas should occur in advance of extraction commencing.

**134** An area of densely vegetated and/or mounded land should be established around the perimeter of mining sites in order to screen excavated land and mineral processing facilities from all of the following:

- (a) residential areas;
- (b) tourist areas;
- (c) tourist routes;
- (d) scenic routes.

**135** Screen planting around mining operations should incorporate a mixture of trees and shrubs that:

- (a) contribute to an attractive landscape;
- (b) suit local soil and climatic conditions;
- (c) are fast growing and/or have a long life expectancy;
- (d) are locally indigenous species.

**136** Borrow pits for road making materials should:

- (a) be sited so as to cause the minimum effect on their surroundings;
- (b) not be located in the River Murray Zone – Primary Production Policy Area if equivalent resources are available within other areas within the Development Plan boundary;
- (c) not be located in the River Murray Zone if it is located on land visible from arterial or scenic roads as shown on Structure Plan [Map MiMu/1 \(Overlay 2\)](#).

**Waste Management and Waste Management Facilities**

- 137** Waste management facilities should be located, sited, designed and managed to minimise adverse impacts on both the site and surrounding areas due to generation of surface water and ground water pollution, traffic, noise, odours, dust, vermin, weeds, litter, gas and visual impact.
- 138** Landfill operations should not be located in existing or future urban, township, living, residential, commercial, centre, office, business or institutional zones or environmental protection, conservation, landscape, open space or similar zones.
- 139** Waste management facilities should be provided with appropriate separation distances to minimise adverse impacts on the surrounding area and land uses.
- 140** Land uses and activities which are compatible with waste management facilities may be located within any separation distances established.
- 141** Land uses and activities which are not compatible with a waste management facility should not be located within any separation distances established.
- 142** Organic waste processing facilities for the composting of waste should be located at least a distance of 500 metres from the nearest dwelling, shop, office, public institution or other building designed primarily for human occupation. A lesser distance may be provided where the processing operations and technologies are considered compatible with the surrounding area, land uses and activities. Alternatively, a greater distance may be required where the processing operations are considered incompatible with the surrounding area, land uses and activities.
- 143** Landfill and associated facilities for the handling of waste, should be located at least a distance of 500 metres from the boundaries of the landfill site. A lesser distance may be provided within the land-fill site where the land-fill facility is considered compatible with the surrounding area, land uses and activities so that an effective minimum separation distance of 500 metres can be provided and maintained between the land-fill facility and potentially incompatible land uses and activities.
- 144** The area of landfill operations on a site should:
- (a) be located a minimum distance of 100 metres from any river, creek, inlet, wetland or marine estuarine area and not within the area of a 1 in 100 year flood event; and
  - (b) not be located on areas with ground slopes of greater than 10 percent, except where the site incorporates a disused quarry; and
  - (c) not be located on land subject to land slipping; and
  - (d) not be located within three kilometres of an airport used by commercial aircraft. If located closer than three kilometres the land-fill operations should incorporate bird control measures to minimise the risk of bird strikes to aircraft.
- 145** The area of the organic waste processing facilities on a site should:
- (a) be located a minimum distance of 100 metres from any dam, river, creek, natural watercourse, channel or bore, and not within the area of a 1 in 100 year flood event; and
  - (b) not be located on areas with ground slopes of greater than 6 percent; and
  - (c) not be located on land subject to land slipping; and
  - (d) not be located within three kilometres of an airport used by commercial aircraft. If located closer than three kilometres the organic waste processing operations should incorporate bird control measures to minimise the risk of bird strikes to aircraft; and

- (e) not be located within 250 metres of a public open space reserve, a forestry reserve, a National Park, a Conservation Zone or Policy Area.
- 146** The waste management site should be landscaped to screen views of the processing facilities and operational areas
- 147** Sufficient area should be provided within the waste management site to ensure on-site containment of potential groundwater contaminants and for the diversion of stormwater.
- 148** Noise reduction treatments comprising separation distances and the incorporation of on-site treatments should be provided to ensure noise generation associated with the waste management operation does not result in an adverse impact to any existing or future development on an adjacent allotment.
- 149** Litter control measures which minimise the incidence of windblown litter should be provided on the site of a waste management operation.
- 150** Leachate from waste management activities should be contained within the property boundary of the waste management site and should not contaminate surface water or ground water.
- 151** A leachate barrier should be provided between the operational areas and the underlying soil and groundwater of organic waste processing operations.
- 152** The interface between any engineered landfill liner and the natural soil should be:
- (a) greater than 15 metres from unconfined aquifers bearing ground water with a water quality of less than 3000 milligrams per litre of total dissolved salts; or
  - (b) greater than five metres from ground water with a water quality between 3000 milligrams per litre of total dissolved salts and 12 000 milligrams per litre of total dissolved salts; or
  - (c) greater than two metres from ground water with a water quality exceeding 12 000 milligrams per litre of total dissolved salts.
- 153** Surface water run-off from the waste management operations should not cause unacceptable sediment loads in receiving waters.
- 154** Landfill activities that have a total storage capacity exceeding 230 000 cubic metres should sustainably utilise landfill gas emissions. For smaller landfill activities, if the sustainable utilisation of the gas emissions is not practically feasible then controlled flaring is appropriate to avoid gases being vented directly to the air.
- 155** Fencing to a minimum height of two metres should be erected on the perimeter of a waste management site to prevent access other than at appropriate entries. For landfill sites, the fencing should be of chain wire mesh or pre-coated painted metal construction.
- 156** Plant, equipment or activities that could cause a potential hazard to the public within a waste management site should be enclosed by a security fence.
- 157** Waste management sites should not be located where access to the site using non-arterial roads in adjoining residential areas is required or likely.
- 158** Waste management sites should be accessed by an appropriately constructed and maintained road.
- 159** Traffic circulation movements within the waste management site should be adequate in dimension and construction to support all vehicles hauling waste and to enable forward direction entry to and exit from the site.

**160** Suitable access for emergency vehicles to and within the waste management site should be provided.

**161** A proposal to establish, extend or amend a waste management operation should include an appropriate Environment Management Plan that addresses the following:

- (a) the prevention of ground water and surface water contamination;
- (b) the need to protect and enhance native vegetation;
- (c) litter control, dust control and sanitary conditions generally;
- (d) odour and noise control;
- (e) fire safety;
- (f) security;
- (g) maintenance of landscaping and the general condition of the site; and
- (h) final contour plan and rehabilitation proposals including soil cover, landscaping, drainage, the removal of any contamination or waste, restoration and the like to ensure compatibility with the surrounding landscape and to enable a suitable after use of the site.

### **Siting and Visibility**

**162** Development should be sited and designed to minimise its visual impact on:

- (a) the natural, rural or heritage character of the area;
- (b) areas of high visual or scenic value, particularly rural areas, the natural character of the Mount Lofty Ranges and its skyline, and riverine areas;
- (c) views from the River Murray, public reserves, tourist routes, walking trails and scenic routes that are identified in [Map MiMu/1 \(Overlay 2\)](#).

**163** Buildings should be sited in unobtrusive locations and, in particular, should:

- (a) be grouped together; and
- (b) where possible be located in such a way as to be screened by existing vegetation when viewed from public roads and especially the River Murray.

**164** Buildings outside of urban areas and in undulating landscapes should be sited in unobtrusive locations and in particular should be:

- (a) sited below the ridgeline;
- (b) sited within valleys or behind spurs;
- (c) sited in such a way as to not be visible against the skyline when viewed from public roads, and the River Murray; and
- (d) set well back from public roads, particularly when the allotment is on the high side of the road.

**165** Buildings and structures should be designed to minimise their visual impact in the landscape, in particular:

- (a) the profile of buildings should be low and the rooflines should complement the natural form of the land;
  - (b) the mass of buildings should be minimised by variations in wall and roof lines and by floor plans which complement the contours of the land; and
  - (c) large eaves, verandahs and pergolas should be incorporated into designs so as to create shadowed areas that reduce the bulky appearance of buildings.
- 166** The nature of external surface materials of buildings should not detract from the visual character and amenity of the landscape.
- 167** The number of buildings and structures on land outside of urban areas should be limited to that necessary for the efficient management of the land.
- 168** Driveways and access tracks should be designed and surfaced to blend sympathetically with the landscape and to minimise interference with natural vegetation and landforms.
- 169** Development should be screened through the establishment of landscaping using locally indigenous plant species:
- (a) around buildings and earthworks to provide a visual screen as well as shade in summer, and protection from prevailing winds;
  - (b) along allotment boundaries to provide permanent screening of buildings and structures when viewed from adjoining properties and public roads; and
  - (c) along the verges of new roads and access tracks to provide screening and minimise erosion.

### **Natural Resources**

- 170** Development should be undertaken with minimum impact on the natural environment, including air and water quality, land, soil, biodiversity, and scenically attractive areas.
- 171** Development should ensure that South Australia's natural assets, such as biodiversity, water and soil, are protected and enhanced.
- 172** Development should not significantly obstruct or adversely affect sensitive ecological areas such as creeks and wetlands.
- 173** Development should be appropriate to land capability and the protection and conservation of water resources and biodiversity.

### *Water Sensitive Design*

- 174** Development should be designed to maximise conservation, minimise consumption and encourage re-use of water resources.
- 175** Development should not take place if it results in unsustainable use of surface or underground water resources.
- 176** Development should be sited and designed to:
- (a) capture and re-use stormwater, where practical;
  - (b) minimise surface water runoff;
  - (c) prevent soil erosion and water pollution;
  - (d) protect and enhance natural water flows;

- (e) protect water quality by providing adequate separation distances from watercourses and other water bodies;
- (f) not contribute to an increase in salinity levels;
- (g) avoid the water logging of soil or the release of toxic elements;
- (h) maintain natural hydrological systems and not adversely affect:
  - (i) the quantity and quality of groundwater;
  - (i) the depth and directional flow of groundwater;
  - (ii) the quality and function of natural springs.

**177** Water discharged from a development site should:

- (a) be of a physical, chemical and biological condition equivalent to or better than its pre-developed state;
- (b) not exceed the rate of discharge from the site as it existed in pre-development conditions.

**178** Development should include stormwater management systems to protect it from damage during a minimum of a 1-in-100 year average return interval flood.

**179** Development should have adequate provision to control any stormwater over-flow runoff from the site and should be sited and designed to improve the quality of stormwater and minimise pollutant transfer to receiving waters.

**180** Development should include stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure the carrying capacities of downstream systems are not overloaded.

**181** Development should include stormwater management systems designed to achieve the following stormwater runoff outcomes:

- (a) for up to but not including the 5 year average return interval flood event:
  - (i) pre-development peak flows should not be exceeded;
  - (ii) the time to peak should match that of the pre-development case, as far as practical, provided this does not exacerbate downstream flooding;
  - (iii) runoff should be contained within designed flow paths that avoid unplanned nuisance flooding;
- (b) for the 5 year to up to and including the 100 year average return interval flood event:
  - (i) flooding of residential, commercial, institutional, recreation and industrial buildings should be avoided;
  - (ii) the time to peak and the peak flow should match that of the pre-development case, as far as practical (provided this does not exacerbate downstream flooding), unless catchment wide benefits can be demonstrated.

**182** Development should include stormwater management systems to minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system.

**183** Land division resulting in the creation of 20 or more allotments should include stormwater management systems designed to achieve the following stormwater runoff outcomes (compared to untreated stormwater runoff):

- (a) 80 percent reduction in average annual total suspended solids;
- (b) 60 percent reduction in average annual total phosphorus;
- (c) 45 percent reduction in average annual total nitrogen.

**184** Development likely to result in significant risk of export of litter, oil or grease should include stormwater management systems designed to achieve the following gross pollutant outcomes:

- (a) 90 percent reduction of litter/gross pollutants compared to untreated stormwater runoff;
- (b) no visible oils/grease for flows up to the 1-in-3 month average return interval flood peak flow.

**185** Stormwater management systems should preserve natural drainage systems, including the associated environmental flows.

**186** Stormwater management systems should:

- (a) maximise the potential for stormwater harvesting and re-use, either on-site or as close as practicable to the source;
- (b) utilise, but not be limited to, one or more of the following harvesting methods:
  - (i) the collection of roof water in tanks;
  - (ii) the discharge to open space, landscaping or garden areas, including strips adjacent to car parks;
  - (iii) the incorporation of detention and retention facilities;
  - (iv) aquifer recharge.

**187** Where it is not practicable to detain or dispose of stormwater on site, only clean stormwater runoff should enter the public stormwater drainage system.

**188** Artificial wetland systems, including detention and retention basins, should be sited and designed to:

- (a) ensure public health and safety is protected;
- (b) minimise potential public health risks arising from the breeding of mosquitoes.

#### *Water Catchment Areas*

**189** Development should ensure watercourses and their beds, banks, wetlands and floodplains are not damaged or modified and are retained in their natural state, except where modification is required for essential access or maintenance purposes.

**190** No development should occur where its proximity to a swamp or wetland will damage or interfere with the hydrology or water regime of the swamp or wetland.

**191** A wetland or low-lying area providing habitat for native flora and fauna should not be drained, except temporarily for essential management purposes to enhance environmental values.

**192** Along watercourses, areas of remnant native vegetation, or areas prone to erosion, that are capable of natural regeneration should be fenced off to limit stock access.



- 193** Development such as cropping, intensive animal keeping, residential, tourism, industry and horticulture, that increases the amount of surface run-off should include a strip of land at least 20 metres wide measured from the top of existing banks on each side of a watercourse that is:
- (a) fenced to exclude livestock;
  - (b) kept free of development, including structures, formal roadways or access ways for machinery or any other activity causing soil compaction or significant modification of the natural surface of the land;
  - (c) revegetated with locally indigenous vegetation comprising trees, shrubs and other groundcover plants to filter runoff so as to reduce the impacts on native aquatic ecosystems and to minimise soil loss eroding into the watercourse.
- 194** Development resulting in the depositing of an object or solid material in a watercourse or floodplain or the removal of bank and bed material should not:
- (a) adversely affect the migration of aquatic biota;
  - (b) adversely affect the natural flow regime;
  - (c) cause or contribute to water pollution;
  - (d) result in watercourse or bank erosion;
  - (e) adversely affect native vegetation upstream or downstream that is growing in or adjacent to a watercourse;
  - (f) increase the risk of flooding (upstream or downstream).
- 195** The location and construction of dams, water tanks and diversion drains should:
- (a) occur off watercourse;
  - (b) not take place in ecologically sensitive areas or on erosion prone sites;
  - (c) provide for low flow by-pass mechanisms to allow for migration of aquatic biota;
  - (d) not negatively affect downstream users;
  - (e) minimise in-stream or riparian vegetation loss;
  - (f) incorporate features to improve water quality (eg wetlands and floodplain ecological communities, sediment basins and indigenous aquatic vegetation);
  - (g) protect ecosystems dependent on water resources;
  - (h) ensure water capture is within sustainable limits.
- 196** Irrigated horticulture and pasture should not increase groundwater induced salinity.
- 197** Development should comply with the current *Environment Protection (Water Quality) Policy*.
- 198** Development within the Water Management Areas designated on [Map MiMu/1 \(Overlay 3\)](#) should not adversely affect the quality or quantity of the water resource.
- 199** Unsewered development outside of townships should be located at least 100 metres from the River Murray and/or other significant watercourses; development connected to a common effluent drainage scheme outside of township areas should not be located closer than 25 metres to any watercourse.

*Biodiversity and Native Vegetation*

- 200** Development should retain existing areas of native vegetation and where possible contribute to revegetation using locally indigenous plant species.
- 201** Development should be designed and sited to minimise the loss and disturbance of native flora and fauna, including riparian and riverine animals and plants, and their breeding grounds and habitats.
- 202** Native vegetation should be conserved and its conservation value and function not compromised by development if the native vegetation does any of the following:
- (a) provides an important habitat for wildlife or shade and shelter for livestock;
  - (b) has a high plant species diversity or includes rare, vulnerable or endangered plant species or plant associations and communities;
  - (c) provides an important seed bank for locally indigenous vegetation;
  - (d) has high amenity value and/or significantly contributes to the landscape quality of an area, including the screening of buildings and unsightly views;
  - (e) has high value as a remnant of vegetation associations characteristic of a district or region prior to extensive clearance for agriculture;
  - (f) is growing in, or is characteristically associated with a wetland environment.
- 203** Native vegetation should not be cleared if such clearing is likely to lead to, cause or exacerbate any of the following:
- (a) erosion or sediment within water catchments;
  - (b) decreased soil stability;
  - (c) soil or land slip;
  - (d) deterioration in the quality of water in a watercourse or surface water runoff;
  - (e) a local or regional salinity problem;
  - (f) the occurrence or intensity of local or regional flooding.
- 204** Development that proposes the clearance of native vegetation should address or consider the implications that removing the native vegetation will have on the following:
- (a) provision for linkages and wildlife corridors between significant areas of native vegetation;
  - (b) erosion along watercourses and the filtering of suspended solids and nutrients from runoff;
  - (c) the amenity of the locality;
  - (d) bushfire safety;
  - (e) the net loss of native vegetation and other biodiversity.
- 205** Where native vegetation is to be removed, it should be replaced in a suitable location on the site with locally indigenous vegetation to ensure that there is not a net loss of native vegetation and biodiversity.

**206** Development should be located and occur in a manner which:

- (a) does not increase the potential for, or result in, the spread of pest plants, or the spread of any non-indigenous plants into areas of native vegetation or a conservation zone;
- (b) avoids the degradation of remnant native vegetation by any other means including as a result of spray drift, compaction of soil, modification of surface water flows, pollution to groundwater or surface water or change to groundwater levels;
- (c) incorporates a separation distance and/or buffer area to protect wildlife habitats and other features of nature conservation significance.

**207** Development should promote the long-term conservation of vegetation by:

- (a) avoiding substantial structures, excavations, and filling of land in close proximity to the trunk of trees and beneath their canopies;
- (d) minimising impervious surfaces beneath the canopies of trees;
- (e) taking other effective and reasonable precautions to protect both vegetation and the integrity of structures and essential services.

**208** Horticulture involving the growing of olives should be located at least:

- (a) 500 metres from:
  - (i) a national park;
  - (ii) a conservation park;
  - (iii) a wilderness protection area;
  - (iv) the edge of a substantially intact stratum of native vegetation greater than 5 hectares in area;
- (b) 50 metres from the edge of stands of native vegetation 5 hectares or less in area.

**209** Horticulture involving the growing of olives should have at least one locally indigenous tree that will grow to a height of at least 7 metres sited at least every 100 metres around the perimeter of the orchard.

#### *Soil Conservation*

**210** Development should not have an adverse impact on the natural, physical, chemical or biological quality and characteristics of soil resources.

**211** Development should be designed and sited to prevent erosion.

**212** Development should take place in a manner that will minimise alteration to the existing landform.

**213** Development should minimise the loss of soil from a site through soil erosion or siltation during the construction phase of any development and following the commencement of an activity.

#### **Conservation**

**214** Development liable to impair the character or nature of buildings, relics and sites of heritage, archaeological, scientific or agricultural importance should not be undertaken.

**215** Development adjacent to, or near, buildings of heritage, cultural, scientific or visual significance, should not be undertaken if it would significantly detract from the appearance of the building or the character of the locality.

## Flooding

- 216** Development should not occur on land where the risk of flooding is likely to be harmful to safety or damage property.
- 217** Development should not be undertaken in areas liable to inundation by drainage or flood waters unless the development can achieve all of the following:
- (a) it is developed with a public stormwater system capable of catering for a 1 in 100 year average return interval flood event;
  - (b) buildings are designed and constructed to prevent the entry of floodwaters in a 1 in 100 year average return interval flood event.
- 218** Development, including earthworks associated with development, should not do any of the following:
- (a) impede the flow of floodwaters through the land or other surrounding land;
  - (b) increase the potential hazard risk to public safety of persons during a flood event;
  - (c) aggravate the potential for erosion or siltation or lead to the destruction of vegetation during a flood;
  - (d) cause any adverse effect on the floodway function;
  - (e) increase the risk of flooding of other land;
  - (f) obstruct a watercourse.

## Energy Efficiency

- 219** Development should provide for efficient solar access to buildings and open space all year around.
- 220** Buildings should be sited and designed so that the open spaces associated with the main living areas face north for exposure to winter sun.
- 221** Buildings should be sited and designed to ensure adequate natural light and winter sunlight is available to the main activity areas of adjacent buildings.
- 222** Roof pitches should facilitate the efficient use of solar hot water services and photovoltaic cells.
- 223** Development should be designed to minimise consumption of non-renewable energy through designing the roof of buildings with a north facing slope to accommodate solar collectors.
- 224** Public infrastructure, including lighting and telephones, should be designed to generate and use renewable energy.

## Heritage Places

- 225** A heritage place spatially located on State and Local Heritage [Figures MiMu/1 \(HER\) to MiMu/17 \(HER\)](#) and more specifically identified in [Table MiMu/6 - State Heritage Places](#) and [Table MiMu/7 - Local Heritage Places](#) should not be demolished, destroyed or removed, in total or in part, unless either of the following apply:
- (a) that portion of the place to be demolished, destroyed or removed is excluded from the extent of the places identified in the Table(s); and
  - (b) the structural condition of the place represents an unacceptable risk to public or private safety.

**226** Development of a State or local heritage place should retain those elements contributing to its heritage value, which may include (but not be limited to):

- (a) principal elevations;
- (b) important vistas and views to and from the place;
- (c) setting and setbacks;
- (d) building materials;
- (e) outbuildings and walls;
- (f) trees and other landscaping elements;
- (g) access conditions (driveway form/width/material);
- (h) architectural treatments; and
- (i) the use of the place.

**227** Development of a State or local heritage place should be compatible with the heritage value of the place.

**228** Original unpainted plaster, brickwork, stonework or other masonry of existing State or local heritage places should be preserved, unpainted.

**229** New buildings should not be placed or erected between the front street boundary and the façade of existing State or local heritage places.

**230** Development that materially affects the context within which the heritage place is situated should be compatible with the heritage place. It is not necessary to replicate historic detailing, however design elements that should be compatible include, but are not limited to:

- (a) scale and bulk;
- (b) width of frontage;
- (c) boundary setback patterns;
- (d) proportion and composition of design elements such as rooflines, openings, fencing and landscaping; and
- (e) colour and texture of external materials.

**231** Multi-storey additions to a State or local heritage place should be compatible with the heritage value of the place through a range of design solutions such as:

- (a) extending into the existing roof space or to the rear of the building;
- (b) retaining the elements that contribute to the building's heritage value;
- (c) distinguishing between the existing and new portion of the building; and
- (d) stepping in parts of the building that are taller than the front facade.

**232** The introduction of advertisements and signage to a State or local heritage place should:

- (a) be placed on discrete elements of its architecture such as parapets and wall panels, below the canopy, or within fascias, and infill end panels and windows;

- (b) not conceal or obstruct historical detailing of the heritage place;
- (c) not project beyond the silhouette or skyline of the heritage place; and
- (d) not form a dominant element of the place.

**233** The division of land adjacent to or containing a State or local heritage place should occur only where it will:

- (a) create an allotment pattern that maintains or reinforces the integrity of the heritage place and the character of the surrounding area;
- (b) create an allotment or allotments of a size and dimension that can accommodate new development that will reinforce and complement the heritage place and the zone or policy area generally;
- (c) be of a size and dimension that will enable the siting and setback of new buildings from allotment boundaries so that they do not overshadow, dominate, encroach on or otherwise impact on the setting of the heritage place;
- (d) provide an area for landscaping of a size and dimension that complements the landscape setting of the heritage place and the landscape character of the locality; and
- (e) enable the State or local heritage place to have a curtilage of a size sufficient to protect its setting.

**234** Residential development should include landscaped front garden areas that complement the heritage values of the place and complement the desired character of the locality.

**235** The conversion of a heritage place (being a non-residential building) into a dwelling(s) or an existing dwelling into two or more dwellings, may be undertaken provided that the building and front yard retain the original external appearance to the public road and the associated works do not materially affect the heritage value of the place.

**236** Front fences and gates on the site of a heritage place should:

- (a) reflect and conserve the traditional period, style and form of the associated building;
- (b) generally be of low timber pickets, low pier and plinth masonry, wrought iron, brush or masonry; and
- (c) be no more than 1.2 metres in height.

**237** Front fences are typically not appropriate for non-residential heritage places, particularly where the built form is sited close to the street frontage, unless it represents part of the elements of heritage value or is essential for security purposes.

**238** Rear fences and side boundary fences located behind the alignment of the principal facade of the building, should be no more than 1.8 metres in height.

### **Residential Development**

**239** Residential allotments and sites should have the appropriate orientation, area, configuration and dimensions to accommodate:

- (a) the siting and construction of a dwelling and associated ancillary outbuildings;
- (b) the provision of landscaping and private open space;
- (c) convenient and safe vehicle access and off street parking;

(d) passive energy design.

**240** Buildings on battleaxe allotments or the like should be single storey and be designed to maintain the privacy of adjoining properties.

**241** Residential allotments should be of varying sizes to encourage housing diversity.

**242** Dwellings constituting affordable housing and housing for seniors should be located to optimise access to shops, social services and facilities, or public transport.

### **Residential Design and Appearance**

**243** The appearance of land and buildings should not detract from the Desired Character of the relevant residential zone and policy area in terms of built-form elements such as:

- (a) building height;
- (b) building mass, scale and proportion;
- (c) the manner in which buildings address public streets;
- (d) external materials, patterns, textures and colours;
- (e) ground floor height above natural ground level; or
- (f) roof form and pitch.

**244** Where a dwelling has direct frontage to a street the dwelling should be designed to provide surveillance and address the street.

**245** Entries to dwellings should be clearly visible from the street to enable visitors to identify a specific dwelling easily.

**246** The external walls of any building, or of any addition or alteration to a building, should be principally composed of masonry, brick, stone, timber, rendered masonry, or similar cladding.

**247** The provision of adequate privacy and daylight in relation to neighbouring residential allotments, and the maintenance of amenity and landscape quality in the locality, should be assured by each development.

**248** Semi-detached, row and multiple dwellings, and residential flat buildings should incorporate a high standard of amenity and architectural quality in the choice of materials and siting of the buildings. Such development should conform in scale, form, height and character with adjoining buildings, and be sited to provide maximum privacy and quietness by landscaping and screening.

**249** The design and location of buildings should ensure that direct winter sunlight is available to adjacent dwellings, with particular consideration given to:

- (a) windows of habitable rooms, particularly living areas;
- (b) ground-level private open space;
- (c) upper-level private balconies that provide the primary open space area for any dwelling; and
- (d) access to solar energy.

**250** Development, except a dwelling in the River Murray Zone Shack Settlement Policy Area, should ensure that north-facing windows to habitable rooms of existing dwelling(s) on the same allotment, and on adjacent allotments, receive at least 3 hours of direct sunlight over a portion of their surface between 9am and 5pm on the 21 June.

**251** Development, except a dwelling in the River Murray Zone Shack Settlement Policy Area, should ensure that ground-level open space of existing buildings receives direct sunlight for a minimum of two hours between 9.00am and 3.00pm on 21 June to at least the smaller of the following:

- (a) half of the existing ground-level open space; or
- (b) 35 square metres of the existing ground-level open space (with at least one of the area's dimensions measuring 2.5 metres).

In cases where overshadowing already exceeds these requirements, development must not increase the overshadowed area by more than 20 percent.

**252** Development in the vicinity of buildings of historical or architectural significance should be designed to be complementary with such buildings.

**253** Residential Flat Buildings, multiple dwellings and row dwellings, should not be erected unless:

- (a) sufficient space is provided for waste disposal on-site where a septic tank or similar system is used;
- (b) sufficient space is provided for the parking and manoeuvring of tenant and visitor vehicles;
- (c) buildings, driveways, car parking areas and clothes drying areas, together cover not more than 60 percent of the site;
- (d) the design and siting of the building is such as will provide a reasonable degree of privacy for each unit and minimise any loss of privacy of adjoining development;
- (e) adequate private and communal open space is provided together with screened areas for storage of refuse containers and clothes drying;
- (f) the building is designed and sited so as not to create significant overshadowing or glare with respect to adjoining development; and
- (g) the building and access road layout will enhance the character of the locality.

**254** The design of residential flat buildings should:

- (a) define individual dwellings in the external appearance of the building;
- (b) provide transitional space around the entry; and
- (c) ensure building entrances provide shelter, are visible and easily identifiable from the street.

**255** Buildings should not be erected on posts or stilts unless the lower portions of the structure are screened from view from public reserves or roads.

**256** Buildings for residential purposes should not exceed two-storeys in height including the height required to be elevated on flood prone land.

**257** Second hand transportable dwellings are not appropriate in townships, and are only appropriate in rural areas where their external appearance demonstrates a substantially high standard of amenity.

**258** Dwellings should have a finished floor level a minimum of 300mm above the top of the kerb, unless the site slopes away from the road.

**259** Development should conform in scale, form, height and character with adjoining buildings, and be sited to minimise impacts on the privacy of adjoining allotments.



**260** No caravan or motor powered van should be located on any allotment or used for human habitation unless:

- (a) it is a temporary use ancillary to an existing dwelling or business;
- (b) the land forms part of an existing caravan park or camping ground; or
- (c) the construction of a dwelling has been approved on the same allotment and the caravan or motor-powered van is sited for a period not exceeding six months to enable the erection of the dwelling to proceed; and
  - (i) the caravan or motor-powered van is to be removed at the expiration of that period if construction of the dwelling has not been substantially commenced; and
  - (ii) is connected to an approved effluent disposal system or appropriate alternative.

### **Garages, Carports and Outbuildings**

**261** Garages, carports and outbuildings should have a roof form and pitch, building materials and detailing that complement the associated dwelling.

**262** The siting of garages, sheds and carports should:

- (a) not adversely impact on the desired character of the streetscape;
- (b) not dominate presentation of the associated or adjoining dwelling to the street;
- (c) not adversely impact on the amenity of the neighbours.

**263** Residential outbuildings, including garages and sheds, should not be constructed unless in association with an existing dwelling.

**264** The erection, conversion, alteration, or use, of a garage or shed or outbuilding, for human occupation should not be undertaken.

**265** The erection of a shed, garage, or outbuilding on an allotment should only be undertaken where:

- (a) in rural areas:
  - (i) it is associated with residential development; or
  - (ii) is essential for the purpose of primary production or approved use of land;
- (b) in townships and other areas designated for residential use:
  - (i) it is ancillary to an existing dwelling or business; or
  - (ii) on vacant allotments, it is erected:
    - to enable the erection of a dwelling on the same allotment to proceed and is removed at the expiration of twelve months if the dwelling has not been substantially commenced; and
    - is used for storage of building materials or tools only.

### **Street and Boundary Setbacks**

**266** Setback of dwellings from public roads should:

- (a) contribute to the desired character of the streetscape;

- (b) be similar to or compatible with setbacks of buildings on adjoining land and dwellings in the locality; and
- (c) not dominate the streetscape character of the locality.

**267** Dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building increases to:

- (a) minimise the visual impact of buildings from adjoining properties;
- (b) minimise the overshadowing of adjoining properties; and
- (c) maintain adequate natural light to existing and proposed dwellings.

**268** Unless stated specifically in the relevant Zone or Policy Area, dwellings setbacks (except a dwelling in the River Murray Zone Shack Settlement Policy Area) should comply with the following minimum standards:

	Height	Setback distance
Side wall	< 3m	1m
	> 3m and ≤ 6m	(a) 3m if wall located adjacent to the southern boundary of the allotment or (b) 2m in all other situations
	> 6m	(a) minimum of 3m plus a distance equal to the measurement of the increase in wall height above 6m if the wall is located along the southern boundary of the allotment or (b) a minimum of 2m plus a distance equal to the measurement of the increase in wall height above 6m in all other situations
Rear	Single storey	6m (with a 3m incursion into this setback of portion of the building where that portion has a width no greater than half the width of the allotment)
	Two Storey	8m from the two storey component of the dwelling

**269** Side boundary walls in residential areas should be limited in length and height to:

- (a) minimise their visual impact on adjoining properties; and
- (b) minimise the overshadowing of adjoining properties.

**270** Carports and garages should be set back from road and building frontages so as to:

- (a) contribute to the desired character of the area;
- (b) not adversely impact on the safety of road users;
- (c) provide safe entry and exit; and
- (d) not dominate the appearance of dwellings from the street.

### Site Coverage

**271** Site coverage should be limited to ensure sufficient space is provided for:

- (a) pedestrian and vehicle access and vehicle parking;
- (b) domestic storage;
- (c) outdoor clothes drying;
- (d) a rainwater tank;
- (e) private open space and landscaping;
- (f) front, side and rear boundary setbacks that contribute to the desired character of the area; and
- (g) convenient storage of household waste and recycling receptacles.

### Private Open Space

Principles of development control 272 to 276 inclusive do not apply to a dwelling in the River Murray Zone Shack Settlement Policy Area.

**272** Private open space (land available for exclusive use by residents of each dwelling) should be provided for each dwelling and should be sited and designed:

- (a) to be accessed directly from the internal living areas of the dwelling
- (b) generally at ground level to the side or rear of a dwelling and screened for privacy
- (c) to take advantage of but not adversely affect natural features of the site
- (d) to minimise overlooking from adjacent buildings
- (e) to achieve separation from bedroom windows on adjoining sites
- (f) to have a northerly aspect to provide for comfortable year-round use
- (g) to not be significantly shaded during winter by the associated dwelling or adjacent development
- (h) to be shaded in summer.

**273** Dwellings should have associated private open space of sufficient area and shape to be functional, taking into consideration the likely needs of the occupant(s), the location of the dwelling, and the dimension and gradient of the site.

**274** Dwellings, particularly those with ground-level habitable rooms should include private open space that conforms to the requirements identified in the following table:

Site area of dwelling	Minimum area of private open space	Provisions
250 square metres or greater	20 percent of site area	<p>Balconies, roof patios, decks and the like, can comprise part of this area provided the area of each is 10 square metres or greater.</p> <p>One part of the space should be directly accessible from a living room and have an area equal to or greater than 10 percent of the site area with a minimum dimension of 5 metres and a maximum gradient of 1 in 10.</p>
Less than 250 square metres	35 square metres	<p>Balconies, roof patios, decks and the like, can comprise part of this area provided the area of each is 8 square metres or greater, with a minimum dimension of:</p> <p>(a) 2.5 metres for ground level or roof-top private open space</p> <p>(b) 2.0 metres for upper level balconies or terraces</p> <p>One part of the space is directly accessible from a living room and has an area of 16 square metres with a minimum dimension of 4 metres and a maximum gradient of 1 in 10.</p>

**275** Private open space should not include driveways, effluent drainage areas, rubbish bin storage, sites for rainwater tanks and other utility areas, and common areas such as parking areas and communal open space in residential flat buildings and group dwellings.

**276** Balconies should make a positive contribution to the internal and external amenity of residential buildings and should be sited adjacent to the main living areas, such as the living room, dining room or kitchen, to extend the dwelling's living space.

### Landscaping

**277** Landscaping should be designed to:

- (a) enhance the site;
- (b) incorporate existing vegetation, where practicable;
- (c) complement built form (ie, taller and broader plantings, against taller and bulky building components); and
- (d) contribute to energy efficiency and amenity by providing substantial shade in summer, especially to north and west-facing windows, open space and open car park areas, and admitting winter sunlight to open space and outdoor and indoor living areas.

### Site Facilities and Storage

**278** Site facilities for group dwellings and residential flat buildings should include:

- (a) mail box facilities sited close to the major pedestrian entrance to the site;
- (b) bicycle parking for residents and visitors;
- (c) household waste and recyclable material storage areas away from dwellings; and

- (d) external clothes drying areas, which are readily accessible to each dwelling and complement the development and streetscape character for dwellings which do not incorporate ground level private open space.

### Visual Privacy

**279** Direct overlooking into habitable room windows and onto the useable private open spaces of other dwellings from windows, especially from upper-level habitable rooms and external balconies, terraces and decks, should be minimised through the adoption of one or more of the following:

- (a) building layout;
- (b) location and design of windows and balconies;
- (c) screening devices;
- (d) landscaping; or
- (e) adequate separation.

**280** Permanently fixed external screening devices should be designed and coloured to blend with the associated building's external material and finishes.

### Noise

**281** Residential development close to high noise sources (eg major roads, railway lines and industry) should be designed to locate bedrooms, living rooms and private open spaces away from those noise sources, or protect these areas with appropriate noise attenuation measures.

**282** The number of dwellings sharing a common internal pedestrian entry within a residential flat building should be minimised to limit noise generation in internal access ways.

**283** External noise and light intrusion to bedrooms should be minimised by separating or shielding these rooms from:

- (a) active communal recreation areas, parking areas and vehicle access ways; and
- (b) service equipment areas and fixed noise sources on the same or adjacent sites.

### Car Parking and Access

**284** Driveway crossovers should be single width and appropriately separated, and the number should be minimised to optimise the provision of on-street visitor parking.

**285** On-site parking should be provided having regard to:

- (a) the number, nature and size of proposed dwellings;
- (b) proximity to centre facilities, public and community transport within walking distance of the dwellings;
- (c) the anticipated mobility and transport needs of the likely occupants, particularly groups such as aged persons;
- (d) availability of on-street car parking; and
- (e) any loss of on-street parking arising from the development (eg an increase in number of driveway crossovers).

**286** Parking areas servicing more than one dwelling should be of a size and location to:

- (a) serve users, including pedestrians, cyclists and motorists, efficiently, conveniently and safely;
- (b) provide adequate space for vehicles to manoeuvre between the street and the parking area;
- (c) reinforce or contribute to attractive streetscapes.

**287** On-site visitor parking spaces for group and multiple dwellings and residential flat buildings should be sited and designed to:

- (a) serve users efficiently and safely;
- (b) not dominate internal site layout;
- (c) be clearly defined as visitor spaces not specifically associated with any particular dwelling; and
- (d) ensure they are not sited behind locked garages and are accessible to visitors at all times.

**288** Driveway gradients should not exceed a slope of 1 in 5.

**289** Driveways on arterial roads that serve more than one dwelling should be designed to cater for the simultaneous two-way movements of the largest vehicles expected to enter and exit the site.

**290** Accessways servicing a hammerhead allotment or more than one dwelling should be designed and located to incorporate a minimum landscaping strip of 1m width along both sides of the driveway. Where a straight driveway exceeds 20 metres in length, additional landscaping and/or deviation of the driveway should be incorporated to improve the visual appearance from the street.

**291** Driveways servicing dwellings should comply with the following table:

No. of dwellings served by driveway	Width at front property boundary and for first 6m	Width beyond first 6m	Widening required for passing	Minimum landscaped strip either side of the driveway
1 – 2	3m	2.5m	0	1m
3	3m	3m	Only if driveway length > 30m	1m
4 – 7	4.5m	3m	Widen to 5m at point 25m from front property boundary and every 25m thereafter	1m
8+	6m	5m	-	1m

**292** On-site parking and manoeuvring areas servicing development abutting arterial roads should be designed to enable all vehicles to enter and exit the site in a forward direction.

### **Dependent Accommodation**

**293** Dependent accommodation (ie accommodation where the living unit is connected to the same services of the main dwelling) should be developed on the same allotment as the existing dwelling only where:

- (a) the site is of adequate size and configuration and the minimum total site is 600 square metres;
- (b) the accommodation has a small floor area relative to the associated main dwelling with a floor area not exceeding 50 square metres;
- (c) adequate outdoor space of a minimum of 120 square metres is provided for the use of all occupants;
- (d) adequate on-site car parking is provided by one additional car parking space being provided on the site;
- (e) the building is designed to, and comprises colours and materials that will, complement the original dwelling; and
- (f) the building is attached to the associated main dwelling.

### **Swimming Pools and Outdoor Spas**

**294** Swimming pools, outdoor spas and associated ancillary equipment and structures should be sited so as to protect the privacy and amenity of adjoining residential land.

### **Supported Accommodation, Housing for Aged Persons and People with Disabilities**

**295** Supported accommodation including nursing homes, hostels, retirement homes, retirement villages, residential care facilities and special accommodation houses and housing for aged persons and people with disabilities should be:

- (a) located within walking distance of essential facilities such as convenience shops, health and community services and public and community transport;
- (b) located where on-site movement of residents is not unduly restricted by the slope of the land;
- (c) sited and designed to promote interaction with other sections of the community, without compromising privacy;
- (d) of a scale and appearance that reflects the residential style and character of the locality; and
- (e) provided with public and private open space and landscaping.

**296** Supported accommodation and housing for aged persons and people with disabilities should be designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents that include:

- (a) internal communal areas and private spaces;
- (b) useable recreation areas for residents and visitors, including visiting children;
- (c) spaces to accommodate social needs and activities, including social gatherings, internet use, gardening, keeping pets, preparing meals and doing personal laundry;
- (d) storage areas for items such as boats, trailers, caravans and specialised equipment; and

- (e) mail boxes and waste disposal areas within easy walking distance of all units.

**297** Access roads within supported accommodation and development incorporating, housing for aged persons and people with disabilities should:

- (a) not have steep gradients;
- (b) provide convenient access for emergency vehicles, visitors and residents;
- (c) provide space for manoeuvring cars and community buses;
- (d) include kerb ramps at pedestrian crossing points; and
- (e) have level-surface passenger loading areas.

**298** Car parking associated with supported accommodation and housing for aged persons and people with disabilities should:

- (a) be conveniently located on site within easy walking distance of resident units;
- (b) be adequate for residents, service providers and visitors;
- (c) include covered and secure parking for residents' vehicles;
- (d) have slip-resistant surfaces with gradients not steeper than 1 in 40;
- (e) allow ease of vehicle manoeuvrability;
- (f) be designed to allow the full opening of all vehicle doors; and
- (g) minimise the impact of car parking on adjacent residences owing to visual intrusion and noise;
- (h) be appropriately lit to enable safe and easy movement to and from vehicles.

**299** Supported accommodation should include:

- (a) ground-level access or lifted access to all units;
- (b) an interesting and attractive outlook from units and communal areas for all residents including those in wheelchairs;
- (c) adequate living space allowing for the use of wheelchairs with an attendant; and
- (d) storage for items such as small electric powered vehicles and other personal items, including facilities for recharging small electric powered vehicles.

**300** Car parking associated with supported accommodation should:

- (a) have adequate identifiable provisions for staff;
- (b) include private parking spaces for independent living units; and
- (c) include separate and appropriately marked places for people with disabilities and spaces for small electrically powered vehicles.

### **Intensive Animal Keeping**

**301** Intensive Animal Keeping should not be developed unless it is located, and the natural characteristics of the sites used, so as to not create any significantly impacts on the locality, or adjoining localities.



- 302** Piggeries, feed lots, poultry sheds or similar uses should not be developed within two kilometres of a township, settlement, residential area or Rural Living Zone.
- 303** Dog kennels should not be developed within one kilometre of a township, local centre or area designated for human occupation.
- 304** Intensive Animal Keeping should not be located in the Murray Valley.
- 305** Intensive Animal Keeping should not be concentrated in any particular locality and should not be developed unless all effluent and other wastes are properly managed and disposed of without environmental, health or water pollution risks.
- 306** All buildings, pens, runs, holding yards and other auxiliary structures should be sited as unobtrusively as possible, particularly when viewed from secondary arterial, or local roads, or scenic routes.
- 307** Animals should be confined, housed or restrained at all times to prevent straying or trespass.
- 308** Intensive Animal Keeping, other than the development of a dairy, kennel or stable, should not be undertaken if:
- (a) the intensive animal keeping unit is located within:
    - (i) 100 metres of a dwelling occupied by a person to be involved with the proposed development; or
    - (ii) 500 metres of any dwelling in an independent occupation, or any building open to or used by the public.
  - (b) any solid or liquid wastes are to be spread within:
    - (i) 200 metres of any dwelling occupied by any person involved with the proposed development; or
    - (ii) 500 metres of any dwelling not occupied by any person involved with the proposed development, or any land or building open to or used by the public.

### **Animal Keeping**

- 309** No more than two dogs, goats or two sheep should be kept on any allotment in defined townships and Service Centre Zones.
- 310** Horses and other large animals such as donkeys, cattle and pigs (but excluding goats or sheep) should not be kept in defined townships and Service Centre Zones.
- 311** Within Rural Living Zones or Rural Living Policy Areas buildings and structures, including stables and horse shelters, should not be erected unless they are sited unobtrusively, set well back from adjoining roads and screened with landscaping, so as not to detract from the rural, semi-rural or natural character of the area and the amenity of the locality.
- 312** Within Rural Living Zones or Rural Living Policy Areas horses may be kept on land of at least 1.0ha in size provided the horse is accommodated within a stable or horse shelter designed to conform with standards in [Table MiMu/3](#) and is hand fed.
- 313** Keeping or stabling of horses or other animals should ensure that the following management practices are undertaken to minimise or alleviate any environmental impacts:
- (a) maintenance of surface cover (plant residues) over the majority of all paddocks;
  - (b) repasturing of bare ground areas;

- (c) double fencing of property boundaries and planted with landscaping to form effective wind breaks/shelter belts;
- (d) eradication of weeds and pests;
- (e) provision of sanitary measures;
- (f) rotational grazing of pastures;
- (g) supplementary feeding and irrigation to reduce grazing pressure of paddocks;
- (h) paddock and stable manure should be removed or harrowed regularly; and
- (i) protection of areas of native vegetation from degradation by keeping of horses and other animals.

If exercise yards are desired, they should be built up with compacted rubble base, and surface run-off managed to avoid erosion.

**314** Within Rural Living Zones and Rural Living Policy Areas or Rural Zones dog kennels should be set-back from allotment boundaries the following minimum distances:

- (a) from the principal road boundary - 15 metres or the same distance as the existing associated dwelling, whichever is the greater;
- (b) from the side road boundary - eight metres;
- (c) from the side boundary - eight metres for a fully sealed and insulated wall of a kennels building; and 20 metres for a kennel building which opens towards a side boundary; and
- (d) from rear boundary - 12 metres.

**315** Dog keeping should take place only where a dwelling is permanently occupied on the site.

### **Tourism Development**

**316** Major tourism development should generally be located within the townships or in designated Zones or Policy Areas.

**317** Tourism development should, where appropriate, add to the range of services and accommodation types available in an area.

**318** Tourism development and any associated activities should not damage or degrade any significant natural and cultural features.

**319** Tourism development should have a functional or locational link with its natural, cultural or historical setting.

**320** Tourism development should ensure that its scale, form and location will not overwhelm, over commercialise or detract from the intrinsic natural values of the land on which it is sited or the character of its locality.

**321** Any upgrading of infrastructure to serve tourism development should be consistent with the landscape and the intrinsic natural values of the land and the basis of its appeal.

**322** Tourism development should be located in such a way as to maximise the retention of existing native vegetation and ensure the bed and banks of watercourses are protected from inappropriate development and management practices.

**Tourism Development in Association with Dwelling(s)**

**323** Tourist facilities developed on the site of a dwelling should not detrimentally affect residential amenity.

**324** Car parking for tourist accommodation associated with a dwelling should be provided at the rate of one space for each guest room or suite of rooms, and ensure that:

- (a) parking areas are attractively developed and landscaped, or screen fenced, and do not dominate the street frontage;
- (b) the bedrooms of residential neighbours are suitably shielded from noise and headlight glare associated with guest vehicle movements; and
- (c) a domestic character is retained through the scale and appearance of landscaping and paving materials that provide a suitable all-weather surface.

**Tourism Development Outside Townships**

**325** Tourist developments should demonstrate excellence in design to minimise potential impacts or intrusion on primary production activities and on areas of high conservation, landscape and cultural value.

**326** Tourism developments in rural areas should be sited and designed to minimise impacts and have a functional or locational link with either of the following:

- (a) the surrounding agricultural production or processing;
- (b) the natural, cultural or historical setting of the area.

**327** Tourism development in rural areas should be developed in association with:

- (a) agricultural, viticultural and winery development;
- (b) heritage buildings and areas;
- (c) public open space and reserves;
- (d) linear parks;
- (e) walking and cycling trails; and
- (f) interpretive infrastructure and signs.

**328** Where appropriate, tourism developments in areas outside townships should:

- (a) adapt and upgrade existing buildings of heritage value; and
- (b) seek to improve conditions in disturbed or degraded areas on the site.

**329** Advertisements associated with tourism developments should:

- (a) not exceed 0.5 square metres in area for each display;
- (b) be limited to no more than two per site;
- (c) be located on the same site as the tourist development; and
- (d) not be internally illuminated.

**330** Tourism development in rural areas should occur only where it:

- (a) incorporates a separation distance or buffers to avoid conflict with existing rural industries or agriculture or otherwise is designed to overcome the potential impacts associated with the adjoining land use (such as noise, dust, spray drift, odour and traffic)
- (b) will not give rise to demands for infrastructure and services, especially on public lands, that are inappropriate to the primary purpose of the zone and/or policy area.

**331** Tourism development, particularly in remote areas should be designed to minimise energy and water demands and incorporate alternative, sustainable technologies that use renewable energy sources and/or treat and reuse stormwater and wastewater to minimise reliance on mains services.

**332** Natural features, signs and walkways should be used to manage and minimise potential risks of visitors damaging areas of cultural or natural significance, fragile areas, and areas of highest environmental value.

**333** The visual and ambient impact of vehicles should be minimised by placing roadways and parking areas in unobtrusive locations.

### **Marinas, Moorings and River Structures**

**334** On-river facilities for the mooring of a vessel:

- (a) are not sites for the permanent mooring of a houseboat where the vessel will be permanently occupied or used for living purposes while moored;
- (b) should be limited to waterfront land that contains a lawfully constructed dwelling (with a maximum mooring capacity of one vessel per allotment); and
- (c) only be developed where consistent with the desired character for the zone or policy area.

**335** Marina development may include:

- (a) wet and dry berthing of boats;
- (b) launching and retrieval of recreational boats and associated trailer and car parking areas;
- (c) access ramps, landings, storage and other structures associated with a marina;
- (d) a clubroom for boat owner organisations;
- (e) an office for management purposes; and
- (f) bunded refuelling facilities.

**336** The design of marinas, berths, channels, fairways, gangways and floating structures should comply with the Australian Standard AS 3962: Guidelines for Design of Marinas;

**337** Development should not obstruct or impair:

- (a) navigation and access channels;
- (b) maintenance activities associated with river infrastructure including, but not limited to, revetment walls, water supply infrastructure and houseboat effluent pump-out facilities;
- (c) the operation of wharves and ferries; and

(d) public swimming areas and public boats ramps.

**338** Safe public access should be provided or maintained to:

- (a) the waterfront;
- (b) jetties, wharves, ferries and associated activities.

**339** Marinas should be designed to:

- (a) facilitate water circulation and exchange;
- (b) maximise the penetration of sunlight into the water; and
- (c) prevent erosion of the river bank and damage to native vegetation.

## **Waste**

**340** Development should be sited and designed to prevent or minimise the generation of waste (including wastewater) by applying the following waste management hierarchy in the order of priority as shown below:

- (a) avoiding the production of waste;
- (b) minimising waste production;
- (c) reusing waste;
- (d) recycling waste;
- (e) recovering part of the waste for re-use;
- (f) treating waste to reduce the potentially degrading impacts; and
- (g) disposing of waste in an environmentally sound manner.

**341** The storage, treatment and disposal of waste materials from any development should be achieved without risk to health or impairment of the environment.

**342** Development should avoid as far as practical, the discharge or deposit of waste (including wastewater) onto land or into any waters (including processes such as seepage, infiltration or carriage by wind, rain, sea spray, stormwater or by the rising of the water table).

**343** Untreated waste should not be discharged to the environment, and in particular to any water body.

**344** Development should include appropriately sized area to facilitate the storage of receptacles that will enable the efficient recycling of waste.

**345** Development that involves the production and/or collection of waste and/or recyclable material should include designated collection and storage area(s) that are:

- (a) screened and separated from adjoining areas;
- (b) located to avoid impacting on adjoining sensitive environments or land uses;
- (c) designed to ensure that wastes do not contaminate stormwater or enter the stormwater collection system;
- (d) located on an impervious sealed area graded to a collection point in order to minimise the movement of any solids or contamination of water;

- (e) protected from wind and stormwater and sealed to prevent leakage and minimise the emission of odours; and
- (f) stored in such a manner that ensures that all waste is contained within the boundaries of the site until disposed of in an appropriate manner.

### **Wastewater**

**346** The disposal of wastewater to land should only occur where methods of wastewater reduction and reuse are unable to remove the need for its disposal, and where its application to the land is environmentally sustainable.

**347** Wastewater lagoons should not be sited in any of the following areas:

- (a) within the flood plain known as the 1956 River Murray Flood Plain or on land within 100 metres of normal pool level of the River Murray;
- (b) within land subject to a 1 in 100 year average return interval flood event;
- (c) within 50 metres of the top of the bank of a watercourse; and
- (d) where the base of the lagoon would be below any seasonal water table.

**348** Artificial wetland system for the storage of treated wastewater, such as wastewater lagoons, should be:

- (a) sufficiently separated from adjoining sensitive uses to minimise potential adverse odour impacts; and
- (b) sited and designed to minimise potential public health risks arising from the breeding of mosquitoes.

### **Waste Treatment Systems**

**349** Development that produces any sewage or effluent should be connected to a waste treatment system that complies with (or can comply with) the relevant legislation applying to that type of system.

**350** The methods for, and siting of, effluent and waste storage, treatment and disposal systems should minimise the potential for environmental harm and adverse impacts on:

- (a) the quality of surface and groundwater resources;
- (b) public health;
- (c) the amenity of a locality; and
- (d) sensitive land uses.

**351** Waste treatment should only occur where the capacity of the treatment facility is sufficient to accommodate likely maximum daily demands including a contingency for unexpected high flows and breakdowns.

**352** Any on-site wastewater treatment system/ re-use system or effluent drainage field should be located within the allotment of the development that it will service other than:

- (a) where the land is located within the flood plain known as the 1956 River Murray Flood Plain; or
- (b) where the land is less than 100 metres from the normal pool level of the River Murray.

- 353** A dedicated on-site effluent disposal area should not include any areas to be used for, or could be reasonably foreseen to be used for, private outdoor open space, driveways, car parking or outbuildings.
- 354** The spreading or discharging of treated liquid or solid waste onto the ground should only occur where the disposal area consists of soil and vegetation that has the capacity to store and use the waste without contaminating soil or surface or ground water resources or damaging crops.
- 355** Stock slaughter works, poultry processors, saleyards, piggeries, dog kennels, cattle or lamb feedlots, milking sheds, milk processing works, fish processing works, wineries, distilleries, tanneries and fellmongeries, composting works and concrete batching works should have a wastewater management system that is designed so as not to discharge wastes generated by the premises:
- (a) into any waters;
  - (b) onto land in a place where it is reasonably likely to enter any waters by processes such as:
    - (i) seepage;
    - (ii) infiltration;
    - (iii) carriage by wind, rain or stormwater;
    - (iv) the rising of the watertable.
- 356** Winery waste management systems should be designed to ensure:
- (a) surface runoff does not occur from the wastewater irrigation area at any time;
  - (b) wastewater is not irrigated onto waterlogged areas, land within 50 metres of a creek, or swamp or domestic or stock water bore, or land subject to flooding, steeply sloping land, or rocky or highly permeable soil overlaying an unconfined aquifer;
  - (c) wastewater is not irrigated over an area which is within 50 metres of any residence on neighbouring land or 10 metres of any type of publicly owned land;
  - (d) wastewater is released using low trajectory low pressure sprinklers, drip irrigators or agricultural pipe, and is not sprayed more than 1.5 metres into the air or in fine droplets if there is a potential for the spread of diseases from the wastewater;
  - (e) stormwater run-off from areas which are contaminated with grape or grape products is drained to winery waste management systems during vintage periods;
  - (f) stormwater from roofs and clean hard paved surfaces is diverted away from winery waste management systems and disposed of in an environmentally sound manner or used for productive purposes.

### **Outdoor Advertisements**

- 357** Erection of advertising hoardings should not be undertaken on land outside of townships unless:
- (a) the land is associated with the product advertised;
  - (b) the sign is of a size, style and height which will not detract from the character of the locality; and
  - (c) the sign will not create a hazard to traffic.

- 358** The location, siting, size, shape and materials of construction, of advertisements should be:
- (a) consistent with the desired character of areas or zones as described by their objectives;
  - (b) consistent with the predominant character of the urban or rural landscape; or
  - (c) in harmony with any building or site of historic significance or, cultural or heritage value in the locality.
- 359** Advertisements should not detrimentally affect by way of their siting, size, shape, scale, glare, reflection, or colour, the amenity of areas, zones or localities, in which they are situated.
- 360** Advertisements should not impair the amenity of areas, zones or localities in which they are situated by creating, or adding to, clutter, visual disorder, and the untidiness of buildings and spaces.
- 361** Advertisements should not obscure views of attractive landscapes or particular trees or groups of trees.
- 362** The scale of advertisements should be compatible with the buildings on which they are situated and with nearby buildings and spaces.
- 363** Advertisements should be constructed and designed in a workmanlike manner.
- 364** Advertisements wholly or partly consisting of bunting, streamers, flags, windvanes, and the like, should not detrimentally affect the amenity of areas, zones or localities, in which they are situated.
- 365** Advertisements on buildings that have a single architectural theme but which contain a number of tenancies, should be attached and displayed so as to be coordinated with that theme.
- 366** Advertisements should not be erected in positions close to existing electricity mains so that potentially hazardous situations are created.
- 367** Advertisements should not create a hazard to persons travelling by any means.
- 368** Advertisements should not obscure a driver's view of other road vehicles, or rail vehicles at or approaching level crossings, of pedestrians and of features of the road such as junctions, bends, changes in width, traffic control devices and the like, that are potentially hazardous.
- 369** Advertisements should not be so highly illuminated as to cause discomfort to an approaching driver, or create difficulty in his perception of the road, or of persons or objects on it.
- 370** Advertisements should not be liable to interpretation by drivers as an official traffic sign, or convey to drivers information that might be confused with instructions given by traffic signals or other control devices, or impair the conspicuous nature of traffic signs or signals.
- 371** Advertisements should not distract drivers from the primary driving task at a location where the demands on driver concentration are high.

### **Telecommunications Facilities**

- 372** Telecommunications facilities should:
- (a) be located and designed to meet the communication needs of the community;
  - (b) utilise materials and finishes that minimise visual impact;
  - (c) have antennae located as close as practical to the support structure;
  - (d) primarily be located in industrial, commercial, business, office, centre, and rural zones;



- (e) incorporate landscaping to screen the development, in particular equipment shelters and huts; and
- (f) be designed and sited to minimise the visual impact on the character and amenity of the local environment, in particular visually prominent areas, main focal points or significant vistas.

**373** Where technically feasible, co-location of telecommunications facilities should primarily occur in industrial, commercial, business, office, centre and rural zones.

**374** Telecommunications facilities in areas of high visitation and community use should utilise, where possible, innovative design techniques, such as sculpture and art, where the facilities would contribute to the character of the area.

**375** Telecommunications facilities should only be located in residential zones if sited and designed so as to minimise visual impact by:

- (a) utilising screening by existing buildings and vegetation;
- (b) where possible being incorporated into, and designed to suit the characteristics of an existing structure that may serve another purpose; and
- (c) taking into account existing size, scale, context and characteristics of existing structures, land forms and vegetation so as to complement the local environment.

**376** Telecommunications facilities should not detrimentally affect the character or amenity of Historic Conservation Zones or Policy Areas, Local Heritage Places, State Heritage Places, or State Heritage Areas.

### **Hazards**

**377** Development should be excluded from areas that are vulnerable to, and cannot be adequately and effectively protected from, the risk of hazards.

**378** There should not be any significant interference with natural processes in order to reduce the exposure of development to the risk of natural hazards.

**379** Parts of the Mid Murray Council contain naturally occurring elevated concentrations of some chemical compounds in the soils due to local geological factors. Where this has been confirmed, the use and development of the land should be undertaken in accordance with the recommendations contained within the relevant Audit Report.

### **Site Contamination**

**380** Development, including land division, should not occur where site contamination has occurred unless the site has been assessed and remediated as necessary to ensure that it is suitable and safe for the proposed use.

### **Containment of Chemical and Hazardous Materials**

**381** Hazardous materials should be stored and contained in a manner that minimises the risk to public health and safety and the potential for water, land or air contamination.

**382** Development that involves the storage and handling of hazardous materials should ensure that these are contained in designated areas that are secure, readily accessible to emergency vehicles, impervious, protected from rain and stormwater intrusion and other measures necessary to prevent:

- (a) discharge of polluted water from the site;
- (b) contamination of land;

- (c) airborne migration of pollutants; and
- (d) potential interface impacts with sensitive land uses.

### **Landslip**

**383** Land that is at risk from landslip should not be developed.

**384** Development in areas susceptible to landslip should:

- (a) incorporate split level designs to minimise cutting into the slope;
- (b) ensure that cut and fill and heights of faces are minimised;
- (c) ensure cut and fill is supported with engineered retaining walls or are battered to appropriate grades;
- (d) control any erosion that will increase the gradient of the slope and decrease stability;
- (e) ensure the siting and operation of an effluent drainage field does not contribute to landslip;
- (f) provide drainage measures to ensure surface stability is not compromised; and
- (g) ensure natural drainage lines are not obstructed.

**385** Development, including associated cut and fill activities, should not lead to an increased danger from land surface instability or to the potential of landslip occurring on the site or on surrounding land.

**386** Development on steep slopes should promote the retention and replanting of vegetation as a means of stabilising and reducing the possibility of surface movement or disturbance.

### **Sloping Land**

**387** Development and associated driveways and access tracks should be sited and designed to integrate with the natural topography of the land and minimise the need for earthworks.

**388** Development and associated driveways and access tracks, including related earthworks, should be sited, designed and undertaken in a manner that:

- (a) minimises their visual impact;
- (b) reduces the bulk of the buildings and structures;
- (c) minimises the extent of cut and/or fill;
- (d) minimises the need for, and the height of, retaining walls;
- (e) does not cause or contribute to instability of any embankment or cutting;
- (f) avoids the silting of watercourses; and
- (g) protects development and its surrounds from erosion caused by water run-off.

**389** Driveways and access tracks across sloping land should be accessible and have a safe, all-weather trafficable surface.

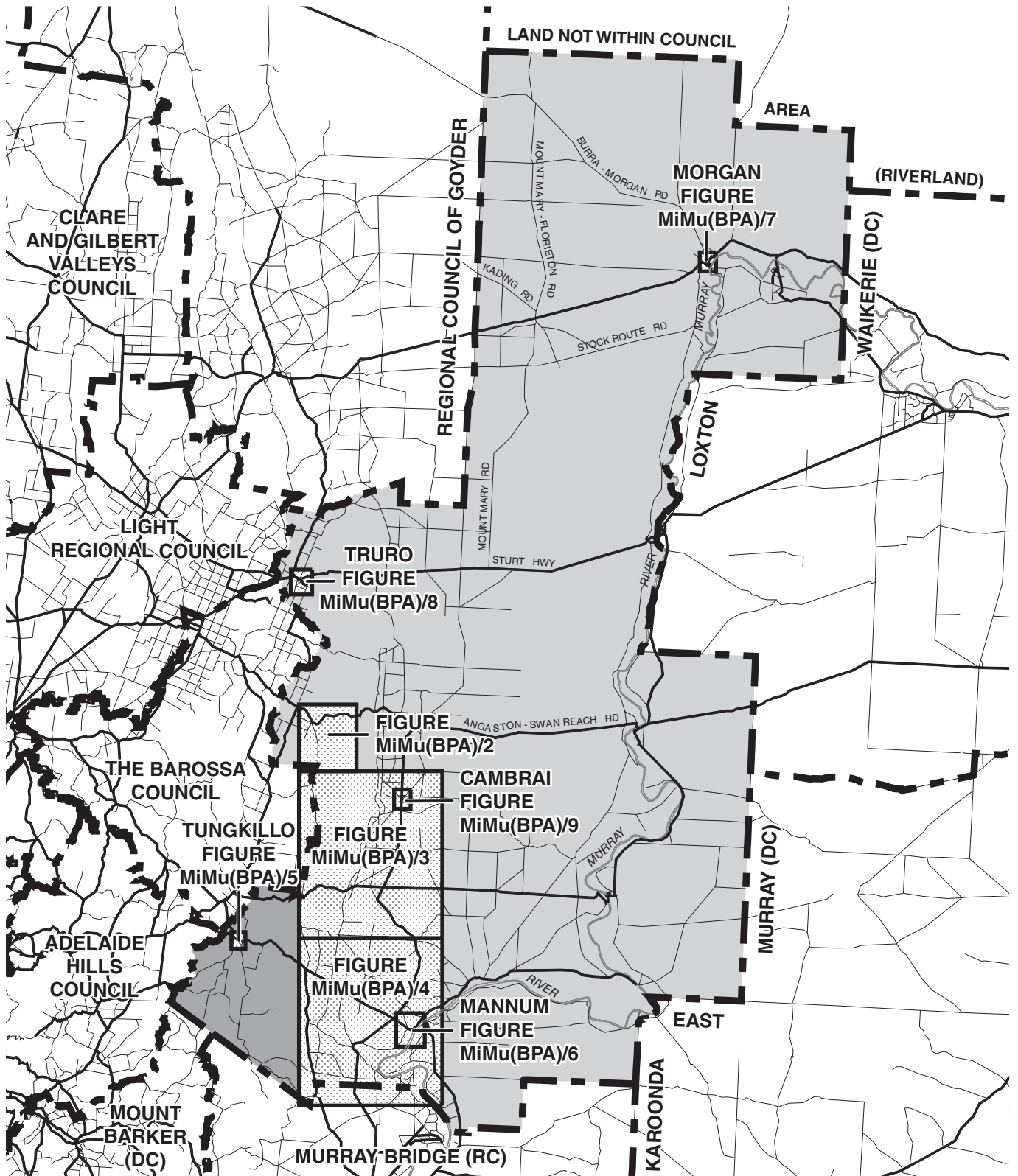
**390** Development sites should not be at risk of landslip.

- 391** Development on steep land should include site drainage systems to minimise erosion and avoid adverse impacts on slope stability of the site and adjoining land.
- 392** Steep sloping sites in unsewered areas should not be developed unless the physical characteristics of the allotments enable the proper siting and operation of an effluent drainage field suitable for the development intended.
- 393** The cutting and/or filling of land outside townships and urban areas should:
- (a) be kept to a minimum and be limited to a maximum depth or height no greater than 1.5 metres so as to preserve the natural form of the land and the native vegetation;
  - (b) only be undertaken in order to reduce the visual impact of buildings, including structures, or in order to construct water storage facilities for use on the allotment;
  - (c) only be undertaken if the resultant slope can be stabilised to prevent erosion; and
  - (d) result in stable scree slopes which are covered with top soil and landscaped so as to preserve and enhance the natural character or assist in the re-establishment of the natural character of the area.

### **Bushfire Protection**

Bushfire Protection Principles of Development Control apply to the General, Medium and High Bushfire Risk areas shown on Bushfire Protection Area [Figures MiMu\(BPA\)/1 to 9](#), except where exempted.

- 394** Buildings and structures should be located away from areas that pose an unacceptable bushfire risk as a result of one or more of the following:
- (a) vegetation cover comprising trees and/or shrubs;
  - (b) poor access;
  - (c) rugged terrain;
  - (d) inability to provide an adequate building protection zone; or
  - (e) inability to provide an adequate supply of water for fire-fighting purposes.
- 395** Residential, tourist accommodation and other habitable buildings should:
- (a) be sited on the flatter portion of allotments and avoid steep slopes, especially upper slopes, narrow ridge crests and the tops of narrow gullies, and slopes with a northerly or westerly aspect;
  - (b) be sited in areas with low bushfire hazard vegetation and set back at least 20 metres from existing hazardous vegetation; and
  - (c) have a dedicated and accessible water supply available at all times for fire fighting.
- 396** Extensions to existing buildings, outbuildings and other ancillary structures should be located and constructed using materials to minimise the threat of fire spread to residential, tourist accommodation and other habitable buildings in the event of bushfire.
- 397** Buildings and structures should be designed and configured to reduce the impact of bushfire through using simple designs that reduce the potential for trapping burning debris against the building or structure, or between the ground and building floor level in the case of transportable buildings.



Scale 1:700000



# THE MID MURRAY COUNCIL INDEX TO BUSHFIRE PROTECTION AREA FIGURE MiMu(BPA)/1

Consolidated - 25 February 2021




-  Medium Bushfire Risk
-  General Bushfire Risk
-  Development Plan Boundary

FIGURE MiMu(BPA)/1 ADJOINS

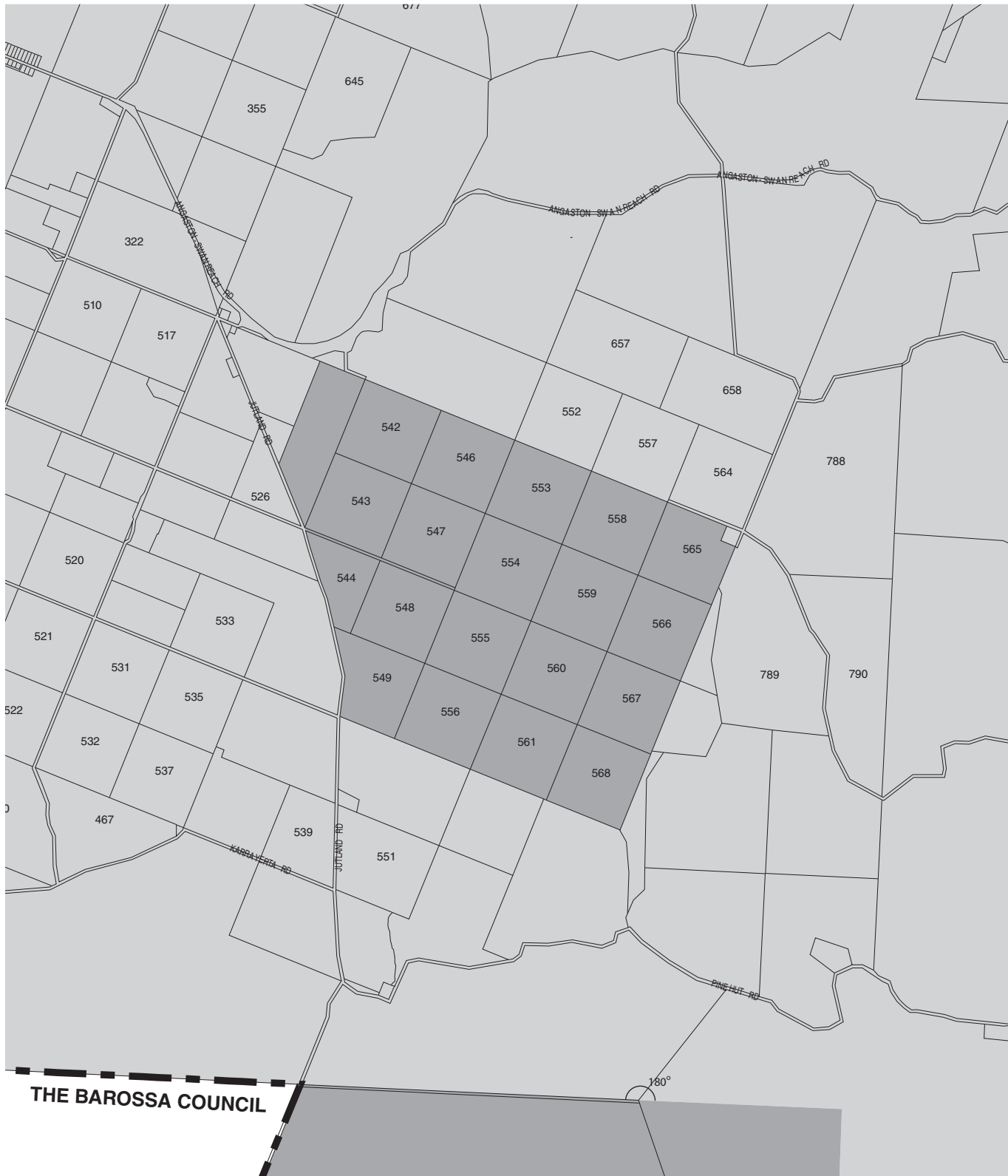


FIGURE MiMu(BPA)/1 ADJOINS

FIGURE MiMu(BPA)/1 ADJOINS

FIGURE MiMu(BPA)/3 ADJOINS



Scale 1:40000



Medium Bushfire Risk  
 General Bushfire Risk



Development Plan Boundary

# THE MID MURRAY COUNCIL BUSHFIRE PROTECTION AREA FIGURE MiMu(BPA)/2

Consolidated - 25 February 2021

FIGURE MiMu(BPA)/2 ADJOINS

FIGURE MiMu(BPA)/1 ADJOINS

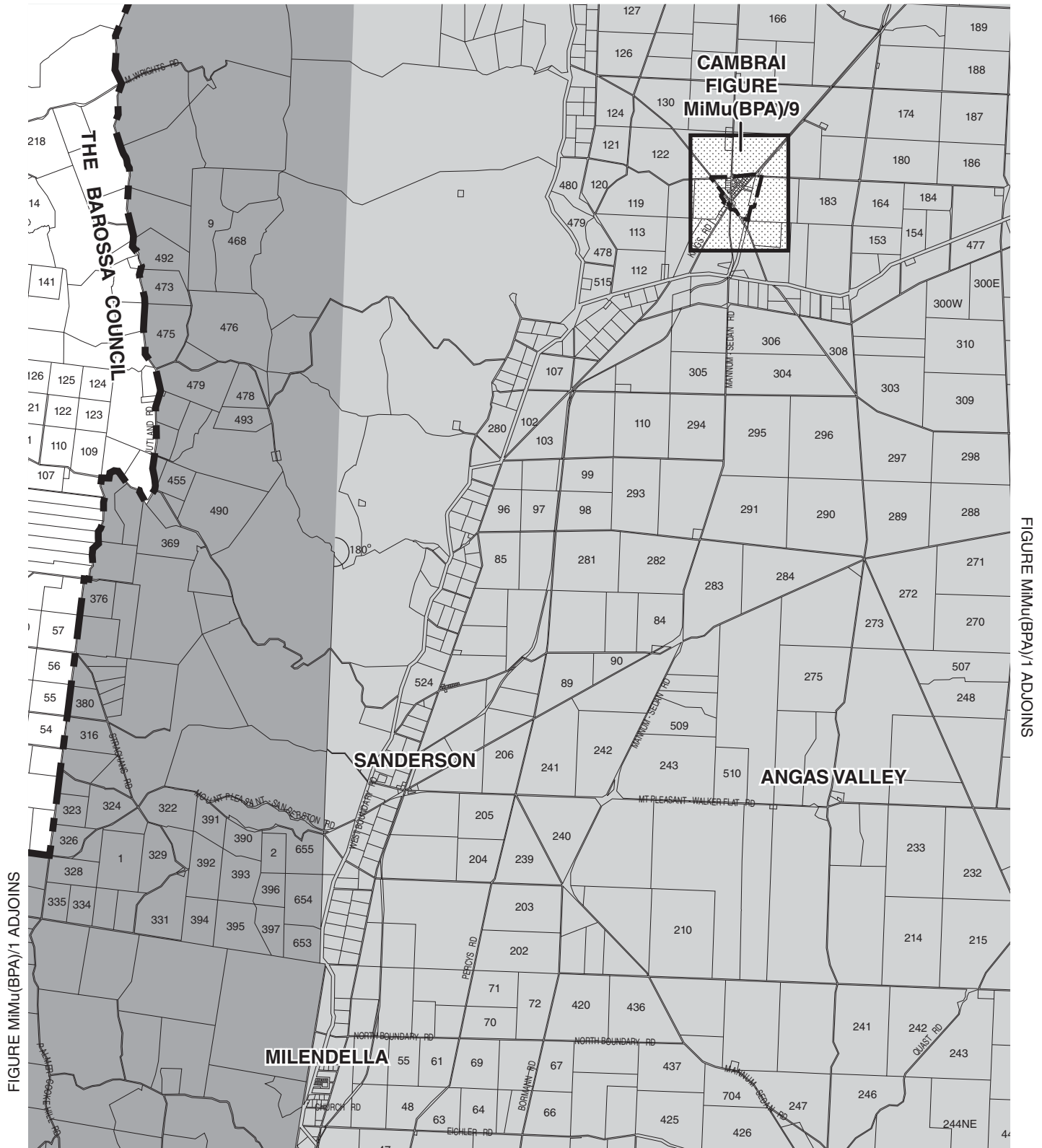







FIGURE MiMu(BPA)/1 ADJOINS


FIGURE MiMu(BPA)/1 ADJOINS

FIGURE MiMu(BPA)/4 ADJOINS

-  Medium Bushfire Risk
-  General Bushfire Risk
-  Excluded Area from Bushfire Protection Planning Provisions
-  Development Plan Boundary

Scale 1:100000

0  5km



**THE MID MURRAY COUNCIL**  
**BUSHFIRE PROTECTION AREA**  
**FIGURE MiMu(BPA)/3**  
 Consolidated - 25 February 2021



FIGURE MiMu(BPA)/3 ADJOINS

FIGURE MiMu(BPA)/1 ADJOINS

FIGURE MiMu(BPA)/1 ADJOINS







**MANNUM**



Scale 1:100000



-  Medium Bushfire Risk
-  General Bushfire Risk
-  Excluded Area from Bushfire Protection Planning Provisions
-  Development Plan Boundary

# THE MID MURRAY COUNCIL BUSHFIRE PROTECTION AREA FIGURE MiMu(BPA)/4

Consolidated - 25 February 2021

FIGURE MiMu(BPA)/1 ADJOINS



FIGURE MiMu(BPA)/1 ADJOINS

FIGURE MiMu(BPA)/1 ADJOINS

FIGURE MiMu(BPA)/1 ADJOINS

TUNGKILLO



Medium Bushfire Risk  
 Excluded Area from Bushfire Protection Planning Provisions

# THE MID MURRAY COUNCIL BUSHFIRE PROTECTION AREA FIGURE MiMu(BPA)/5

Consolidated - 25 February 2021



FIGURE MiMu(BPA)/4 ADJOINS

FIGURE MiMu(BPA)/4 ADJOINS

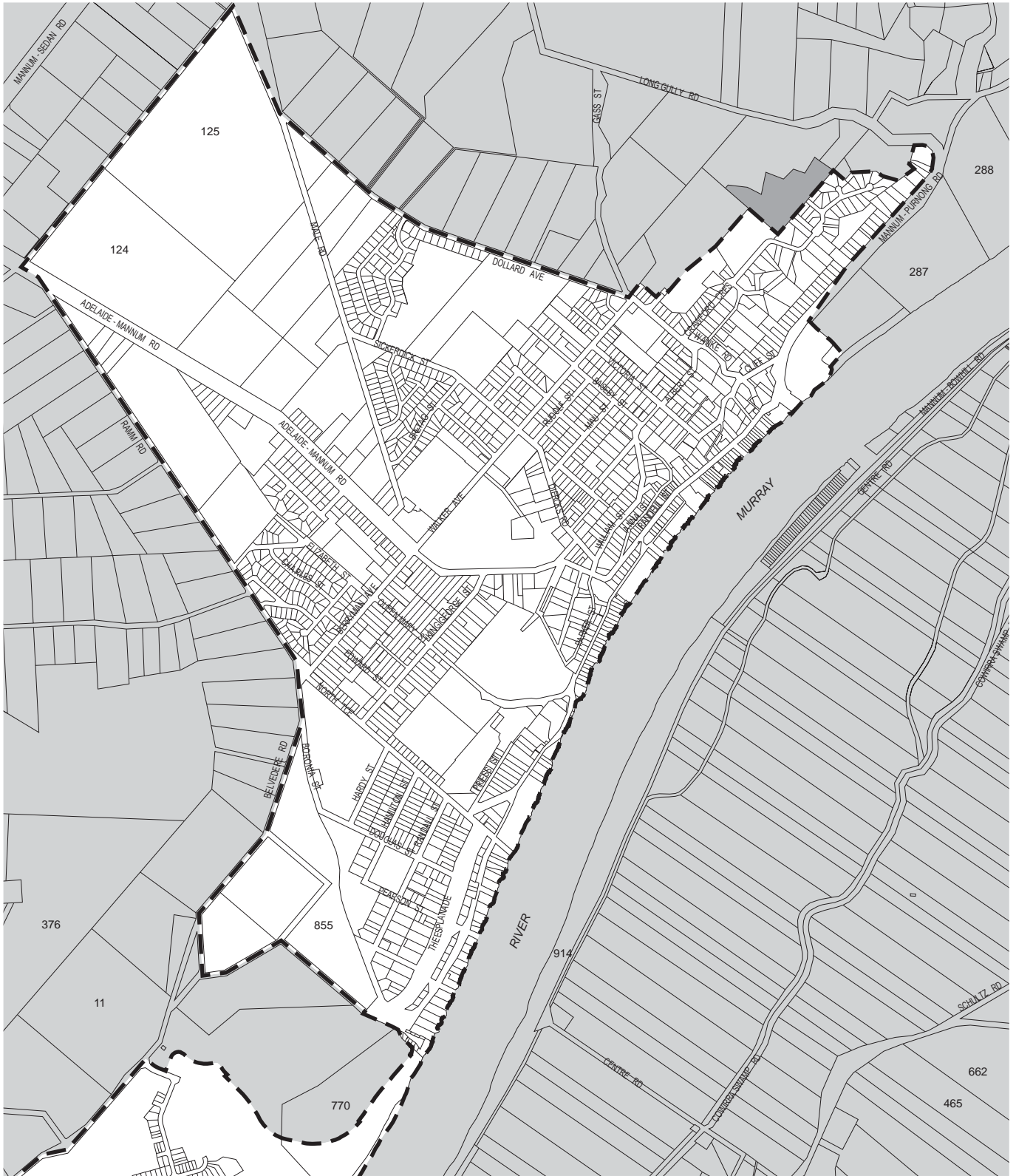


FIGURE MiMu(BPA)/4 ADJOINS

FIGURE MiMu(BPA)/4 ADJOINS

**MANNUM**



- Medium Bushfire Risk
- General Bushfire Risk
- Excluded Area from Bushfire Protection Planning Provisions

Scale 1:20000



**THE MID MURRAY COUNCIL  
BUSHFIRE PROTECTION AREA  
FIGURE MiMu(BPA)/6**

Consolidated - 25 February 2021

FIGURE MiMu(BPA)/1 ADJOINS

FIGURE MiMu(BPA)/1 ADJOINS

FIGURE MiMu(BPA)/1 ADJOINS

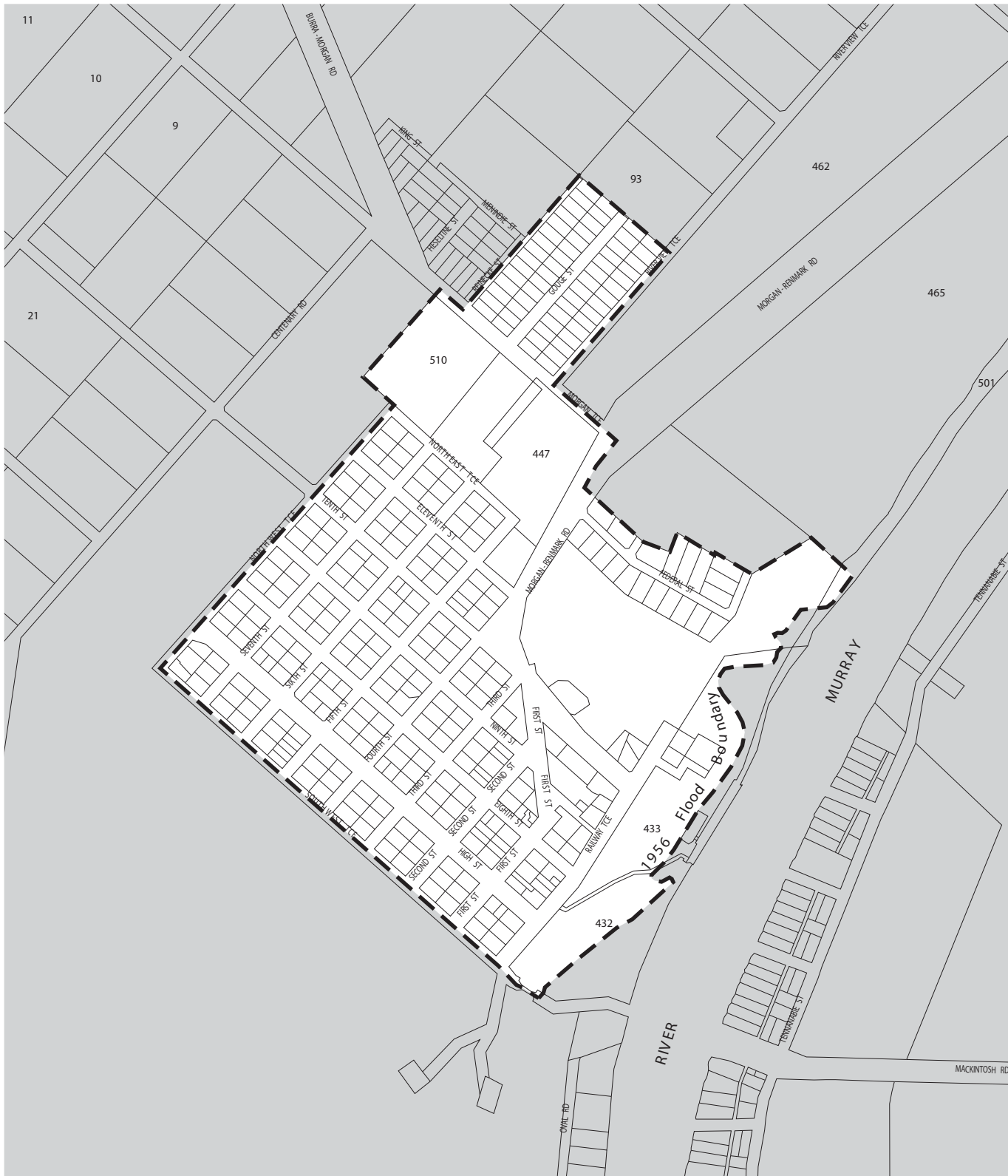


FIGURE MiMu(BPA)/1 ADJOINS

MORGAN

Scale 1:10000



General Bushfire Risk  
 Excluded Area from Bushfire Protection  
 Planning Provisions

# THE MID MURRAY COUNCIL BUSHFIRE PROTECTION AREA FIGURE MiMu(BPA)/7

Consolidated - 25 February 2021

FIGURE MiMu(BPA)/1 ADJOINS

FIGURE MiMu(BPA)/1 ADJOINS

FIGURE MiMu(BPA)/1 ADJOINS

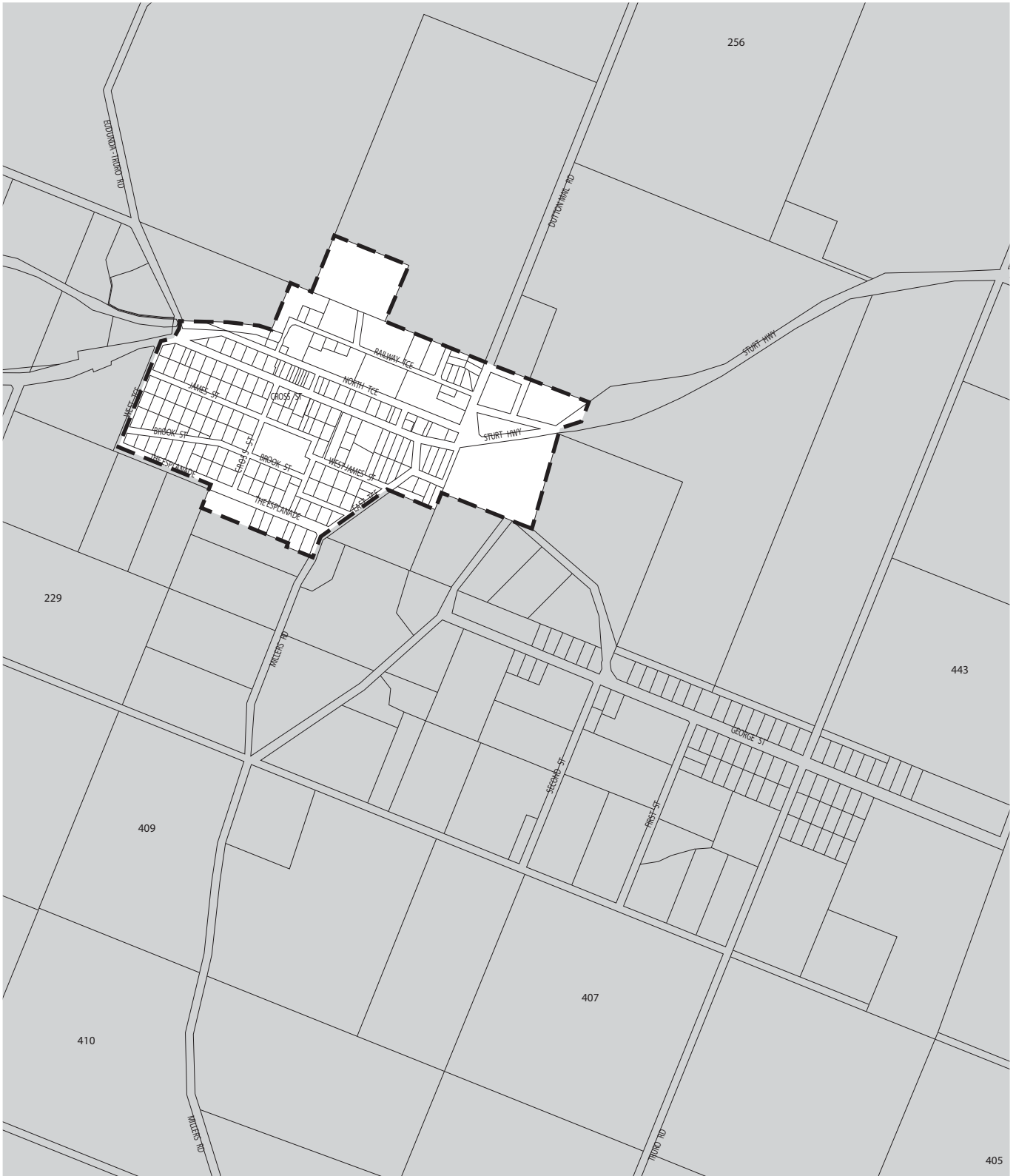


FIGURE MiMu(BPA)/1 ADJOINS



TRURO

Scale 1:15000



General Bushfire Risk  
 Excluded Area from Bushfire Protection  
 Planning Provisions

# THE MID MURRAY COUNCIL BUSHFIRE PROTECTION AREA FIGURE MiMu(BPA)/8

Consolidated - 25 February 2021

FIGURE MiMu(BPA)/3 ADJOINS

FIGURE MiMu(BPA)/3 ADJOINS

FIGURE MiMu(BPA)/3 ADJOINS

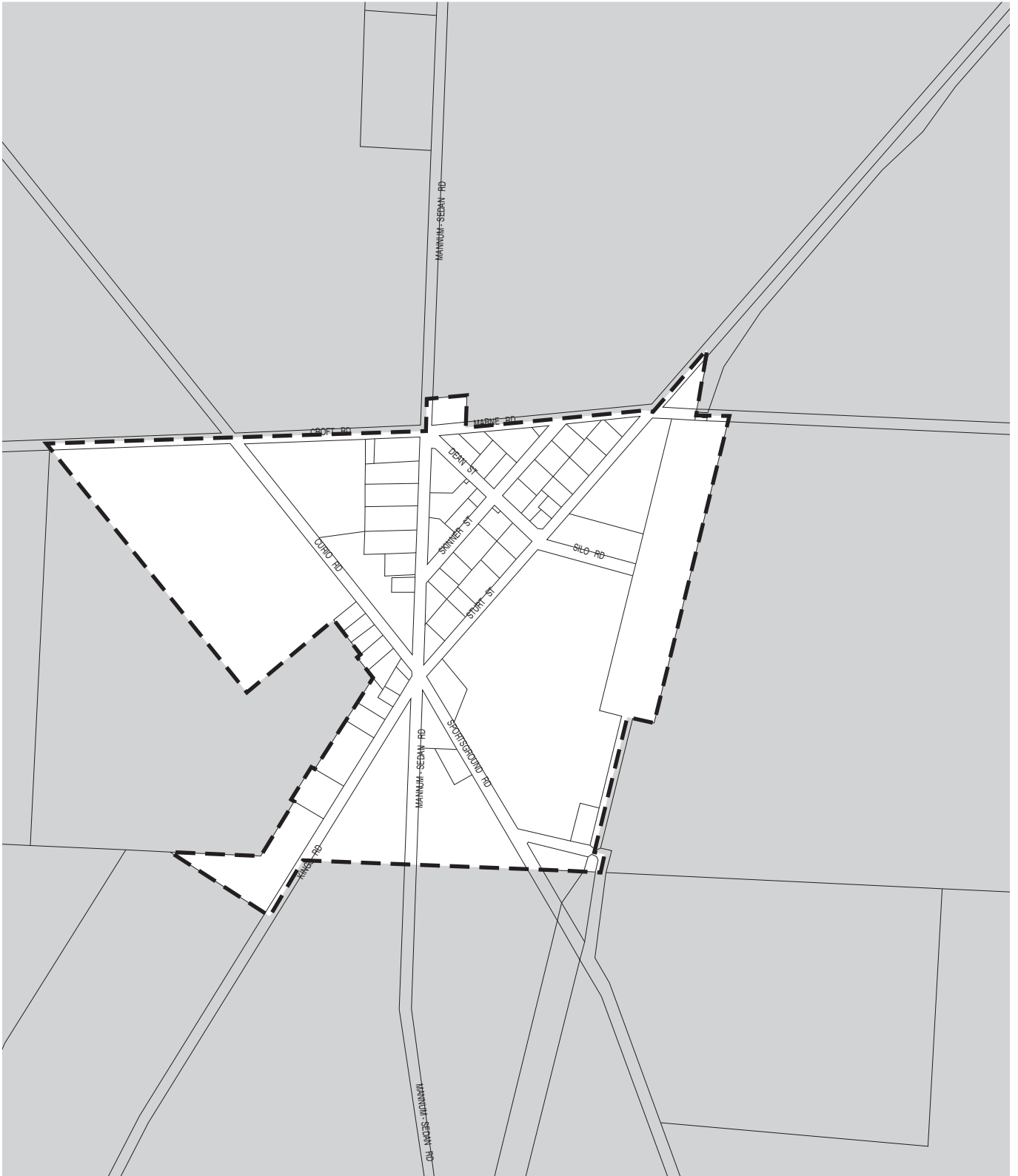


FIGURE MiMu(BPA)/3 ADJOINS

**CAMBRAI**

Scale 1:10000



General Bushfire Risk  
 Excluded Area from Bushfire Protection  
 Planning Provisions

**THE MID MURRAY COUNCIL  
 BUSHFIRE PROTECTION AREA  
 FIGURE MiMu(BPA)/9**

Consolidated - 25 February 2021

**398** Where land division does occur it should be designed to:

- (a) minimise the danger to residents, other occupants of buildings and fire fighting personnel;
- (b) minimise the extent of damage to buildings and other property during a bushfire;
- (c) ensure each allotment contains a suitable building site that is located away from vegetation that would pose an unacceptable risk in the event of bushfire; and
- (d) ensure provision of a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation.

**399** Vehicle access and driveways to properties and public roads created by land division should be designed and constructed to:

- (a) facilitate safe and effective operational use for fire-fighting and other emergency vehicles and residents; and
- (b) provide for two-way vehicular access between areas of fire risk and the nearest public road.

**400** Development in a Bushfire Protection Area should be in accordance with those provisions of the *Minister's Code: Undertaking development in Bushfire Protection Areas* that are designated as mandatory for Development Plan Consent purposes.

### **Renewable Energy Facilities**

**401** Renewable energy facilities, including wind farms and ancillary development, should be:

- (a) located in areas that maximize efficient generation and supply of electricity; and
- (b) designed and sited so as not to impact on the safety of water or air transport and the operation of ports, airfields and designated landing strips.

### *Wind Farms and Ancillary Development*

**402** The visual impacts of wind farms and ancillary development (such as substations, maintenance sheds, access roads and wind monitoring masts) should be managed through:

- (a) wind turbine generators being:
  - (i) setback at least 1000 metres from non-associated (nonstakeholder) dwellings and tourist accommodation;
  - (ii) setback at least 2000 metres from defined and zoned township, settlement or urban areas (including deferred urban areas);
  - (iii) regularly spaced;
  - (iv) uniform in colour, size and shape and blade rotation direction;
  - (v) mounted on tubular towers (as opposed to lattice towers);
- (b) provision of vegetated buffers around substations, maintenance sheds and other ancillary structures.

**403** Wind farms and ancillary development should avoid or minimise the following impacts on nearby property owners/occupiers, road users and wildlife:

- (a) shadowing, flickering, reflection or glint;
- (b) excessive noise;
- (c) interference with television and radio signals and geographic positioning systems;
- (d) interference with low altitude aircraft movements associated with agriculture;
- (e) modification of vegetation, soils and habitats;
- (f) striking of birds and bats.

**404** Wind turbine generators should be setback from dwellings, tourist accommodation and frequently visited public places (such as viewing platforms) a distance that will ensure that failure does not present an unacceptable risk to safety.

#### **Non-complying Development**

**405** The following kind of development is **unacceptable** and **non-complying**:

Advertisements which are located within 500 metres of the centre-line of any primary arterial or secondary arterial road, tourist road, or scenic route, with the exceptions of:

- (a) advertisements within defined townships and Service Centre Zones; or
- (b) advertisements within a 60km/h or 80km/h speed restriction; or
- (c) where the advertisement has an advertisement area of two square metres or less, and providing the message contained thereon relates entirely to a lawful use of land, the advertisement is erected on the same site as that use, and a total of no more than two advertisements would be erected on the site.

## RIVER MURRAY ZONE

### Introduction

The Objectives and Principles of Development Control that follow apply to the River Murray Zone shown on [Maps MiMu/5, 6, 8 to 11, 13 to 20, 26 to 40, 53 to 56, 60 to 62, and 130](#) inclusive. The policies embrace the whole of the zone and Policy Areas shown in [Maps MiMu/66, 67, 69 to 72, 74, 77, 80 to 94, 96 to 101, 103 to 127 and 131](#). They are additional to the Council-wide provisions.

### Background

Parts of the River Murray Zone in the Murray Valley have historically been developed and used for urban purposes, such as major regional towns, towns and or settlements. The zone does not include these areas for which there are separate zones and development policies.

### DESIRED CHARACTER

The Murray Valley has important environmental values which need to be protected and managed. Its natural features and primary production base provide a foundation for the region's recreational and tourist activities.

Ecologically sustainable development is generally defined as 'Using, conserving and enhancing the community's resources so that ecological processes, on which life depends, are maintained, and the total quality of life, now and in the future, can be increased' (Australia's National Strategy for Ecologically Sustainable Development, 1992).

The notion of environmental sustainability in the context of this natural system means development must be of a nature that does not impair the system's capacity to be used at present levels, or in a way which would constrain options for future use. Maintaining the quality of water in the River Murray, safeguarding the visual appeal and character of the zone and retaining (if not enhancing) natural ecosystems are priorities which must be achieved, whilst attracting compatible development.

Suitable forms of development in the zone are those which:

- support the conservation, interpretation and public appreciation of built heritage being State and local heritage places, while respecting the value of cultural sites associated with Aboriginal occupation, such as changes in use and adaptive re-use of buildings, structures and heritage places that minimises the construction of new built form while supporting the tourism appeal of the zone;
- protect and enhance the unique and natural waterfront, particularly the largely unmodified public and private waterfront within the Flood Plain and Conservation Policy Areas; and
- enhance the existing primary production base in the Primary Production, Cadell (Horticulture), and the Recreation and Tourism Policy Areas, and support existing irrigation and on-farm enterprises which add value to produce and related tourism enterprises.

The River is of high recreational and aesthetic value to all who visit or use it. The natural and cultural environment will provide opportunities for sustainable recreation and related tourism ventures in the Recreation and Tourism Policy Area and adjacent the River Settlement Policy Area provided that built form does not restrict views of or public access to the waterfront. Development will not result in further modification of the waterfront and riverbank which detracts from the established or desired character. Attractions will continue to be based on the natural environment (not be man-made) and tourism development of a built form (other than accommodation) will be associated with the interpretation and appreciation of natural and cultural heritage and will include public amenities, low impact recreational activities, shelters, interpretative displays, tourist information and directional/interpretive signage.

Parts of the zone have historically been developed around river boat trade and holiday destinations and are represented by the modified landscapes of the Shack Settlement and River Settlement Policy Areas.



The river settlements, while continuing to service the needs of local residents and the surrounding hinterlands and attracting passing and holiday trade, will not accommodate growth through infill or expansion of settlement boundaries until such time as community wastewater schemes are in place to service existing and new development.

Stormwater management plans are required to carefully manage environmental impacts in locations in close proximity to the river and local tributaries.

The river settlements are not intended to offer a full range of facilities and services, and non-residential development will generally be limited to alterations and additions to existing uses and low density tourist accommodation where the effects on the amenity of neighbours and permanent residents can be managed.

The majority of the established holiday home settlements identified as Shack Settlement Policy Areas have been developed to their full potential following the freeholding of former Crown lease and private lease sites. The majority of these areas are within the 1956 floodplain. Residential development opportunities may exist in the form of a replacement dwelling or a new dwelling on a vacant allotment or lease site with an approved connection to an effluent disposal scheme. Dwellings are only envisaged within a Residential Area, which is defined in a Figure for each shack settlement.

New dwellings in the 1956 flood plain are therefore limited to replacement dwellings in the Floodplain Policy Area and under specific conditions in the Shack Settlement Policy Area. Dwellings will be designed to elevate living areas as high as practical (subject to underfloor clearance limits specified in the relevant policy area) and any enclosure at ground level will require removable panels to be designed in order to be easily removed in the event of a flood.

The Recreation and Tourism Policy Area will provide opportunities on existing allotments for a range of accommodation for travellers. The visual appearance and density of built form should be of very low density and scale in distinct contrast to existing development in the River Settlement and Shack Settlement policy areas. Regardless of the type of accommodation, built form will complement and blend into the local landscape such that it does not detract from the features that attract visitors nor detract from the highly valued rural and natural character. Protecting and enhancing views from the river and scenic major roads will be equally important in the design and siting of buildings.

The zone and the policy areas contain measurable criteria affecting, for example, the set-back of buildings from allotment boundaries, the 1956 flood plain of the River Murray and so on. The measurable criterion are often expressed as a 'minimum', although it is envisaged that development will need to achieve more than the minimum particularly when balancing site constraints such as bushfire risk, proximity to native vegetation, extent of native vegetation cover, slope and erosion risk, proximity to intensive forms of primary production or watercourses, and managing stormwater and wastewater. When considering on-site and off-site impacts of a particular development in the context of its site and locality, it is envisaged that some allotments will not support new built form or a change in use even in the form of an acceptable use.

### **Normal Pool Level of the River Murray**

A reference to 'normal pool level' in a principle of development control or in [Table MiMu/5](#) for development assessment purposes is defined as follows:

- below Lock 1 – 0.75 metres Australian Height Datum
- below Lock 2 – 3.2 metres Australian Height Datum.

### **Use of Crown Land and Crown Leases:**

Crown land (including Crown land leased to another party) or other public land affected by the 1956 floodplain, is not intended for tourist accommodation or other development involving new built form or other structures for privately operated tourism development. Crown land, including Crown land leased to private individuals, traditionally forms part of an informal temporary on-river mooring network to cater for hire/drive and private recreational use of vessels along the River Murray and will be maintained and used in a manner that does not prevent or restrict access to the public.



The continuation of farming, grazing of livestock and irrigated development on Crown land is not desired and will be discouraged as part of any change in use of land in the 1956 floodplain to afford better protection of flood prone land and the riverine environment.

It is recognised it will be necessary for some forms of development to require access through Crown land between freehold land and the main channel.

### **Marinas:**

In inland waters, a marina is defined as comprising a site for the mooring (storage) of more than one vessel and in most cases will be developed for the mooring of vessels that have overnight accommodation (commonly referred to as a houseboat but not exclusively). In addition, marinas will also include provision of services such as a car park, waste disposal, fuel delivery, potable water supply, telephone services, maintenance facilities (but not a motor repair station or industry related to boat repairs or boat manufacturing), security fencing and lighting.

In general terms marinas provide a storage facility for houseboats where they are temporarily moored while not in use. Marinas for the permanent mooring of houseboats or other unpowered vessels used as a place of residence or tourist accommodation are not desired in the zone. Marinas may be associated with commercial houseboat hire operations or where individual moorings are leased to houseboat owners but occupation of vessels while stored in marinas is not anticipated.

Marinas will primarily be confined to the Recreation and Tourism Policy Area. Other sites in other parts of the zone within reasonable proximity to the main urban areas of Mannum, Morgan, Blanchetown and Swan Reach (which provide a range of services and facilities and are localities accessible by arterial roads and a ferry crossing) will be considered subject to a comprehensive environmental, social and economic assessment. Suitable sites will demonstrate that site specific and off-site environmental, social and economic impacts can be managed such that there is a neutral or beneficial impact on the River Murray and local community.

New marinas will be positioned off-channel in an excavated basin rather than on-river in order to protect the natural character of the river's edge from modification, erosion and the proliferation of man-made structures. Sites selected will need to demonstrate there is no detriment to natural systems such as inflow of saline groundwater or loss of wetlands used as a breeding habitat for fisheries or wildlife. Privately developed commercial marinas will not be located on public land or Crown lease sites.

### **Mooring Facilities:**

A mooring facility is defined as a permanent structure which is used for the temporary mooring of a boat.

The development of new on-river mooring facilities or a change in use of existing on-river mooring facilities for the following are not desired in the zone:

- providing a base for the permanent occupation of a vessel
- use of a vessel for on-water dining/bed and breakfast style accommodation
- base moorings for houseboats.

Houseboat mooring facilities (new structures or extensions of existing mooring facilities) are not desired in the Shack Settlement or Conservation policy areas, or in the Flood Plain Policy Area immediately abutting the waterfront adjacent those policy areas.

An on-river mooring facility will only be established on an allotment which contains an existing lawfully constructed dwelling (one mooring structure per allotment with a maximum mooring capacity of one houseboat). An on-river mooring facility will not be used as a site for the permanent occupation of a vessel.

Vessels with overnight accommodation can also be temporarily moored outside of the zone in designated *overnight tie-up areas* or wharfs in urban areas such as occurs on waterfront Crown land or Council reserves in Mannum and Walker Flat.

**River Structures:**

A river structure is defined as a:

- floating pontoon
- jetty
- fixed landing.

New river structures in the form of a floating pontoon or a jetty are not desired unless specifically expressed as an acceptable form of development in the relevant policy area or otherwise in accordance with the following:

- Shack Settlement Policy Area
  - maximum one river structure per dwelling
- Floodplain Policy Area
  - maximum one river structure per allotment with direct river frontage containing a dwelling; or
  - on waterfront land having a common boundary with the Shack Settlement Policy Area, a maximum of one river structure per dwelling in the Shack Settlement Policy Area; or
  - on waterfront land having a common boundary with the Recreation and Tourism Policy Area, a river structure in conjunction with an acceptable use of land in the Recreation and Tourism Policy Area.

A floating pontoon, when attached to a jetty or other river structure, is counted as a separate river structure. Additions to a river structure of this type are not desired although will be acceptable in severe drought conditions on a temporary basis where the additional structure provides public access to the river which can be shared on a temporary basis until the river returns to normal pool level.

New fixed landings which include boardwalks and similar structures running parallel to the river bank, are not desired in the zone unless associated with development for essential conservation activities or public facilities.

Existing fixed landings will not be extended unless they are for conservation purposes on public land or otherwise associated with essential public facilities. In any other case, the repair or replacement of an existing lawful fixed landing is only desired where the dimensions of the existing landing are not increased.

**Retaining Walls:**

A retaining wall on the water's edge, adjacent the waterfront or in the 1956 flood plain is not desired unless it is demonstrated it is essential for stabilising a river bank, minimising the risk of erosion of the bank, or protecting native vegetation, providing essential public access to the waterfront in areas where public access is lacking or inadequate, or the replacement or repair of an existing retaining wall.

New development that necessitates the construction of a retaining wall is not desired in the zone. Sites will need to be carefully selected and buildings carefully designed to avoid such consequential development.

**Waste Management:**

Development, including land division involving the creation of additional allotments, will not occur within 100 metres of normal pool level of the River Murray where community waste water management systems are lacking or inadequate. Development within 100 metres of normal pool level of the River Murray that does not require new or augmented on-site waste treatment, storage or disposal will only occur where it is consistent with the desired character of the zone and policy area.

**Waterfront Land:**

Land within 100 metres of normal pool level of the River Murray will only be developed where buildings and the activities associated with the intended land use of land will result in minimal disturbance to natural landforms and vegetation.

Structures on land and water will be limited in number for any one site. Examples of the proliferation of structures elsewhere in the vicinity of the river's edge are not justification for the ongoing proliferation of structures. Where practical, structures in the vicinity of the river's edge will be shared amongst a number of users to maintain equity in access and to minimise obstruction to waterways. Subject to the desired character expressed for individual policy areas, structures for recreation use, jetties and mooring boats will only be constructed where the depth of water is inadequate to access the river. New structures adjacent the riverbank (on land or in water) will be limited to the replacement of existing licensed structures or structures that are for free and unrestricted use by the general public on public land.

In times where the water level is below normal pool level, extensions to structures will be limited to those that are essential to provide access to the general public or in similar circumstances where one structure serves a locality.

#### **Infrastructure for Water Supply:**

Public facilities associated with water supply and pumps, pipes and related infrastructure associated with a private water supply for residential development and approved land uses are anticipated in the zone. Existing channels associated with water extraction for existing land uses and wetland management may be maintained.

#### **Development adjacent a Conservation Park or the Conservation Policy Area:**

Conservations Parks in the River Murray Zone include:

- Roonka Conservation Park
- Ngaut Ngaut Conservation Park
- Morgan Conservation Park

Buffers of at least 50 metres will need to be maintained between any new development and the boundary of Conservation Parks and the Conservation Policy Area. This is to maintain buffers between native vegetation within the parks and new development, such that native vegetation clearance within the parks is not required to address bushfire risk to new assets on other allotments or development sites. Any development will be designed and sited cognisant of the potential for a relevant authority to carry out burning and other fire management operations on its reserves at its discretion.

#### **Land Division:**

Land division involving the creation of additional allotments (except in envisaged circumstances in the River Settlement Policy Area) is not envisaged unless it is directly associated with the use of land for public infrastructure or utilities serving a locality, public recreation or conservation, or similar purposes with a wider community or environmental benefit such as wetlands.

Boundary realignments increasing the number of allotments with frontage to the river system or the boundary of the 1956 flood plain will be inappropriate in most circumstances, except where it is intended for essential public infrastructure, public access or public reserves. Boundary realignments separating flood prone land from non-flood prone land is not envisaged unless it is for public access, public recreation reserves, conservation purposes or similar circumstances.

Within river settlements where land division may be envisaged, any land adjacent cliffs, escarpments or water front land will be contained within reserves of appropriate width and area that allows future access for management of the reserve and or its conservation.

The retention of productive and or active primary production land on the largest possible sized allotment or the least number of allotments is a high priority in the design of land division.

Community title divisions, hammerhead allotments and similarly designed divisions (involving an arrangement of allotment boundaries that defines an existing long driveway or creates a new long driveway to provide access to and achieve the required allotment frontage to a made public road) are not envisaged in the zone. No allotment resulting from a division will be solely dependent upon a private road, or right of way, for access. Each allotment resulting from any division will be provided with safe and convenient access to an existing constructed public road.

## OBJECTIVES

### Ecologically Sustainable Development

**Objective 1:** Ecologically sustainable development.

Outcomes from sustainable development in the Murray Valley will be:

- (a) Maintenance of Water Quality;
- (b) Conservation of valuable natural environments;
- (c) Growth in primary production;
- (d) Growth of tourist and recreation opportunities; and
- (e) Sympathetic development of facilities related to primary production, tourism and recreation.

Forms of development which support these outcomes include:

#### *Water Quality:*

- (a) development which does not compromise water quality, in particular an increase in salinity levels, nutrient or micro-biological levels.

#### *Environment:*

- (a) conservation of wetland habitats and management of the natural environment to allow regeneration, breeding and spawning of native species;
- (b) recognition of the visual qualities of the valley slopes and their contribution to the zone's overall character; and
- (c) recognition of the variety in function and character of the upper reaches of the River compared to the lower end of the River.

#### *Primary Production:*

- (a) ensuring that development maximises the use of existing infrastructure, and furthers the local economic base, or adds value to local production; and
- (b) recognition of the Cadell horticultural district for long term food production associated with community and farm related development.

#### *Recreation and Tourism:*

- (a) restrictions on waterfront development for a distance of 50 metres from the water's edge to prevent erosion, maintain native vegetation, retain the river's visual characteristics and the character of the historic public waterfront;
- (b) retaining floodplain shacks on a permanent basis notwithstanding their location on the 1956 flood plain, subject to adherence to service pre-conditions, notably relative to acceptable methods for effluent disposal; and
- (c) designation of specific locations for marina developments and pre-conditions for their development.

#### *Related Development:*

- (a) limitations on development on the flood plain as defined by the level of the 1956 flood on the basis of protecting property from damage;

- (b) limitations on development in the channel of the River to ensure river flows are not impeded during flooding, and that public safety is not put at risk;
- (c) restrictions on residential development in primary production areas to ensure land management practices are not fettered by interface limitations; and
- (d) restrictions on industrial development to only those activities which are related to primary production and to specific locations.

**Objective 2:** Development which recognises the variety in the land types and corresponding character differences.

The zone has different characters according to land formation and land type, and the consequent land use which has historically occurred. The Valley's natural character or modified land use give rise to different Policy Areas with associated variations in desired future characteristics and land uses.

One of the Zone's Policy Areas is based on land form: Flood Plain, whilst a further six are based on land use: Conservation, Primary Production; Recreation and Tourism; Shack Settlement; River Settlements and Cadell (Horticulture).

### Water Quality

**Objective 3:** Protection and improvement of water quality.

The use or management of riverine land which reduces pollution caused by salts, sediments, nutrients and other pollutants entering the River Murray and otherwise improves the quality of water in the River Murray.

### Environment

**Objective 4:** Protection and improvement of the riverine landscape.

Measures should be taken to protect and enhance the riverine landscape by maintaining riparian vegetation communities along the river bank and adjacent land, rehabilitating degraded sites and stabilising and revegetating riverbank appropriate species.

**Objective 5:** Prevention of land degradation.

Development which avoids degradation processes such as erosion, destruction of riparian vegetation, pollution of ground or surface water, groundwater accession, salinity and soil acidity and adverse effects on the quality of terrestrial and aquatic habitats.

**Objective 6:** Protection and improvement of wetlands.

Wetlands are natural resources which have ecological, recreational, economic, flood storage and nutrient and pollutant filtering values which should be protected.

Land use and management decisions affecting wetlands should:

- (a) conserve wetland ecosystems and their environmental resources;
- (b) provide for a hydrological regime appropriate for the maintenance or restoration of the wetland;
- (c) consider the potential impact of the surrounding land uses and incorporate measures such as a vegetated buffer which may mitigate any adverse effects; and
- (d) control inappropriate human and animal access.

**Objective 7:** Minimum disturbance to the shape of the bank and riparian native vegetation in any development of river front land.

Riparian landform and vegetation, including the trunks of dead trees, provide important fish and fauna habitat.

**Objective 8:** Conservation of land, buildings, structures and other items of non-Aboriginal origin which are of historical, social, architectural, cultural or heritage significance.

The River Murray has a rich European history which should be conserved interpreted and promoted.

**Objective 9:** Conservation of Aboriginal sites, items and areas which are of archaeological, cultural, mythological or anthropological significance.

The River Murray has a rich Aboriginal history which should be conserved, interpreted and promoted.

### Primary Production

**Objective 10:** Use of land for Primary Production as the prime economic use in the zone.

Primary production is the leading economic land use in the Zone which should be given primacy in land use decisions providing however it is undertaken in a way which does not adversely affect the Valley's natural environment.

The majority of primary production will be irrigated horticulture (vineyard, fruit and vegetable production) and irrigated pasture associated with dairying.

**Objective 11:** Sustainable aquaculture that is not a risk to native fish species or ecosystems.

Aquaculture must not create a risk to native fish species or the River Murray environment. Aquaculture must not contribute to land use conflict from potentially harmful activities such as chemical spraying.

**Objective 12:** No increase in intensive animal keeping (other than aquaculture) undertaken in the Zone.

There is minimal prospect for further development of intensive animal keeping operations without detracting from environmental or recreation and tourism objectives.

**Objective 13:** Human and stock access controlled.

Human and stock access to the River Murray managed to minimise the adverse impact of uncontrolled access on the stability of the bank and vegetation growth.

### Tourism and Recreation

**Objective 14:** Use of land for tourism and recreation confined to designated areas and undertaken in a limited form in the Primary Production Policy Area.

Tourism and Recreation uses, many of which will be river related, should be confined to the Tourism and Recreation Policy Area and the River Settlement Policy Area and undertaken to enhance the riverine environment and minimise environmental impact, and where undertaken in the Primary Production and Cadell (Horticulture) Policy Areas, not impair the prospects of horticulture development.

Clustering substantial structures will ensure large tracts of the River retain their attractive natural character.

**Objective 15:** The waterway and parts of the foreshore of the River Murray maintained as a public resource.

Alienation or obstruction of this resource by or for private purposes should not occur.

**Objective 16:** Development along the main channel of the River Murray for public purposes, except where designated.

The historic objective of providing public access to the river bank should be maintained.

**Objective 17:** Riverfront land kept free from development.

Only development that has a demonstrated essential relationship with the River Murray should be located on land adjacent to the River. Other development should be set well back from the bank of the River Murray.

Development which would intensify the use of riverside land should provide public access to the foreshore.

**Objective 18:** Moorings for vessels with overnight accommodation only in designated locations.

Permanent structures for the mooring of vessels with overnight accommodation should be confined to the Recreation and Tourism Policy Area or designated tie-up areas in the Flood Plain Policy Area, or where accessible to the public adjacent the River Settlement Policy Area.

### Related Development

**Objective 19:** Flood prone land kept free from development to avoid:

- (a) damage to development; and
- (b) compounding flood impacts by interference with natural flows.

Where the land is subject to inundation by floodwater, the following should be recognised:

- (a) the benefits of riverine ecosystems of periodic flooding;
- (b) notwithstanding the hazard risks, the benefits involved in developing the land;
- (c) the redistributive effect of the proposed development on floodwater;
- (d) the availability of other suitable land in the locality not liable to flooding;
- (e) the availability of flood free access for essential facilities and services;
- (f) the pollution threat represented by any development in the event of a flood;
- (g) the cumulative effect of the proposed development on the behaviour of floodwater; and
- (h) the cost of providing emergency services and replacing infrastructure in the event of a flood.

### Residential Use

**Objective 20:** Limited residential development.

Residential use limited to: Shack Settlements and River Settlements, where required to support tourism and recreation ventures in designated areas; and on a restricted basis in the Primary Production and the Cadell (Horticulture) Policy Areas. No residential development is anticipated in the Conservation Policy Area or the Flood Plain Policy Area.

### Industry

**Objective 21:** Restricted industrial use.

Use of land for industry should occur only in relation to primary production providing it is undertaken in the Primary Production and Cadell (Horticulture) Policy Areas and does not adversely affect the character and function of the Murray Valley.

## River structures and related waterfront development

**Objective 22:** River structures, boats ramps and other structures and mooring facilities, located and designed to serve a locality or otherwise limited in number in accordance with policies applying to the relevant policy area.

River Structures restricted in number and constructed to design standards to withstand floodwater and not detract from the aesthetic quality of the riverine environment.

Structures for recreation use, boat ramps, jetties and mooring boats, should only be constructed where the depth of water is inadequate to access the River. Where practical, structures should be shared amongst a number of users to maintain equity in access to the River and minimise obstruction to the River channel.

Retaining walls, stairs and similar structures are not 'river structures' and detract from the riverine environment. New built form of this kind should not be developed unless on public land and where the need is demonstrated for public safety associated with an existing use of land.

## PRINCIPLES OF DEVELOPMENT CONTROL

### River Structures and structures adjacent the Riverbank

- 1 All river structures, boat ramps and pumping structures should:
  - (a) be consequential on an authorised use of land;
  - (b) be limited in number;
  - (c) be of an appropriate scale;
  - (d) be designed with materials and detailing that will contribute to the riverine and natural character;
  - (e) not interfere with the natural environment or natural ecological process of the site;
  - (f) unless associated with public infrastructure, not extend into the water a distance greater than 8 metres measured from the riverbank at normal pool level; and
  - (g) where applicable, be designed and constructed in accordance with [Table MiMu/5](#).

*Advisory Note: As an example, a pumping structure for irrigation purposes would be consequential upon approved horticulture which is either an existing use of the land, or a use which has a Development Approval. Another example is a boat ramp serving a group of shacks or a boat ramp on a public reserve accessible to the public via a public road.*

- 2 All river structures should be constructed to withstand flood waters, variable River flow rates and collision impact through day-to-day use.
- 3 All river structures should be located where they do not cause a hazard to safe navigation or unsafe conditions and should not be located within:
  - (a) the confines of the navigation channel as defined by navigational signs;
  - (b) 100 metres of either side of a ferry crossing;
  - (c) 150 metres of a lock;
  - (d) a designated recreation area for water skiing or swimming.

### Jetty or Floating Pontoon

- 4 A river structure in the form of a jetty or floating pontoon should only be developed where one of the following apply:



- (a) in association with a dwelling in the Shack Settlement Policy Area (whether or not the river structure is located in the Shack Settlement Policy Area or Flood Plain Policy Area) where any of the following is achieved:
  - (i) the river structure is on the same allotment as the dwelling, provided the development will not result in more than one river structure constructed in association with the dwelling;
  - (ii) the allotment (or lease site) containing the dwelling is separated from the river front by a public reserve or a public road (but not both) and provided the development will not result in more than one river structure constructed in association with the dwelling.
- (b) in the Flood Plain Policy Area where any of the following is achieved:
  - (i) the development is for the repair, maintenance or replacement of an existing licensed river structure;
  - (ii) the river structure is on the same allotment as an existing dwelling, provided the development will not result in more than one river structure constructed in association with the dwelling;
  - (iii) the river structure is in association with an existing dwelling and only where the river structure is located on an allotment (or lease site) separated from the river front by a public reserve or a public road (but not both) and provided the development will not result in more than one river structure constructed in association with the dwelling.
- (c) in association with an existing dwelling in the Primary Production Policy Area (whether or not the river structure is located in the Primary Production Policy Area or Flood Plain Policy Area) where any of the following is achieved:
  - (i) the development is for the repair, maintenance or replacement of an existing licensed river structure, provided the development will not result in more than one river structure constructed in association with the dwelling;
  - (ii) the river structure is on the same allotment as the dwelling, provided the development will not result in more than one river structure constructed in association with the dwelling.
  - (iii) the allotment (or lease site) containing the dwelling is separated from the river front by a public reserve or a public road (but not both) and provided the development will not result in more than one river structure constructed in association with the dwelling.
- (d) in the Recreation and Tourism Policy Area (whether or not the river structure is located in the Recreation and Tourism Policy Area or Flood Plain Policy Area) where any of the following is achieved:
  - (i) the development is for the repair, maintenance or replacement of an existing licensed river structure
  - (ii) the river structure is on the same allotment as an existing dwelling, provided the development will not result in more than one river structure constructed in association with the dwelling;
  - (iii) the river structure is in association with an existing dwelling or land used for tourist accommodation, and only where the river structure is located on an allotment (or lease site) separated from the river front by a public reserve or a public road (but not both) and provided the development will not result in more than one river structure constructed in association with the dwelling or tourist accommodation development.

- (e) in the Conservation Policy Area where any of the following is achieved:
  - (i) the development is for the repair, maintenance or replacement of an existing licensed river structure;
  - (ii) the river structure is for conservation management purposes or directly related to scientific monitoring;
  - (iii) the river structure is on an allotment or lease site accessible to the public and is directly associated with land used for the interpretation and appreciation of natural, cultural or built heritage.

### **Boat Ramp**

**5** Boat ramps should only be developed in the following circumstances:

- (a) a public boat ramp in a location that is accessible by an existing public road; or
- (b) the development is for the repair, maintenance or replacement of an existing licensed boat ramp.

### **Retaining Walls**

**6** Retaining walls should not be constructed in the 1956 flood plain of the River Murray or where they are in highly visible locations that can be viewed from public roads or the main channel of the river except in one or more of the following circumstances:

- (a) it is for the repair or replacement of a lawful retaining wall;
- (b) it is essential to provide safe public access to the waterfront on public land;
- (c) it is necessary to protect structures and buildings of historic significance;
- (d) on the advice of a suitably qualified arboriculturist, it is for the purpose of protecting a native tree(s) and it can be designed and constructed without unreasonable encroachment within the defined tree protection zone or undesirable impact on the health and long term viability of the tree;
- (e) where ancillary to a dwelling in the Flood Plain Policy Area, it is essential for safe access to the waterfront or where erosion represents a material risk to a dwelling;
- (f) where ancillary to a dwelling in the Shack Settlement Policy Area, it is:
  - (i) sited in a locality where the river bank or site within the flood plain is already highly modified and the retaining wall will not constitute a first intrusion of this type of built form; and
  - (ii) essential for safe access to the waterfront or where erosion represents a material risk to a dwelling.

**7** The construction, replacement or repair of a retaining wall should achieve the following:

- (a) be of modest, simple design and does not incorporate tiered solid walls;
- (b) be limited in height and length to minimize the extent of the modification of the bank and minimise visual impact;
- (c) it is constructed and located where it will not destroy native vegetation or increase the risk of damage to native trees;
- (d) it is constructed with a limited range of materials, and is designed with materials that provide opportunities to retain a semi-natural character, which includes, in order of preference;

- (i) grading of the bank to a shallow grade with reeds, grasses or similar planting appropriate to the site conditions to stabilise the bank and or soil retained;
- (ii) soft rock wall with planting in between to stabilise the bank and or soil retained;
- (iii) sandbags and geo-textile sandbags;
- (iv) timber sleepers or concrete sleepers.

### Pump Houses and Meter Boxes

- 8 A pump house and meter box should be limited to one of each on any one allotment or lease site and be of a scale and materials which does not detract from the character and amenity of the locality.

### Moorings for Vessels

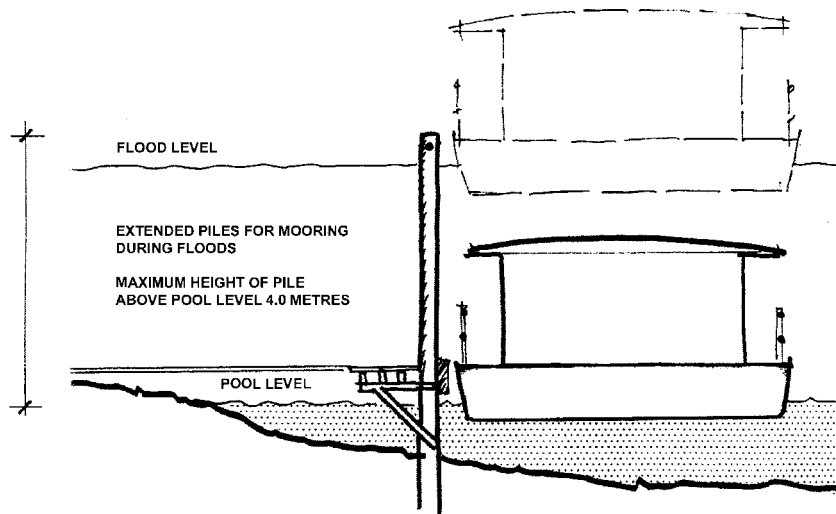
- 9 An on-river mooring facility should only be developed where all of the following is achieved;
- (a) the mooring facility will not result in a mooring capacity exceeding one vessel per allotment;
  - (b) where the allotment has a direct frontage to the river (or is only separated by a public road or public reserve, but not both) and the allotment contains an existing dwelling;
  - (c) the width of the river is greater than 100 metres at normal pool level; and
  - (d) the development will not result in the mooring of a houseboat within 100 metres of the Shack Settlement Policy Area or the Conservation Policy Area.
- 10 Development of structures designed for the mooring of more than one vessel should;
- (a) be located off-channel in a marina; and
  - (b) not be developed within 100 metres of the Shack Settlement Policy Area, River Settlement Policy Area or the Conservation Policy Area.
- 11 Where moorings are located off-channel the water storage should be secured through the purchase of a water allocation.
- 12 Infrastructure for moored vessels should be provided at the following rates:

Infrastructure	2-4 Vessels	5-9 Vessels	10+ Vessels
Car parking	refer <a href="#">Table MiMu/1</a>	refer <a href="#">Table MiMu/1</a>	refer <a href="#">Table MiMu/1</a>
Bus Parking	not desired	not desired	1 per 10 vessels
Houseboat Effluent mobile pump out	minimum 9000 litres	not desired	not desired
Permanent waste control system (no land based disposal in the flood plain)	not required	mandatory	mandatory
Mains Power	mandatory	mandatory	mandatory
Potable Water	optional	mandatory	mandatory
Telephonic Services	optional	optional	mandatory
Waste storage and removal	mandatory	mandatory	mandatory

Infrastructure	2-4 Vessels	5-9 Vessels	10+ Vessels
Administrative Building	not desired	optional	optional
Refuelling facility	optional	optional	optional
Maintenance facility	not desired	Not desired	optional
Caretaker residence	not desired	Not desired	mandatory

- 13** Fuel storage, facilities and areas, including areas for the storage of mobile fuel trailers, should be:
- located in a designated area which is not within the 1956 floodplain;
  - designed to prevent the run-off of spilled fuel; and
  - be confined to a bunded area.
- 14** The separation distance between moored vessels measured at the pontoon or hull of the vessel should be 2.0 metres.
- 15** Provision should be made for securing of moored vessels during periods of high floodwaters and should be in accordance with the design principles illustrated in Figure 15.1.

*Figure 15.1 Method for securing moored vessels.*



- 16** There should be no land-based disposal of effluent collected from moored vessels within the flood plain as defined by 1956 flood levels.
- 17** Moorings for vessels should not be located within:
- 100 metres of either side of a ferry crossing; or
  - 150 metres of a lock; or
  - 400 metres of the pumping stations at Swan Reach or Morgan.
- 18** Buildings and structures:
- designed, scaled and sited to enhance the local character;
  - sited to be unobtrusive;

- (c) sited to avoid the removal of existing vegetation; and
- (d) grouped together.

### **Waste**

- 19** Development that produces any sewage or effluent should be connected to a waste treatment system that complies with (or can comply with) the relevant Department of Health legislation applying to that type of development.
- 20** Wastewater produced in the Flood Plain Policy Area, Recreation and Tourism Policy Area, Shack Settlement Policy Area, land within 100 metres of the normal pool level of the River Murray or within an area in the 1956 floodplain of the River Murray should be disposed of into an approved (or approved as part of the development) communal wastewater management scheme.
- 21** The capacity of the wastewater management infrastructure should be designed so as to adequately accommodate the expected maximum number of persons in the building or site at any one time.

### **On-Site Stormwater Drainage and Harvesting**

#### **22** Site drainage should:

- (a) include, where practicable, on-site stormwater detention, retention and use, including the collection and storing of water from roofs and communal car parks in appropriate devices;
- (b) provide on-site infiltration where practicable, having regard to:
  - (i) the availability of unbuilt upon or unsealed areas;
  - (ii) the ability of soils to absorb water;
  - (iii) the ability of building footings on and adjacent to the site to withstand the likely effects of retained water; and
  - (iv) potential adverse impacts on the level and quality of groundwater;
- (c) allow convenient access to all components of the drainage system for maintenance purposes;
- (d) not cause damage or nuisance flows on site or to adjoining properties; and
- (e) not cause contamination of surface water.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

#### *22.1 In relation to P22(b), infiltration can be assisted by:*

- (a) minimising paved areas;*
- (b) redirecting run-off from paving onto grass or beds before running into drains;*
- (c) use of on-site infiltration/percolation basins (these are lower areas of ground which create pools after rainstorms so that water seeps into the ground to recharge the water table);*
- (d) retention basins or tanks to store water for irrigation/recycling;*

- (e) *use of detention basins or sumps to temporarily trap stormwater on site, slowly releasing it into stormwater drains to reduce peak flow rates and flood levels downstream.*

22.2 *In relation to P22(d) wastewater or washdown water from the cleaning of vehicles, plant or equipment or the washdown area itself should not be discharged into the stormwater system. These activities should discharge to a treatment device such as a sediment trap and a treatment unit with subsequent disposal to a common system for land based disposal off the flood plain.*

## Stormwater

**23** Storm drainage should have the capacity to safely convey major stormwater flows.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

- 23.1 *A major storm drainage system<sup>(1)</sup> has the capacity to safely convey stormwater flows for ARI = 100 years, assuming 50 percent minor system blockage; and*
- 23.2 *A major storm drainage<sup>(2)</sup> system design outflow is matched to the capacity of any existing downstream system.*
- 23.3 *A minor storm drainage system has the capacity to convey stormwater flows for ARI = 2 years for residential lots with neighbourhood densities<sup>(3)</sup> not greater than 20 dwellings per ha, and ARI = 10 years for neighbourhood densities greater than 20 dwellings per ha.*
- 23.4 *A minor system design outflow is matched to the capacity for any existing downstream system.*

*Advisory Note: Characteristics of stormwater catchments for shack settlements along the river are:*

- *low annual rainfall allows the assumption that every storm event is a first flush event;*
- *low annual rainfall yields limits the potential for stormwater reuse due to evaporation;*

*Designs should have regard to:*

- *the pollutants the stormwater system is designed to control;*
- *allowance for other stages of treatment upstream;*
- *incorporation of wetlands and gross pollutant traps in open space systems;*
- *water detention/retention areas which can be used for public recreation eg grassed basins, ponds and wetlands;*
- *opportunity for local native vegetation for public open space in preference to turfed areas; and*
- *localisation of community infrastructure and water supply/disposal systems.*

<sup>(1)</sup> *Major System consists of the arrangement of streams, floodways, retarding basins, major cut-off drains, street pavements and reserves and open areas such as car parks serving a dual purpose.*

<sup>(2)</sup> *Minor System consists of the arrangement of kerbs, gutters, roadside channels, swales, sumps and underground pipes.*

<sup>(3)</sup> *Neighbourhood density means the ratio of the number of dwellings to the area of the land (including associated neighbourhood or local facilities) they occupy. The area includes internal public streets, all areas of public open space, local or neighbourhood shops, primary and secondary schools, local community services, local employment areas, and half the width of adjoining arterial roads.*

**24** Local storm drainage system should:

- (a) contain and retain creeks and vegetation;
- (b) incorporate, where practicable, non-flood-sensitive uses;
- (c) incorporate detention and retention basis where required;

- (d) enhance residential amenity; and
- (e) be integrated with open space systems and provide recreational opportunities.

### **Electricity and Telecommunications Infrastructure**

- 25** Electricity and telecommunications lines should be installed underground except in areas within the 1956 floodplain of the River Murray.

### **Tourism Development**

- 26** Tourism development should be limited to nature-based or river orientated development that contributes to the local economy (including through the diversification of existing primary production activities and conversion of farm buildings or heritage places) without public expenditure (unless for public recreation or conservation of the natural or built heritage), complements the natural landscape and is designed and sited in a way that minimises the impact on the natural environment.
- 27** Tourist accommodation should not be converted to dwellings and should be designed to preclude the conversion of buildings into dwellings such as through shared facilities, common utility services, grouped accommodation and or shared parking.

## **River Murray Zone – Conservation Policy Area**

### **Introduction**

The Objectives and Principles of Development Control that follow apply to the Conservation Policy Areas as shown on [Maps MiMu/63, 66, 67, 69, 70, 72, 80 to 92, 94, 97 to 99, 104, 105, 107, 110, 113, 115, 119, 121 to 123, 125 to 127, and 131](#). The policies are additional to those for the River Murray Zone and the Council Wide provisions.

### **Background**

The environment of the River Murray has been changed by the installation of locks which hold water levels at a stable minimum level. Natural flow regimes would have previously been variable, but are now less dynamic. The Murray River remains an important natural environment however and supports a diverse range of biota - both in its waterways and on adjacent floodplains. Many of the flora and fauna of the region exhibit life cycles dominated by the seasonal variations in the River that still occur.

Periodic flooding and drying provide a breeding stimulus for fish, water fowl and many species of plants. Additionally, the wetlands of the region are important sites for migratory birds and their role is further highlighted when droughts in other regions add to the attraction of the permanent waters of the River.

Snags from fallen trees provide habitat niches in the wetlands, although the presence of European Carp constrains the conservation value of infested backwaters. Snags may be realigned to minimise their hazard to watercraft, but removal denies fish required habitat.

Being subject to inundation leaves the floodplain liable to the introduction of weeds from upstream and therefore maintenance of a healthy vegetative cover can help minimise the risk of weed outbreaks.

Areas where there is a vegetated connection between the River Murray and adjoining environments can be of high conservation significance, eg the River Marne and dryland areas north of Renmark (where fauna may move between the regions).

The River Murray environment has been significant to humans through times of Aboriginal and European occupation and many heritage features and sites persist in the Area.

Maintaining a healthy natural environment on the floodplain is one means of promoting sound water quality in the River Murray, where the vegetation and wetlands work as a *filter* to protect the stream. The natural and cultural heritage, together with the scenic amenity of many areas contributes to the region's tourist and recreation infrastructure. There are a number of opportunities to reinforce the River as a natural system without the interference of human occupation and development. These opportunities largely occur within public reserves which have been specifically designated for environmental and habitat purposes.

### DESIRED CHARACTER

The Conservation Policy Area should maintain a character which emphasises:

- (a) a diversity of local native plant and animal species;
- (b) a range of habitats and environmental niches;
- (c) periodic fluctuations in water levels;
- (d) connection, wherever possible between a floodplain, valley slopes and adjacent highland areas of the River Valley;
- (e) retention of the Area's natural beauty; and
- (f) the interpretation and appreciation of the natural and cultural heritage of the River Murray.

Conservation areas will retain natural qualities and habitats as a contribution to the management of the overall river system as an environmental resource.

The following forms of development are **acceptable** in the Conservation Policy Area:

- pump shed, pump house, metre box, pipes and ancillary minor works related to water supply;
- fencing and signage for conservation management purposes;
- river structures for conservation management purposes;
- scientific monitoring structures or facilities;
- facilities associated with the interpretation and appreciation of natural and cultural heritage
- filling or excavation (or excavation and filling) of land where it is in direct consequence of and is reasonably incidental to building work for an acceptable form of development where it does not involve any excavation or filling (or excavation and filling) exceeding a vertical height of 1 metre; and
- water storage tank (above or below ground), associated tank stand and dedicated water storage tank for fire fighting purposes.

The following forms of development are **unacceptable** in the Conservation Policy Area:

- land division resulting in an additional number of allotments partly or wholly within the policy area;
- all forms of urban development (residential, industry, commercial and retail);
- all forms of farming, horticulture, viticulture and land based aquaculture;
- marinas and boating facilities;
- intensive animal keeping;
- horse keeping; and
- river salinity management structures, eg evaporation basins.

Development listed as non-complying is generally inappropriate and not acceptable in the Conservation Policy Area.

### OBJECTIVE

**Objective 1:** Development that contributes to the desired character of the policy area.



## Environment

**Objective 2:** Retention of native vegetation, wildlife habitat, features of cultural heritage significance and natural beauty.

**Objective 3:** Environmental water allocations to imitate natural flow regimes and the protection of wetlands of conservation significance.

## Tourism and Recreation

**Objective 4:** Provision of appropriate environmental and heritage interpretive facilities.

## PRINCIPLES OF DEVELOPMENT CONTROL

**1** Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the policy area.

### Ecologically Sustainable Development

**2** All revegetation and screen plantings should be of locally occurring native species, preferably using seed sourced from the region.

### Water

**3** Development should take place in a manner which will not compromise the utilisation, conservation or quality of water resources or capacity for natural systems to restore or maintain water quality.

**4** Development should not have an adverse impact on natural hydrological systems and environmental flows and de-snagging of watercourses or wetlands should not occur except for the re-alignment of snags.

## Environment

**5** Development should not degrade the wildlife value, scenic beauty or scientific or cultural value of land or waters in the policy area.

**6** Development should be designed and sited to respect and maintain the landscape character of an area which is of:

- (a) historical (including archaeological) significance;
- (b) scientific interest;
- (c) scenic value or natural beauty; or
- (d) other heritage significance.

**7** Trees and other vegetation, including native flora and bushland remnants which are of:

- (a) special visual, historical or scientific significance or interest or heritage value;
- (b) existing or possible future value in the screening of a building or unsightly views;
- (c) existing or possible future value in the prevention of soil erosion; or
- (d) value as a habitat or feeding area for native fauna;
- (e) should be conserved and their value and function not compromised by development.

### Recreation and Tourism

- 8 The development of land for passive recreation and public tourism facilities should be restricted to those which provide opportunities for the public to experience and appreciate the natural and cultural heritage of the policy area through low impact recreational activities and interpretive facilities. Such forms of development, although limited in number and scale and sited to minimise visual impact, may include:
- (a) access roads, signage, car parks, walking paths or recreational trails with appropriate fencing (such as post and wire fencing) provided to control the movement of the public whilst minimising the impact on biodiversity and scenic character;
  - (b) rubbish, toilet and drinking water facilities; and
  - (c) development associated with existing camp sites or sites for public recreation (but not ovals, sporting grounds or similar active recreation areas).

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

8.1 *Car parks and tracks sited at least 50 metres back from the River bank.*

### Related Development

- 9 Structures apart from purpose built flood control levees, including fencing, and the filling of land, should:
- (a) not impede the flow of floodwaters or change the pattern of movement of floodwaters; and
  - (b) when feasible mitigate any existing impediments to floodwaters,
  - (c) unless they are to permit the manipulation of water to replicate environmental flows or for other environmental purposes - such as carp eradication.
- 10 Development should not increase the potential for, or result in, pest plant infestation of areas of native vegetation.
- 11 Buildings and other structures should not be sited adjacent to native vegetation where such siting will necessitate the clearance of vegetation to ensure the safety of the proposed structure from fire hazard.
- 12 The visual obtrusiveness of buildings and structures should be minimised through:
- (a) their design and siting;
  - (b) the use of screen landscaping.

### Complying Development

- 13 No forms of development are **complying** in the Conservation Policy Area.

### Non-complying Development

- 14 All forms of development (including building work, a change in use of land, or division of an allotment) are **non-complying** in the Conservation Policy Area except:
- (a) filling and or excavation of land where it is in direct consequence of and is incidental to building work for an acceptable form of development;
  - (b) water storage tank (above or below ground) and associated tank stand or dedicated water storage tank for fire fighting purposes, ancillary to an existing lawful building;

- (c) fencing and signage for conservation management purposes;
- (d) land division for the rearrangement or rationalisation of existing allotments and where no additional allotments are created;
- (e) development of a building or structure identified as a State or Local Heritage Place where either of the following apply:
  - (i) the works involve (in full or in part) the conservation or maintenance of the heritage place;
  - (ii) the development involves the adaptive reuse of a building and, where applicable to the intended use, it is connected to an approved waste control system;
- (f) outdoor advertising for information signage; and
- (g) structures and buildings for conservation management purposes (including river structures, and scientific monitoring and interpretive facilities).

### Public Notification

- 15** Forms of development which are **acceptable** for the Policy Area are assigned **Category 1** (except where non-complying) and further the following is designated **Category 1**

Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary.

- 16** Forms of development which are neither acceptable or non-complying for the Policy Area are assigned **Category 2** and further the following is designated **Category 2**

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places.

## River Murray Zone – Flood Plain Policy Area

### Introduction

The Objectives and Principles of Development Control that follow apply to the Flood Plain Policy Area shown on [Maps MiMu/63, 66, 67, 69 to 72, 80 to 92, 94, 97 to 99, 101, 103 to 107, and 131](#). The policies are additional to those for the River Murray Zone and the Council Wide provisions.

### Background

The Area is defined by the 1956 flood level and supports a range of water-based activities, and primary production including horticulture (fruit and vegetable production, viticultural and irrigated pasture) and has considerable areas of wetland and remnant vegetation which should be retained.

## DESIRED CHARACTER

The natural environment of the 1956 floodplain is to be maintained and protected and no new residential or other forms of built form is encouraged unless for essential public purposes.

Agricultural production on existing allotments should continue, however intensification of existing uses, particularly stocking of farm animals and new irrigation is not encouraged.

The 1956 floodplain is the location of both Aboriginal and European cultural heritage which will be identified for protection purposes. It is also the prime area for water related recreation associated with houseboats, camping and skiing. Interpretation and recreation facilities are encouraged, particularly those that will be managed in association with or value add to farming and horticultural activities on adjacent land.

Acceptable forms of development are those that contribute to the desired character of the River Murray Zone as it applies to the Flood Plain Policy Area. The following forms of development are **acceptable** in the Flood Plain Policy Area:

- filling or excavation (or excavation and filling) of land where it is in direct consequence of and is reasonably incidental to building work for an acceptable form of development where it does not involve any excavation or filling (or excavation and filling) exceeding a vertical height of 1 metre;
- land division in the form of a boundary realignment (that does not result in an additional number of allotments partly or wholly within the policy area) and land division for the creation of a public road or reserve;
- structures and ancillary development (pump shed, pump house, pumps, pump stands , pipes, water storage tanks) for purposes of water extraction, wetland management and irrigation management (channels, pumping stands);
- a boat ramp for public recreation and public access and alteration or replacement of an existing boat ramp;
- recreation area;
- river structure (floating pontoon or jetty), including alterations and additions to a river structure (floating pontoon or jetty);
- continuation of existing primary production including horticulture on existing allotments but with improvements to existing management practice; and
- alterations and/or additions to or a replacement of an existing dwelling, enclosed outbuilding and/or open sided structure subject to conditions regarding protection from flood waters, building set-back from the waterfront, building height and maximum floor area;
- water storage tank (above or below ground), associated tank stand and dedicated water storage tank for fire fighting purposes.

The following forms of development are **unacceptable** in the Flood Plain Policy Area:

- boat ramps (other than boat ramps for access by the general public);
- commercial development;
- farming, horticulture, viticulture and land based aquaculture apart from development within an allotment associated with an existing use;
- horse keeping;
- industry;
- intensive animal keeping;
- land division to create additional allotments (other than for public infrastructure or similar public works);
- modification to the river bank (other than excavation and filling for acceptable forms of development);
- on-river structures for houseboat mooring;
- outdoor advertising other than information signage;
- houseboat mooring or effluent holding tanks or pump out facilities for houseboats within 100 metres of a Shack Settlement Policy Area;
- residential development (other than acceptable forms of development in the form of a dwelling or outbuilding);
- retaining walls or other modifications to the river bank, except where anticipated in the River Murray Zone

- river structures for private use on public land adjacent the Shack Settlement Policy Area where there would be more than one river structure per dwelling;
- shop (other than development associated with an existing use);
- store (including the outdoor storage of caravans, machinery and vehicles on private and Crown land).

## OBJECTIVES

**Objective 1:** Development that contributes to the desired character of the policy area.

### Ecologically Sustainable Development

**Objective 2:** Improvement to the sustainability of rural production and primary industries.

**Objective 3:** Buildings and structures strictly limited, but where undertaken, compatible with the environmental qualities, built form, character of the surrounding area and landscape and designed not to impede the flow of flood waters.

### Water

**Objective 4:** Maintenance of natural hydrological systems and environmental flows.

**Objective 5:** Surface run-off designed to protect property and life and environmental quality.

### Environment

**Objective 6:** Maintenance and enhancement of the landscape character.

**Objective 7:** Protection, maintenance and improvement of:

- (a) the physical, chemical and biological quality of soil resources;
- (b) the quantity of soil resources; and
- (c) the natural processes of sediment transfer.

**Objective 8:** Retention and maintenance of wetlands and existing native vegetation for its conservation, biodiversity, and habitat value and environmental management function.

**Objective 9:** Conservation of land, buildings, structures and other items, of non-Aboriginal origin which are of historical, social, architectural, cultural or heritage significance.

**Objective 10:** Conservation of Aboriginal sites, items and areas which are of archaeological, cultural, mythological or anthropological significance.

### Primary Production

**Objective 11:** Horticulture and irrigated pasture which does not place undue demands on the provision of infrastructure such as energy supply and road access.

**Objective 12:** Horticulture and irrigated pasture which does not adversely impact on adjoining residential or neighbouring land uses.

**Objective 13:** No adverse impact generated by Horticulture and Irrigated Pasture.

Development and use of land for horticulture and irrigated pasture does not contribute to the degradation of the River Murray, the Murray Valley or Flood Plain by way of:

- (a) increases in river salinity levels or nutrient loads;

- (b) a reduction of the conservation status of significant wetlands; or
- (c) undue impacts on remnant vegetation.

### **Tourism and Recreation**

- Objective 14:** A range of recreation activities compatible with the local character of the River Murray.
- Objective 15:** Development and use of land for recreation which does not contribute to increased health and safety risks for the users of the River Murray.
- Objective 16:** Economic provision of infrastructure in an environmentally sensitive manner.
- Objective 17:** Development provided with an adequate level of appropriate services and infrastructure without excessive cost to the community.

### **Related Development**

- Objective 18:** Prevention of environmental nuisance or harm resulting from odour and other airborne particles.
- Objective 19:** Protection of sensitive uses from external noise.
- Objective 20:** No adverse impacts from the treatment of wastes.

Effective on-site treatment and management of solid and liquid wastes to prevent environmental nuisance and harmful or adverse impacts on the public, worker health, water quality of the River Murray or the amenity of a locality.

- Objective 21:** Enhanced opportunities for the appropriate recycling and reuse of waste off the floodplain.
- Objective 22:** Prevention of environmental nuisance or harm resulting from a biological, chemical or fire hazard, energy emission or explosion.
- Objective 23:** Allotments suited to their proposed use.
- Objective 24:** Limited river structures and waterfront development.

### **PRINCIPLES OF DEVELOPMENT CONTROL**

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the policy area.

#### **Water**

- 2 No adverse impact on natural hydrological systems and environmental flows by ensuring the quality of water leaving the site is of a physical, chemical and biological condition equivalent to or better than pre-development flow characteristics conditions.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

- 2.1 *Modifications to the landform are not located closer than 50 metres to the bank of a watercourse identified on a current series 1:50 000 SA Government topographic map; and*
- 2.2 *The rate of discharge from the site should not exceed the rate of discharge from the site in the pre-development condition for all storm durations up to and including storms having an ARI of 100 years.*

- 3** Stormwater from buildings and ground areas managed in a manner which minimises impact on natural drainage systems by:
- (a) preventing soil erosion or siltation;
  - (b) minimising the entry of nutrients and pollutants;
  - (c) mitigating peak flows; and
  - (d) harvesting via rainwater collection and storage

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

- 3.1 *In relation to P3(c) on-site drainage systems shall incorporate a system to the approval of the relevant authority to detain and treat first flush storm run-off before discharge from the site. A detention volume equivalent to the run-off from a 1 year ARI, 2 hour duration storm, discharged gradually over a period of 24 hours is acceptable.*

### **Landscape Character**

- 4** Development should be designed and sited to respect and maintain the landscape character of an area which is of:
- (a) historical (including archaeological) significance;
  - (b) scientific interest;
  - (c) scenic value or natural beauty; or
  - (d) other heritage significance.

### **Soil**

- 5** Development should not have an adverse impact on the natural, physical, chemical or biological quality and characteristics of soil resources.
- 6** Development should minimise the loss of soil from a site through soil erosion or siltation both:
- (a) during the construction phase; and
  - (b) following commencement of an activity.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

- 6.1 *In relation to P6(a) erosion and sediment control measures such as grade furrows, contour banks, catch/diversion drains, level spreaders, revegetation, hay bale barriers, filter fences, sediment traps and basins are implemented during the construction phase to prevent silt or sediment leaving the subject land.*

- 7** Development should not result in alterations to the landform or drainage patterns which will impede natural processes of sediment transfer.

### **Vegetation Management**

- 8** Trees and other vegetation, including native flora and bushland remnants which are of:
- (a) special visual historical or scientific significance or interest or heritage value;
  - (b) existing or possible future value in the screening of a building or unsightly views;

- (c) existing or possible future value in the provision of shade or as a windbreak;
- (d) existing or possible future value in the prevention of soil erosion; or
- (e) value as a habitat or feeding area for native fauna;

should be conserved and their value and function not compromised by development.

- 9** Development should not increase the potential for, or result in, pest plant infestation of areas of native vegetation.

### **Horticulture and Irrigated Pasture**

- 10** Development should not increase salinity levels in the River Murray or its backwaters.

***Design Techniques** (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

*10.1 Irrigation to be sited in locations where:*

- (a) soils are considered suitable for irrigated horticulture - as shown on the PIRSA map Land Suitability for Irrigated Horticulture, Riverland, South Australia; and
- (b) Blanchetown Clay is considered to be present - as shown on the PIRSA (Mines and Energy) Map Blanchetown Clay Distribution; or
- (c) a preliminary irrigation design is certified to demonstrate an irrigation system (with normal management is capable of providing an minimum of 85 percent Annual Water Balance Efficiency).

*Advisory Note: Proposals for irrigation development will be referred to the Department of Environment, Heritage and Aboriginal Affairs for advice on the potential impacts on River Murray salinity arising from irrigation on the proposed site. Applicants may need to provide information on the following matters for the Department's assessment:*

- the soil and water requirements of the proposed crop;
- the soil type and its depth, transmissivity and stratigraphy;
- local topography, proximity to streams and the potential for surface water run-off;
- the depth to, and salinity of, local and regional groundwater; and
- any drainage requirements and plans for dealing with drainage water.

OR

*Provide either a Land and Water Management Plan or Salt Load Assessment prepared in accord with MESA Report 96/17 demonstrating a nil impact on River Murray salinity trends.*

- 11** Irrigation development should not take place if it will have an adverse impact on wetlands of high conservation significance or on flows in other backwaters.

***Design Techniques** (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

*11.1 Irrigation pumps are located on the main stream of the River Murray.*

*Advisory Note:*

*Wetlands of high conservation significance are recorded in the Wetlands Atlas of the South Australian River Murray and A Directory of Important Wetlands in South Australia.*

### **Recreation and Tourism**

- 12** Development or use of land for tourism should complement or interpret the:

- (a) natural environment of the region;



- (b) primary production in the area; or
- (c) local cultural heritage.

**13** Development should not occur on the waterfront unless:

- (a) the use is dependent on waterfront access for its operation eg boat mooring; and
- (b) it will enhance public access.

***Design Techniques** (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

*13.1 In relation to P13(b) the provision of 50 metres public waterfront access.*

**14** Development or use of land for recreation should provide services such as access roads, signage, car parks, fire pits, campsites, drinking water, lawns and rubbish and toilet facilities commensurate with the intended intensity of use.

***Design Techniques** (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

*14.1 A hierarchy of road and tracks will minimise the number of tracks required, and ensure vehicles are sited away from activity areas and sensitive environments.*

*14.2 Car parks and tracks sited at least 50 metres back from the River bank.*

*14.3 Picnic sites set-back from the River bank.*

*14.4 Use of vegetation, land form, road surfaces and structures such as bollards to control vehicle movements.*

*14.5 Adequate litter facilities.*

*14.6 Provision of large rubbish bins at the entry point to recreation areas, preferably located off the 1956 flood plain.*

*14.7 Signage constructed of natural materials and coordinated to minimise signage.*

*14.8 Picnic facilities and signs secured to withstand flood waters.*

**Related Development**

**15** Development should not take place where:

- (a) it is likely to be adversely affected by flooding and there is an unacceptable risk from flooding to life or property;
- (b) the development is likely to increase the risk of flooding of other land; or
- (c) it will obstruct or interfere with watercourses.

**16** Structures (apart from purpose built flood control levels), including fencing and the filling of land should:

- (a) not impede the flow of floodwaters or change the pattern of movement of floodwaters; and
- (b) when feasible, mitigate any existing impediments to floodwaters.

**17** Irrigation pumping facilities should be located to be operable with changing lock water levels.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

17.1 *Irrigation pumping facilities are positioned to operate below normal pool level. A position of 1.0 metre may be acceptable but users should make their own assessment.*

### **River Structures**

18 River Structures are appropriate in the zone.

### **Pollution**

19 Development designed to minimise adverse acoustic impacts on adjoining uses which would be sensitive to acoustic interference.

20 Use of biological chemical organisms and chemicals in a manner which minimises any airborne or waterborne movement or land contamination.

21 No storage of biological organisms and chemicals in the Flood Plain Policy Area.

22 Untreated waste should not be spread or discharged to land or water either on-site or elsewhere.

23 On-site waste treatment and the spreading or discharging of treated waste on-site should not occur.

### **Built Form and Design**

24 Replacement buildings and structures for recreation and tourism should be:

- (a) designed, scaled and sited to enhance the local character;
- (b) sited to be unobtrusive;
- (c) sited to avoid the removal of existing vegetation; and
- (d) grouped together.

25 Buildings and structures limited to replacement of existing buildings only.

### **Building Development**

26 No new dwelling can be established in the Flood Plain Policy Area.

27 Replacement buildings should not be visible from a major road as designated in [Map MiMu/1 \(Overlay 1\)](#).

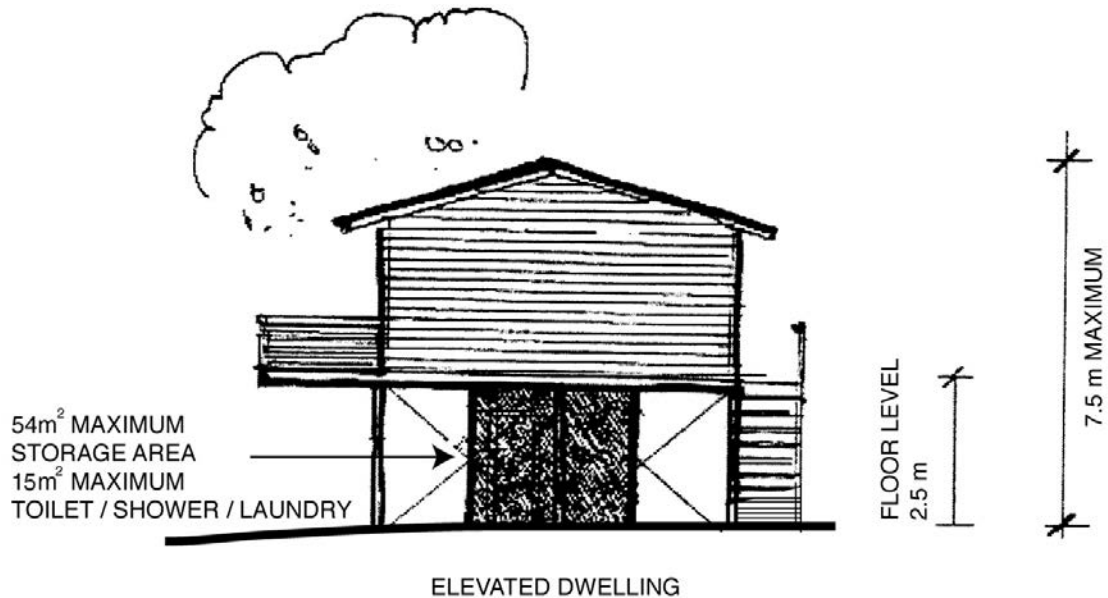
28 Replacement buildings and structures or additions to existing dwellings which have:

- (a) a design scale, appearance and site to enhance the positive environmental qualities, and built form character of the locality with materials, design and scale in accordance with [Table MiMu/5](#);
- (b) a site which is unobtrusive and screened from public roads and adjoining properties by:
  - (i) natural landforms;
  - (ii) existing vegetation; and
  - (iii) planting of appropriate vegetation;
- (c) a requirement for minimal removal of existing vegetation;

(d) sites which are grouped together.

**29** A dwelling should be in accordance with the following:

- (a) one elevated habitable storey with a maximum floor to ceiling height of 2.7 metres;
- (b) a maximum ceiling to roof height of 1.8 metres;
- (c) an average underfloor clearance of 2.5 metres and in any case not less than 2.3 metres and not more than 2.7 metres; and
- (d) a total combined maximum building height of 7.5 metres.



*Explanatory Note: The underfloor clearance is measured by determining the distance between the underside of the elevated floor level and the following (whichever is applicable):*

- *for vacant/undeveloped sites – lowest and highest points of natural ground level prior to any proposed cut and fill; or*
- *modified sites - lowest and highest points of existing ground level prior to the proposed development*

- 30** An elevated dwelling should have a minimum clearance of 2.3 metres to the underside of bearers, unless evidence is provided that a reduced clearance will provide a floor level of the elevated living area above the 1956 flood level.
- 31** An elevated dwelling should locate all living areas such as lounge/dining, family rooms, sunroom, kitchen and bedrooms and any room capable of being used as a bedroom on the first/elevated level, and the dwelling should not include:
  - (a) more than one wet area at ground level and in any case not exceeding 15 square metres in total floor area at ground level; and
  - (b) more than one room that is capable of being used as a kitchen.
- 32** The underneath area of an elevated dwelling:
  - (a) should not be used for living purposes nor incorporate internal walls or cladding (other than related to a wet area);
  - (b) may only be used and enclosed for vehicle (boat and car) and other domestic storage purposes.

- 33** The underneath area of an elevated dwelling should only be enclosed (excluding the 15 square metres maximum of allowable wet area) in accordance with the following:
- (a) the floor area enclosed by any of the above acceptable methods of enclosure does not exceed 54 square metres in total floor area;
  - (b) notwithstanding part (a), at least one third of the underfloor area remains open (not enclosed) from the principal river elevation through to its opposite elevation (without screening or walls whether permanent or removable) such that there is at least one underneath area that is permanently open on three sides from the river side through to the opposite elevation;
  - (c) the enclosure is designed to open up to allow flood water to flow through the enclosure or is comprised of panels that can be easily removed to a site above the 1956 flood plain in the event of a flood;
  - (d) acceptable methods of enclosure are:
    - (i) roller doors;
    - (ii) tilt-up panel doors;
    - (iii) roller blinds/awnings;
    - (iv) removable panels that can be detached from the support structure and handled easily by two people without mechanical assistance; and
    - (v) external cladding (without internal lining) screw fixed spanning the width of one removable panel (such as cement fibre sheeting, pre-coated steel or timber);
  - (e) where removable panels are proposed:
    - (i) no panel exceeds the dimensions of 3 metres by 2.7 metres;
    - (ii) the panels are designed and incorporate materials that allow easy removal and handling, without requiring demolition, destruction or engineering assistance to achieve removal;
  - (f) the method of enclosure or other internal fittings and fixtures does not include:
    - (i) permanent fixed cladding
    - (ii) cladding fixed to permanent framework
    - (iii) external cladding spanning more than one removable panel width
    - (iv) internal cladding
    - (v) sliding doors or glass doors and floor-ceiling windows
    - (vi) floor fixtures and coverings
    - (vii) ceiling linings other than where the underside of an elevated dwelling must be protected with a non-combustible sheet material to meet the requirements of the relevant legislation to comply with buildings constructed in bushfire risk areas.

### **Outbuildings and Structures**

- 34** An outbuilding or open sided structure should only be constructed if it is in conjunction with a dwelling on the same allotment.
- 35** Outbuildings or open sided structures (but not including a water storage tank, a tank stand or a pump shed) should be limited in accordance with the following:

- (a) one enclosed outbuilding for domestic storage per dwelling provided the total floor area does not exceed 54 square metres;
  - (b) one open sided structure (whether free standing or attached to the enclosed outbuilding) per dwelling such as a pergola, gazebo or other similar type roofed structure, provided the total floor area does not exceed 36 square metres.
- 36** An outbuilding or open sided structure (whether freestanding or attached to one another) should not:
- (a) be in the form of shipping containers or other similar portable structures;
  - (b) be attached to or closer than 1.0 metre to the dwelling; and
  - (c) include a wet area.
- 37** An outbuilding or open sided structure (whether freestanding or attached to one another) should:
- (a) be located behind the dwelling, not the river side of the dwelling, so as not to detract from the character of the waterfront;
  - (b) be substantially smaller in building envelope, height and scale than the dwelling;
  - (c) have a roof pitch between 15°-25°;
  - (d) have a maximum roof span of 6 metres and a maximum wall/post height of 3.2 metres;
  - (e) in the case of an enclosed outbuilding, be fitted with roller doors, openings, or similar on two ends or sides (whichever elevations face the direction of the river flow); and
  - (f) in the case of an open sided structure, remain open on all sides.
- 38** An above ground rainwater tank and associated stand should only be erected in association with an existing dwelling and achieve the following:
- (a) be located behind or under the dwelling, not the river side of the dwelling so as not to detract from the character of the waterfront;
  - (b) rainwater tanks of greater than 25 kilolitres should be constructed of traditional corrugated iron;
  - (c) tanks for smaller storage of 25 kilolitres or less may be plastic (other than tanks associated with storage for fire fighting), fibreglass and concrete tanks;
  - (d) stormwater from downpipes and tank overflows should be directed away from buildings and not concentrated in any one location;
  - (e) be appropriately secured to prevent the tank and stand from being dislodged in the event of a flood.
- 39** A rainwater tank and associated stand should be sited to be unobtrusive when viewed from the River Murray and nearby public roads (other than a tank associated with an independent water supply for fire fighting that may be located in reasonable proximity to a public or private road in order to be easily identified and accessed in the event of a fire).

### **Pools and Spa Pools**

- 40** A spa pool or swimming pool should not be developed unless it is for the replacement of a lawfully developed spa pool or swimming pool and the replacement spa pool or swimming pool should not:
- (a) be increased in size;

- (b) be located between the dwelling and the river;
- (c) dispose of associated wastewater to land in the flood plain or a community wastewater management scheme.

### **Fencing**

- 41** Fencing should be avoided, or where proposed it is only to define an allotment boundary or individual lease site and should:
- (a) be of an open design (not solid) so as not to impede water flow (post and wire or similar fencing);
  - (b) not be greater than 1.2 metres in height above the lowest of the two adjoining ground levels; and
  - (c) be of a galvanised finish or finished in neutral colours which blend with the natural colours of the landscape.

### **Infrastructure**

- 42** Infrastructure required for development should:
- (a) be able to be economically provided;
  - (b) be of a sufficient standard, design and capacity to accommodate the proposed development;
  - (c) not have a detrimental impact on the environmental qualities and amenity of the area;
  - (d) not necessitate the removal of native vegetation;
  - (e) not increase the level of risk to public health;
  - (f) be provided at full cost to the developer without public subsidisation now or in the future;
  - (g) not compromise the level of service to other existing users; and
  - (h) not be at the risk of damage by flood waters.
- 43** Sites should be provided with a safe and convenient means of access which:
- (a) avoids unreasonable interference with the flow of traffic on adjoining roads;
  - (b) accommodates all types and the volume of traffic likely to be generated by the development or land use; and
  - (c) is located and designed to minimise any adverse impact on the occupants and visitors to neighbouring properties.
- 44** Driveways, access tracks and parking areas should:
- (a) follow the natural contours of the land;
  - (b) follow the geometric pattern of plantings;
  - (c) be designed and constructed with a minimum amount of excavation and/or fill;
  - (d) be designed and constructed to minimise the potential for erosion from run-off; and
  - (e) not involve the removal of existing vegetation.

### Land Division

- 45** Land should not be divided if the size, shape and location of, and the slope and nature of the land contained in each allotment resulting from the division is inconsistent with the Acceptable Uses and land use policies for the Flood Plain Policy Area.
- 46** Allotments should be located and be of size and configuration which:
- (a) takes account of environmental features and site constraints;
  - (b) provides sufficient space in appropriate locations for the siting of buildings, structures and associated services and infrastructure;
  - (c) is able to satisfactorily accommodate an appropriate use of the land consistent with land use policies for the Flood Plain Policy Area.
- 47** When land is divided:
- (a) any reserves or easements necessary for the provision of public utility services should be provided;
  - (b) stormwater should be capable of being managed in a manner which does not have an adverse impact on natural drainage systems, exceeds the capacity of downstream drainage systems or results in or exacerbates the flooding of property;
  - (c) a water supply sufficient for the purpose for which the allotment is to be used should be made available to each allotment;
  - (d) provision should be made for the disposal of waste waters, sewage, and other effluent on each allotment without risk to health;
  - (e) roads or thoroughfares should be provided, where necessary, for safe and convenient communication with adjoining land and neighbouring localities;
  - (f) each allotment resulting from the division should be provided with safe and convenient access to the carriageway of an existing or proposed public road or thoroughfare;
  - (g) proposed roads should be of a gradient to connect safely and conveniently with an existing public road or thoroughfare;
  - (h) allotment boundaries should be located where interference with native vegetation and natural drainage lines will be minimal; and
  - (i) a public reserve of up to 30 metres in width is created above normal pool level along the water frontage (where this is not practicable, the maximum possible width of reserve up to 30 metres should be provided).

### Complying Development

- 48** No forms of development are **complying** in the Flood Plain Policy Area.

### Non-complying Development

- 49** All forms of development are **non-complying** in the Flood Plain Policy Area except in the following circumstances:

Advertisement and/or advertising hoarding, where the development achieves at least one of (a) or (b):

- (a) adjacent to a road with a speed limit equal to or less than 80 km/h
- (b) has an advertisement area of 2 square metres or less and achieves all of the following:
  - (i) the advertisement relates entirely to a lawful use of land
  - (ii) the advertisement is erected on the same allotment as the use it seeks to advertise

- (iii) the advertisement will not result in more than two advertisements on the allotment at any one time.

Alterations or additions to a lawful existing dwelling where the development satisfies all of the following:

- (a) the existing dwelling is connected or proposed to be connected (as part of the application for the alterations and additions) to a wastewater and effluent system that complies with the relevant public and environmental health legislation applying to that type of system
- (b) a verandah, pergola, deck, stairs or balcony does not exceed a maximum depth of 3.0 metres when measured from the principal facade (river side) of the existing dwelling
- (c) the dwelling does not exceed one habitable storey (excluding the height of any elevation to minimise the potential for personal or property damage as a result of a flood)
- (d) if the underfloor area beneath the existing elevated dwelling is to be enclosed or is to remain enclosed then all of the following must be satisfied:
  - (i) the area should only be used for storage purposes or vehicle parking
  - (ii) the maximum floor area that may be enclosed (including any existing enclosed area at ground level) does not exceed 54 square metres
  - (iii) the area is enclosed using roller doors and/or removable panels and each removable panel does not exceed the dimensions of 3 metres by 2.7 metres
  - (iv) the area has no internal walls, partitions or cladding
- (e) the underfloor area beneath the existing elevated dwelling that is to be enclosed or is to remain enclosed for use as a wet area (i.e. shower, toilet and or laundry only) in addition to the enclosed 54 square metres storage area, does not exceed 15 square metres (including the floor area of any other existing toilet, shower or laundry at ground level on the allotment, whether attached to the dwelling or freestanding)
- (f) where the dwelling is at ground level (including any dwelling that is elevated less than 2.3m above ground level), the alterations or additions are only in the form of a verandah, pergola or deck.
- (g) the development will not result in more than one dwelling on the allotment.

Boat ramp where either of the following apply:

- (a) a public boat ramp in a location that is accessible by an existing public road; or
- (b) the development is for the repair, maintenance or replacement of an existing licensed boat ramp.

Development associated with a State or Local Heritage Place

Dwelling, where the dwelling is an elevated dwelling and where the development satisfies all of the following:

- (a) the dwelling is the replacement of a lawful existing dwelling and where all of the following are satisfied:
  - (i) the existing dwelling has been demolished or is proposed to be demolished as part of the application for the proposed dwelling (or under a separate Development Application that has obtained Development Approval) so that not more than one dwelling is on the allotment
  - (ii) the dwelling is connected or proposed to be connected (as part of the application for the new dwelling) to a wastewater and effluent system that complies with the relevant public and environmental health legislation applying to that type of system
  - (iii) the principal facade of the dwelling is not sited closer to the river than the principal facade of the existing dwelling or is not sited closer to the watercourse (measured from normal pool level) than 50 metres, which ever results in the greater set-back from the waterfront
  - (iv) the dwelling does not exceed one storey in height (excluding the height of any elevation required to minimise the potential for personal or property damage as a result of a flood)



- (v) a verandah, pergola, deck, stairs or balcony does not exceed a maximum depth of 3 metres when measured from the principal facade (river side) of the existing dwelling
- (b) subject to (c) and (d) below, the underfloor area beneath the elevated dwelling is open and free from obstruction and is not enclosed on any side
- (c) if the underfloor area beneath the elevated dwelling is to be enclosed, the enclosure achieves all of the following:
  - (i) the area is only used for storage purposes or vehicle parking
  - (ii) the maximum floor area that may be enclosed does not exceed 54 square metres
  - (iii) the area is enclosed using roller doors and/or removable panels, and each removable panel does not exceed the dimensions of 3 metres by 2.7 metres
  - (iv) the area has no internal walls, partitions or cladding.
- (d) in addition to the enclosed 54 square metres storage area permitted under (c), a portion of the area beneath the elevated dwelling may be enclosed for use as a wet area (i.e. bathroom, toilet and or laundry), provided that the floor area of the enclosed wet area does not exceed 15 square metres.

#### Farming

Farm building, where all of the following are satisfied:

- (a) there is no more than one farm building on the allotment as a result of the development
- (b) the floor area of the farm building does not exceed 54 square metres.

Filling and or excavation of land where it is in direct consequence of and is incidental to building work for an acceptable form of development

Floating pontoon (including alterations or additions) where all of the following are satisfied:

- (a) the gangway width does not exceed 1.4 metres
- (b) the floating pontoon does not exceed an area of 18 square metres (excluding the area of the gangway);
- (c) the length of the structure does not exceed 8.0 metres measured from the riverbank at normal pool level to the outer edge of the floating pontoon
- (d) the river structure is used in conjunction with a dwelling or tourist accommodation in the Flood Plain Policy Area, Primary Production Policy Area, Recreation and Tourism Policy Area, or the Shack Settlement Policy Area
- (e) there is not more than one river structure used in conjunction with that dwelling or tourist accommodation
- (f) the site of the river structure
  - (i) is on the same allotment as the dwelling or tourist accommodation; or
  - (ii) is on a site separated from the allotment containing the dwelling or tourist accommodation, by either a public reserve or a public road (but not both).

Horticulture on land where the existing lawful use is horticulture (but not including an olive orchard or a building used for or associated with horticulture)

Infrastructure to serve the Shack Settlement Policy Area (other than a waste disposal area)

Jetty, (including alterations or additions) where all of the following are satisfied:

- (a) the width of the structure does not exceed 1.4 metres
- (b) the length of the structure does not exceed 8.0 metres measured from the riverbank at normal pool level to the outer edge of the jetty
- (c) where applicable, the jetty design does not exceed the specified dimensions in part 6 of [Table MiMu/5](#)
- (d) the river structure is used in conjunction with an existing dwelling or tourist accommodation in the Flood Plain Policy Area, Primary Production Policy Area, Recreation and Tourism Policy Area or Shack Settlement Policy Area

- (e) there is not more than one river structure used in conjunction with that dwelling or tourist accommodation
- (f) the site of the river structure:
  - (i) is on the same allotment as the dwelling or tourist accommodation; or
  - (ii) is on a site separated from the allotment containing the dwelling or tourist accommodation, by either a public reserve or a public road (but not both).

Land division, where one or more of the following are satisfied:

- (a) creating a public road or a public reserve
- (b) a minor adjustment of allotment boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures provided the boundary adjustment does not result in more than one dwelling on an allotment
- (c) an allotment is created to make provision for infrastructure to serve the Shack Settlement Policy Area.

Off-river marina (including ancillary structures such as signage, mooring posts, piers, jetties, floating pontoons, gangways and necessary infrastructure such as access roads, car parking areas, effluent pump out facilities and essential marina infrastructure)

Open sided structure (including alterations and/ or additions to an open sided structure, but not including a pump shed, pump house or meter box) such as a carport, gazebo or pergola whether attached to an enclosed outbuilding or freestanding, where all of the following are satisfied:

- (a) there will not be more than one open sided structure on the allotment at the completion of the development
- (b) there is a lawful existing dwelling already constructed on the allotment
- (c) the floor area of the open sided structure will not exceed 36 square metres
- (d) the open sided structure is not sited forward of the principal façade (river side) of the existing dwelling
- (e) the open sided structure has no internal walls, partitions or cladding
- (f) the open sided structure is open on all sides (unless one side is attached to an enclosed outbuilding).

Enclosed outbuilding (including alterations and/or additions to an enclosed outbuilding, but not including a pump shed, pump house or meter box) which is a freestanding outbuilding where all of the following are satisfied:

- (a) there will not be more than one enclosed outbuilding on the allotment at the completion of the development
- (b) there is a lawful existing dwelling already constructed on the allotment
- (c) the floor area of the enclosed outbuilding will not exceed 54 square metres
- (d) the enclosed outbuilding is not sited forward of the principal façade (river side) of the existing dwelling
- (e) the enclosed outbuilding has no internal walls, partitions or cladding
- (f) the enclosed outbuilding is fitted with roller doors, sliding doors and/or personal access doors on two external elevations, whichever elevations relate to the direction of the river flow.

Pump house, pump shed or meter box

Retaining wall where either of the following apply:

- (a) directly associated with development for essential public purposes or public infrastructure or recreation area
- (b) on land that is adjacent land in relation to the Shack Settlement Policy Area and the retaining wall is incidental to and in association with an acceptable form of development in the Shack Settlement Policy Area.

Structures and ancillary incidental development for the purposes of water extraction or water storage associated with wetland management, irrigation management, farming or domestic purposes (including pump, pump stand, pipes, water storage tank, channel, flood gates or similar)  
Wind farms and ancillary development.

### Public Notification

- 50** Forms of development which are **acceptable** for the Policy Area are assigned **Category 1** (except where non-complying) and further the following is designated **Category 1**:

Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary.

- 51** Forms of development which are neither acceptable or non-complying for the Policy Area are assigned **Category 2** and further the following is designated **Category 2**

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

Wind farms and ancillary development (including monitoring masts, and ancillary development such as substations, maintenance sheds, access roads and connecting power lines, including to the National Electricity Grid).

## River Murray Zone – Primary Production Policy Area

### Introduction

The objectives and principles of development control that follow apply to the Primary Production Policy Area as shown on [Maps MiMu/63, 66, 67, 69 to 72, 74, 77, 80 to 94, 96 to 101, 103 to 105, 109, 111 to 127 and 131](#). The policies are additional to those for the River Murray Zone and the Council Wide provisions.

### DESIRED CHARACTER

This Policy Area is the location of the majority of agricultural production within the River Murray Zone. It includes irrigated orchards, vineyards and pasture, dairies, and dryland farming. The processing of agricultural product is also envisaged which, subject to strict compliance with environmental criteria, could include value-adding enterprises such as packing and processing works and wineries. Other forms of small-scale industry may be appropriate in association with existing residential development, on allotments which are not suited to primary production.

The Valley's river and rural character lends itself to activities, such as the interpretation, the sale or sampling of produce and on-farm tourism, which will enhance the value of local production and add to the quality and range of experiences available to the visitor in the region. These value-added activities must not be undertaken in a way which would prejudice the long-term operation of primary production. Consistent with the general trends in the diversification of farming activities, on-farm tourism is anticipated either as farm accommodation or experiential activities. Visitor uses not directly associated with farming or the allotment's natural features will be inappropriate.

Land capability varies throughout the policy area. There are farming allotments and irrigated developments interspersed with allotments that have never been used for primary production due to varying land capability, poor rainfall or the presence of remnant bushland. The highly variable nature of each property is to be considered in determining development opportunities.

Major transport routes are found bounding the Policy Area, providing a further stimulus to development. New development is not envisaged where it will require the development of unmade public roads or the creation of new public roads.

The Policy Area's juxtaposition to the River, particularly the valley slopes, will require that agricultural uses are carefully managed to ensure that the River's water quality does not further deteriorate through accelerated groundwater inflows, irrigation run-off, chemical over-spray, erosion and siltation and other impacts.

The Policy Area is a key element to the backdrop of the River, and therefore contributes significantly to the character of the River itself. Therefore, the location and design of any building or structure is a matter of importance, as is the retention of remnant bushland and native vegetation for aesthetic and conservation purposes. It is envisaged that built form will primarily be in conjunction with maintaining land for primary production unless it is otherwise directly associated with an acceptable use. Cliffs, steep slopes, rocky outcrops, ridge lines and naturally exposed sections of the valley face, are not desired locations for buildings or modifications to land form unless it is for public safety or public access such as tourist lookouts and similar public facilities,

Buildings will be primarily single storey to avoid being prominent in the landscape, particularly when viewed from the river and scenic roads, although split level designs, or minor elevations of finished floor levels to avoid cut and fill will be possible where the design follows the slope of the land.

There will be use of natural materials, where possible, and use of colours that are muted or recessive, have low reflective qualities and blend with the natural landscape.

Dwellings will primarily be located on allotments used for primary production. Where a change in use of land is proposed or a dwelling or tourist accommodation is proposed which is not directly associated with primary production (for example a dwelling on an existing vacant allotment or in association with an authorised use of land that is consistent with an acceptable use of land prescribed for the policy area), areas of native vegetation, other natural or important geological or ecological features will be conserved and a building envelope defined with the view to protecting the visual and environmental character associated with the particular allotment, all of which will be identified and maintained in accordance with a heritage agreement registered on a Certificate of Title.

Stand alone tourism developments are generally discouraged unless it involves the conversion of surplus farm buildings or assists in the appreciation, conservation, management or interpretation of the area's natural assets, without compromising primary production activities on adjacent allotments.

Tourist accommodation will not be converted to dwellings and will be designed to preclude the conversion of buildings into dwellings such as through shared facilities, common utility services, grouped accommodation and shared parking.

The intensification or expansion of intensive animal keeping activities or buildings, or feedlots is generally not envisaged in the policy area.

The range of and capacity of public services and utilities will continue to be limited in the Policy Area. Development will need to meet the cost of the provision of or access to infrastructure and services, including waste treatment and disposal, necessary to meet the demands of the development without the requirement for public expenditure.

The following forms of development are **acceptable** in the Primary Production Policy Area:

- farming and farm buildings;
- horticulture particularly viticulture and vegetable and fruit production and associated storage and processing buildings;
- irrigated pasture;
- land based aquaculture;

- land division involving boundary realignments;
- detached dwelling on an allotment used for farming, horticulture, viticulture, land based aquaculture;
- infrastructure associated with treatment facilities and treated effluent disposal derived from the adjacent policy areas in the zone;
- tourist accommodation associated with existing farm dwellings;
- tourism orientated development directly associated with interpretation of natural areas and the region's natural or built heritage;
- wood lots to assist in management of irrigated development;
- filling and or excavation of land (or excavation and filling) where it is in direct consequence of and is reasonably incidental to building work for an acceptable form of development where it does not involve any excavation or filling (or excavation and filling) exceeding a vertical height of 1 metre;
- water storage tank (above or below ground), associated tank stand and dedicated water storage tank for fire fighting purposes;
- solar panels or photo-voltaic cells/panels (roof based or on land supporting domestic premises, existing uses and tourism oriented development);
- structures and ancillary development for the purposes of water extraction, wetland management, irrigation management or approved development (pumps, pump stands, pump shed, pipes, channels or similar); and
- alterations and additions to an existing lawful dwelling.

The following forms of development are **unacceptable** in the Primary Production Policy Area:

- caravan park;
- retail apart from the sale of farm produce;
- industry and commercial not associated with farming, horticulture, or viticulture, excluding small scale home industry on an allotment of which its size, existing use and land capability do not support economic primary production; and
- outdoor advertising other than information signage, or relative to the sale of produce from the land on which the sign is sited.

## OBJECTIVES

### Sustainable Industry

**Objective 1:** Operation and sustainability of rural production and primary industries.

### Stormwater

**Objective 2:** Maintenance of natural hydrological systems and environmental flows.

**Objective 3:** Surface run-off designed to protect property and life and environmental quality.

### Vegetation and Landscape Character

**Objective 4:** Retention and maintenance of wetlands and existing native vegetation for its conservation, biodiversity, and habitat value and environmental management function.

**Objective 5:** Maintenance and enhancement of the landscape character.

### Soil

**Objective 6:** Protection and maintenance of:

- (a) the physical, chemical and biological quality of soil resources;
- (b) the quantity of soil resources;
- (c) the natural processes of sediment transfer.

### **Horticulture and Irrigated Pasture**

**Objective 7:** No adverse impact generated by horticulture and irrigated pasture.

Development and use of land for horticulture and irrigated pasture which does not contribute to the degradation of the River Murray, the Murray Valley or Floodplain by way of:

- (a) increases in river salinity levels;
- (b) a reduction of the conservation status of significant wetlands; or
- (c) undue impacts on remnant vegetation.

**Objective 8:** Horticulture and irrigated pasture which does not adversely impact on urban zones or neighbouring land uses.

**Objective 9:** Horticulture and irrigated pasture which does not place undue demands on the provision of infrastructure such as energy supply and road access.

### **Land Based Aquaculture**

**Objective 10:** No adverse impacts from land based aquaculture.

### **Air Quality**

**Objective 11:** Prevention of environmental nuisance or harm resulting from odour and other airborne particles.

### **Noise Pollution**

**Objective 12:** Protection of sensitive uses from external noise.

### **Hazard Minimisation**

**Objective 13:** Prevention of environmental nuisance or harm resulting from a biological, chemical or fire hazard, energy emission or explosion.

### **Waste**

**Objective 14:** No adverse impacts from the treatment of wastes.

Effective treatment of solid and liquid wastes to prevent environmental nuisance and harmful or adverse impacts on the public, worker health or the amenity of a locality.

**Objective 15:** Enhanced opportunities for the appropriate recycling and reuse of waste.

### **Built Form and Design**

**Objective 16:** Rural dwellings or value-adding enterprises which does not preclude horticulture and irrigated pasture development.

**Objective 17:** Buildings and structures compatible with the environmental qualities, built form and character of the surrounding area and landscape.

### **Infrastructure**

**Objective 18:** Economic provision of infrastructure in an environmentally sensitive manner.

**Objective 19:** Development provided with an adequate level of appropriate services and infrastructure without excessive cost to the community.

## Land Division

**Objective 20:** Allotments suited to their proposed use.

Development and use of land for land based aquaculture which protects natural wetlands and ecosystems and maintains native flora and fauna free from introduced species and diseases.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Form of Development

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the policy area.

### Stormwater

- 2 No adverse impact on natural hydrological systems and environmental flows.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

- 2.1 *Modifications to the landform are not located closer than 50 metres to the bank of a watercourse identified on a current series 1:50 000 SA Government topographic map.*
- 2.2 *The quality of water leaving the site, be of a physical, chemical and biological condition equivalent to or better than pre-development conditions.*
- 2.3 *The rate of discharge from the site shall not exceed the rate of discharge from the site in the pre-development condition for all storm durations up to and including storms having an ARI of 100 years.*
- 3 Stormwater from buildings and ground areas managed in a manner which minimises impact on natural drainage systems by:
  - (a) preventing soil erosion or siltation;
  - (b) minimising the entry of pollutants; and
  - (c) mitigating peak flows.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

- 3.1 *In relation to P3(c) on-site drainage systems shall incorporate a system to the approval of the relevant authority, to detain and treat first flush storm run-off before discharge from the site. A detention volume equivalent to the run-off from a 1 year ARI, 2 hour duration storm, discharged gradually over a period of 24 hours is acceptable.*

*For Industry:*

- 3.2 *Floor levels shall be set taking into account likely flood levels from the 100 year ARI storm, including freeboard determined by site conditions, eg where water is flowing at a high velocity a greater level of freeboard may be required compared to water flow at a low velocity.*
- 3.3 *Rainfall run-off from ground areas directed to open swales, via purpose designed and built traps for litter, sediment, grease, oil and other like substances.*
- 3.4 *Swales to be designed (in combination with roads and other hard paved surface areas) to detain the whole run-off from a 1 in 1, to 10 year event flow, and a 1 in 100 year event storm for a one hour period.*

3.5 Swales are to be formed with a gradient no more than a 1 in 5 and lined with an erosion resistant base (eg rocks or paving stones) and not be obstructed by trees and shrubs.

3.6 Any swales used for storm run-off shall be designed to be non-scouring.

### Landscape

- 4 Development should be designed and sited to respect and maintain the landscape character of an area which is of:
- (a) historical (including archaeological) significance;
  - (b) scientific interest;
  - (c) scenic value or natural beauty; or
  - (d) other heritage significance.

### Soil

- 5 Development should not have an adverse impact on the natural, physical, chemical or biological quality and characteristics of soil resources.
- 6 Development should minimise the loss of soil from a site through soil erosion or siltation both:
- (a) during the construction phase; and
  - (b) following commencement of an activity.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

6.1 *Erosion and sediment control measures such as grade furrows, contour banks, catch/diversion drains, level spreaders, revegetation, hay bale barriers, filter fences, sediment traps and basins are implemented during the construction phase to prevent silt or sediment leaving the subject land.*

- 7 Development should not result in alterations to the landform or drainage patterns which will impede natural processes of sediment transfer.

### Waste

- 8 Untreated waste should not be spread or discharged to land or water either on-site or elsewhere.

*Advisory Note: In this regard untreated waste does not include organic fertilisers used for the purpose primary production.*

- 9 On-site waste treatment and the spreading or discharging of treated waste on-site should not occur.

*Advisory Note: Use of organic fertilisers for the purposes of primary production is not included.*

- 10 Development should not take place where:
- (a) it is likely to be adversely affected by flooding and there is an unacceptable risk from flooding to life or property;
  - (b) the development is likely to increase the risk of flooding of other land; or
  - (c) it will obstruct or interfere with watercourses.



- 11** Structures (apart from purpose built flood control levels), including fencing and the filling of land should:
- (a) not impede the flow of flood waters or change the pattern of movement of floodwaters; and
  - (b) when feasible, mitigate any existing impediments to floodwaters.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

*11.1 Structures, including fencing (post and wire (strand) fencing), and the filling of land does not take place within the 100 year flood plain of a watercourse.*

- 12** Development should have regard to the possible impacts in terms of air quality both in terms of odour and air borne particles (eg dust) on:
- (a) horticulture and viticulture;
  - (b) residential and tourist accommodation; and
  - (c) sensitive industries.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

*12.1 Control measures include: provision of separation distances; enclosing the source; venting and stack heights; arresters and pavement heights.*

### **Noise Pollution**

- 13** Development designed to minimise adverse acoustic impacts on adjoining uses which would be sensitive to acoustic interference.

### **Hazard Minimisation**

- 14** Storage and use of biological chemicals and chemicals in a controlled environment should be undertaken in a manner which prevents any airborne or waterborne movement or land contamination.

### **Built Form and Design**

- 15** Outdoor lighting should not cause nuisance.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

*15.1 Outside lighting to be directed downwards and towards the site to prevent light spilling onto surrounding properties.*

- 16** Buildings and structures which have:
- (a) a design scale, appearance and site to enhance the positive environmental qualities, built form and character of the locality;
  - (b) a site which is unobtrusive and screened from public roads and adjoining properties by:
    - (i) natural landforms;
    - (ii) existing vegetation;
    - (iii) planting of appropriate vegetation;

- (c) a requirement for minimal excavation or filling of land;
- (d) a requirements for minimal removal of existing vegetation; and
- (e) sites which are grouped together.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

16.1 *In relation to 16(c) excavation and/or filling associated with any building or structure is limited to no greater than 1.5 metres below or above natural ground level.*

16.2 *In relation to 16(b)(iii) landscaping associated with new buildings:*

- (a) *comprises random plantings of a variety of indigenous tree and shrub species at spacing of 4 to 5 metres;*
- (b) *consists of some species with a mature tree height equivalent or greater than the height of proposed buildings and structures;*
- (c) *extends around the proposed buildings and structures for a minimum width of 10 metres; and*
- (d) *does not increase the bushfire hazard by ensuring:*
  - (i) *no overhang to buildings; and*
  - (ii) *set-back of vegetation from building equivalent to the expected mature height of vegetation.*

16.3 *In relation to P16(e) buildings are not separated by a distance of greater than 15 metres.*

**17** The external appearance and design of buildings and structures visible from a public road should minimise their visual obtrusiveness by:

- (a) reducing the building's profile, generally involving single storey designs, or split level built form following the contours of the land;
- (b) reducing the mass of buildings into smaller components by variations in wall and roof lines; and
- (c) using eaves, verandahs and similar techniques to create shadowed areas.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

*For Industry:*

17.1 *Any chain mesh fencing to be plastic coated coloured black and set-back 2.0 metres from the road and residential property boundary.*

17.2 *The maximum height of any building or ancillary structure is 12.0 metres.*

17.3 *Maximum unarticulated length of building to a street frontage 30 metres (punctuation by windows, canopies, verandahs or walk offsets is considered to be adequate).*

17.4 *Maximum unarticulated length of office or administration component is 15 metres.*

**18** Sites should be provided with a safe and convenient means of access which:

- (a) avoids unreasonable interference with the flow of traffic on adjoining roads;

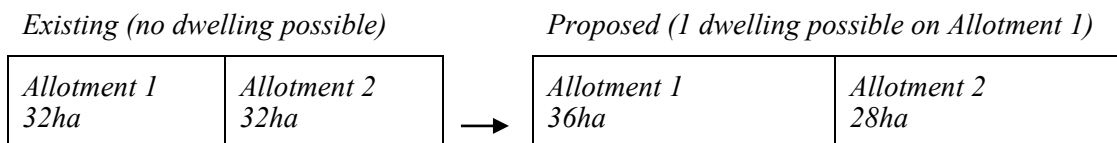
- (b) accommodates all types and the volume of traffic likely to be generated by the development or land use; and
- (c) is located and designed to minimise any adverse impact on the occupants of visitors to neighbouring properties.

### Building Development

- 19** A dwelling should only be established on an allotment with a minimum size of 36ha.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

19.1 A method for establishing a dwelling on rural land is demonstrated below:



- 20** Buildings should be sited in accordance with the following:

- (a) habitable buildings set-back not less than 40 metres from an adjoining allotment boundary or a road boundary;
- (b) buildings not less than 100 metres from a riverbank, cliff edge/escarpment and the flood plain of the River Murray as defined by the 1956 flood levels;
- (c) not sited on a slope greater than 1 in 10; and
- (d) ensure buildings involving activities that produce wastewater or effluent are sited on an allotment in a manner that accommodates an area for a waste treatment system that complies with the relevant Department of Health legislation applying to that type of development.

- 21** Buildings should not be readily visible from a Primary Arterial and Secondary Arterial Road as designated in [Map MiMu/1 \(Overlay 1\)](#) or from the River Murray as defined by the River Murray Zone Conservation Policy Area or River Murray Zone Flood Plain Policy Area.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

21.1 Visibility can be measured by mapping sightlines.

### Land Division

- 22** Land should not be divided if the size, shape and location of, and the slope and nature of the land contained in each allotment resulting from the division is inconsistent with the Acceptable Uses and land use policies for the Primary Production Policy Area.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

22.1 Excising of a dwelling from an existing rural property should have regard to the minimum allotment size for a dwelling, ie 36 ha, as well as conditions relative to separation distances to Primary Production.

- 23** Land division should not occur unless it is for one of the following:

- (a) the alteration of the boundaries of an allotment (or allotments) where no additional allotments are created;

- (b) the creation of a public road or public reserve; or
- (c) the creation of a reserve for community waste water management schemes or public utilities.

**24** Allotments should be located and be of a size and configuration which:

- (a) takes account of environmental features and site constraints;
- (b) provides sufficient space in appropriate locations for the siting of buildings, structures and associated services and infrastructure;
- (c) is able to satisfactorily accommodate an acceptable use of the land (existing or proposed) consistent with the allotment's land capability and suitability;
- (d) ensures existing dwellings are retained on allotments of 36 hectares and any dwelling is not less than 40 metres from a side or rear allotment boundary;
- (e) provides each allotment with a frontage to an existing made all weather public road;
- (f) will not result in more than one dwelling on any allotment; and
- (g) will not result in a greater number of allotments with a frontage to the river or the flood plain of the River Murray as defined by the 1956 flood levels, than existed prior to the adjustment of boundaries.

**25** Any resultant allotment that does not contain an existing building envelope should be capable of containing a building envelope that is at least 100 metres from the boundary of the Flood Plain Policy Area and the Conservation Policy Area.

**26** When land is divided a public reserve of up to 50 metres in width is created above normal pool level along the water frontage (where this is not practicable, the maximum possible width of reserve up to 50 metres should be provided).

### **Separation Distance to Primary Production**

**27** Siting of dwellings should not limit the use for primary production which requires chemical spraying.

***Design Techniques** (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

27.1 *The separation distance<sup>1</sup> between a detached dwelling and primary production should be:*

*open ground: 300m*

*vegetated area<sup>2</sup>: 40m*

*Advisory Notes:*

<sup>1</sup> *A separation distance is the minimum horizontal distance between the curtilage of the dwelling and the primary production land use on adjoining land. The balance of the land not used for a dwelling can be included in calculating the separation distance.*

<sup>2</sup> *Vegetated area should meet the following criteria:*

- *a minimum total width of 40 metres;*
- *random planting of varieties of differing growth habits and spacing 4 to 5 metres;*
- *species with long, thin and rough foliage to facilitate efficient capture of spray droplets;*
- *a permeable barrier of approximately 50 percent air space to allow air to pass through;*
- *foliage from the base to the crown;*
- *species which are fast growing and hardy;*
- *a mature tree height of at least 3.0 metres.*

## Horticulture and Irrigated Pasture

**28** Development should not increase salinity levels in the River Murray or its backwaters.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

28.1 *Irrigation to be sited in locations where:*

- (a) *soils are considered suitable for irrigated horticulture - as shown on the PIRSA map Land Suitability for Irrigated Horticulture, Riverland, South Australia; and*
- (b) *Blanchetown clay is considered to be present - as shown on the PIRSA (Mines and Energy) Map Blanchetown Clay Distribution; or*
- (c) *a preliminary irrigation design is certified to demonstrate an irrigation system (with normal management) is capable of providing 85 percent or better Annual Water Balance Efficiency.*

*Advisory Note: Proposals for irrigation development will be referred to the Department of Environment, Heritage and Aboriginal Affairs for advice on the potential impacts on River Murray salinity arising from irrigation on the proposed site. Applicants may need to provide information on the following matters for the Department's assessment:*

- *the soil and water requirements of the proposed crop;*
- *the soil type and its depth, transmissivity and stratigraphy;*
- *local topography, proximity to streams and the potential for surface water run-off;*
- *the depth to, and salinity of, local and regional groundwater; and*
- *any drainage requirements and plans for dealing with drainage water.*

OR

*Provide either a Land and Water Management Plan or Salt Load Assessment prepared in accord with MESA Report 96/17 demonstrating a nil impact on River Murray salinity trends.*

**29** Irrigation development should not take place if it will have an adverse impact on wetlands of high conservation significance or on flows in other backwaters.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

29.1 *Irrigation pumps are located on the mainstream of the River Murray.*

*Advisory Note: Wetlands of high conservation significance are recorded in the Wetlands Atlas of the South Australian River Murray and A Directory of Important Wetlands in South Australia.*

## Land Based Aquaculture

**30** Land based aquaculture should be sited, designed and managed in a manner which does not result in adverse impacts on the natural environment, including:

- (a) the pollution or salinisation of wetlands, watercourses or groundwater;
- (b) the contamination of natural waterways by foods, waste or drugs used in production;
- (c) adverse impacts on native flora and fauna, including the introduction of pests, diseases, parasites or new genetic strains;
- (e) the escape or accidental release of any species, including exotic species, into any waterway;
- (f) the introduction of species associated with farmed species; and

- (g) the loss of visual amenity to the locality.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

- 30.1 *In relation to P30(a) watercourses leading to the River Murray are protected by a landscaped buffer strip of a minimum width of 5 metres, comprising indigenous trees and shrubs with spacings of 4 to 5 metres.*
- 30.2 *In relation to P30(b)(c) and (e) there is no waste or water discharge from the development to a watercourse.*
- 30.3 *In relation to 30(d) any ponds are fully enclosed and secured against unauthorised entry.*

*Advisory Note: See the Code of Practice for the Growing of Freshwater Crayfish in South Australia (1997), EPA and others.*

**31** Land based aquaculture should not:

- (a) interfere with the normal wetting and drying regime of natural wetlands;
- (b) require excavation or the clearance of native vegetation on the Murray Floodplain; or
- (c) be subject to flooding with the prospect of entrapment of native stock.

**32** Land based aquaculture should be sited so that it is not exposed to impacts from adjacent or nearby land uses such as aerial spraying.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

- 32.1 *Land based aquaculture developments are located 600 metres from existing or potential horticultural developments.*

**Tourism**

**33** Small-scale tourism facilities located which do not adversely affect the use of land for rural activities or existing industrial activities.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

- 33.1 *Tourist accommodation development not be located within 300 metres of existing viticulture, winery or industrial land uses unless:*
- (a) *the development is located on the same allotment as the viticultural, winery or industrial operation; or*
- (b) *the development incorporates measures to address the likely noise and odour impacts arising from the viticultural, winery or industrial operation.*

**34** Development or use of land for Tourism development should complement or interpret the:

- (a) natural environment of the Murray Valley;
- (b) primary production; or
- (c) local cultural heritage.

**Complying Development**

**35** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*. No other forms of development are complying in the policy area.

### Non-complying Development

**36** The following forms of development are **non-complying** in the Primary Production Policy Area:

Airstrip or airfield

An on-river mooring facility, except where all of the following apply:

- (a) one mooring facility, with a maximum mooring capacity of one vessel, per allotment;
- (b) where the allotment has a direct frontage to the river (or is only separated by a public reserve or public road, but not both) and the allotment contains an existing dwelling;
- (c) the proposed development will not result in the mooring of a houseboat within 100 metres of the Shack Settlement Policy Area or the Conservation Policy Area.

Caravan park

Dwelling, except a dwelling in one of the following circumstances:

- (a) a detached dwelling on an allotment of 36 hectares or greater in size; or
- (b) alterations and additions to an existing dwelling; or
- (c) the replacement of an existing dwelling, provided there is no more than one dwelling on the allotment at the completion of the development.

Horse keeping

Industry other than:

- (a) associated with processing of primary production; or
- (b) the total floor area of buildings for manufacture, storage or associated activities does not exceed 200 square metres; and
- (c) involvement in the industry by people who are not resident on the site does not exceed two persons; and
- (d) the industry does not involve the use of vehicles exceeding eight tonnes in weight and no more than one vehicle over one tonne in weight.

Intensive Animal Keeping

Land division, except where the land division is for the purpose of any of the following:

- (a) a public reserve or road;
- (b) a community waste water management scheme or water supply scheme;
- (c) an adjustment of allotment boundaries where no additional allotments are created and the division achieves all of the following:
  - (i) there is no more than one dwelling on any resultant allotment;
  - (ii) there is no increase in the number of allotments less than 36 hectares;
  - (iii) there is no increase in the number of allotments that have a frontage to the flood plain of the River Murray as defined by the 1956 flood levels;
  - (iv) there is no increase in the number of allotments that are partly or wholly on land within 100 metres of normal pool level of the River Murray.

Organic waste processing facility

Petrol filling station

Service trade premises

Shop:

- (a) in excess of 50 square metres; and
- (b) not associated with sale of primary produce from the land

Stock slaughter works

Tourist accommodation in excess of five rooms or accommodation units

Waste Disposal (other than liquid waste in the form of treated effluent from the Shack Settlement Policy Area, the Recreation and Tourism Policy Area, a Community Wastewater Management Scheme or similar wastewater treatment schemes).

### Public Notification

- 37** Forms of development which are **acceptable** for the Policy Area are assigned **Category 1** (except where non-complying) and further the following is designated **Category 1**

Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary.

- 38** Forms of development which are neither acceptable or non-complying for the Policy Area are assigned **Category 2** and further the following is designated **Category 2**

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places.

## River Murray Zone – Recreation and Tourism Policy Area

### Introduction

The Objectives that follow apply to the Recreation and Tourism Policy Area shown on [Maps MiMu/63, 66, 67, 69, 70, 72, 83, 86, 88 to 90, 92, 98, 104, 106, 111, 112, 118 and 126 to 127](#) inclusive. The policies are additional to those for the River Murray Zone and the Council Wide provisions.

### DESIRED CHARACTER

The Recreation and Tourism Policy Area is the principal location for public and private recreation and tourism activities, including tourist accommodation and water based tourism orientated and public recreation activities, in the River Murray Valley outside of the urban areas (the urban areas are the Mannum township and Country Township, Service Centre and Settlement Zones and the River Settlement Policy Area). The co-location of similar uses will assist in the economic connection to public infrastructure and services (including community waste water management schemes of suitable capacity) required to support tourism and recreation facilities. The concentration of like facilities will minimise aesthetic and other impacts along the River and hence ensure considerable parts of the River are maintained in either a rural or natural character.

The Policy Area transverses the 1956 floodplain and therefore buildings and other land use activities need to be carefully managed to minimise impact. In general terms most permanent structures will need to be located outside of the designated 1956 flood level other than those required for supervision or administrative purposes directly relating to waterfront recreation or conservation activities. For example, an office or administration building directly associated with tourism oriented development will be located outside of the 1956 flood plain in most cases, but subject to the particular site conditions or flood risk, it may be designed to take account of the risk of flooding through an elevated design. Habitable buildings such as a manager's residence or tourist accommodation will be located outside of the 1956 floodplain.



Continuation of primary production in the Policy Area is appropriate, but this will need to have regard to managing land use practices to ensure tourism and recreation uses are not adversely affected. Consistent with the general trends in the diversification of farming activities, on-farm tourism is anticipated either as farm accommodation or experiential activities.

River front open spaces and allotments will be primarily for public and tourist orientated usage that is specifically water based or related to the interpretation or conservation of the natural or cultural assets of the river valley. Development will maximise the public benefits of the waterfront by ensuring public access to the river system is maintained or reinstated in a manner that does not compromise water quality or ecological assets.

Visitor uses not directly associated with farming, the river or the Policy Area's other natural features will be inappropriate (for example a race track, a sport club, a community hall). Tourist orientated development in the form of a restaurant, boat hire, a base site for scenic tour operators or similar tourism business will be located as far as practical from the waterfront to ensure public access, areas of environmental significance and landscape character and amenity are not compromised by new built form.

Residential development required to manage recreation and tourism development is appropriate in the Policy Area, provided there is no more than one dwelling on an allotment, it is constructed on the same allotment as the tourism development and is integrated with ancillary buildings and on-site amenities (for example it is under the same roof as or integrated with a reception area, site management office, common facilities building). Where there is an existing dwelling on the allotment, a manager's residence will not be appropriate for small scale accommodation facilities (five or less accommodation units) or on allotments less than 36 hectares in area.

The visual impact of development from the River itself or adjoining land should be minimised through design treatments, careful siting of built form and landscaping.

Where a change in use of land is proposed (including tourist accommodation on a vacant allotment) or a dwelling is proposed which is not directly associated with primary production (for example a dwelling on an existing vacant allotment) it is envisaged that areas of native vegetation, other natural or important geological or ecological features will be conserved and a building envelope defined with the view to protecting the visual and environmental character associated with the particular allotment, all of which will be identified and maintained in accordance with a heritage agreement registered on a Certificate of Title.

### **Marinas and Mooring Facilities:**

The Policy Area is the desirable location for marinas although suitable locations for new marinas will be limited in number. Expansion of existing on-river marinas is not desired although expansion of existing off-river marina facilities will be considered subject to local environmental and land use constraints.

A mooring facility for private use on land that has a direct frontage to the river is anticipated in the policy area.

A mooring facility located on-river will be limited to one per allotment. The permanent structure will only be used for the temporary storage of one vessel and the vessel will not be occupied while moored at the mooring facility. Ancillary facilities such as bunded fuel storage and effluent pump out facilities are not desired for an individual private mooring facility, but may be appropriate infrastructure in other commercial developments with a capacity of more than one vessel.

Public land with frontage to the river will be kept free of built form other than mooring facilities for access by the general public as part of a formal temporary mooring network to support the touring houseboat industry.

### **Tourist Accommodation:**

An appropriate range of short-term stay accommodation types to cater for visitor needs is:

- Bed and breakfast: small-scale establishments providing basic bed and breakfast needs, often using existing character buildings;
- Farm stay: farmhouse, cottage or bunkhouse style accommodation in a working farm atmosphere, often converting surplus character farm buildings;
- Guesthouse: small-scale owner-operated establishments, often using existing character buildings;
- Hiker's huts: 4-6 person, small scale huts with limited services often in remote locations;
- Nature retreats and eco-style tourist accommodation: low impact and designed to encourage and facilitate an appreciation of the natural environment.

The appearance of development will be low scale and very low density such that it is distinguishable from the character and density of development in townships and settlements (including the River Settlement and Shack Settlement Policy Areas). The appropriate number of visitors accommodated and the appropriate number of accommodation units will be largely a factor of the size of the site, the ability to manage visual impact and land use conflict, and the capacity of existing roads and public utilities. Large capacity stand alone accommodation developments (e.g. greater than 50 person capacity or 25 accommodation units) should generally be avoided, but may be acceptable on very large allotments (30 hectares in area or larger) in direct association with an off-river marina development, or in unique circumstances where the development caters for the "get away" nature market that is environmentally conscious.

Parking areas (unless carports are provided under the main roof of an accommodation unit), on-site recreation facilities, laundry facilities and the like will primarily be shared. Outbuildings, garages and fencing or other structures (excluding rainwater tanks and tank stands) that are traditionally associated with residential development are not desired.

The grouping of accommodation units within a particular locality on the allotment and connection to a community wastewater management scheme (existing or proposed, whether managed privately or by a central authority) is preferred to provide greater assurance of protecting environmental and public health, to enable economic connections to power and potable water supplies, and minimise the construction of access tracks in any single tourism development. Visual privacy between accommodation units will be provided through existing vegetation or proposed landscaping rather than physical means such as built form (including fencing) or modification of the land form.

Land division for the purpose of developing tourist accommodation or dividing existing tourist accommodation units into separate allotments is not desired.

New tourist accommodation multiple unit (five unit or larger than 20 person capacity) developments will be generally restricted to allotments of 10 hectares or larger in size and be established on an allotment containing an existing dwelling (which should be retained for management purposes rather than the construction of new buildings for a manager's residence), unless the development of accommodation is a change of use of an existing building.

Development that has been approved for tourist accommodation will continue to be used for that purpose and should not be converted into dwellings for permanent occupation.

### **Built Form and Design:**

All development should be sited and designed to ensure the natural features of the land form are an integral part of the design and function of the development. Regard for the special character or sense of place should be incorporated into the detailed design. Buildings will be single storey to avoid being prominent in the landscape, particularly when viewed from the River and scenic roads, although split level designs, or minor elevation of finished floor levels to avoid cut and fill, will be possible where the design follows the slope of the land.

There will be use of natural materials, where possible, and use of colours that are muted or recessive, have low reflective qualities and blend with the natural landscape.

## Infrastructure and Services

The range of and capacity of public services and utilities will continue to be limited in the Policy Area. Development will need to meet the cost of the provision of or access to infrastructure and services (whether they be extensions to or increased capacity of public or private facilities), including waste treatment and disposal (with land-based disposal off the flood plain) necessary to meet the demands of the development without the requirement for public expenditure. Development that can demonstrate it has access to a reliable potable independent water supply, renewable energy sources and the like, commensurate with the anticipated demand generated by full occupancy or operating capacity, are envisaged provided that the land can be safely accessed by an all-weather public road that is suitable for the existing and proposed traffic conditions without the expenditure of public funds.

Acceptable forms of development are those that contribute to the desired character of the River Murray Zone as it applies to the Recreation and Tourism Policy Area. The following forms of development are **acceptable** in the Recreation and Tourism Policy Area:

- off-channel marina;
- an on-river mooring facility for one vessel on an existing allotment constructed in association with a dwelling or tourism development;
- an office associated with tourism development on the same allotment;
- a shop (150 square metres or less of retail floor area) or restaurant associated with an existing or proposed tourism development on the same allotment;
- a detached dwelling on an allotment used for primary production or required for management of recreation and tourism development constructed on the same allotment;
- tourism orientated business (e.g. boat hire, canoe hire or similar) up to 150 square metres of building floor area;
- tourist accommodation within an existing building or on the same allotment as an existing dwelling (including alterations and additions to existing tourist accommodation development);
- infrastructure to support desired uses;
- solar panels or photo-voltaic cells/panels (roof based or on land where outside of the flood plain) supporting domestic premises, existing uses and tourism oriented development;
- structures and ancillary development for the purpose of water extraction for approved development and wetland management;
- a river structure in the form of a jetty or floating pontoon where there is not more than one river structure per allotment;
- walking trails and tourism orientated interpretive facilities and signs;
- water and land based recreation;
- public reserves;
- filling and or excavation of land (or excavation and filling) where it is in direct consequence of and is reasonably incidental to building work for an acceptable form of development where it does not involve any excavation or filling (or excavation and filling) exceeding a vertical height of 1 metre;
- water storage tank (above or below ground), associated tank stand and dedicated water storage tank for fire fighting purposes;
- alterations and additions to an existing lawful dwelling;
- building additions in the form of a verandah and carport; and
- a shed, garage or other outbuilding such as a freestanding carport or open sided shade structure associated with a dwelling or ancillary to an approved use.

The following forms of development are **unacceptable** in the Recreation and Tourism Policy Area:

- shop or groups of shops where the gross leasable area is greater than 150 square metres (but not including a restaurant);
- land division creating additional allotments;
- store;
- service trade premises;
- spa pools, swimming pools or ponds in the 1956 floodplain;
- warehouse (unless associated with primary production on the same allotment);
- industry including expansion of operations and new built form (except where there is a direct relationship with primary production on the same allotment);
- habitable buildings in the 1956 floodplain; and

- development in the 1956 floodplain other than:
  - structures for public recreation and structures for the purpose of water extraction, water storage, conservation and wetland management; or
  - where it involves a change in use of an existing lawfully constructed building (but not a change in use to short-term or permanent accommodation or habitable purposes); or
  - structures or amenities associated with public recreation facilities and areas.

## OBJECTIVES

### Environment

- Objective 1:** Development and the use of land for recreation and tourism facilities which does not contribute to the degradation of the River Valley and Flood Plain, especially significant wetlands.

### Recreation

- Objective 2:** A range of recreational activities compatible with the local character of the River Murray.

### Tourism

- Objective 3:** Sustainable development of tourism enterprises consistent with the local character of the River Murray and/or to complement local primary production.

- Objective 4:** Development of a range of accommodation types to meet visitors needs.

- Objective 5:** Tourism and recreation uses developed in an orderly and economic manner.

### Public Access

- Objective 6:** Maintain and promote public access to the River waterfront.

- Objective 7:** Development and use of land for recreation and tourism does not contribute to increased health and safety risks for the users of the River Murray.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Form of Development

- 1** Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the policy area.

### Environment

- 2** Development should take place in a manner which will not compromise the utilisation, conservation or quality of water resources or capacity for natural systems to restore or maintain water quality.
- 3** No adverse impact on natural hydrological systems and environmental flows by ensuring the quality of water leaving the site is of a physical, chemical and biological condition equivalent to or better than the pre-development condition.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

- 3.1 Buildings and any modification to the landform are not located closer than 50 metres to a watercourse.*
- 3.2 The rate of discharge shall not exceed the rate of discharge from the site in the pre-development conditions for all storm durations up to and including storm having on ARI of 100 years.*

- 3.3 *Development does not involve the de-snagging of watercourses or wetlands except for the realignment of snags.*
- 4 Stormwater should be managed in a manner which minimises the impact on natural drainage systems.
- 5 Trees and native vegetation should be conserved and their value and function not compromised by development if they:
- (a) provide significant habitat for wildlife;
  - (b) have high plant species diversity;
  - (c) have significant amenity value;
  - (d) contribute to landscape quality;
  - (e) is a valuable remnant vegetation association;
  - (f) is associated with sites of scientific, archaeological, historic, or cultural significance; or
  - (g) are associated with a wetland.

### Recreation and Tourism

- 6 Development should provide services such as access roads, signage, car parks, fire pits, campsites, drinking water, lawns and rubbish and toilet facilities commensurate with the intended intensity of use.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

- 6.1 *A hierarchy of road and tracks will minimise the number of tracks required, and ensure vehicles are sited away from activity areas and sensitive environments.*
  - 6.2 *Car parks and tracks sited at least 50 metres back from the River bank.*
  - 6.3 *Picnic sites set-back from the River bank.*
  - 6.4 *Use of vegetation, land form, road surfaces and structures such as bollards to control vehicle movements.*
  - 6.5 *Adequate litter facilities.*
  - 6.6 *Provision of large bins at the entry point to recreation areas, preferably located off the 1956 floodplain.*
  - 6.7 *Signage constructed of natural materials and coordinated to minimise signage.*
  - 6.8 *Picnic facilities and signs secured to withstand flood waters.*
- 7 Development or use of land for tourism development should complement or interpret the:
- (a) natural environment of the Murray Valley;
  - (b) primary production in the area; or
  - (c) local cultural heritage.

### Public Access

8 Development should not occur on the waterfront unless:

- (a) the use is dependent on waterfront access for its operation, eg boat mooring; or
- (b) it will enhance public access.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

8.1 In relation to P8 (b) the provision of 50 metres public waterfront access.

### Flooding

9 Development should not take place where:

- (a) it is likely to be adversely affected by flooding;
- (b) the development is likely to increase the risk of flooding of other land; or
- (c) it will obstruct or interfere with watercourses.

10 Structures, apart from purpose built flood control levees, and the filling of land should:

- (a) not impede the flow of floodwater or change the pattern of movement of floodwaters; and
- (b) when feasible, mitigate any existing impediments to flood waters.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

10.1 The erection of structures and the filling of land does not take place within the 100 year flood plain of the River Murray.

11 All buildings other than portable buildings must be located above the 1956 flood line as defined in [Maps MiMu/63, 66, 67, 69, 70, 72, 83, 86, 88 to 92, 98, 104, 106, 111, 112, 117 to 119 and 126 to 127](#) inclusive.

### River Structures

12 River structures are appropriate in the Policy Area.

### Moorings for vessels with overnight accommodation

13 Moorings for vessels with overnight accommodation are appropriate in the Policy Area.

### Built Form and Design

14 Development should be sited and designed to ensure that the natural features of the land form are an integral part of the design.

15 Residential development should generally be limited to that required for management and or supervision of tourism and recreation development or established primary production activities.

16 Dwellings, tourist accommodation and related outbuildings should be sited in accordance with the following:

- (a) habitable buildings set-back not less than 40 metres from an adjoining allotment boundary or a road boundary;

- (c) buildings not less than 100 metres from a riverbank, cliff edge/escarpment and the boundary of the flood plain of the River Murray as defined by the 1956 flood levels;
- (d) not sited on a slope greater than 1 in 10; and
- (e) ensure buildings involving activities that produce wastewater or effluent are sited on an allotment in a manner that accommodates an area for a waste treatment system that complies with the relevant Department of Health legislation applying to that type of development.

**17 Buildings and structures which should:**

- (a) have a design scale, appearance and site to enhance the positive environmental qualities, built form and character of the locality;
- (b) generally not exceed one storey in height (but may be split level following the contours of the land);
- (c) have a site which is unobtrusive and screened from public roads and adjoining properties by:
  - (i) natural landforms;
  - (ii) existing vegetation;
  - (iii) planting of appropriate vegetation;
- (d) require minimal excavation or filling of land;
- (e) require no excavation or filling below the 1956 flood level;
- (f) require minimal removal of existing vegetation;
- (g) have sites which are grouped together; and
- (h) not be sited below the 1956 flood level.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

*17.1 In relation to P17 (d) excavation and/or filling associated with any building or structure is limited to no greater than 1.5 metres below or above natural ground level.*

*17.2 In relation to P17 (c) (iii) landscaping associated with new buildings:*

- (a) *comprises random plantings of a variety of indigenous tree and shrub species at spacing of 4 to 5 metres;*
- (b) *consists of some species with a mature tree height equivalent or greater than the height of proposed buildings and structures;*
- (c) *extends around the proposed buildings and structures for a minimum width of 10 metres; and*
- (d) *does not increase the bushfire hazard by ensuring:*
  - (i) *no overhang to buildings; and*
  - (ii) *set-back of vegetation from building equivalent to the expected mature height of vegetation.*

*17.3 In relation to P17 (f) buildings are not separated by a distance of greater than 15 metres.*

**18** The external appearance and design of buildings and structures visible from public road minimise their visual obtrusiveness by:

- (a) reducing the building's profile;
- (b) reducing the mass of buildings into smaller components by variations in wall and roof lines; and
- (c) using eaves, verandahs and similar techniques to create shadowed areas.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

18.1 Buildings should not be readily visible from a major road as designated in [Map MiMu/1 \(Overlay 1\)](#).

**19** Fencing, where necessary, should be of an open character (not solid) so as to not impede water flow and be of neutral colours which blend with the natural colours of the landscape. Fencing should generally be minimised.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

19.1 Fences

- (a) Fences, where necessary, should be not more than 1.0 metres high;
- (b) Fencing of property side boundaries should generally be minimised.

## Health and Safety

**20** Sites should be provided with a safe and convenient means of access which:

- (a) will avoid unreasonable interference with the flow of traffic on adjoining roads;
- (b) will accommodate all types and the volume of traffic likely to be generated by the development or land use;
- (c) is located and designed to minimise any adverse impact on the occupants of and visitors to neighbouring properties; and
- (d) is located and designed to minimise any adverse impacts on the floodplain environment by interference with the natural flows of water or be erosion from run-off.

**21** Physical infrastructure required for development should:

- (a) be able to be economically provided;
- (b) be of sufficient standard, design and capacity to accommodate the proposed development;
- (c) not have a detrimental impact on the environmental qualities and amenity of the area;
- (d) not necessitate the removal of native vegetation;
- (e) not increase the level of risk to public health;
- (f) be provided at full cost to the developer without public subsidisation now or in the future; and
- (g) not compromise the level of service to other existing users.



## Land Division

**22** Land division should not occur unless it is for

- (a) the alteration of the boundaries of an allotment or allotments where no additional allotments are created;
- (b) the creation of a public road or public reserve; or
- (c) the creation of a reserve for community waste water management schemes or public utilities.

**23** Allotments should be located and be of size and configuration which:

- (a) takes account of environmental features and site constraints;
- (b) provides sufficient space in appropriate locations for the siting of buildings, structures and associated services and infrastructure;
- (c) is able to satisfactorily accommodate an acceptable use (existing or proposed) consistent with allotment's land capability and suitability;
- (d) ensures existing dwellings are not less than 40 metres from a side or rear allotment boundary;
- (e) provides each allotment will have a frontage to an existing made all weather public road;
- (f) will not result in more than one dwelling on any allotment; and
- (g) will not result in a greater number of allotments with a frontage to the river, or a greater number of allotments in the flood plain of the River Murray as defined by the 1956 flood levels, than existed prior to the adjustment of boundaries.

**24** Land should not be divided or allotment boundaries rearranged:

- (a) if the proposed use, or its establishment, is likely to lead to erosion of the land or land in the vicinity thereof;
- (b) unless wastes produced by the proposed use of the land can be managed so as to prevent pollution of a public water supply or any surface or underground water resources;
- (c) if the size, shape and location of, and the slope and nature of the land contained in each allotment resulting from the division, is unsuitable for the purpose for which the allotment is to be used;
- (d) if any part of the land is likely to be inundated by floodwaters, and risk of flooding is inappropriate to the intended use of the land; or
- (e) without due regard being given to the surface drainage of each allotment created.

## Complying Development

**25** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*. No other forms of development are complying in the policy area.

## Non-complying Development

**26** The following forms of development are **non-complying** in the Recreation and Tourism Policy Area.

Airstrip or airfield  
Amusement machine centre

An on-river mooring facility, except where all of the following apply:

- (a) one mooring facility, with a maximum mooring capacity of one vessel, per allotment;
- (b) where the allotment has a direct frontage to the river (or is only separated by a public reserve or public road, but not both) and the allotment contains an existing dwelling;
- (c) the development will not result in the mooring of a houseboat within 100 metres of the Shack Settlement Policy Area or the Conservation Policy Area.

Cemetery  
Community centre  
Consulting room  
Crematorium  
Dairy

Dwelling, except a dwelling in one of the following circumstances and provided the building is not within the 1956 floodplain of the River Murray:

- (a) a detached dwelling on an allotment of 36 hectares or greater in size; or
- (b) alterations and additions to an existing dwelling; or
- (c) a dwelling required for the management or security of an authorised tourism or recreation use; or
- (d) the replacement of an existing dwelling, provided there is no more than one dwelling on the allotment at the completion of the development.

Fuel depot  
Horsekeeping  
Horticulture (other than development associated with an existing use)  
Hospital  
Indoor recreation but does not include an activity or meeting hall or room  
Industry  
Intensive animal keeping

Land division except for the purposes of any of the following:

- (a) a public road or reserve;
- (b) a communal waste water management scheme or water supply scheme;
- (c) an adjustment of allotment boundaries where no additional allotment is created, and the division achieves all of the following:
  - (i) there is no more than one dwelling on any resultant allotment;
  - (ii) there is no increase in the number of allotments less than 36 hectares;
  - (iii) there is no increase in the number of allotments affected by the flood plain of the River Murray as defined by the 1956 flood levels; and
  - (iv) there is no increase in the number of allotments that are partly or wholly on land within 100 metres of normal pool level of the River Murray.

Motor repair station  
Nursing home  
Petrol filling station  
Place of worship  
Pre-school  
Prescribed mining operations except in association with an existing mining operation on the same allotment  
Residential park  
Road transport terminal  
Service trade premises  
Shop (but not including a restaurant) over 150 square metres  
Stadium  
Stock sales yard

Stock slaughter works  
 Store  
 Warehouse  
 Waste disposal  
 Wrecking yard

### Public Notification

- 27** Forms of development which are **acceptable** for the Policy Area are assigned **Category 1** (except where non-complying) and further the following is designated **Category 1**

Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary.

- 28** Forms of development which are neither acceptable or non-complying for the Policy Area are assigned **Category 2** and further the following is designated **Category 2**

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places.

## River Murray Zone – River Settlement Policy Area

### Introduction

The Objectives and Principles of Development Control that follow apply to the River Settlement Policy Area shown on [Maps MiMu/63, 70, 85 to 87, 89, 90, 92, 97, 100, 109, 110, 121, 123, 126 and 127](#). They are additional to those expressed for the River Murray Zone and the Council Wide provisions.

### DESIRED CHARACTER

There are a number of small settlements which comprise predominantly detached dwellings and in some cases minor commercial and service development. New development should generally be limited to residential and minor additions and alterations of the non-residential uses.

Those settlements which function as River Settlements include Wongulla, Nildottie, Greenways, Purnong, Younghusband East and Younghusband West, Talia Heights, Caloote, Zadows Landing, Bowhill and Kroehns

In the interests of orderly and economic development and minimising the risk of pollution within the River Murray catchment, it is desirable that the number of allotments in each settlement can be serviced by a common waste water scheme and a hydrological assessment is undertaken to determine the need for and the most appropriate location and capacity of stormwater detention basins to minimise the potential for pollution of the River Murray. Land division involving the creation of additional vacant allotments or the expansion of any of the settlements beyond existing boundaries should not occur until these investigations have been undertaken.

## Apold Court

This settlement is restricted to the existing community titled allotments fronting Apold Court. Historically established as a holiday home / tourist accommodation settlement, the majority of the built form is designed and functions as self contained detached dwellings.

Development of vacant allotments should only be in the form of a detached dwelling provided the dwelling is connected to the existing wastewater management scheme (which includes easements and infrastructure partly within the Policy Area and partly on adjoining farming land to the east in the Primary Production Policy Area).

Alterations and additions to a detached dwelling and one outbuilding per allotment is envisaged. Building set-backs from allotment boundaries and site coverage will be guided by the pattern and density of existing detached dwellings.

The creation of additional allotments or community lots is not envisaged. Non-residential land use of any kind is not appropriate, other than the continuation of an existing use in the form of short term tourist accommodation or works associated with the wastewater management scheme.

The following forms of development are **acceptable** in the River Settlement Policy Area:

- dwellings and ancillary structures such as a garage, carport and rainwater tank and stand;
- local community facilities at Younghusband, Nildottie, Purnong;
- local shops at Younghusband, Nildottie, Purnong, Bowhill;
- minor public service depot;
- recreation area
- filling or excavation (or excavation and filling) of land where it is in direct consequence of and is reasonably incidental to building work for an acceptable form of development where it does not involve any excavation or filling (or excavation and filling) exceeding a vertical height of 1 metre;
- water storage tank (above or below ground), associated tank stand and dedicated water storage tank for fire fighting purposes;
- cabin, annexe or verandah within an existing Caravan Park or Tourist Park.

The following forms of development are **unacceptable** in the River Settlement Policy Area:

- industry;
- intensive animal keeping;
- horsekeeping.

## OBJECTIVES

**Objective 1:** An Area primarily for detached dwellings with local service facilities in appropriate locations.

**Objective 2:** Development visually compatible with the River Valley, exhibiting a high standard of appearance through built form, design, external materials, colours, siting and landscaping.

## PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the policy area.
- 2 Development (including land division where relevant) should:
  - (a) be visually compatible with the area in which it is located;
  - (b) not adversely impact upon the ability to maintain the river frontage in a stable condition;
  - (c) avoid adverse impact on the environment by the appropriate location of vehicle access to the river;

- (d) not impair the use or management of natural resources or the best interests of the cultural, historic or heritage value, including Aboriginal sites of anthropological, archaeological or historic significance;
  - (e) be landscaped with locally indigenous species in order to enhance the amenity of the area and to screen buildings from public view;
  - (f) not impair the use or management of natural resources for the best use of the community;
  - (g) be designed to minimise potential risk from bushfire hazard;
  - (h) not detract from the value or significance within the locality of items, land, buildings and structures of exceptional beauty or aesthetic, architectural, scientific use;
  - (i) only use second-hand or re-used materials for external cladding for any buildings when it is of sound condition, good quality and painted an appropriate colour to harmonise with the surrounding environment.
- 3** Buildings and structures should not be erected on any allotment so that any portion of such building or structure would be nearer to the existing boundary of a road, street or thoroughfare than 8.0 metres unless a lesser distance is consistent with existing adjoining buildings and would not cause interference to neighbouring land or detract from the character or amenity of the locality.
- 4** Buildings should be designed with regard to the appearance, building materials, colours, siting and landscaping of existing development, so as to preserve and enhance the character of the locality.
- 5** Non-residential development should be confined to modest expansion of existing uses and where such development will not cause nuisance to residential development in the locality of the proposed use.
- 6** Existing buildings of historic interest should be preserved and re-used wherever possible.
- 7** Buildings should be 3 metres from adjacent allotment boundaries where landscaping is required or 1 metre in all other instances unless stormwater can be satisfactorily disposed of on the property.
- 8** The erection of dwellings, alterations and additions to an existing dwelling and land division creating additional allotments shall conform with the following criteria:
- (a) not be located in areas subject to inundation by a 100 year return period flood event or sited on land fill which would interfere with the flow of such flood waters;
  - (b) will be connected to an approved sewerage or common effluent disposal scheme or has an on-site waste water treatment and disposal method which complies with the Standard for the Installation and Operation of Septic Tank Systems in South Australia (including supplements A and B) as prepared by the South Australia Health Commission;
  - (c) will not have any part of a septic tank effluent drainage field or any other waste water disposal area (eg irrigation area) located within 50 metres of a bore, well or watercourse where a watercourse is identified as:
    - (i) a blue line on a current series Government Standard topographic map; or
    - (ii) any river, stream, creek or channel in which water is contained or flows permanently, intermittently or occasionally; or

- (d) will not have a waste water disposal area located on any land with a slope greater than 20 percent (1 in 5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres; and
- (e) will not have a septic tank or any other waste water treatment facility located on land likely to be inundated by a 10-year return period flood event.

### Land Division

- 9 New allotments can be created, but not without provision being made for connection to an all-weather public road and not within the 1956 floodplain as defined in [Maps MiMu/63, 85 to 87, 90, 92, 97, 100, 109, 110, 121, 123, 126 and 127](#).

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

- 9.1 *In relation to P9(b) the standard of road should be determined through projecting the road's function and usage by reference to estimated vehicles per day (vpd) in accordance with the following standards:*

<b>Function</b>	<b>vpd</b>	<b>standard</b>
<i>Major movements</i>	<i>&gt;2000</i>	<i>Sealed</i>
<i>Major movements between population centres</i>	<i>&gt;2000 100-2000</i>	<i>Sealed Sealed</i>
<i>Movements between centres and linkage to primary road</i>	<i>500-1000 100-500</i>	<i>Sealed Unsealed</i>
<i>Local traffic</i>	<i>0-100</i>	<i>Unsealed</i>

- 10 Allotments should have a minimum area of 1500 square metres.
- 11 Allotments should be designed to:
- (a) allow for future development without adverse impact to adjoining development;
  - (b) allow safe and efficient drainage from each with provision for on-site harvesting;
  - (c) locate boundaries with minimal interference to trees and other vegetation; and
  - (d) allow safe and convenient vehicular access to each allotment.

### Built Form and Design

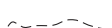

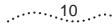


- 12 Buildings and structures should:
- (a) be sited in an unobtrusive location, not on visually prominent sites, ridge-tops or similar visually exposed locations particularly when viewed from public roads;
  - (b) be clustered to ensure that the majority of any site remains free from buildings and structures;
  - (c) maximise the retention of mature vegetation;
  - (d) take advantage of favourable climatic and solar energy consideration;
  - (e) have surfaces which are not reflective;

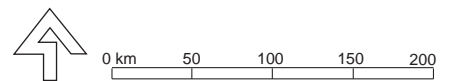
- (f) be not higher than two-storey (up to 7.5 metres wall height) and their roof lines and overall profile should complement the natural form of the land; and
  - (g) incorporate large eaves, verandahs and pergolas into their design so as to create shadowed areas which reduce their bulky appearance.
- 13** Development within the Talia Heights area defined in [Figure RS\(TaHe\)/1](#) should be limited to a detached dwelling and one residential outbuilding per allotment and be sited, designed, landscaped and consist of external materials to minimise the visibility from East Front Road and the River Murray, and satisfy the following requirements:
- (a) all buildings should be single storey and have a maximum height of 4.5 metres above natural ground level;
  - (b) a residential outbuilding should not exceed 54 square metres in area and should only be constructed in association with an existing dwelling;
  - (c) all buildings and structures should not require excavation and/or filling which is greater than 1.5 metres below or above natural ground level;
  - (d) all buildings and structures should not be located closer than 50 metres to a blue line on a current series Government Standard topographic map;
  - (e) development should not result in the removal or destruction of remnant vegetation on the subject or adjoining land;
  - (f) stormwater runoff from buildings and sites should be managed in a manner which minimises the potential for erosion, sedimentation and pollution and should be captured in tanks with a minimum capacity of 10,000 litres, which are dedicated solely for the capture of stormwater runoff from roof areas; and
  - (g) development should be cognisant of the potential for primary production activities on adjoining land that may cause dust, noise and the spraying of chemicals.
- 14** Driveways and access tracks should be sited so as to reduce their visual impact and erosion from water run-off. The excavation/filling of land associated with the provision of driveways and access tracks should be kept to a minimum in order to preserve the natural form of the land and the native vegetation.
- 15** Out-buildings, structures, above ground water tanks, should be located below ridgelines, out of view from public roads and screened with landscaping.
- 16** Out-buildings, above-ground water tanks, should be constructed from new non-reflective materials and finished in the colours which are visually dominant in terms of their frequency in the local landscape.
- 17** Fences, if required, should be located in such a way as to minimise their visual impact and should be of post and wire construction. When solid fences are required to ensure reasonable privacy to private open space areas (eg clothes drying areas), obtrusive gateways, particularly of brick or masonry, should not be constructed.
- 18** Outdoor storage areas for vehicles, equipment, materials and other items should be kept to a minimum and screened from view from public roads by appropriate landscaping planting.

### **Landscape Planting**

- 19** All buildings and structures should have landscaping established within the first twelve months of the buildings and structures erected on the site. Such landscaping should:
- (a) retain and incorporate existing vegetation, where possible;



-  1956 Floodplain
-  Watercourse, 50 metres Building Set-back
-  Approximate Contours
-  Existing Allotment Boundaries
-  Policy Area Boundary



**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
RIVER SETTLEMENT  
POLICY AREA  
“TALIA HEIGHTS”  
Fig RS(TaHe)/1**

Consolidated - 25 February 2021



- (b) revegetate ridge-lines;
- (c) enhance the streetscape and natural character of the locality;
- (d) soften the appearance of buildings, structures and driveways and excavations associated with these works;
- (e) improve privacy of private open spaces;
- (f) be of an appropriate scale relative to the bulk of buildings and structures;
- (g) maximise site specific engineering approved absorptive landscape areas for onsite filtration of stormwater, such as (but not limited to) gravel filled trenches and/or reed beds.

### **Movement of People and Goods**

- 20** Access roads should be constructed and minimise cut and fill and where possible to follow the natural contours of the land. Where cutting and filling is necessary, slopes should be battered and stabilised by planting.

### **Public Utilities**

- 21** Development, including the division of land, should not be undertaken unless a water supply is, or will be made available to the development, such water supply must be reliable and able to satisfy the anticipated demands for domestic and garden purposes.
- 22** All dwellings should be provided with rainwater collection tanks having a minimum storage area of 40 000 litres so as to minimise the loss of roof catchment and exploitation of underground water, regardless of whether connected to a reticulated mains water supply system.

### **Erosion, Water Quality and Run-off**

- 23** Watercourses should be protected from development which would detract from its present character and function.
- 24** Natural watercourses and drainage lines should be revegetated to reduce run-off.
- 25** Development in locations where there are steep slopes, should be designed, constructed and managed to minimise soil erosion, run-off and cut and fill.
- 26** Development in locations where there are watercourses should be designed to protect water quality and should in particular ensure watercourses are fenced to restrict animals grazing or watering at points along the watercourse.
- 27** Natural features and vegetation in and around watercourses should be retained.

### **Complying Development**

- 28** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*. No other forms of development are complying in the policy area.

### **Non-complying Development**

- 29** The following forms of development are **non-complying** in the River Settlement Policy Area:

Airstrip or airfield “

An on-river mooring facility, except where all of the following apply:

- (a) one mooring facility with a maximum mooring capacity of one vessel per allotment;

- (b) where the allotment has a direct frontage to the river (or is only separated by a public reserve or public road, but not both) and the allotment contains an existing dwelling;
- (c) the development will not result in the mooring of a houseboat within 100 metres of the Shack Settlement Policy Area or the Conservation Policy Area.

Builders yard  
 Caravan park - except existing facility at Younghusband (East)  
 Commercial forestry  
 Dairy  
 Education establishment  
 Fuel depot  
 Group dwelling  
 Hospital  
 Hotel  
 Indoor recreation centre  
 Industry - other than additions to existing use  
 Intensive animal keeping  
 Junk yard

Land division:

- (a) involving the creation of additional allotments:
  - (i) wholly or partly within the 1956 Floodplain as defined in [Maps MiMu/63, 85 to 87, 89, 90, 92, 97, 100, 109, 110, 121, 123, 126 and 127](#);
  - (ii) in the area defined in [Figure RS\(TaHe\)/1](#);
- (b) affecting an allotment that is partly or entirely comprised of land 100 metres or less from the normal pool level of the River Murray that is not connected to an approved community wastewater management system; or
- (c) where an allotment (existing or proposed) is less than 1500 square metres.

Motor repair station  
 Multiple dwelling  
 Nursing home  
 Major public service depot  
 Motel  
 Petrol filling  
 Residential flat building  
 Row dwelling  
 Semi-detached dwelling  
 Station  
 Service trade premises - other than additions to existing use  
 Shop - other than additions to existing use  
 Stock slaughter works  
 Store  
 Timber yard  
 Warehouse

### Public Notification

- 30** All forms of development are **acceptable** for the Policy Area are assigned **Category 1** (except where non-complying).
- 31** Forms of development which are neither **acceptable** or **non-complying** for the Policy Area are assigned **Category 2**.

## River Murray Zone – Cadell (Horticulture) Policy Area

### Introduction

The objectives and principles of development control that follow apply to the Cadell (Horticulture) Policy Area as shown on [Maps MiMu/6, 54 and 67](#) inclusive. The policies are additional to those for the River Murray Zone and the Council Wide provisions.

### DESIRED FUTURE CHARACTER

This Policy Area includes the horticultural areas of the Cadell Irrigation District, adjacent high land containing rural living development, and the township and community services of Cadell.

The Hundred of Cadell was proclaimed in 1860, with the majority of the sections subdivided in the early 1890's. Cadell Irrigation Area was proclaimed in 1916 and the town of Cadell was proclaimed on 29 June 1920. With access to quality soils and irrigation water the location was ideal for stone fruit growing and a range of other horticultural and farming pursuits.

Cadell now has a population of approximately 450 people who support the local and district horticultural industry, local services, the Cadell School, and the Cadell Training Centre.

Production is now predominantly (but not limited to) citrus and stone fruit. Pears and vines are more recently developed crops. Housing and service industries are generally in the naturally higher ridge area at the periphery of the irrigated land.

The Cadell Irrigation Area is managed by the Central Irrigation Trust (CIT). CIT provides water supply to the irrigated horticultural land and other activities.

The Policy Area aims to promote scope for ongoing horticultural/agricultural activities and small scale and managed opportunities for business, dwellings and associated development. Other activities are encouraged, such as the interpretation, the sale or sampling of produce and on-farm tourism, which will enhance the value of local production and add to the quality and range of experiences available to the visitor in the region. These value-added activities must not be undertaken in a way which would prejudice the long-term operation of primary production.

The Policy Area comprises of three distinct Precincts, which form an integral part of the total Cadell community, including Precinct 1 – Cadell Basin Area (Horticulture), Precinct 2 – Rim Area (Rural Living) and Precinct 3 – Settlement.

### Precinct 1 – Cadell Basin Area (Horticulture)

This Precinct is situated within the low lying areas of the Cadell Irrigation District.

The major irrigation area is identified within this Precinct, and is to provide opportunity for ongoing horticultural pursuits – to help underpin the district's rural economy, primarily consisting of horticulture with associated rural based industry, services and facilities.

It is intended that the dominant rural character of the Precinct be maintained by the retention of horticultural activities. Any non-horticultural or farm related development is required to accommodate itself to the potential effects of such development (e.g. dust, spray drift, noise, as well as use of machinery and equipment at different times of the day, night and year), with future dwellings being associated with Acceptable forms of development in the Precinct and meeting relevant buffer, separation distance and environmental management provisions. Further opportunity for development of dwellings, associated with Acceptable forms of development, is encouraged through the amalgamation of allotments.

With regard to non-agricultural uses, the Precinct contains several major industries. Further minor expansion of these existing industries is desirable. New industries are encouraged where they relate to primary production.

### **Precinct 2 – Rim Area (Rural Living)**

The Precinct is already divided into allotments suitable for rural living ranging from 1.0 to 5.0 hectares. Further land division should be limited to rearrangement of boundaries and for the establishment of 2 hectare allotments that complement the existing pattern of development in the Precinct.

It is also intended that there be the ability to excise the portion of allotments within the Precinct, where the balance of the allotment extends into Precinct 1 – Cadell Basin Area (Horticulture), provided the excised allotment within Precinct 2 – Rim Area (Rural Living) has a minimum area of 1 hectare. This 1 hectare minimum will increase opportunity to excise a dwelling onto its own allotment, and promote investment and lifestyle development options within the overall Policy Area, without inhibiting the land use objectives of Precinct 1 – Cadell Basin Area (Horticulture) or Precinct 2 – Rim Area (Rural Living).

To promote further, yet limited opportunity, for additional land division with the Precinct, allotments can be divided provided it will not create any allotment less than 2 hectares in area.

The Precinct is located adjacent to Precinct 1 – Cadell Basin Area (Horticulture) within which primary production occurs that may generate noise, dust and chemical spray drift.

The southern portion of the Precinct is located adjacent to a former land-fill waste management facility – no further division of land is to occur within 500 metres of this facility.

Where areas of remnant native vegetation exist, careful attention will be given to the design and layout of any land division, so as to minimise the need to remove native vegetation or to prevent bringing into force exemptions for clearance of native vegetation relating to the siting of future dwellings and associated structures.

Landscaping including tree planting, around the perimeter of allotments and buildings is strongly encouraged for all forms of development so as to maintain and reinforce the existing character within the Precinct – the areas existing open character is a valued feature, so the siting and design of buildings will need to be complementary to this openness and demonstrate compatibility with any adjoining primary production activities and retention of native vegetation.

### **Precinct 3 – Settlement**

The township of Cadell has a key role in providing a range of community facilities, due to its strategic location to the Cadell Irrigation Area, surrounding rural areas, the River Murray and the district's road network.

The settlement comprises of the main township and a second area (1 kilometre to the south of the town) which accommodates the school and other community services.

The settlement should develop in an orderly and compact form to avoid indiscriminate expansion and uneconomic extension to public utilities. New residential and other development should be accommodated through consolidation within the existing defined settlement boundaries.

It is expected that development will comprise low density residential areas, local shops, community sport and recreation facilities, commercial enterprises and service industries allied to the rural uses in the locality.

## **OBJECTIVES**

### **Sustainable Industry**

**Objective 1:** Operation and sustainability of rural production and primary industries.

### **Stormwater**

**Objective 2:** Maintenance of natural hydrological systems and environmental flows.

**Objective 3:** Surface run-off designed to protect property and life and environmental quality.

### **Vegetation and Landscape Character**

**Objective 4:** Maintenance and enhancement of the landscape character.

### **Soil**

**Objective 5:** Protection and maintenance of:

- (a) the physical, chemical and biological quality of soil resources;
- (b) the quantity of soil resources;
- (c) the natural processes of sediment transfer.

### **Horticulture and Irrigated Pasture**

**Objective 6:** No adverse impact generated by horticulture and irrigated pasture.

Development and use of land for horticulture and irrigated pasture which does not contribute to the degradation of the River Murray, the Murray Valley or Floodplain by way of:

- (a) increases in river salinity levels;
- (b) a reduction of the conservation status of significant wetlands; or
- (c) undue impacts on remnant vegetation.

**Objective 7:** Horticulture and irrigated pasture which does not adversely impact on urban zones or neighbouring land uses.

**Objective 8:** Horticulture and irrigated pasture which does not place undue demands on the provision of infrastructure such as energy supply and road access.

### **Air Quality**

**Objective 9:** Prevention of environmental nuisance or harm resulting from odour and other airborne particles.

### **Noise Pollution**

**Objective 10:** Protection of sensitive uses from external noise.

### **Hazard Minimisation**

**Objective 11:** Prevention of environmental nuisance or harm resulting from a biological, chemical or fire hazard, energy emission or explosion.

### **Waste**

**Objective 12:** No adverse impacts from the treatment of wastes.

Effective treatment of solid and liquid wastes to prevent environmental nuisance and harmful or adverse impacts on the public, worker health or the amenity of a locality.

**Objective 13:** Enhanced opportunities for the appropriate recycling and reuse of waste.

### **Built Form and Design**

**Objective 14:** Rural dwellings or value-adding enterprises which does not preclude horticulture and irrigated pasture development.

**Objective 15:** Buildings and structures compatible with the environmental qualities, built form and character of the surrounding area and landscape.

### Infrastructure

**Objective 16:** Economic provision of infrastructure in an environmentally sensitive manner.

**Objective 17:** Development provided with an adequate level of appropriate services and infrastructure without excessive cost to the community.

### Land Division

**Objective 18:** Allotments suited to their proposed use.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Form of Development

- 1 Development should not be undertaken unless it is consistent with the Desired Future Character and Acceptable forms of development for the Precincts.

### Stormwater

- 2 No adverse impact on natural hydrological systems and environmental flows.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

- 2.1 *Modifications to the landform are not located closer than 50 metres to the bank of a watercourse identified on a current series 1:50 000 SA Government topographic map.*
- 2.2 *The quality of water leaving the site, be of a physical, chemical and biological condition equivalent to or better than pre-development conditions.*
- 2.3 *The rate of discharge from the site shall not exceed the rate of discharge from the site in the pre-development condition for all storm durations up to and including storms having an ARI of 100 years.*
- 3 Stormwater from buildings and ground areas managed in a manner which minimises impact on natural drainage systems by:
  - (a) preventing soil erosion or siltation;
  - (b) minimising the entry of pollutants; and
  - (c) mitigating peak flows.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

- 3.1 *In relation to P3 (c) on-site drainage systems shall incorporate a system to the approval of the relevant authority, to detain and treat first flush storm run-off before discharge from the site. A detention volume equivalent to the run-off from a 1 year ARI, 2 hour duration storm, discharged gradually over a period of 24 hours is acceptable.*

*For Industry:*

- 3.2 *Floor levels shall be set taking into account likely flood levels from the 100 year ARI storm, including freeboard determined by site conditions, eg where water is flowing at a high velocity a greater level of freeboard may be required compared to water flow at a low velocity.*

- 3.3 *Rainfall run-off from ground areas directed to open swales, via purpose designed and built traps for litter, sediment, grease, oil and other like substances.*
- 3.4 *Swales to be designed (in combination with roads and other hard paved surface areas) to detain the whole run-off from a 1 in 1, to 10 year event flow, and a 1 in 100 year event storm for a one hour period.*
- 3.5 *Swales are to be formed with a gradient no more than a 1 in 5 and lined with an erosion resistant base (eg rocks or paving stones) and not be obstructed by trees and shrubs.*
- 3.6 *Any swales used for storm run-off shall be designed to be non-scouring.*

### **Landscape**

- 4 Development should be designed and sited to respect and maintain the landscape character of an area which is of:
- (a) historical (including archaeological) significance;
  - (b) scientific interest;
  - (c) scenic value or natural beauty; or
  - (d) other heritage significance.

### **Soil**

- 5 Development should not have an adverse impact on the natural, physical, chemical or biological quality and characteristics of soil resources.
- 6 Development should minimise the loss of soil from a site through soil erosion or siltation both:
- (a) during the construction phase; and
  - (b) following commencement of an activity.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

- 6.1 *Erosion and sediment control measures such as grade furrows, contour banks, catch/diversion drains, level spreaders, revegetation, hay bale barriers, filter fences, sediment traps and basins are implemented during the construction phase to prevent silt or sediment leaving the subject land.*
- 7 Development should not result in alterations to the landform or drainage patterns which will impede natural processes of sediment transfer.

### **Waste**

- 8 Untreated waste should not be spread or discharged to land or water either on-site or elsewhere.

*Advisory Note: In this regard untreated waste does not include organic fertilisers used for the purpose primary production.*

- 9 On-site waste treatment and the spreading or discharging of treated waste on-site should not occur.

*Advisory Note: Use of organic fertilisers for the purposes of primary production is not included.*

**10** Development should not take place where:

- (a) it is likely to be adversely affected by flooding and there is an unacceptable risk from flooding to life or property;
- (b) the development is likely to increase the risk of flooding of other land; or
- (c) it will obstruct or interfere with watercourses.

**11** Structures (apart from purpose built flood control levees), including fencing and the filling of land should:

- (a) not impede the flow of flood waters or change the pattern of movement of floodwaters; and
- (b) when feasible, mitigate any existing impediments to floodwaters.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

*11.1 Structures, including fencing (post and wire (strand) fencing), and the filling of land does not take place within the 100 year flood plain of a watercourse.*

**12** Development should have regard to the possible impacts in terms of air quality both in terms of odour and air borne particles (eg dust) on:

- (a) horticulture and viticulture;
- (b) residential and tourist accommodation; and
- (c) sensitive industries.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

*12.1 Control measures include: provision of separation distances; enclosing the source; venting and stack heights; arresters and pavement heights.*

## **Environmental**

**13** Development designed to minimise adverse acoustic impacts on adjoining uses which would be sensitive to acoustic interference.

**14** Storage and use of biological chemicals and chemicals in a controlled environment should be undertaken in a manner which prevents any airborne or waterborne movement or land contamination.

## **Built Form and Design**

**15** Outdoor lighting should not cause nuisance.

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

*15.1 Outside lighting to be directed downwards and towards the site to prevent light spilling onto surrounding properties.*

**16** Buildings and structures which have:

- (a) a design scale, appearance and site to enhance the positive environmental qualities, built form and character of the locality;



- (b) a site which is unobtrusive and screened from public roads and adjoining properties by:
  - (i) natural landforms;
  - (ii) existing vegetation;
  - (iii) planting of appropriate vegetation;
- (c) a requirement for minimal excavation or filling of land;
- (d) a requirement for minimal removal of existing vegetation; and
- (e) sites which are grouped together.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

- 16.1 *In relation to 16 (c) excavation and/or filling associated with any building or structure is limited to no greater than 1.5 metres below or above natural ground level.*
- 16.2 *In relation to 16 (b) (iii) landscaping associated with new buildings:*
- (a) *comprises random plantings of a variety of indigenous tree and shrub species at spacing of 4 to 5 metres;*
  - (b) *consists of some species with a mature tree height equivalent or greater than the height of proposed buildings and structures;*
  - (c) *extends around the proposed buildings and structures for a minimum width of 10 metres; and*
  - (d) *does not increase the bushfire hazard by ensuring:*
    - (i) *no overhang to buildings; and*
    - (ii) *set-back of vegetation from building equivalent to the expected mature height of vegetation.*
- 16.3 *In relation to P16 (e) buildings are not separated by a distance of greater than 15 metres.*
- 17** The external appearance and design of buildings and structures visible from a public road should minimise their visual obtrusiveness by:
- (a) reducing the building's profile;
  - (b) reducing the mass of buildings into smaller components by variations in wall and roof lines; and
  - (c) using eaves, verandahs and similar techniques to create shadowed areas.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

*For Industry:*

- 17.1 *Any chain mesh fencing to be plastic coated coloured black and set-back 2.0 metres from the road and residential property boundary.*
- 17.2 *The maximum height of any building or ancillary structure is 12.0 metres.*
- 17.3 *Maximum unarticulated length of building to a street frontage 30 metres (punctuation by windows, canopies, verandahs or walk offsets is considered to be adequate).*

17.4 *Maximum unarticulated length of office or administration component is 15 metres.*

- 18** Sites should be provided with a safe and convenient means of access which:
- (a) avoids unreasonable interference with the flow of traffic on adjoining roads;
  - (b) accommodates all types and the volume of traffic likely to be generated by the development or land use;
  - (c) is located and designed to minimise any adverse impact on the occupants of visitors to neighbouring properties; and
  - (d) minimises the alteration to the natural land form and is visually unobtrusive.

### Site Contamination

- 19** Sensitive development should not occur where site contamination has occurred unless the site has been assessed and remediated as necessary to ensure that it is suitable and safe for the proposed use.

### Building Development

- 20** Buildings should not be readily visible from a Primary Arterial and Secondary Arterial Road as designated in [Map MiMu/1 \(Overlay 1\)](#) or from the River Murray as defined by the River Murray Zone Conservation Policy Area or River Murray Zone Flood Plain Policy Area.

***Design Techniques** (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

20.1 *Visibility can be measured by mapping sightlines.*

20.2 *Use of single storey buildings or split level designs that complement the natural slope of the land.*

### Land Division

- 21** Land should not be divided if the size, shape and location of, and the slope and nature of the land contained in each allotment resulting from the division is inconsistent with the Acceptable forms of development policies for the Policy Area.
- 22** Allotments should be located and be of size and configuration which:
- (a) takes account of environmental features and site constraints;
  - (b) provides sufficient space in appropriate locations for the siting of buildings, structures and associated services and infrastructure; and
  - (c) is able to satisfactorily accommodate an Acceptable form of development on the land (existing or proposed) consistent with land use policies for the Cadell Horticulture Policy Area or related Precinct.
- 23** When land is divided a public reserve of up to 50 metres in width above pool level along the water frontage (where this is not practicable, the maximum possible width of reserve up to 50 metres) should be provided.
- 24** The number of vehicle access points onto arterial roads shown on [Map MiMu/1 \(Overlay 1\)](#) should be minimised and, where possible, access points should be:
- (a) limited to local roads (including rear lane access)
  - (b) shared between developments.

### Separation Distance to Primary Production

- 25** Siting of dwellings should not limit the use for primary production which requires chemical spraying, or which may produce other air emissions, or may create noise.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

25.1 *The separation distance<sup>1</sup> between a detached dwelling and primary production should be:*

*open ground: 300m  
vegetated area<sup>2</sup>: 40m*

*Advisory Notes:*

- 1 A separation distance is the minimum horizontal distance between the curtilage of the dwelling and the primary production land use on adjoining land. The balance of the land not used for a dwelling can be included in calculating the separation distance.*
- 2 Vegetated area should meet the following criteria:*
  - a minimum total width of 40 metres;*
  - random planting of varieties of differing growth habits and spacing 4 to 5 metres;*
  - species with long, thin and rough foliage to facilitate efficient capture of spray droplets;*
  - a permeable barrier of approximately 50 percent air space to allow air to pass through;*
  - foliage from the base to the crown;*
  - species which are fast growing and hardy;*
  - a mature tree height of at least 3.0 metres.*

### Horticulture and Irrigated Pasture

- 26** Development should not increase salinity levels in the River Murray or its backwaters.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

26.1 *Irrigation to be sited in locations where:*

- (a) soils are considered suitable for irrigated horticulture - as shown on the PIRSA map Land Suitability for Irrigated Horticulture, Riverland, South Australia; and*
- (b) Blanchetown clay is considered to be present - as shown on the PIRSA (Mines and Energy) Map Blanchetown Clay Distribution; or*
- (c) a preliminary irrigation design is certified to demonstrate an irrigation system (with normal management) is capable of providing 85 percent or better Annual Water Balance Efficiency.*

*Advisory Note: Proposals for irrigation development will be referred to the Department of Environment, Water and Natural Resources for advice on the potential impacts on River Murray salinity arising from irrigation on the proposed site. Applicants may need to provide information on the following matters for the Department's assessment:*

- the soil and water requirements of the proposed crop;*
- the soil type and its depth, transmissivity and stratigraphy;*
- local topography, proximity to streams and the potential for surface water run-off;*
- the depth to, and salinity of, local and regional groundwater; and*
- any drainage requirements and plans for dealing with drainage water.*

*OR*

*Provide either a Land and Water Management Plan or Salt Load Assessment prepared in accord with MESA Report 96/17 demonstrating a nil impact on River Murray salinity trends.*

- 27** Irrigation development should not take place if it will have an adverse impact on wetlands of high conservation significance or on flows in other backwaters.

***Design Techniques** (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

27.1 Irrigation pumps are located on the mainstream of the River Murray.

*Advisory Note: Wetlands of high conservation significance are recorded in the Wetlands Atlas of the South Australian River Murray and A Directory of Important Wetlands in South Australia.*

## **Tourism**

- 28** Small-scale tourism facilities located which do not adversely affect the use of land for rural activities or existing industrial activities.

***Design Techniques** (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

28.1 Tourist accommodation development not be located within 300 metres of existing viticulture, winery or industrial land uses unless:

- (a) the development is located on the same allotment as the viticultural, winery or industrial operation; or
- (b) the development incorporates measures to address the likely noise and odour impacts arising from the viticultural, winery or industrial operation.

- 29** Development or use of land for tourism development should complement or interpret the:

- (a) natural environment of the Murray Valley;
- (b) primary production; or
- (c) local cultural heritage.

## **PRECINCT SPECIFIC PROVISIONS**

Refer to [Map MiMu/132](#) in relation to the following Precincts.

### **Precinct 1 – Cadell Basin Area (Horticulture)**

#### **Form of development**

- 30** The following forms of development are **Acceptable** in Precinct 1 – Cadell Basin Area (Horticulture):
- farming and farm buildings
  - horticulture particularly viticulture and vegetable and fruit production and associated storage and processing buildings
  - irrigated pasture
  - detached dwelling (including ancillary buildings) associated with farming, horticulture, viticulture
  - small scale expansion of existing industry
  - tourist accommodation associated with existing farm dwellings
  - wood lots to assist in management of irrigated development.
- 31** The following forms of development are **Unacceptable** in Precinct 1 – Cadell Basin Area (Horticulture):
- retail apart from the sale of farm produce

- urban residential
- industry and commercial activity not associated with farming, horticulture, or viticulture
- outdoor advertising other than information signage, or relative to the sale of produce from the land on which the sign is sited.

**32** A dwelling should only be established on an allotment in relation to an Acceptable form of development within the Precinct.

### Land division

**33** Land should not be divided unless the division is for the purpose of any of the following:

- (a) realigning existing allotment boundaries for the purpose of increased primary production efficiency or productivity, and where allotment boundaries are located at least 40 metres from an existing dwelling (with the exception of a boundary adjacent a road reserve)
- (b) excising a portion of an allotment that extends into Precinct 2 – Rim Area (Rural Living), provided that the excised portion is greater than 1 hectare in area and is located greater than 500 metres from the Waste Management Facility identified on [Fig RM/1](#)
- (c) realigning existing allotment boundaries to excise a dwelling where the plan of division demonstrates that:
  - (i) the allotment containing a dwelling has a minimum size of 1 hectare
  - (ii) any dwelling has a minimum setback to all adjacent allotment boundaries (except a boundary adjacent a road reserve) of 40 metres.

**34** Land may be divided to accommodate realignment of boundaries between existing channel reserve land and Crown leases or allotments to:

- (a) address encroachments of plantings or infrastructure onto an adjacent channel reserve
- (b) facilitate the creation of legal access for Crown leases as part of the freeholding process.

**35** Land should only be divided where it is to facilitate the more intensive use of the land where the plan of division demonstrates that:

- (a) water, of sufficient quality and quantity, is available to sustain the proposed use
- (b) the land is appropriate for the proposed use, or the division seeks to support an existing lawfully operating rural based industry
- (c) the use will be compatible with adjacent or nearby uses of land.

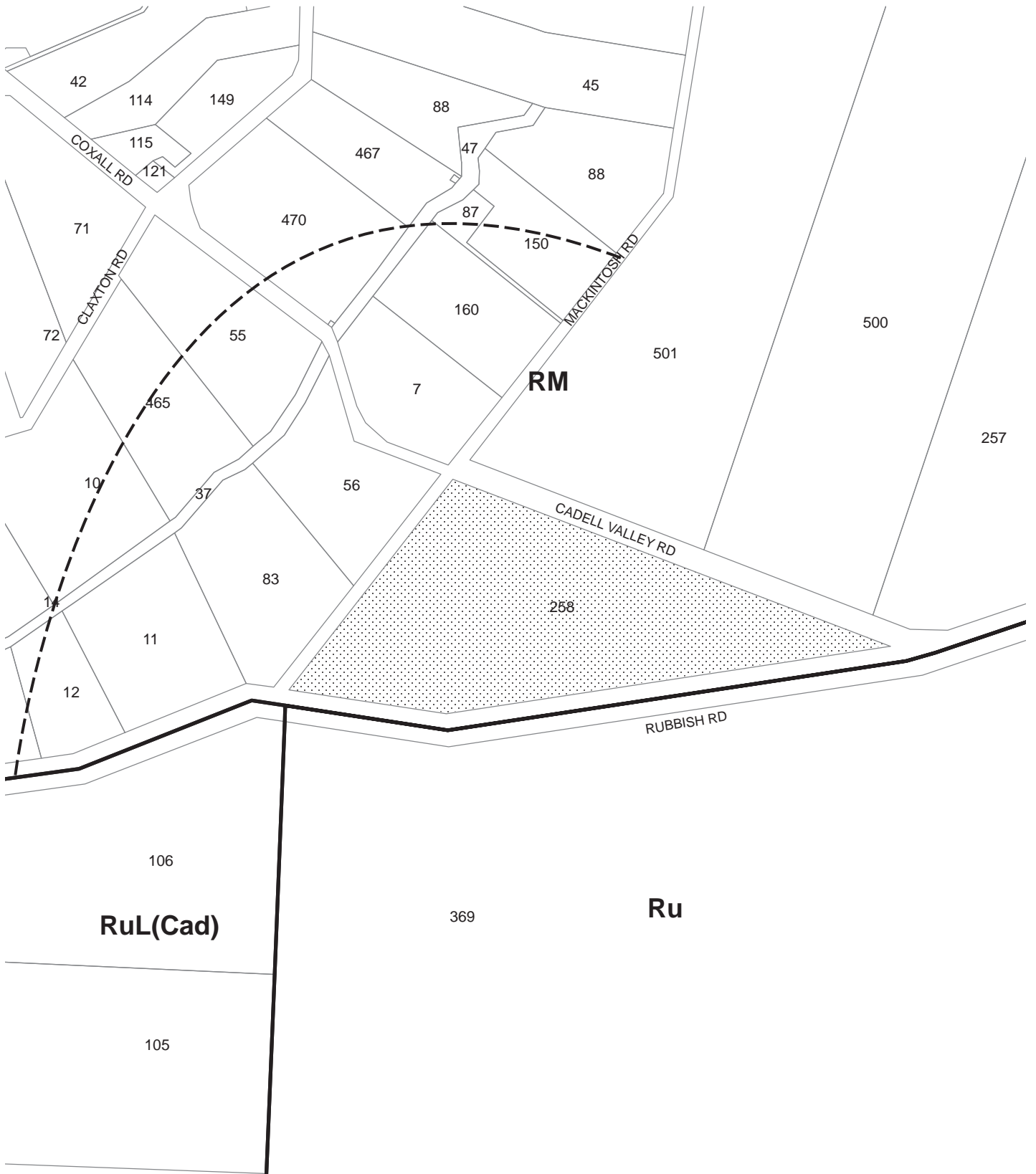
### Built form

**36** Buildings should primarily be limited to farm buildings, a detached dwelling associated with primary production on the allotment and residential outbuildings that are:




- (a) grouped together on the allotment and setback from allotment boundaries to minimise the visual impact of buildings on the landscape as viewed from public roads
- (b) screened from public roads and adjacent land by existing vegetation or landscaped buffers.

**37** A dwelling should only be developed if:

- (a) there is a demonstrated connection with an Acceptable form of development in the Precinct



0metres 250 500

- RM** River Murray Zone
- Ru** Rural Zone
- RuL(Cad)** Rural Living (Cadell) Zone
-  Waste Landfill (closed)
-  500 metre buffer
-  Zone Boundary

**MID MURRAY COUNCIL  
 CADELL (HORTICULTURE)  
 POLICY AREA 13  
 WASTE LANDFILL BUFFER**

- (b) the location of the dwelling will not inhibit the continuation of farming, other primary production or other development that is in keeping with the provisions of the Precinct
  - (c) no valid planning authorisation to erect a dwelling on that allotment exists
  - (d) no other application for development authorisation is being made or has been made and is not yet determined for a dwelling on that allotment
  - (e) it does not result in more than one dwelling per allotment
  - (f) it has a 40 metre vegetated buffer setback, or a 300 metre open buffer, to all adjoining property boundaries, unless it is located adjacent to a road reserve or existing non-horticultural activities
  - (g) it is sited in accordance with EPA Guidelines for Separation Distances 2007, or any guideline published by the Environment Protection Authority, and is not located within 500 metres of the Waste Management Facility identified in [Fig RM/1](#).
  - (h) the requirements of the SA Health Commission and Local Government for wastewater and effluent disposal are met or provided for in the development application
  - (i) it will not be located on land subject to inundation by a 1 in 100 year average return interval flood event or on land fill which would interfere with the flow of such flood waters
  - (j) the location of the dwelling maximizes the separation distance from farming and horticultural activities through siting options such as locations in close proximity to a public road or a drainage reserve.
- 38** Tourist accommodation should not be converted to dwellings and should be designed to preclude the conversion of buildings into dwellings such as through shared facilities, common utility services, grouped accommodation and/or shared parking.
- 39** Industry and warehousing should only be developed if it supports primary production, processing, storage and distribution of local primary produce or products produced on the same site, and should be developed where:
- (a) it has a direct relationship with primary production
  - (b) it is unlikely to limit or inhibit the use of adjoining land for primary production
  - (c) the particular use requires a site in proximity to a particular natural resource or other product or materials sourced from the locality
  - (d) it will not result in the alienation of land or water resources identified as significant for primary production or ecological reasons
  - (e) the use would be inappropriate within a township.

## Precinct 2 – Rim Area (Rural Living)

### Form of development

**40** The following forms of development are **Acceptable** in Precinct 2 – Rim Area (Rural Living):

- detached dwelling
- domestic outbuilding (or ancillary building) associated with a detached dwelling
- dwelling addition.

**41** The following forms of development are **Unacceptable** in Precinct 2 – Rim Area (Rural Living):

- development listed as non-complying is generally unacceptable.

### Land division

- 42** Land division should only occur where one of the following applies:
- (a) for the realignment of existing allotment boundaries, where the resultant allotments are a minimum of 1 hectare in area
  - (b) to excise the portion of an allotment that extends into Precinct 1 – Basin Area (Horticulture), provided that the allotment within Precinct 2 – Rim Area (Rural Living) has an area of at least 1 hectare and is located greater than 500 metres from the Waste Management Facility identified on [Fig RM/1](#).
  - (c) in any other case it will create allotments of at least 2 hectares in area and is located greater than 500 metres from the Waste Management Facility identified on [Fig RM/1](#).
- 43** Where an allotment abuts land used for horticultural activities a buffer, where warranted by the potential risk of transfer of sprays, dust and noise from horticultural properties, should be:
- (a) established between the dwelling and this allotment boundary
  - (b) designed to take account of the increased risk associated with prevailing winds and topography
  - (c) established prior to a dwelling being erected and should be at least 40 metres in width
  - (d) vegetated to assist with screening of dust and chemical spray drift.

### Built form and landscaping

- 44** Development should be primarily detached dwellings and associated rural activities of a minor nature with the maximum of one dwelling per allotment.
- 45** No commercial or industrial development should be undertaken in the Precinct.
- 46** The keeping or breeding of animals should only be undertaken where nuisance due to the creation of noise, smell or risk to health is minimised.
- 47** All development should make adequate provision for disposal of effluent, wastes and water.
- 48** Buildings and structures should be located in unobtrusive locations and in particular should:
- (a) be set-back from public roads;
  - (b) be located in such a way as to maximise the retention of existing native vegetation;
  - (c) have external materials with surfaces of a low light reflective nature (not zincalume or similar material);
  - (d) be of natural colours so as to be unobtrusive, blend with the rural landscape and minimise visual intrusion; and
  - (e) be sited within a landscaped setting consisting of native trees and shrubs
- 49** Buildings should be designed so that as much stormwater as possible is retained for re-use on site through the collection of roof run-off in rainwater tanks of a size of at least 45,000 litres where mains water is not available.
- 50** Animal keeping, other than horse keeping, should be limited to:
- (a) allotments 1.0 hectare or less;
    - (i) two dogs per allotment;



- (b) allotments greater than 1.0 hectare:
- (i) two large animals such as a pig or cow per allotment;
  - (ii) two dogs per allotment;
  - (iii) 20 head of poultry per allotment.
- 51** One horse may be kept on an allotment provided such allotment has a minimum area of 1 hectare and provided the horse is accommodated within a stable or horse shelter and is hand fed.
- 52** A maximum of two horses may be kept on an allotment provided such an allotment has a minimum area of 2 hectares and provided the horses are accommodated within a stable or horse shelter and are hand fed.
- 53** Stables should conform with Standards in [Table MiMu/3](#).
- 54** Stables and associated day yards should:
- (a) be of a scale appropriate to the number of horses accommodated on the allotment;
  - (b) be constructed of materials of a high standard and maintained to ensure they do not detract from the appearance of the land;
  - (c) be landscaped with trees and shrubs as appropriate to provide screening, shade and shelter; and
  - (d) be sited to protect views from public roads.

#### **Land-fill exclusion area**

- 55** No buildings should be developed within 500 metres of the Waste Management Facility identified on [Fig RM/1](#) unless a landfill risk assessment has been undertaken to the satisfaction of the Environment Protection Authority and the recommendations of the landfill risk assessment have been implemented.

### **Precinct 3 – Settlement**

#### **Form of development**

- 56** The following forms of development are **Acceptable** in Precinct 3 – Settlement:

- dwellings (including ancillary buildings)
- educational establishment
- light industry
- local community facilities
- local shops
- minor public service depot
- motor repair station
- petrol filling station
- recreation area
- small scale tourism accommodation.

- 57** The following forms of development are **Unacceptable** in Precinct 3 – Settlement:

- development listed as non-complying is generally unacceptable.

**Built form**

- 58** Buildings and structures should not be erected on any allotment so that any portion of such building or structure would be nearer to the existing boundary of a road, street or thoroughfare than 8.0 metres unless a lesser distance is consistent with existing adjoining buildings and would not cause interference to neighbouring land or detract from the character or amenity of the locality.
- 59** Buildings should be designed with regard to the appearance, building materials, colours, siting and landscaping of existing development, so as to preserve and enhance the character of the locality
- 60** Development for local shopping and community facilities should serve the daily needs of residents in the local area.
- 61** Non-residential development should be confined to modest expansion of existing uses and where such development will not cause nuisance to residential development in the locality of the proposed use.
- 62** The erection of dwellings, alterations and additions to an existing dwelling and establishment of bed and breakfast accommodation shall comply with the following criteria:
- (a) will not be located in areas subject to inundation by a 100-year return period flood event or sited on land fill which would interfere with the flow of such flood waters;
  - (b) will be connected to an approved sewerage or common effluent disposal scheme or has an on-site waste water treatment and disposal method which complies with the Standard for the Installation and Operation of Septic Tank Systems in South Australia (including supplements A and B) as prepared by the South Australia Health Commission;
  - (c) will not have any part of a septic tank effluent drainage field or any other waste water disposal area (eg irrigation area) located within 50 metres of a bore, well or watercourse where a watercourse is identified as:
    - (i) a blue line on a current series Government Standard topographic map; or
    - (ii) any river, stream, creek or channel in which water is contained or flows permanently, intermittently or occasionally; or
  - (d) will not have a waste water disposal area located on any land with a slope greater than 20 percent (1-in-5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres;
  - (e) will not have a septic tank or any other waste water treatment facility located on land likely to be inundated by a 10-year return period flood event.

**Land division**

- 63** The minimum allotment size following a change in boundaries shall be 1200 square metres.

**PROCEDURAL MATTERS****Complying Development**

- 64** **Complying** forms of development are listed in Schedule 4 of the Development Act Regulations.

## Non-complying Development

**65** The following kinds of development are **non-complying** in the Cadell (Horticulture) Policy Area:

Caravan Park

Detached Dwelling within Precinct 1 – Cadell Basin Area (Horticulture), except where:

- (a) it is a replacement dwelling, or
- (b) it is a new dwelling where one of the following applies:
  - (i) it is located on an allotment created prior to 1 December 2011
  - (ii) it is located on an allotment of 8 hectares or more.

Horse Keeping within Precinct 3 – Settlement

Fuel Depot within Precinct 2 – Rim Area (Rural Living) and Precinct 3 – Settlement

General Industry

Group dwelling within Precinct 1 – Cadell Basin Area (Horticulture) and Precinct 2 – Rim Area (Rural Living)

Horticulture within Precinct 2 – Rim Area (Rural Living) and Precinct 3 – Settlement

Industry (except for Light Industry as it affects Lot 38, Section 128 and Section 176 River Terrace - the former River Fresh fruit processing facility) within Precinct 1 – Cadell Basin Area (Horticulture) other than:

- (a) associated with processing of primary production; or
- (b) the total floor area of buildings for manufacture, storage or associated activities does not exceed 250 square metres; and
- (c) involvement in the industry by people who are not resident on the site does not exceed two persons; and
- (d) the industry does not involve the use of vehicles exceeding eight tonnes in weight and no more than one vehicle over one tonne in weight.

Industry within Precinct 2 – Rim Area (Rural Living)

Intensive Animal Keeping

Junk Yard

Land Division, except where the boundaries of the land are located at least 500 metres from the Waste Management Facility identified on [Fig RM/1](#) and one of the following is achieved:

- (a) The division comprises a re-arrangement of allotment boundaries only and no additional allotments are created in Precinct 1 – Cadell Basin Area (Horticulture) (either wholly or partly)
- (b) The allotment is located in both Precinct 1 – Cadell Basin Area (Horticulture) and Precinct 2 – Rim Area (Rural Living) and the division involves excising of the land in Precinct 2 – Rim Area (Rural Living)
- (c) Allotments created in Precinct 2 – Rim Area (Rural Living) have a minimum size of 2 hectares
- (d) Allotments created in Precinct 3 – Settlement have a minimum size of 1200 square metres.

More than one dwelling on an allotment, except within Precinct 3 - Settlement

Tourist Accommodation in excess of five rooms or accommodation units

Motor Repair Station, except within Precinct 3 – Settlement

Organic waste processing facility

Public Services Depot, except within Precinct 3 – Settlement

Petrol Filling Station, except within Precinct 3 – Settlement

Prescribed Mining Operations

Retail Showroom

Road Transport Terminal within Precinct 2 – Rim Area (Rural Living) and Precinct 3 – Settlement

Service Trade Premises, except within Precinct 3 – Settlement

Shop within Precinct 1 – Cadell Basin Area (Horticulture):

- (a) in excess of 50 square metres; and

(b) not associated with sale of primary produce from the land

Shop within Precinct 2 – Rim Area (Rural Living)  
 Special Industry  
 Stock Sale Yard  
 Stock Slaughter Works  
 Store within Precinct 2 – Rim Area (Rural Living)  
 Waste Depot (Landfill)

### Public Notification

**66** Forms of development which are **acceptable** for the Precinct Areas are assigned **Category 1** (except where non-complying) and further the following is designated **Category 1**

Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary.

**67** Forms of development which are neither acceptable or non-complying for the Precinct are assigned **Category 2** and further the following is designated **Category 2**

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places.

## River Murray Zone – Shack Settlement Policy Area

### Introduction

The Objectives and Principles of Development Control that follow apply to the Shack Settlement Policy Areas shown on [Maps MiMu/63, 66, 67, 70, 72, 80, 83, 84, 86, 88, 89, 91, 92, 94, 97, 98, 103 to 122, 124 to 127, and 131](#) and [Figures Sh/1 to 49](#).

The policies are additional to those for the River Murray Zone and the Council Wide provisions.

### Background

The need to establish the Shack Settlement Policy Area has resulted from investigations and subsequent Government policy which determined that the tenure of existing shacks on Crown land could be converted to freehold providing specified pre-conditions were achieved. A similar approach to securing long-term tenure was adopted on freehold land, providing however environmental, access and liability matters relative to flooding were recognised as constraints and specified pre-conditions were also achieved. In most shack settlements the upper limit of dwelling construction and land division has been achieved and new infill or expansion is not envisaged given the capacity constraints for effluent management and disposal, the risk to degradation of water quality and the river bank, the consequential demand for private river structures and other development pressures arising from a gradual change of 'holiday' occupancy to permanent occupancy.

## DESIRED CHARACTER

The shack areas display an interesting physical and social character. This character stems from many factors, not the least of which is (in most holiday settlements) a close-knit built-form, high-density of development and the close physical relationship between individual residential buildings. This form contributes to developing a strong community which regularly re-establishes itself year after year at holiday times.

The Shack Settlement Policy Area is located in the flood plain and re-occurring flooding will occur from time to time. To minimise damage to buildings, building restrictions (including limitations on the alterations and additions to existing dwellings) are specified and will be strictly applied.

Whilst the main purpose of the policy area is to provide for the replacement of old elevated shacks and ground level shacks with new dwellings incorporating living areas elevated above the 1956 floodplain level, restricted additional residential development is contemplated on vacant allotments or lease sites identified within a Residential Area on the relevant Figure for the shack settlement ([Figures Sh/1 to 49](#)).

The shack settlements primarily comprise allotments but in some cases a Residential Area may comprise all lease sites on a single allotment (or a combination of both allotments and lease sites). Lease sites within a Residential Area are therefore interpreted as allotments for the purposes of development assessment where principles refer to 'allotment or lease site'. There will be only one dwelling per allotment or lease site, whichever is applicable. The upper limit of residential allotments or lease sites achievable in a defined Residential Area is represented by the allotments or lease sites identified in the Residential Area on each Figure or, in some cases by reference to an upper limit of dwellings on a Figure.

Land division creating additional allotments or lease sites within or as extensions to a Residential Area is not envisaged or desired in the Shack Settlement Policy Area unless residential infill development is specifically identified in the Figure applying to the shack settlement.

Replacement or new dwellings in a Residential Area is conditional on a connection to a community waste water management scheme. In shack areas with 4 or less identified residential allotments or lease sites in a defined Residential Area, where a community wastewater management scheme is not economically viable, replacement or new dwellings may occur within the Residential Area where other methods of waste control satisfy current legislative and Council requirements.

Building additions and alterations of ground level dwellings (dwellings with living areas at or near ground level) is discouraged and in any case will not be added to or altered to include more than one habitable storey. Elevated dwellings outside of the floodplain in this policy area are envisaged where the design and floor area limits (including the underfloor enclosure floor area provisions) relevant to a dwelling in the floodplain are applied to maintain a consistent built form character.

The lack of or limited capacity of public services and facilities (including reticulated potable water supplies and wastewater and stormwater management systems) and the need to protect the landscape and riverine environment to minimise the risk of impact on the water quality in the river, are factors that will continue to limit the range of ancillary development that is often associated with residential development in traditional urban areas. Spa pools (but not spa baths) and swimming pools and ponds are not desired in the 1956 floodplain, either within a building or at ground level, regardless of whether they are removable in the event of a flood. Such structures are not included as a potential use or activity within the maximum 15 square metres of wet area possible at ground level under an elevated dwelling. Wastewater from pools and spa pools will not be diverted to the community wastewater systems and no new or enlarged on-site septic tanks or other effluent storage is desired in the 1956 floodplain or within 100 metres of normal pool level of the River Murray.

The policy area, like most of the River Murray Valley, is within a designated General Bushfire Risk Area although the hazard risk varies from shack settlement to shack settlement. Building within restricted building envelopes on vegetated sites, utilising existing cleared land within an allotment or lease site, use of appropriate materials, and incorporating additional water storage for an independent water supply for fire fighting are all features of development that should take precedence over removal of native vegetation. In some cases it will not be appropriate to build in the same alignment as other dwellings, or construct dwelling extensions or replace an existing ground level shack with a larger

elevated dwelling (i.e. one with greater site coverage) where there is an unreasonable impact on native vegetation.

The Policy Area has and will continue to exhibit a unique residential character and physical form of development that seeks to achieve the following:

- (a) the protection of the waterfront between the established dwellings and the centreline of the river from new buildings and structures and alteration of the existing land forms and river bank;
- (b) visual improvement of the waterfront (between established dwellings and the centreline of the river) by removing unlicensed, unsafe or unsightly private structures on the river bank or in the river;
- (c) a waterfront which encourages public use but without overuse or damaging the river environment caused by the duplication of the number and type of private structures;
- (d) development that is designed and sited with appropriate regard to topography and natural features is preferable to development that only achieves the quantifiable (measurable) standards that seeks to maximise floor space, site coverage and building height;
- (e) buildings that are designed and sited with appropriate regard to site conditions, environmental constraints and energy efficiency are preferable to designs and floor plans for buildings that seek to maximise views at the expense of others' views or encroach closer to the river front;
- (f) buildings which are of a contemporary design (and are consistent with Design and Siting Standards in [Table MiMu/4](#)) with a mass and scale, achieved by articulated plan forms, which are compatible with the natural features of the locality and do not dominate or tower over dwellings on adjoining allotments or lease sites or otherwise appear uncharacteristically prominent in the locality;
- (g) buildings that take account of the limitations created by narrow allotments or lease sites and particularly the constraints associated with the location, canopy and root zone of mature trees and native vegetation;
- (h) buildings of individual designs (but not including designs that are identified as inappropriate in [Table MiMu/4](#)) which contribute to a consistent architectural theme through external building colours that blends with the natural environs. Design and floor plans for buildings of individual design should have an absence of fussy architectural detailing, inclusion of verandahs, appropriate pitch and forms of roof, limits on building height and building envelopes and appropriate use of materials;
- (i) building designs which avoid direct overlooking of neighbouring living area windows so that new dwellings do not overly reduce the residential privacy and amenity of internal living areas;
- (j) building designs which incorporate verandahs on one or more sides (either facing the river or the principal private or public road frontage) notwithstanding there will be some overlooking of neighbouring outdoors spaces;
- (k) retention and protection of existing tree planting and their indigenous character and limiting new planting to informal landscaping with native species;
- (l) minimise the building envelope of new dwellings and outbuildings to prevent removal or reduce trimming of mature vegetation and native vegetation;
- (m) minimal or no fencing, recognising that the retention and enhancement of the desired open and vegetated landscape character will take precedence over fencing around individual dwelling sites or allotment boundaries;
- (n) any fencing that is required will be of an open design such as post and wire strand construction so as not to impede floodwaters or fluctuating pool levels;

- (o) development that retains the natural variations in the landform or sited to minimise the requirement for excavation or filling to modify to the natural land form;
- (p) development, including roads, driveways and the like that provides for the continuation of flows along natural drainage lines or retains natural depressions rather than divert, retain or detain stormwater or floodwaters.

Development in some shack settlements should conform to Land Management Agreements (refer to the current Certificate of Title) where relevant, in addition to the development assessment policies applying in the Policy Area.

A number of shack settlements have land identified as a Common Area. It may be an area for communal use created as part of a community title division or an area (private land, public reserve or Crown waterfront reserve) historically associated with communal use within a particular shack settlement. It is envisaged a Common Area will generally be free of buildings unless directly associated with infrastructure for essential services or shared facilities (eg public toilets where connected to an approved community wastewater management scheme, power supply infrastructure, water supply or storage, telecommunications, lighting, fire risk management, waste collection areas or similar) or other structures such as picnic facilities, tables, seating, shade shelters, structures for shared use for visitors and residents, information signage, playground equipment or similar. The principal activities will be related to passive recreation, development to protect the riverbank, natural landform or vegetation (including landscaping with suitable species), short term car and trailer parking and loading areas (as opposed to formal kerbed / sealed carparks where possible, and not permanent caravan or vehicle/boat storage areas). Camping grounds, caravan parks, indoor sport buildings and club rooms or similar buildings are not generally envisaged. Replacement of lawfully developed buildings and structures and alterations and additions to existing buildings and structures in Common Areas is envisaged, subject to appropriate regard to environmental constraints, waste management, potential impact on water quality and stormwater management, impact on residential amenity of the particular locality, visual impact and the appearance of development as viewed from the river and public roads. It is recognised that in some cases the Common Area may historically be the location of river front development such as river structures (jetty, floating pontoon) or a boat ramp for public and/or private use, which is accessible to the public or shack settlement residents and this limited range of development and land use activity may continue where it already exists.

Parts of the policy area extend up to the water's edge but are a public reserve. The proliferation of structures in the river limits the use of the water's edge for recreation activities and restricts water traffic. River structures for recreation and boating purposes will be confined to locations where the depth of water is low to limit mooring of watercraft against banks. River structures should be constructed to appropriate standards to protect local amenity and the environment and where possible will be shared amongst a number of users.

The practise of renting dwellings as holiday accommodation is anticipated to continue. Other forms of tourist accommodation are not envisaged.

Acceptable forms of development are those that contribute to the desired character of the River Murray Zone as it applies to the Shack Settlement Policy Area. The following forms of development are **acceptable**:

- a replacement dwelling, or a new dwelling on a vacant allotment or lease site within a defined Residential Area in [Figures Sh/1 to 49](#), which is connected to a community wastewater management scheme and includes all living areas elevated above ground level to minimise the risk of flooding;
- alterations and additions to an existing dwelling (in accordance with total floor area and site coverage restrictions) including elements such as a staircase, balcony, deck or verandah;
- an enclosed outbuilding which is a garage or shed, or open sided structure such as a carport, pergola, garden shelter or gazebo (in accordance with total floor area and site coverage restrictions);
- alterations and additions to an enclosed outbuilding or open sided structure (in accordance with total floor area and site coverage restrictions);



- filling or excavation (or excavation and filling) of land where it is in direct consequence of and reasonably incidental to building work for an acceptable form of development where it does not involve any excavation or filling (or excavation and filling) exceeding a vertical height of 1 metre;
- minor recreation uses such as playground, BBQ area, picnic shelter that is accessible to the general public;
- access roadways and essential residential infrastructure;
- a jetty or a floating pontoon (including alterations and additions) provided there is not more than one river structure per dwelling;
- water supply pump and related infrastructure provided there is not more than one per dwelling site;
- water storage tank (above or below ground), associated tank stand and dedicated water storage tank for fire fighting purposes;
- minor structure comprising a domestic pump shed, pump house or meter box;
- land division in the form of a boundary realignment to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures; and
- land division to realign a public road reserve or to create a public road or public reserve.

The following forms of development are **unacceptable**:

- all forms of farming, horticulture, viticulture and land based aquaculture;
- any structure for private use including pergolas or similar (solid roof or permeable roofing material) that is sited between a dwelling and the river side of the allotment or lease site (but not including a river structure);
- boat ramp (other than alterations and additions to an existing lawfully constructed and licensed boat ramp);
- caravan park, tourist park or caravan store/storage area;
- camping ground;
- dwelling on land not within a Residential Area identified in the Figure relevant to the shack settlement;
- dwelling (other than an elevated dwelling in the Residential Area of a shack settlement where the total number of allotments or lease sites is 4 or less) on a vacant allotment or lease site, or a replacement dwelling, not connected to an approved community wastewater management scheme;
- horse keeping;
- houseboat mooring or any buildings or structures associated with the management or operation of houseboat mooring facilities on adjacent land;
- industry;
- intensive animal keeping;
- land division involving the creation of additional allotments or lease sites or boundary alignments that result in additional allotments or lease sites with a frontage to the Flood Plain Policy Area or Conservation Policy Area;
- outdoor advertising other than information signage
- second storey addition to dwellings with ground floor living areas;
- shop (except where it is in association with and ancillary to an existing tourist or recreation facility);
- solid fencing;
- spa pools and swimming pools or ponds; and
- store (including a shed or garage on a vacant allotment or lease site).

## OBJECTIVES

- Objective 1:** Development that contributes to the desired character of the policy area.
- Objective 2:** Maintenance and enhancement of the natural character of the river valley in particular waterfront land.
- Objective 3:** Buildings, or structures, or levee banks, or earth mounds which do not impede or will not be damaged by flood waters.
- Objective 4:** Boat ramps, jetties and water pumps limited in number and designed to serve the locality.



**Objective 5:** Upgrading or replacement of existing dwellings to assist environmental improvements and reduce impact of damage by flood waters.

**Objective 6:** Land division limited to that for essential infrastructure or public purposes without increasing the number of vacant allotments.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Form of Development

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the policy area.
- 2 Development should:
  - (a) be visually compatible with the area in which it is located;
  - (b) not cause erosion of the riverbank or adversely impact upon the ability to maintain the river frontage in a stable condition;
  - (c) avoid adverse impact on the environment by the appropriate location of vehicle access to the river;
  - (d) maintain existing public access routes to waterfront reserves and provide new waterfront reserves through land division;
  - (e) not impair the use or management of natural resources for the best interests of the, cultural, historic or other heritage value, including Aboriginal sites of anthropological, archaeological or historic significance;
  - (f) be landscaped with locally indigenous species in order to enhance the amenity of the area and to screen buildings from public view;
  - (g) be designed to minimise potential risk from bushfire hazard;
  - (h) not result in building work, buildings or building additions of masonry construction (except in relation to ground level wet areas associated with an elevated dwelling);
  - (i) where second-hand or re-used materials for external cladding of any building is proposed, they must be consistent with the guidelines in [Table MiMu/4](#) and the materials should be of sound condition, good quality and painted an appropriate colour to harmonise with the surrounding environment; and
  - (j) make provision for a potable water supply in accordance with projected demand.
- 3 Caravans, buses, motor homes, garages, sheds or any other type of similar structure or outbuilding should not be used as a dwelling or be altered to include a toilet, shower or laundry.
- 4 Vacant allotments or lease sites can be used for the construction of a dwelling provided the allotment or lease site is within the Residential Area identified in the relevant Figure as listed in the table below:
  - (a) the allotment or lease site has a connection to a community waste water management scheme that complies with the relevant legislation applying to that type of system; or
  - (b) in the case of shack areas that comprise less than five residential allotments or lease sites, or the allotment or lease site is not within the 1956 floodplain of the River Murray, or not within 100 metres of pool level of the River Murray, provision is made as part of the development for a waste treatment and disposal system that complies with the relevant public and environmental health legislation applying to that type of system and is in accordance with the requirements of the Local Government for wastewater and effluent disposal.

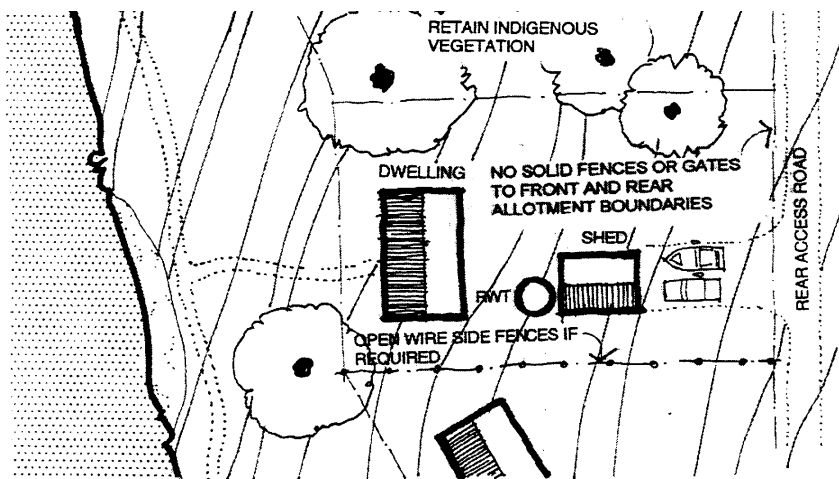
<b>Shack Area</b>	<b>Figure Reference</b>	<b>Policy Area Map</b>
Baseby Reserve	<a href="#">Fig Sh/44</a>	<a href="#">MiMu/98 and 124</a>
Beaumonts	<a href="#">Figs Sh/4 and 5</a>	<a href="#">MiMu/66</a>
Big Bend	<a href="#">Fig Sh/20</a>	<a href="#">MiMu/84 and 107</a>
Big Bend Landing	<a href="#">Fig Sh/19</a>	<a href="#">MiMu/84</a>
Blanchetown	<a href="#">Fig Sh/12</a>	<a href="#">MiMu/80 and 104</a>
Bolto Reserve	<a href="#">Fig Sh/43</a>	<a href="#">MiMu/98 and 125</a>
Bowhill	<a href="#">Fig Sh/32</a>	<a href="#">MiMu/92 and 121</a>
Brenda Park	<a href="#">Figs Sh/5, 6 and 7</a>	<a href="#">MiMu/66 and 70</a>
Brinkleys	<a href="#">Figs Sh/36 and 37</a>	<a href="#">MiMu/90 and 119</a>
Cadell Lagoon	<a href="#">Fig Sh/2</a>	<a href="#">MiMu/67</a>
Caloote Landing	<a href="#">Fig Sh/46</a>	<a href="#">MiMu/97 and 122</a>
Caurnamont	<a href="#">Fig Sh/30</a>	<a href="#">MiMu/91 and 92</a>
Chucka Bend Road	<a href="#">Fig Sh/32 and 48</a>	<a href="#">MiMu/92 and 121</a>
Coolcha	<a href="#">Fig Sh/35</a>	<a href="#">MiMu/94</a>
Cosey Corner	<a href="#">Fig Sh/5</a>	<a href="#">MiMu/66</a>
Cowirra	<a href="#">Fig Sh/42</a>	<a href="#">MiMu/98 and 126</a>
Five Mile	<a href="#">Fig Sh/40</a>	<a href="#">MiMu/89</a>
Frahns	<a href="#">Fig Sh/41</a>	<a href="#">MiMu/98</a>
Forster	<a href="#">Fig Sh/26</a>	<a href="#">MiMu/88 and 112</a>
Freemans Landing	<a href="#">Fig Sh/3</a>	<a href="#">MiMu/66 and 67</a>
Greenways Landing	<a href="#">Fig Sh/21</a>	<a href="#">MiMu/85 and 108</a>
Idyll Acres	<a href="#">Fig Sh/7</a>	<a href="#">MiMu/70</a>
Julanker Holdings	<a href="#">Fig Sh/33 and 49</a>	<a href="#">MiMu/91</a>
Kroehns Landing	<a href="#">Fig Sh/22</a>	<a href="#">MiMu/86 and 109</a>
Langs Landing	<a href="#">Figs Sh/15 and 16</a>	<a href="#">MiMu/83 and 105</a>
Lake Carlet	<a href="#">Figs Sh/35 and 36</a>	<a href="#">MiMu/91</a>
Marks Landing	<a href="#">Figs Sh/14 and 15</a>	<a href="#">MiMu/83 and 105</a>
Marne River	<a href="#">Fig Sh/23</a>	<a href="#">MiMu/86 and 110</a>
McAuleys	<a href="#">Fig Sh/13</a>	<a href="#">MiMu/83 and 105</a>
McBeans Pound	<a href="#">Fig Sh/11</a>	<a href="#">MiMu/72</a>
Morphett Flat	<a href="#">Fig Sh/5</a>	<a href="#">MiMu/66</a>
Murbko	<a href="#">Fig Sh/10</a>	<a href="#">MiMu/71 and 103</a>
North Neeta	<a href="#">Fig Sh/45</a>	<a href="#">MiMu/97</a>
North West Bend	<a href="#">Fig Sh/4</a>	<a href="#">MiMu/66</a>
Old Teal Flat	<a href="#">Fig Sh/34</a>	<a href="#">MiMu/91</a>
Pellaring Flat	<a href="#">Fig Sh/40</a>	<a href="#">MiMu/89</a>
Pelican Point	<a href="#">Fig Sh/9</a>	<a href="#">MiMu/70</a>
Punyelroo	<a href="#">Fig Sh/17</a>	<a href="#">MiMu/83 and 106</a>
Punyelroo South	<a href="#">Figs Sh/17 and 18</a>	<a href="#">MiMu/83 and 84</a>

Shack Area	Figure Reference	Policy Area Map
Purnong Landing	<a href="#">Fig Sh/31</a>	<a href="#">MiMu/92 and 120</a>
Riverbanks Estate	<a href="#">Fig Sh/12</a>	<a href="#">MiMu/80</a>
Rocky Point	<a href="#">Fig Sh/39</a>	<a href="#">MiMu/89 and 116</a>
Sabaruma	<a href="#">Fig Sh/25</a>	<a href="#">MiMu/86 and 111</a>
Scotts Creek	<a href="#">Fig Sh/8</a>	<a href="#">MiMu/70</a>
Scrubby Flat	<a href="#">Fig Sh/29</a>	<a href="#">MiMu/88,114 and 115</a>
Seven Mile	<a href="#">Fig Sh/38</a>	<a href="#">MiMu/90 and 117</a>
Swan Reach	<a href="#">Fig Sh/14</a>	<a href="#">MiMu/83 and 105</a>
Teal Flat	<a href="#">Fig Sh/33</a>	<a href="#">MiMu/91 and 94</a>
The Peppers	<a href="#">Fig Sh/40</a>	<a href="#">MiMu/89</a>
The Rocks	<a href="#">Fig Sh/47</a>	<a href="#">MiMu/98 and 127</a>
Trumans	<a href="#">Figs Sh/36 and 37</a>	<a href="#">MiMu/90 and 118</a>
Walker Flat Bond Street	<a href="#">Fig Sh/28</a>	<a href="#">MiMu/88</a>
Walker Flat Kiosk Drive	<a href="#">Figs Sh/26 and 27</a>	<a href="#">MiMu/88 and 112</a>
Walker Flat Mannum Road	<a href="#">Fig Sh/27</a>	<a href="#">MiMu/88 and 113</a>
Walker Flat Rob Loxton Road North	<a href="#">Fig Sh/27</a>	<a href="#">MiMu/88 and 113</a>
Walker Flat Rob Loxton Road South	<a href="#">Fig Sh/27</a>	<a href="#">MiMu/88 and 113</a>
Walker Flat Sprinkler Drive	<a href="#">Fig Sh/26</a>	<a href="#">MiMu/88 and 112</a>
Wombats Rest	<a href="#">Fig Sh/8</a>	<a href="#">MiMu/70</a>
Wongulla Lagoon	<a href="#">Fig Sh/24</a>	<a href="#">MiMu/86</a>
Wongulla Landing	<a href="#">Fig Sh/23</a>	<a href="#">MiMu/86</a>
Younghusband Holdings	<a href="#">Fig Sh/33 and 49</a>	<a href="#">MiMu/91</a>

### Built Form and Design

- 5 River character should be enhanced by orientating dwellings to the river and locating other buildings and structures to the rear of the dwelling in accordance with the following.

Figure 5.1



- 6 On allotments or lease sites in a Residential Area, the total ground area covered by buildings should not cover greater than 70% of the allotment or lease site. Buildings include but are not limited to:
- a dwelling (floor area including all additional roofed area); and
  - outbuildings including a garden shed, carport, garage, pergola, gazebo or other roofed structure (including permeable or semi-permeable roofing material such as shade sails) and other open sided structures (but not including a rainwater tank or other water storage tank or tank stand).

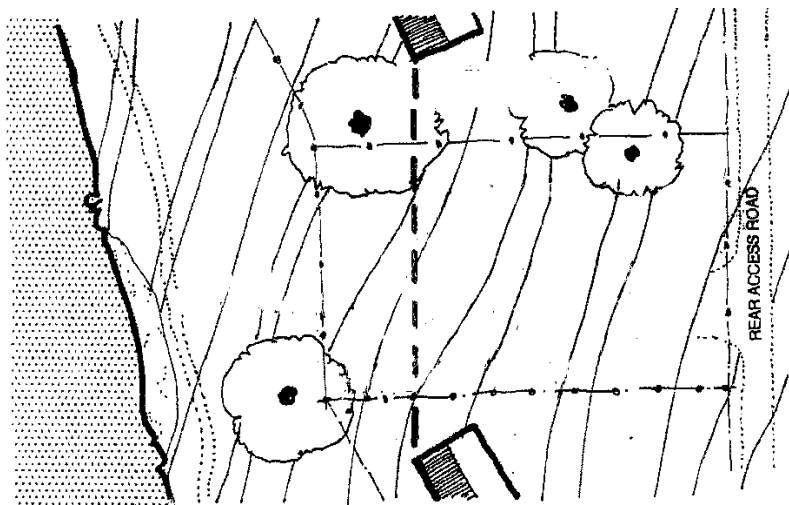
*Explanatory Note: For allotments or lease sites greater than 600 square metres, maximum site coverage will be dictated by the maximum floor area limits for acceptable building types*

- 7 A dwelling should not exceed the following:
- in the case of an elevated dwelling, a maximum elevated floor area of 300 square metres (i.e. excluding any permitted underfloor enclosure and ground level wet area, and not including any deck, verandah or balcony); and
  - in the case of a ground level dwelling, a maximum total floor area of 90 square metres but not including the floor area described in part (c) and not including any deck, verandah or balcony;
  - in any case, a maximum total floor area of 15 square metres at ground level for use as a wet area (a bathroom, toilet or laundry or any combination).

*Explanatory Note: On some allotments or lease sites it may not be possible to achieve the upper limit of the above floor areas if the development will result in greater than 70% site coverage by buildings (existing and proposed) on the allotment lease site. The location of native vegetation and or the application of building setback requirements may also limit the ability to undertake development up to the maximum site coverage or maximum building floor area.*

- 8 The construction, alteration or addition to a dwelling should not occur where one or more of the following is achieved:
- the principal façade of the proposed dwelling is sited forward (in the direction of the river) of the principal facade of a dwelling on an adjoining allotment or lease site on either side as illustrated in the following figure:

Figure 8.1



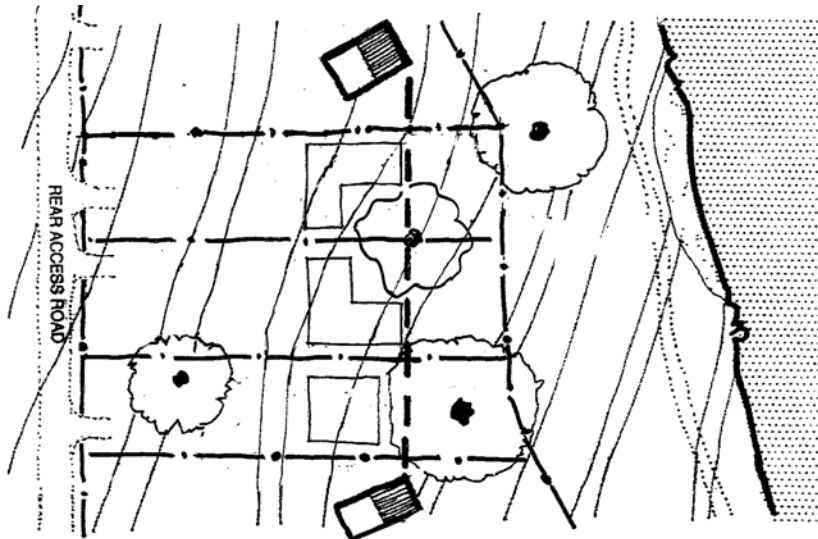
*Explanatory Note: The bold line defining the buildings in the sketch represents the outer walls of a dwelling. The dashed line between the dwellings represents the alignment of the principal façade (river side) of each of the existing dwellings at their closest point.*

The dashed line is referred to as the 'notional principal facade line' and is the appropriate alignment of the principal facade of a new dwelling on an allotment or lease site in between the existing dwellings. The principal facade in this context refers to the main wall of the building which faces the river, but not including open decks, stairs or roofed balconies.

Where one or more of the allotments or lease sites either side of the development site do not contain a dwelling, the setback of the principal façade of the proposed dwelling should be determined based on a location that will minimise obstruction to, or loss of views from possible future dwelling sites on neighbouring allotments or lease sites (also see Figure 8.2).

Verandahs, balconies and decks should not extend more than 3.0 metres further forward (nearer to the river) of the notional principal façade line (on the river side) of a dwelling. For deeper verandahs, balconies and decks on the river side of the dwelling, the building setback of the principal façade of the proposed dwelling from the allotment boundary or lease site boundary (on the river side) will need to be increased to provide the greater depth for the verandah balcony or deck. The location of native vegetation in the vicinity of the notional principal facade line may also require a greater setback of the dwelling and any associated verandahs, balconies and decks (also see Figure 8.2).

Figure 8.2

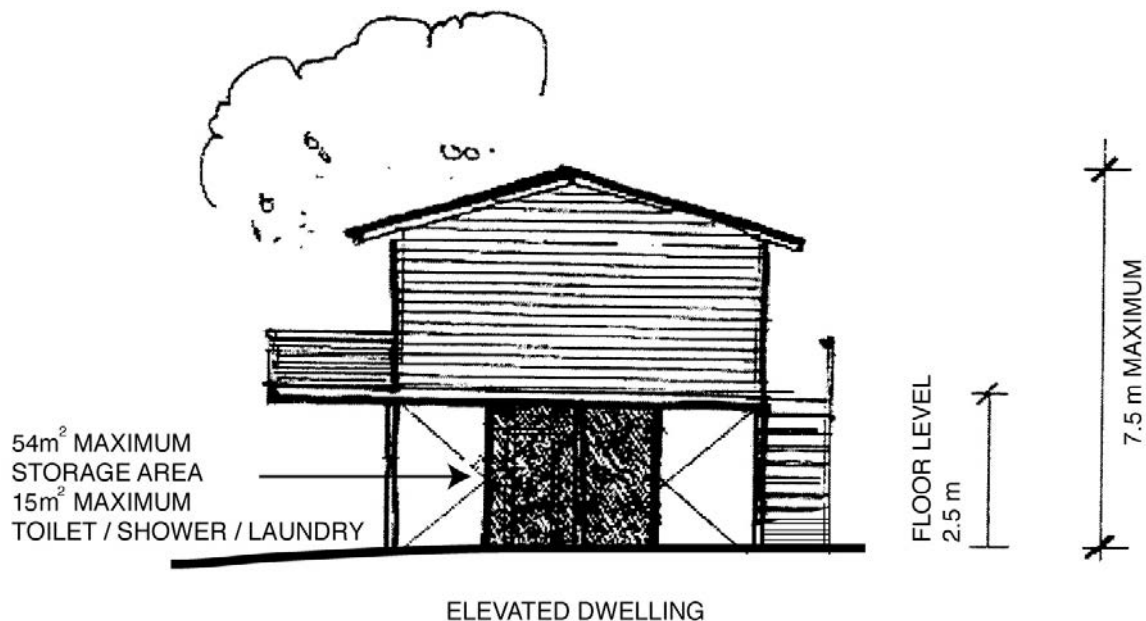


*Explanatory Note: Figure 8.2 illustrates the possible building alignment and building envelope for an elevated dwelling on a vacant allotment or lease site where there are not necessarily buildings on allotments or lease sites either side of the development site. Figure 8.2 can also be used to determine the notional principal facade line relevant to a development on a site where one or more of the adjoining allotments or lease sites contains an approved but not yet constructed development. The building envelope may not achieve the absolute minimum setback possible (refer the dashed line between existing dwellings which is the notional principal facade line) and should incorporate a greater than minimum setback from the notional principal facade line due to the location of site constraints such as native vegetation on the land or the overhang of native vegetation on adjoining allotments.*

*The concept of the notional principal facade line is not directly relevant to development outside of the floodplain or allotments or lease sites that are not positioned as illustrated in Figure 8.1 or 8.2 ie development on the opposite side of the public road with no direct frontage to a reserve on the river front, the river bank or other part of the river system such as a lagoon). In all other circumstances, the design and siting of new built form and alterations and additions to existing built form should have regard to the siting and amenity of habitable buildings on neighbouring properties.*

- (b) the development encloses an existing verandah or deck or similar outdoor area on the river side of the existing dwelling;
- (c) a verandah, pergola, deck or balcony extends more than 3.0 metres forward (towards the river) of the notional principal facade line relevant to a development site (the notional principal facade line as illustrated in Figure 8.1);

- (d) the development will result in the requirement for increased capacity of a septic tank holding tank or the provision of a septic tank holding tank where one does not exist (but not including development in a Residential Area in a shack settlement comprising less than five allotments or lease sites identified in the relevant Figure, or on an allotment or lease site in a Residential Area that is outside of the 1956 floodplain of the River Murray);
- (e) the dwelling, or the alteration and addition, will be located partly or wholly within the canopy drip line of a tree that has a circumference (measured at a point 300mm above the base of the tree) of two metres or more.
- 9 Buildings, including alterations and additions involving building work (other than fencing, river structures and retaining walls) such as carports and verandahs or similar, should be set back at least 1.0 metre from side boundaries.
- 10 A dwelling should be in accordance with the following:
- one elevated habitable storey with a maximum floor to ceiling height of 2.7 metres;
  - a maximum ceiling to roof height of 1.8 metres;
  - an average underfloor clearance of 2.5 metres and in any case not less than 2.3 metres and not more than 2.7 metres; and
  - a total combined building maximum height of 7.5 metres.



*Explanatory Note: The underfloor clearance is measured by determining the distance between the underside of the elevated floor level and the following (whichever is applicable):*

- *for vacant/undeveloped sites – lowest and highest points of natural ground level prior to any proposed cut and fill; or*
  - *modified sites - lowest and highest points of existing ground level prior to the proposed development*
- 11 An elevated dwelling should have a minimum clearance of 2.3 metres to the underside of bearers, unless evidence is provided that a reduced clearance will provide a floor level of the elevated living area above the 1956 flood level.
- 12 An elevated dwelling should locate all living areas such as lounge/dining, family rooms, sunroom, kitchen and bedrooms and any room capable of being used as a bedroom on the first/elevated level, and the dwelling should not include:

- (a) more than three wet areas (and no more than one at ground level and in any case not exceeding 15 square metres in total floor area at ground level); and
- (b) more than one room that is capable of being used as a kitchen.

**13** The underneath area of an elevated dwelling:

- (a) should not be used for living purposes (lounge/dining, family rooms, sunroom, kitchen and bedrooms and any room capable of being used as a bedroom) nor incorporate internal walls or cladding (other than related to a wet area);
- (b) may only be used and enclosed for vehicle (boat and car) and other domestic storage purposes.

**14** The underneath area of an elevated dwelling should only be enclosed (excluding the 15 square metres maximum of allowable wet area) in accordance with the following:

- (a) the floor area enclosed by any of the above acceptable methods of enclosure does not exceed 54 square metres in total floor area;
- (b) notwithstanding part (a), at least one third of the underfloor area remains open (not enclosed) from the principal river elevation through to its opposite elevation (without screening or walls whether permanent or removable) such that there is at least one underneath area that is permanently open on three sides from the river side through to the opposite elevation;
- (c) the enclosure is designed to open up to allow flood water to flow through the enclosure or is comprised of panels that can be easily removed to a site above the 1956 flood plain in the event of a flood;
- (d) acceptable methods of enclosure are: roller doors; tilt-up panel doors; roller blinds/awnings or similar; removable panels that can be detached from the support structure and handled easily by two people without mechanical assistance; and external cladding (without internal lining) screw fixed spanning the width of one removable panel (such as cement fibre sheeting, pre-coated steel or timber);
- (e) where removable panels are proposed:
  - (i) no panel exceeds the dimensions of 3 metres by 2.7 metres;
  - (ii) the panels are designed and incorporate materials that allow easy removal and handling, without requiring demolition, destruction or engineering assistance to achieve removal;
- (f) the method of enclosure or other internal fittings and fixtures does not include:
  - (i) permanent fixed cladding
  - (ii) cladding fixed to permanent framework
  - (iii) external cladding spanning more than one removable panel width
  - (iv) internal cladding
  - (v) sliding doors or glass doors and floor-ceiling windows
  - (vi) floor fixtures and coverings
  - (vii) ceiling linings other than where the underside of an elevated dwelling must be protected with a non-combustible sheet material to meet the requirements of the relevant legislation to comply with buildings constructed in bushfire risk areas

- 15** Development, including alterations and additions to any existing building, should display a built form consistent with the Desired Character and be in accordance with [Table MiMu/4](#) to:
- (a) provide visual interest through building elements include verandahs, balconies, integrated roof designs and pitches, and building materials and finishes which complement each other and the riverine character of the locality; and
  - (b) minimise the bulk and scale of buildings by limiting building modules to a maximum single rectangle of no more than 100 square metres and building additions to approximately 50 square metres.

### **Outbuildings and Structures**

- 16** An outbuilding or open sided structure should only be constructed if it is in conjunction with a dwelling on the same allotment or lease site.
- 17** Outbuildings or open sided structures (but not including a water storage tank, a tank stand or a pump shed) should be limited in accordance with the following:
- (a) one enclosed outbuilding for domestic storage per allotment or lease site, provided the total floor area does not exceed 54 square metres;
  - (b) one open sided structure (whether free standing or attached to the enclosed outbuilding) per allotment or lease site such as a pergola, gazebo or other similar type roofed structure, provided the total floor area does not exceed 36 square metres.
- 18** An outbuilding or open sided structure (whether freestanding or attached to one another) should not:
- (a) be in the form of shipping containers or other similar portable structures;
  - (b) be attached to or closer than 1.0 metre to the dwelling; and
  - (c) include a wet area.
- 19** An outbuilding or open sided structure (whether freestanding or attached to one another) should:
- (a) be located behind the dwelling, not the river side of the dwelling, so as not to detract from the character of the waterfront;
  - (b) be substantially smaller in building envelope, height and scale than the dwelling;
  - (c) have a roof pitch between 15°-25°;
  - (d) have a maximum roof span of 6 metres and a maximum wall/post height of 3.2 metres;
  - (e) in the case of an enclosed outbuilding, be fitted with roller doors, openings, or similar on two ends or sides (whichever elevations face the direction of the river flow); and
  - (f) in the case of an open sided structure, remain open on all sides.
- 20** An above ground rainwater tank and associated stand should only be erected in association with an existing dwelling and achieve the following:
- (a) be located behind or under the dwelling, not the river side of the dwelling so as not to detract from the character of the waterfront;
  - (b) rainwater tanks of greater than 25 kilolitres should be constructed of traditional corrugated iron;
  - (c) tanks for smaller storage of 25 kilolitres or less may be plastic (other than tanks associated with storage for fire fighting), fibreglass and concrete tanks;



- (d) stormwater from downpipes and tank overflows should be directed away from buildings and not concentrated in any one location; and
- (e) be appropriately secured to prevent the tank and stand from being dislodged in the event of a flood.

**21** A rainwater tank and associated stand should be sited to be unobtrusive when viewed from the River Murray and nearby public roads (other than a tank associated with an independent water supply for fire fighting that may be located in reasonable proximity to a public or private road in order to be easily identified and accessed in the event of a fire).

### **Pools and Spa Pools**

**22** A spa pool or swimming pool should not be developed unless it is for the replacement of a lawfully developed spa pool or swimming pool, and the replacement spa pool or swimming pool should not:

- (a) be increased in size;
- (b) be located between the dwelling and the river;
- (c) dispose of associated wastewater to land in the 1956 flood plain or a community wastewater management scheme.

### **Fencing**

**23** Fencing should be avoided or where proposed it is only to define an allotment boundary or individual lease site and should:

- (a) be of an open design (not solid) so as to not impede water flow (post and wire or similar open style fencing)
- (b) be 1.2 metres or less in height above the lowest of the two adjoining ground levels; and
- (c) be of a galvanised finish or finished in neutral colours which blend with the natural colours of the landscape; and
- (d) in the case of tubular style fencing, be constructed in sections such that those sections can be easily removed by two people without mechanical assistance the event of a flood.

### **Land Division**

**24** Land should not be divided unless the division is for the purpose of any of the following:

- (a) the creation of an allotment for essential infrastructure or public purpose such as a recreation reserve;
- (b) a boundary realignment that does not result in additional allotments or a new allotment with frontage to the Flood Plain Policy Area.

**25** Allotments should be designed to:

- (a) accommodate desired forms of development without adverse impact on adjoining development;
- (b) allow safe and efficient drainage from each with provision for on-site harvesting;
- (c) locate boundaries with minimal interference to trees and other vegetation;
- (d) allow safe and convenient vehicular access to each allotment via an all weather public road;

- (e) avoid the creation of new roads or otherwise locate new roads behind existing dwellings, rather than between existing dwellings and the public waterfront reserve);
- (f) provide a public reserve at least 30 metres in width above normal pool level along the water frontage or, where this is not practicable, the provision of the maximum possible width of reserve above pool level along the water frontage; and
- (g) support building envelopes that do not overlap with the canopy drip line of a tree or trees with a trunk circumference (measured at a point 300 millimetres above the base of the tree) of 2 metres or more, and or do not require clearance of such trees.

## Waste

**26** Sewage and sullage should be disposed in accordance with the following:

- (a) where the total number of allotments or lease sites in a Residential Area identified in a Figure for the relevant shack settlement is five or more, a community waste water management system that complies with the relevant Department of Health legislation;
- (b) other authorised waste treatment and disposal systems that complies with the relevant Department of Health legislation where effluent is not stored or disposed on the flood plain;
- (c) a septic tank holding tank where the total number of allotments or lease sites in a Residential Area identified in a Figure for the relevant shack settlement is less than five and there is no more than one holding tank per dwelling.

**27** No effluent or sewage disposal area should be located in the Policy Area.

**28** Pump out facilities or holding tanks for houseboat effluent or other effluent not associated with existing residential development should not be located in the Policy Area.

## Complying Development

**29** No forms of development are **complying** in the Shack Settlement Policy Area.

## Non-complying Development

**30** The following forms of development are **non-complying** in the Shack Settlement Policy Area:

Advertisement and/or advertising hoarding, except where the advertisement and/or advertising hoarding achieves the following:

- (a) is adjacent to a road with a speed limit equal to or less than 80 km/h
- (b) has an advertisement area of 2 square metres or less and achieves all of the following:
  - (i) the advertisement relates entirely to a lawful use of land
  - (ii) the advertisement is erected on the same allotment as the use it seeks to advertise
  - (iii) the advertisement will not result in more than two advertisements on the allotment at any one time.

Airstrip or airfield

Alterations or additions to an existing dwelling (including elements such as a staircase, balcony, deck or verandah), except where the development satisfies all of the following:

- (a) within a shack settlement identified in [Figures Sh/1 to 49](#) where there are 5 or more allotments or lease sites identified in the Residential Area for the relevant Shack Settlement Policy Area and the existing dwelling is connected or proposed to be connected (as part of the application) to a Community Wastewater Management Scheme that complies with the relevant public and environmental health legislation applying to that type of system

- (b) a verandah, pergola, deck, stairs or balcony do not extend more than 3.0 metres beyond the notional principal facade line (as depicted in Principle of Development Control 8 and Figure 8.1 or 8.2) when measured from the notional principal facade line in the direction of the river or other part of the river system such as a lagoon (satisfying this exception is not intended to apply to development outside of the floodplain or allotments or lease sites that are not positioned as illustrated in Figure 8.1 or 8.2 ie not applicable to development on the opposite side of the public road (or common access road) with no direct frontage to a reserve on the river front, the river bank or other part of the river system such as a lagoon)
- (c) the dwelling does not (or will not) exceed one habitable storey in height (excluding the elevation to minimise the potential for personal or property damage as a result of a flood)
- (d) if the underfloor area beneath the existing elevated dwelling is to be enclosed or is to remain enclosed then all of the following must be satisfied:
  - (i) the area should only be used for storage purposes or vehicle parking
  - (ii) the maximum floor area that may be enclosed (including any existing enclosed area at ground level) should not exceed 54 square metres
  - (iii) the area is enclosed using roller doors and/or removable panels, and each removable panel does not exceed the dimensions of 3 metres by 2.7 metres
  - (iv) the area has no internal walls, partitions or cladding.
- (e) in the case of an elevated dwelling, the underfloor area beneath the elevated dwelling that is to be enclosed or is to remain enclosed for use as a wet area (i.e. shower, toilet and or laundry only) in addition to the enclosed 54 square metres storage area, does not exceed 15 square metres (including the floor area of any other existing wet area at ground level on the allotment or lease site, whether attached to the dwelling or freestanding)
- (f) in the case of a dwelling at ground level (which includes any dwelling with a habitable floor elevated less than 2.3 metres above ground level), alterations and additions do not comprise a second storey addition and will not increase the total floor area of the dwelling so that it is greater than 90 square metres (excluding a toilet, shower and/or laundry of up to 15 square metres, and excluding a verandah, balcony or deck).

Amusement machine centre  
 Camping ground  
 Caravan park or tourist park  
 Cemetery  
 Commercial forestry  
 Community centre  
 Consulting room  
 Crematorium  
 Dairy

Dwelling, (including the replacement of an existing dwelling), except where the dwelling is an elevated dwelling (including the circumstances of development involving the replacement of a ground level dwelling on land outside of the 1956 flood plain) and where the development satisfies all of the following:

- (a) the dwelling will either replace an existing dwelling on an allotment or lease site, or will be a new dwelling on a vacant allotment or lease site, and not more than one dwelling will exist on the allotment or lease site at the completion of the development and where all of the following are satisfied:
  - (i) the allotment or lease site is within a Residential Area identified in [Figures Sh/1 to 49](#)
  - (ii) where the dwelling is replacing an existing dwelling on an allotment or lease site, that the existing dwelling has been demolished or is proposed to be demolished as part of the application for the proposed dwelling (or under a separate Development Application that has obtained Development Approval) so that not more than one dwelling is on the allotment or lease site;

- (iii) in a shack settlement identified in [Figures Sh/1 to 49](#) where there are 5 or more allotments or lease sites identified in the Residential Area of the shack settlement, the dwelling is connected or is proposed to be connected (as part of the application) to a Community Wastewater Management Scheme that complies with the relevant public and environmental health legislation applying to that type of system
- (iv) the dwelling does not exceed one storey in height (excluding the height of any elevation required to minimise the potential for personal or property damage as a result of a flood)
- (v) a verandah, pergola, deck, stairs or balcony do not extend more than 3.0 metres beyond the notional principal facade line (as depicted in Principle of Development Control 8 and Figure 8.1 or 8.2) when measured from the notional principal facade line in the direction of the river or other part of the river system such as a lagoon (satisfying this exception is not intended to apply to development outside of the floodplain or allotments or lease sites that are not positioned as illustrated in Figure 8.1 or 8.2 ie not applicable to development on the opposite side of the public road (or common access road) with no direct frontage to a reserve on the river front, the river bank or other part of the river system such as a lagoon)
- (b) subject to (c) and (d) below, the underfloor area beneath an elevated dwelling is open and free from obstruction and is not enclosed on any side
- (c) if the underfloor area beneath the elevated dwelling is to be enclosed, the enclosure achieves all of the following:
  - (i) the area is only used for storage purposes or vehicle parking
  - (ii) the maximum floor area that may be enclosed does not exceed 54 square metres
  - (iii) the area is enclosed using roller doors and/or removable panels, and each removable panel does not exceed the dimensions of 3 metres by 2.7 metres
  - (iv) the area has no internal walls, partitions or cladding.
- (d) in addition to the enclosed 54 square metres storage area permitted under (c), a portion of the area beneath the elevated dwelling may be enclosed for use as a wet area (i.e. bathroom, toilet and or laundry), provided that the floor area of the enclosed wet area does not exceed 15 square metres.

Education Establishment  
 Farm building  
 Farming  
 Fuel depot  
 Horse keeping  
 Horticulture  
 Hospital  
 Hotel  
 Houseboat mooring  
 Indoor recreation centre  
 Industry  
 Intensive animal keeping  
 Junk yard

Land division, except where the land division is for the purpose of any of the following:

- (a) creating a public road or a public reserve
- (b) a minor adjustment of allotment or lease site boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures provided the boundary adjustment does not result in more than one dwelling on an allotment or lease site
- (c) the division is in the residential area identified in [Figure Sh/15](#) in the shack settlement identified as Marks Landing, and provided the total number of dwelling sites (allotments or lease sites) in Marks Landing does not exceed 140.

Marina or Mooring Facility  
 Motel

Motor repair station  
Nursing home  
Office

Open sided structure, except an open sided structure (including alterations and/or additions to an open sided structure, but not including a pump shed, pump house or meter box) such as carport, gazebo or pergola whether attached to an enclosed outbuilding or freestanding, where all of the following are satisfied:

- (a) there will not be more than one open sided structure on the allotment or lease site at the completion of the development
- (b) there is an existing dwelling already constructed on the allotment or lease site
- (c) the area of the open sided structure does not exceed 36 square metres
- (d) the open sided structure is not sited forward of the principal façade (river side) of the existing dwelling (or, where applicable, not forward of the notional principle facade line as depicted in Principle of Development Control 8 and Figures 8.1 and 8.2, whichever provides the greater building setback from the river);
- (e) the open sided structure has no internal walls, partitions or cladding
- (f) the open sided structure is open on all sides (unless one side is attached to an enclosed outbuilding).

Enclosed outbuilding (other than a minor structure comprising a domestic pump shed, pump house or metre box), except an enclosed outbuilding (including alterations and/or additions to an enclosed outbuilding, but not including a pump shed, pump house or meter box) which is a freestanding outbuilding where all of the following are satisfied:

- (a) there will not be more than one enclosed outbuilding on the allotment or lease site at the completion of the development
- (b) there is an existing dwelling already constructed (or proposed in the application or approved but not constructed) on the allotment or lease site
- (c) the floor area of the enclosed outbuilding will not exceed 54 square metres
- (d) the enclosed outbuilding is not sited forward of the principal façade (river side) of the existing dwelling (or, where applicable, not forward of the notional principle facade line as depicted in Principle of Development Control 8 and Figures 8.1 and 8.2, whichever provides the greater building setback from the river)
- (e) the enclosed outbuilding has no internal walls, partitions or cladding; and
- (f) where constructed in the floodplain, the enclosed outbuilding is fitted with roller doors, sliding doors and/or personal access doors on two external elevations, whichever elevations relate to the direction of the river flow.

Petrol filling station  
Place of worship  
Post office  
Pre-school  
Prescribed mining operations  
Public service depot  
Residential park  
Road transport terminal  
Service trade premises  
Shop, other than in association with an existing tourism or recreation facility  
Stadium  
Stock sales yard  
Stock slaughter works  
Store  
Swimming pool or spa pool  
Tourist accommodation  
Warehouse  
Waste reception, storage, treatment or disposal  
Wrecking yard

**Public Notification**

- 31** Forms of development which are **acceptable** for the Policy Area are assigned **Category 1** (except where non-complying) and further the following is designated **Category 1**

Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

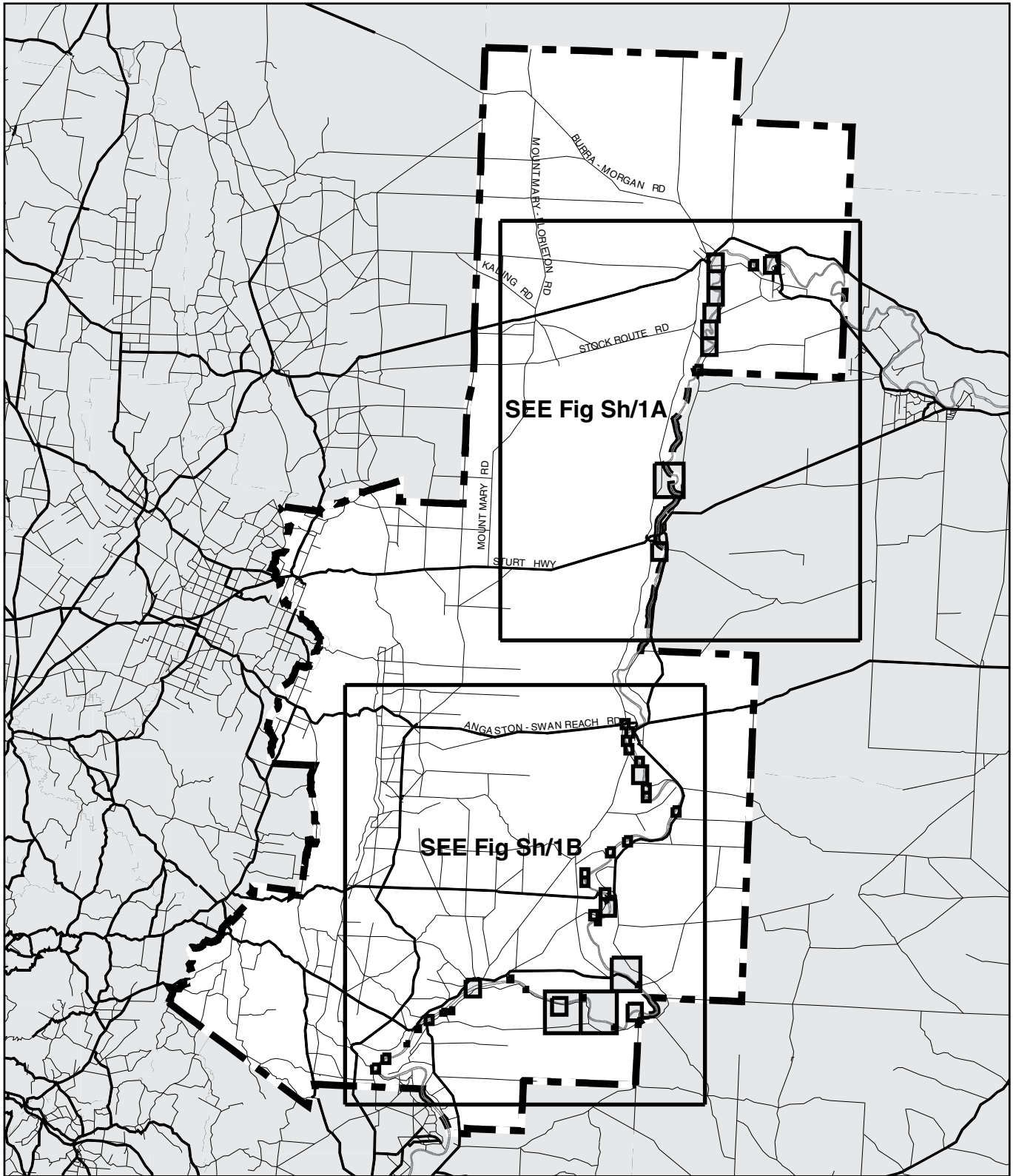
External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary.

- 32** Forms of development which are neither acceptable or non-complying for the Policy Area are assigned **Category 2** and further the following is designated **Category 2**

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places.

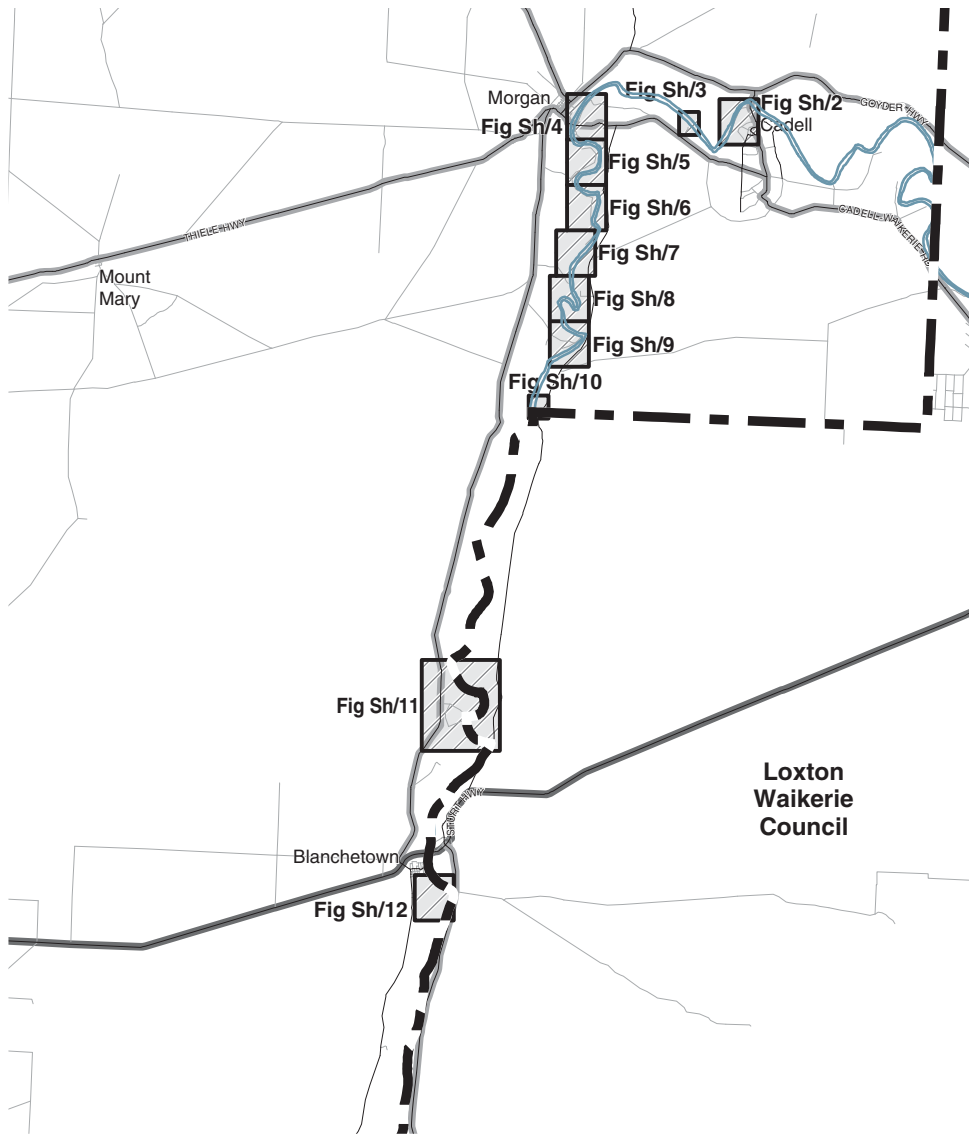


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**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREAS  
INDEX**

— — — — — Development Plan Boundary



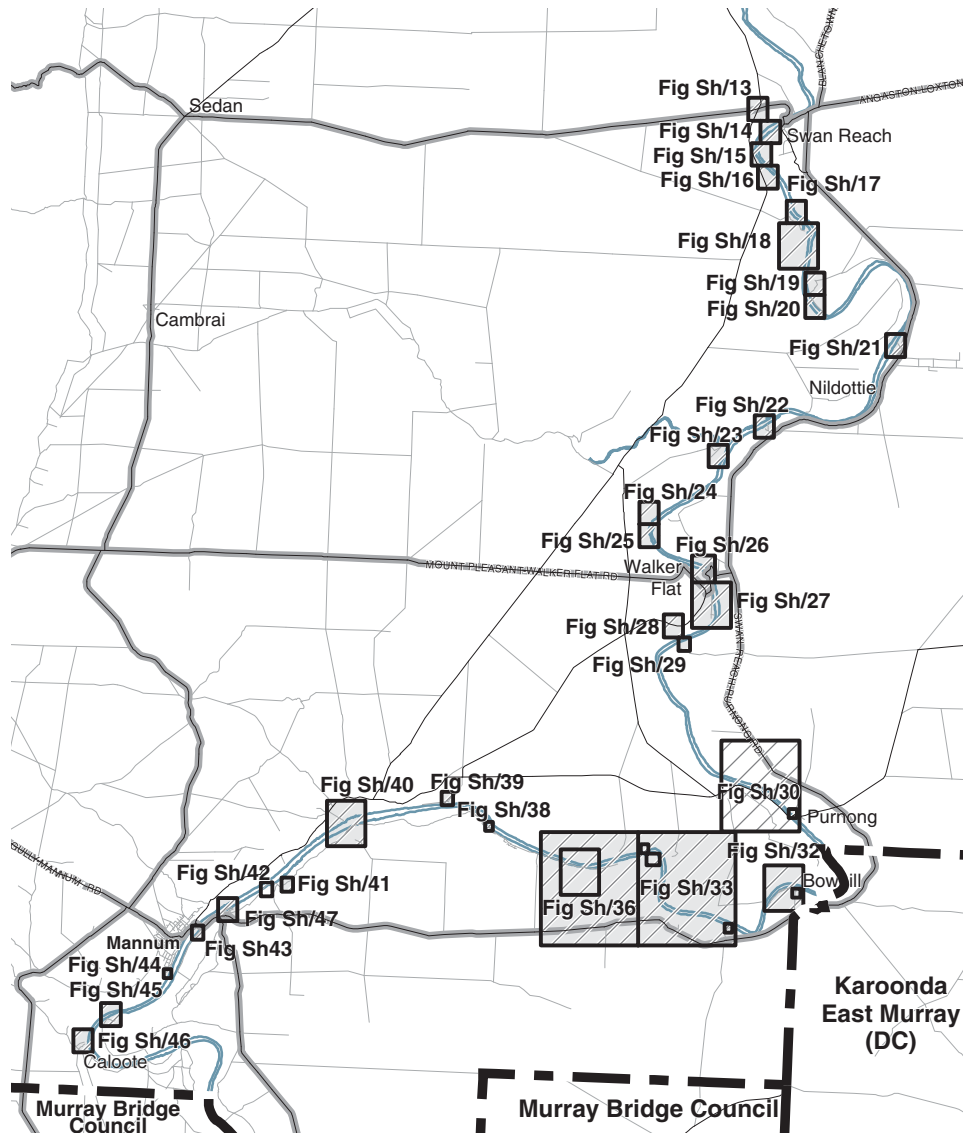
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# MID MURRAY COUNCIL RIVER MURRAY ZONE SHACK SETTLEMENT POLICY AREAS INDEX

--- Development Plan Boundary





# MID MURRAY COUNCIL RIVER MURRAY ZONE SHACK SETTLEMENT POLICY AREAS INDEX

— — — — — Development Plan Boundary

Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

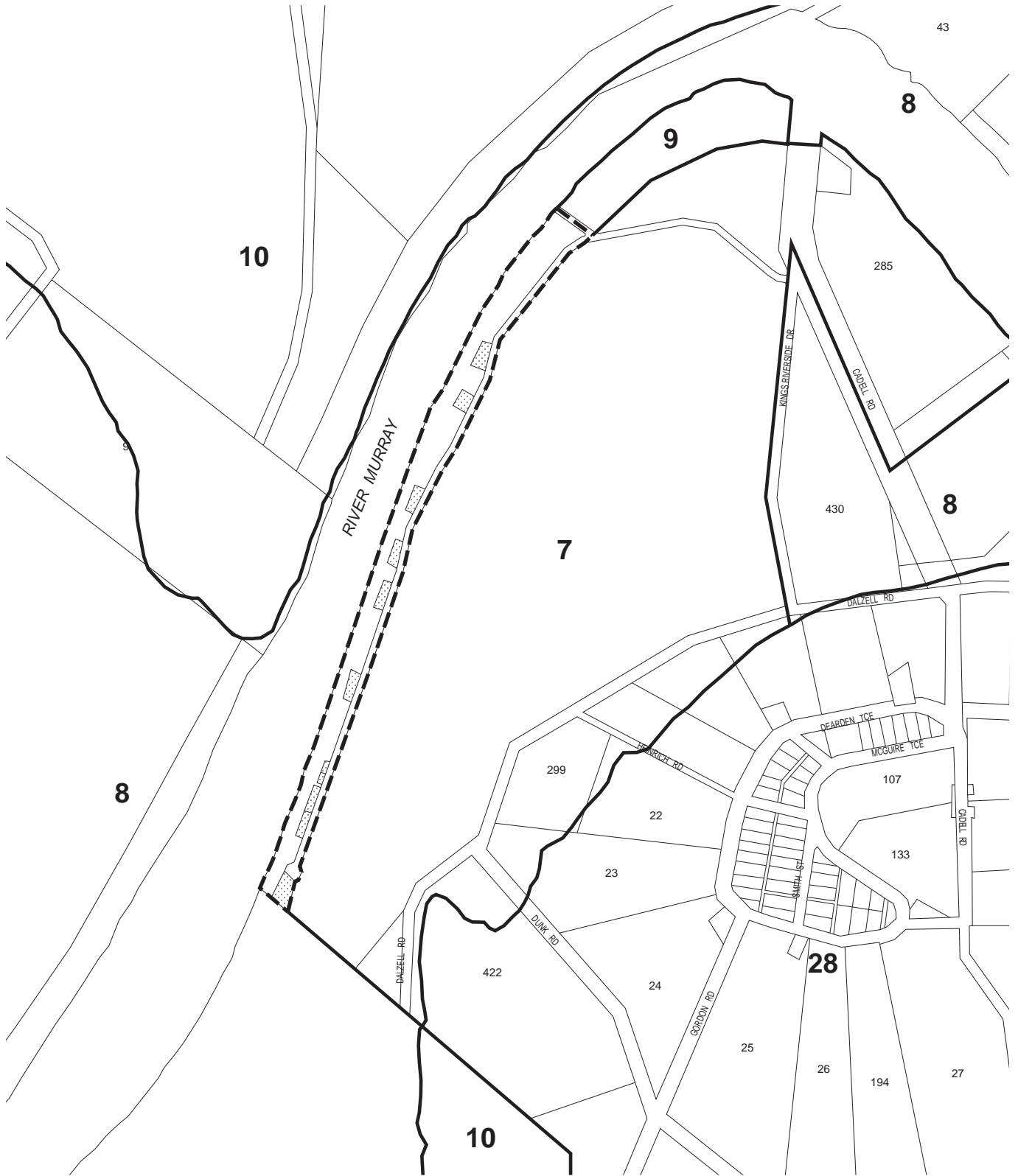





Figure Sh/1A ADJOINS



0metres 250 500

-  Residential Area
- 28** Cadell (Horticulture) Policy Area
- 10** Primary Production Policy Area
- 9** Recreation and Tourism Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"CADELL LAGOON"**

Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

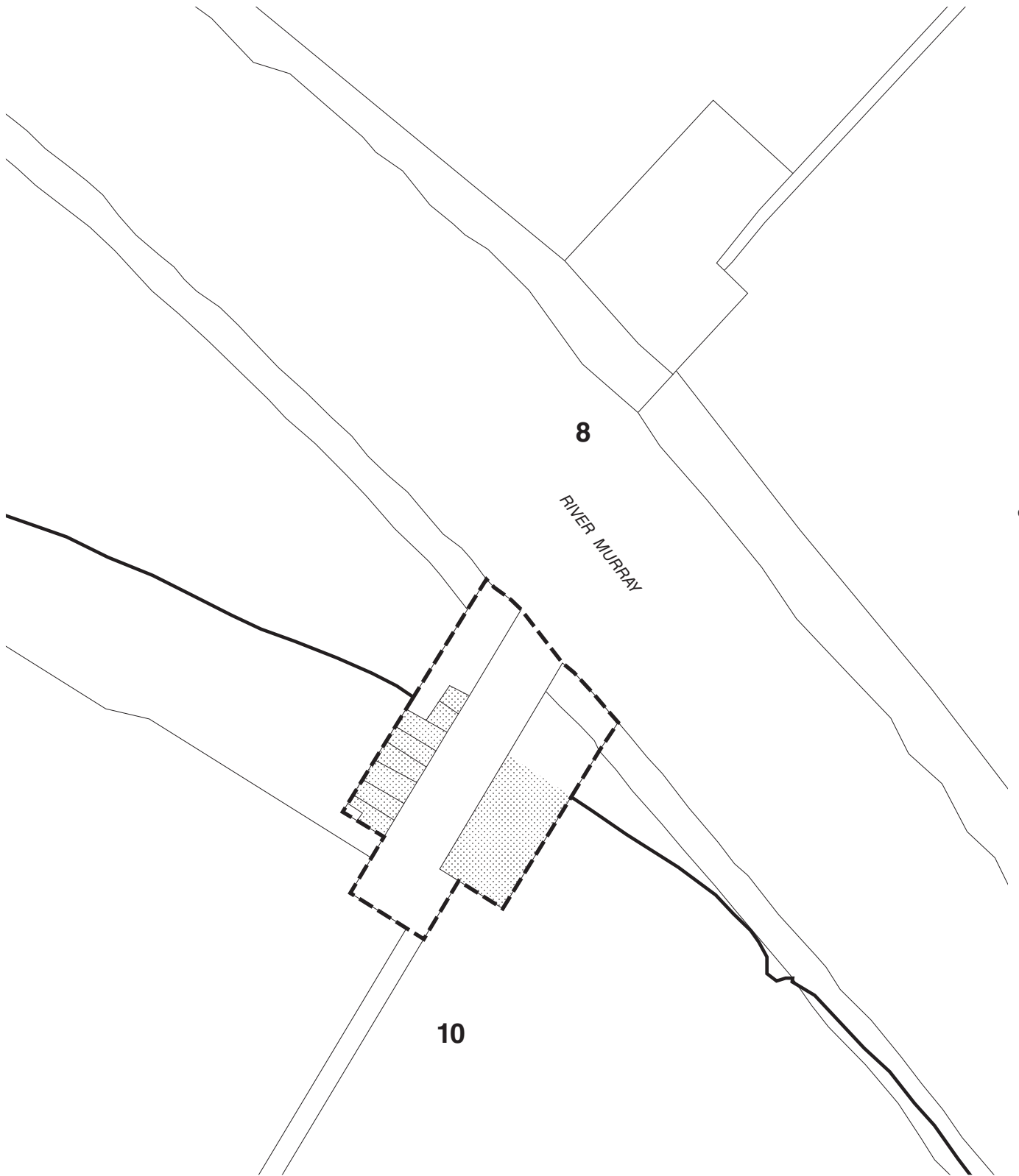


Figure Sh/1A ADJOINS



0metres 150 300



Residential Area

10

Primary Production Policy Area

8

Floodplain Policy Area



Outer Boundary of Shack Settlement Policy Area



Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"FREEMANS LANDING"**

Figure Sh/1A ADJOINS

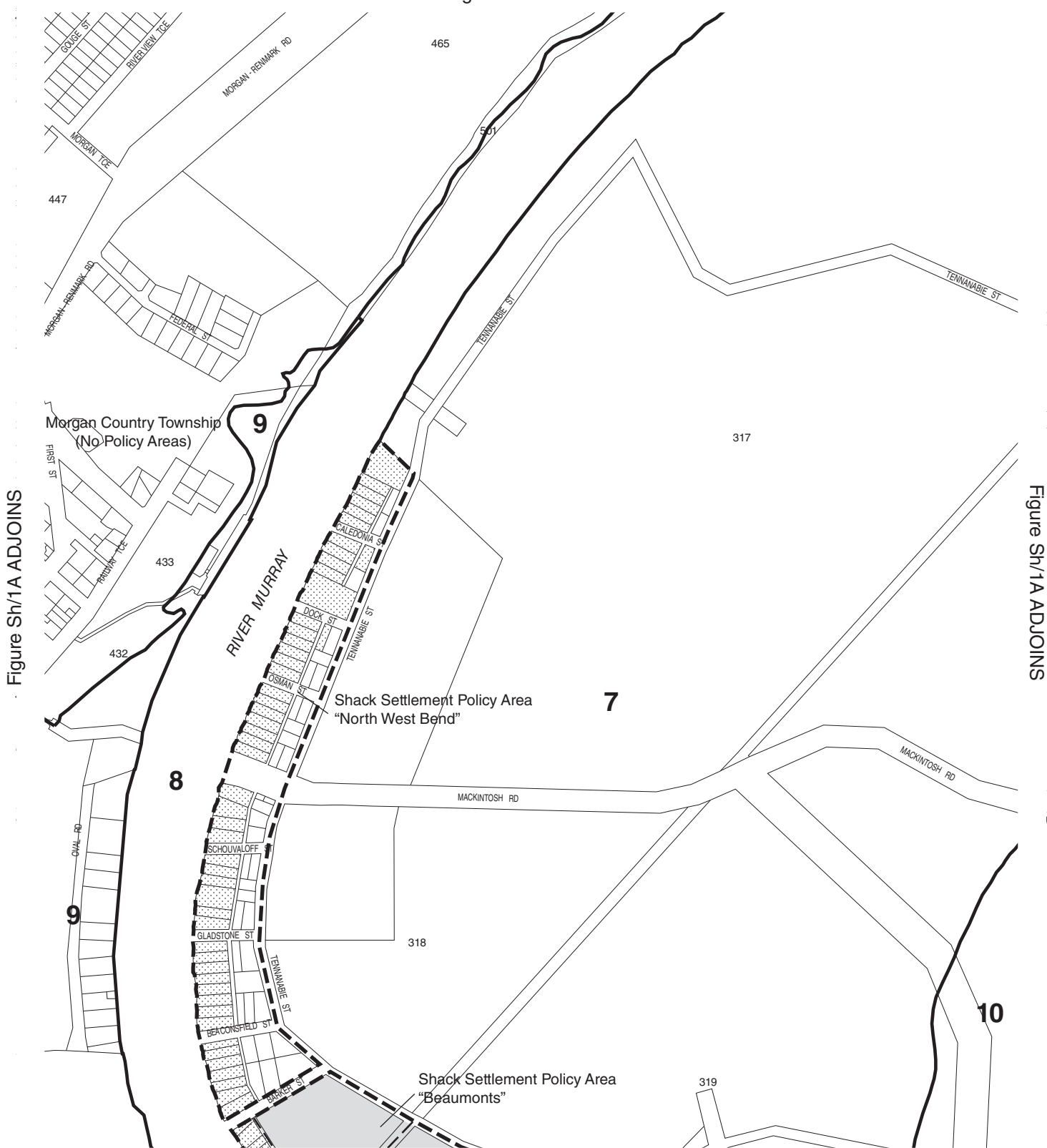


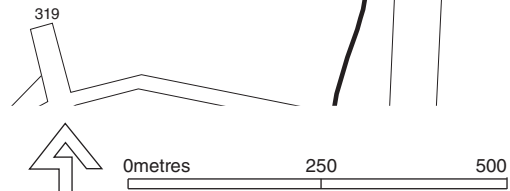


Figure Sh/5 ADJOINS

-  Residential Area
-  Common Area
- 7** Conservation Policy Area
- 8** Floodplain Policy Area
- 9** Recreation and Tourism Policy Area
- 10** Primary Production Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary



**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"NORTH WEST BEND"  
and "BEAUMONTS"**

Figure Sh/4 ADJOINS

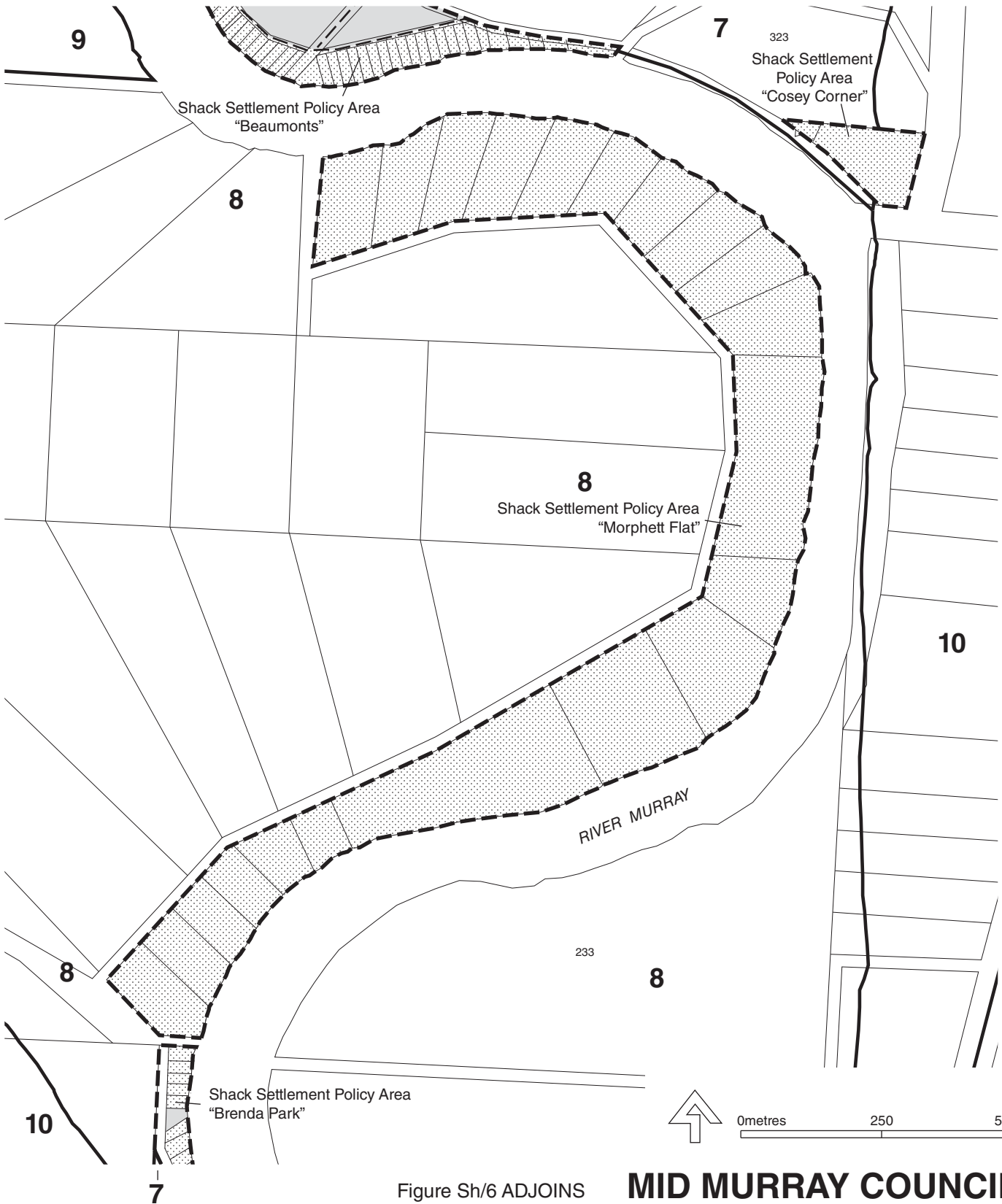

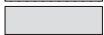
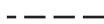




Figure Sh/6 ADJOINS

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"BEAUMONTS"  
"COSEY CORNER"  
"MORPHETT FLAT" and  
"BRENDA PARK"**

-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 9** Recreation and Tourism Policy Area
-  Access
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

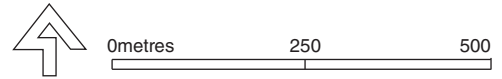


Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

Figure Sh/5 ADJOINS

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Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

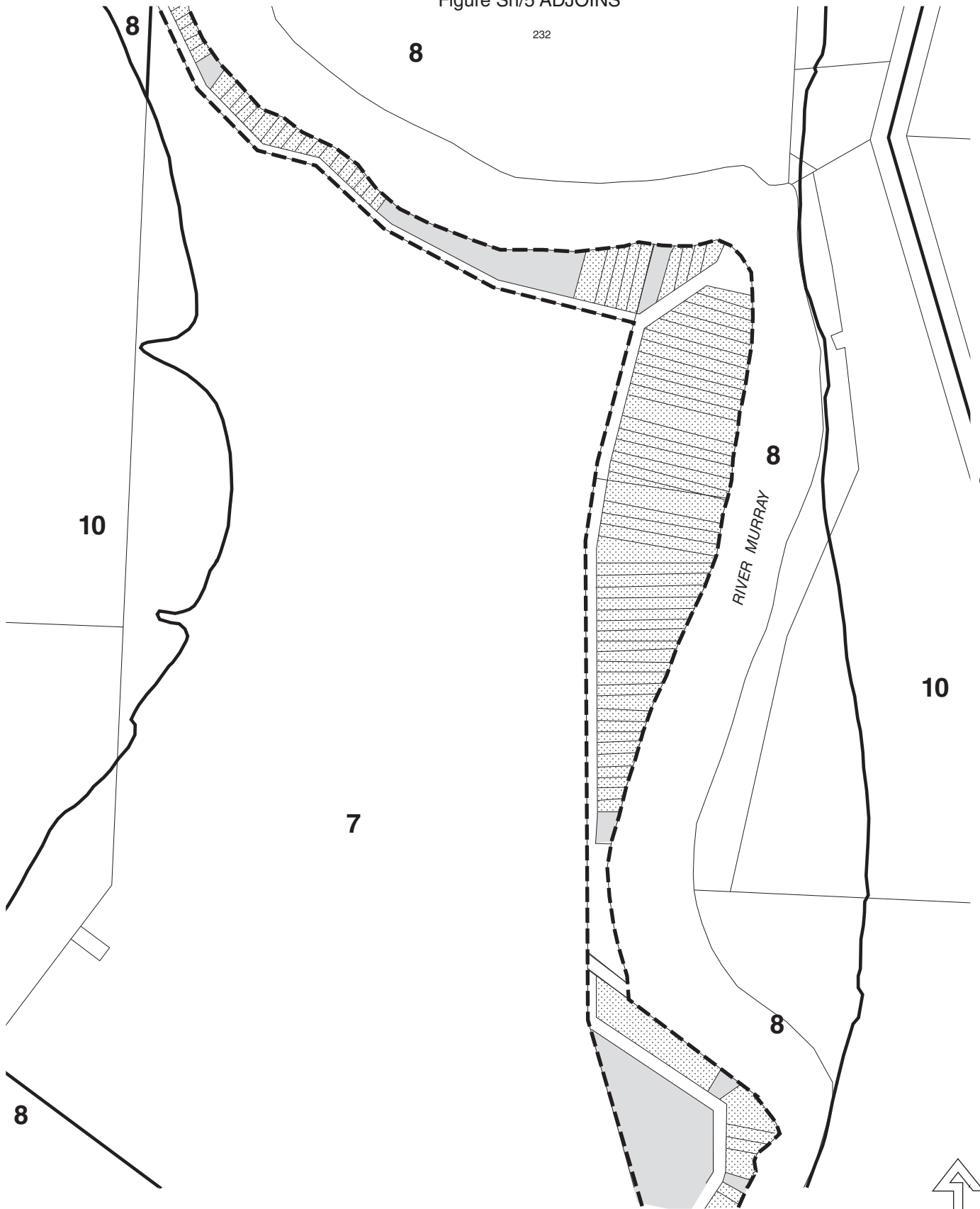






Figure Sh/7 ADJOINS

0metres 250 500

-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"BRENDA PARK"**

Consolidated - 23 February 2017 **Fig Sh/6**

Figure Sh/6 ADJOINS

Figure Sh/4 ADJOINS

Figure Sh/4 ADJOINS

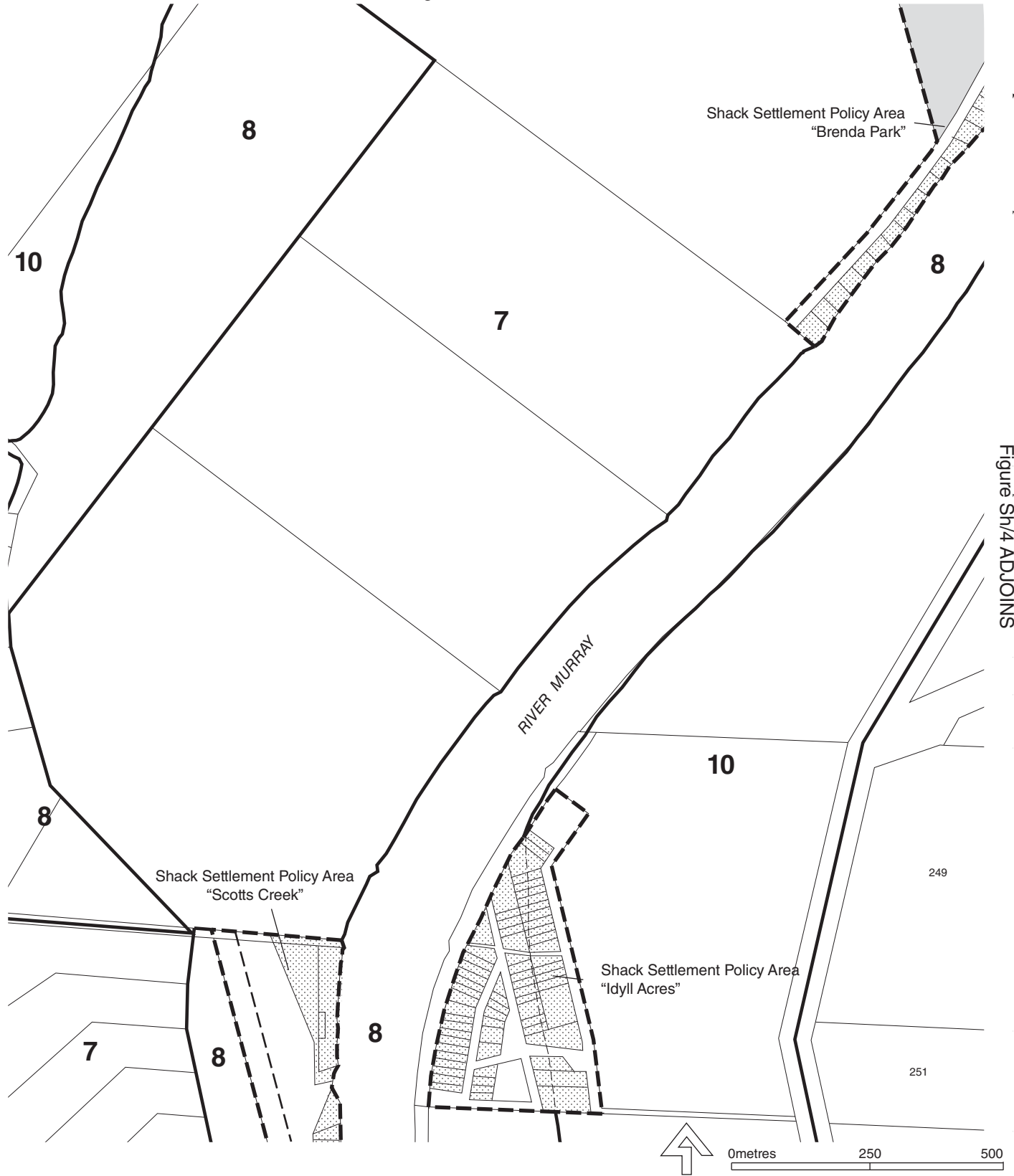


Figure Sh/8 ADJOINS

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"BRENDA PARK"  
"IDYLL ACRES" and  
"SCOTTS CREEK"**



-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

Figure Sh/7 ADJOINS

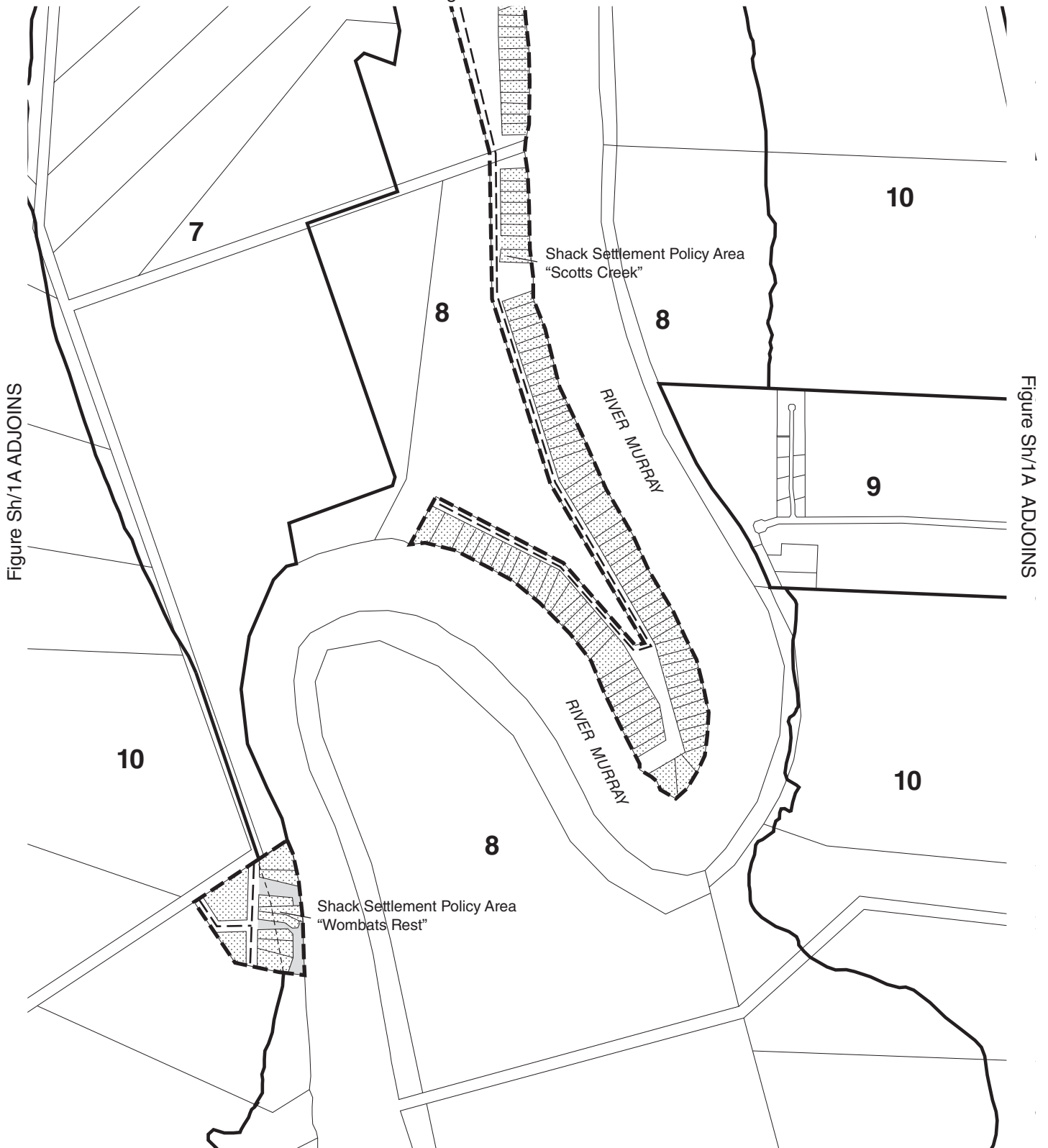
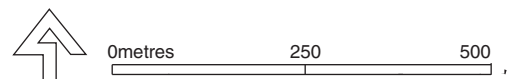




Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

Figure Sh/9 ADJOINS



-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 9** Recreation and Tourism Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"SCOTT'S CREEK" and  
"WOMBATS REST"**



Figure Sh/8 ADJOINS

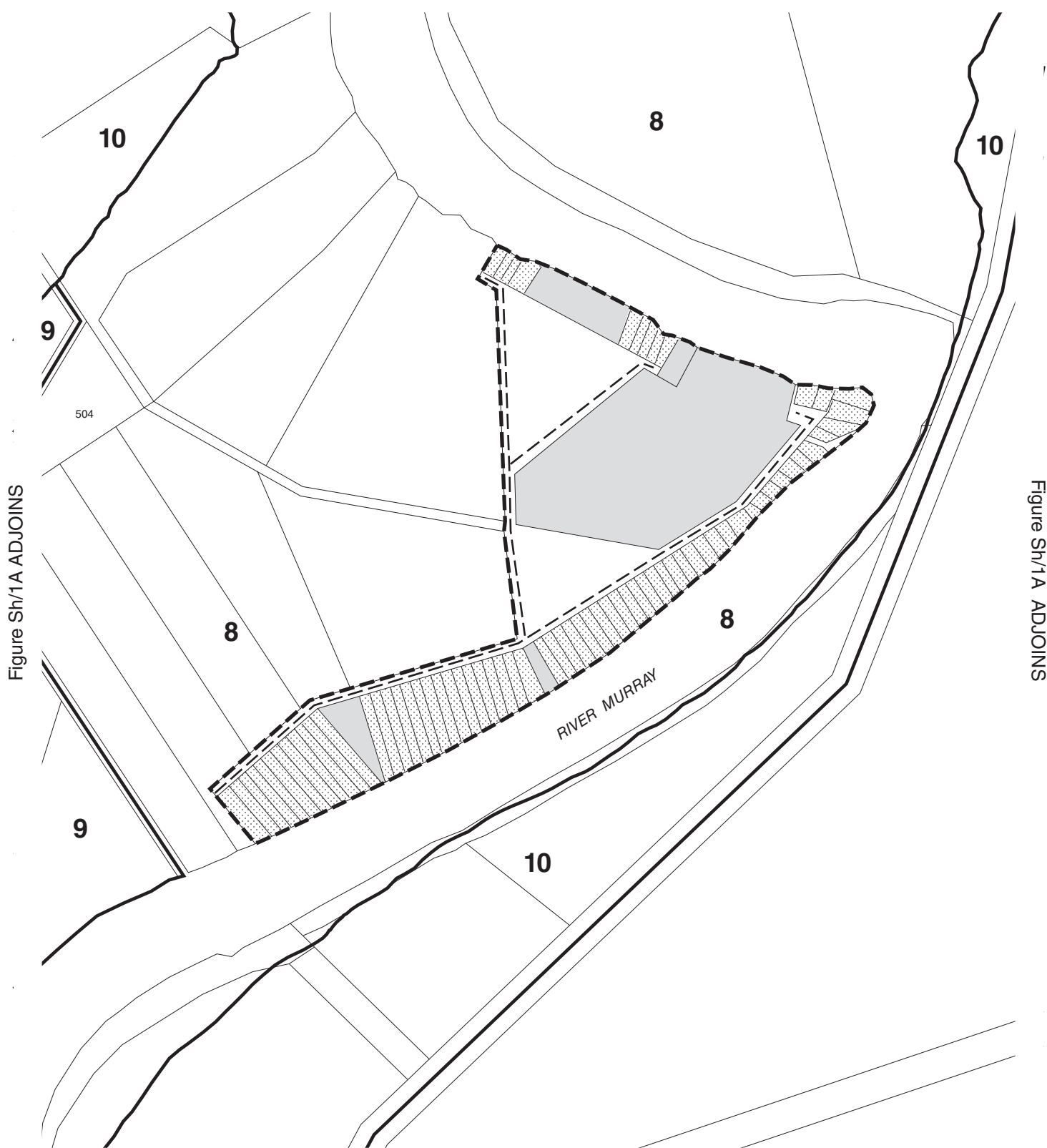
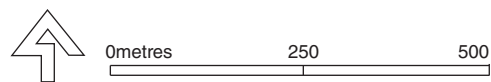




Figure Sh/1A ADJOINS



-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 9** Recreation and Tourism Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"PELICAN POINT"**

Figure Sh/1A ADJOINS

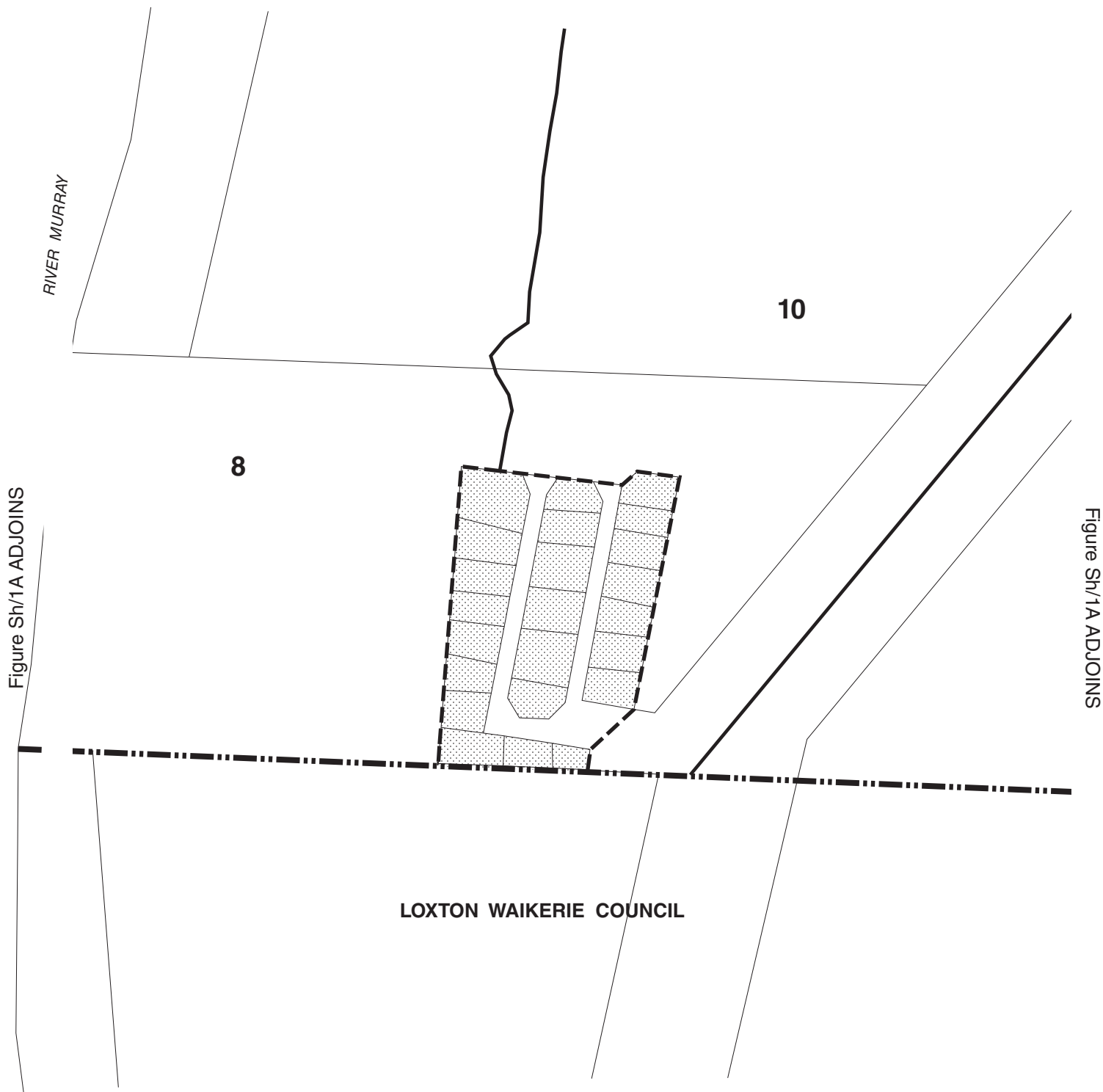
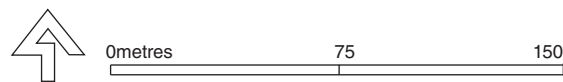






Figure Sh/1A ADJOINS



-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary
-  Local Government Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"MURBKO"**

Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

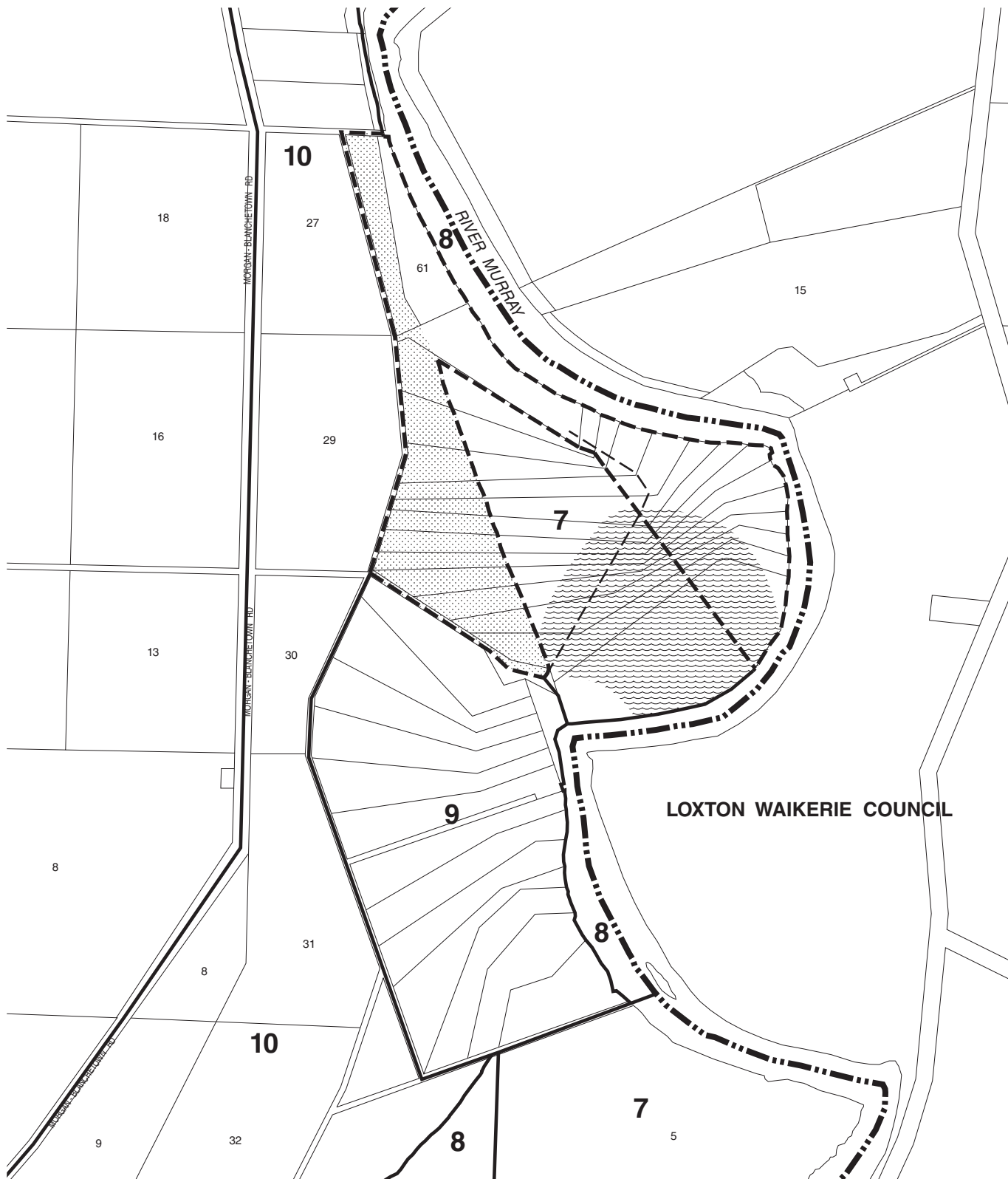

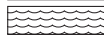
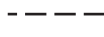





Figure Sh/1A ADJOINS



-  Residential Area
-  Lagoon
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 9** Recreation and Tourism Policy Area
-  Access
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary
-  Local Government Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"McBEANS POUND"**

Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

Figure Sh/1A ADJOINS

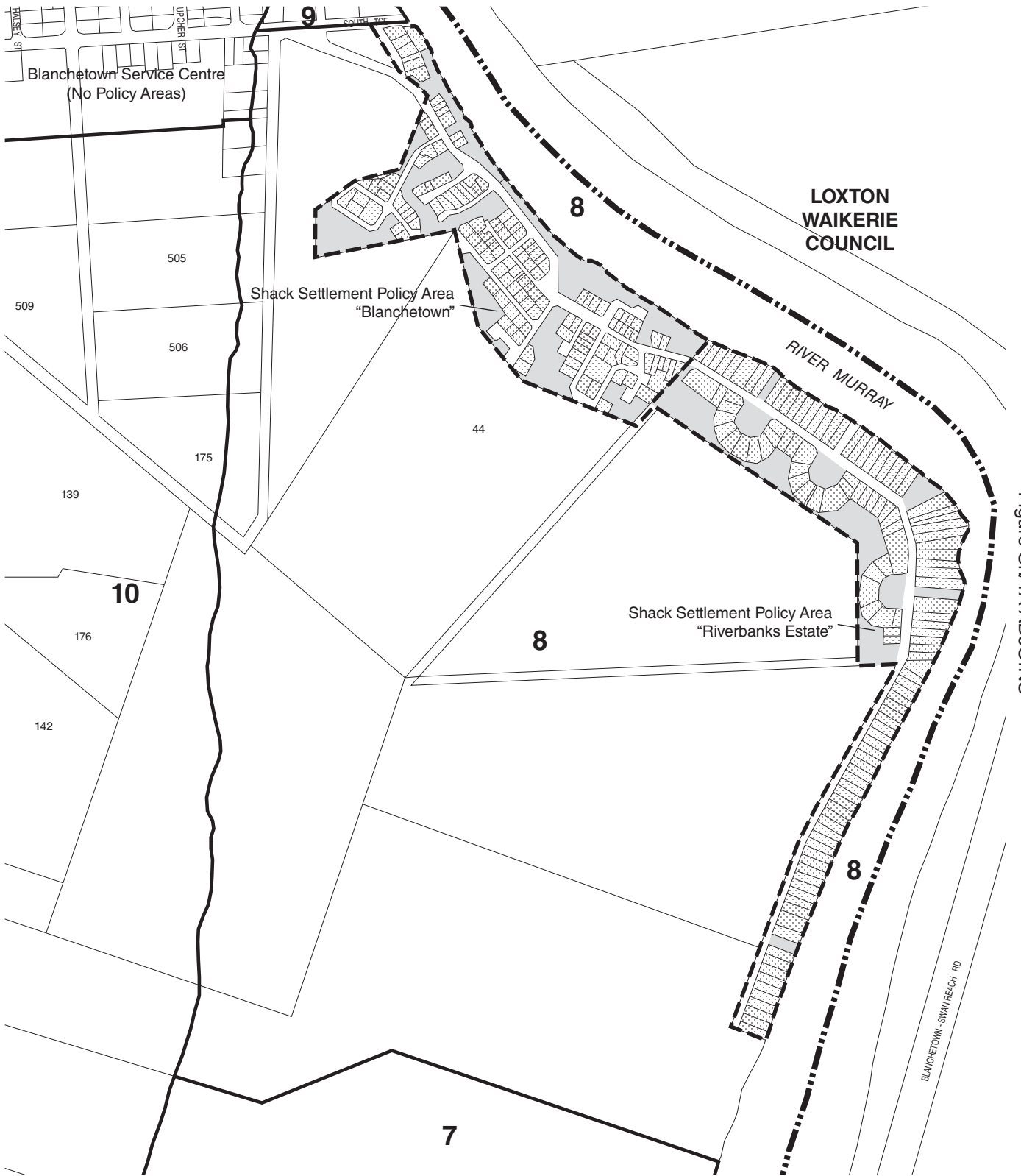







Figure Sh/1A ADJOINS



0metres 250 500

-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 9** Recreation and Tourism Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary
-  Local Government Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"RIVERBANKS ESTATE" and  
"BLANCHETOWN"**

Figure Sh/1B ADJOINS

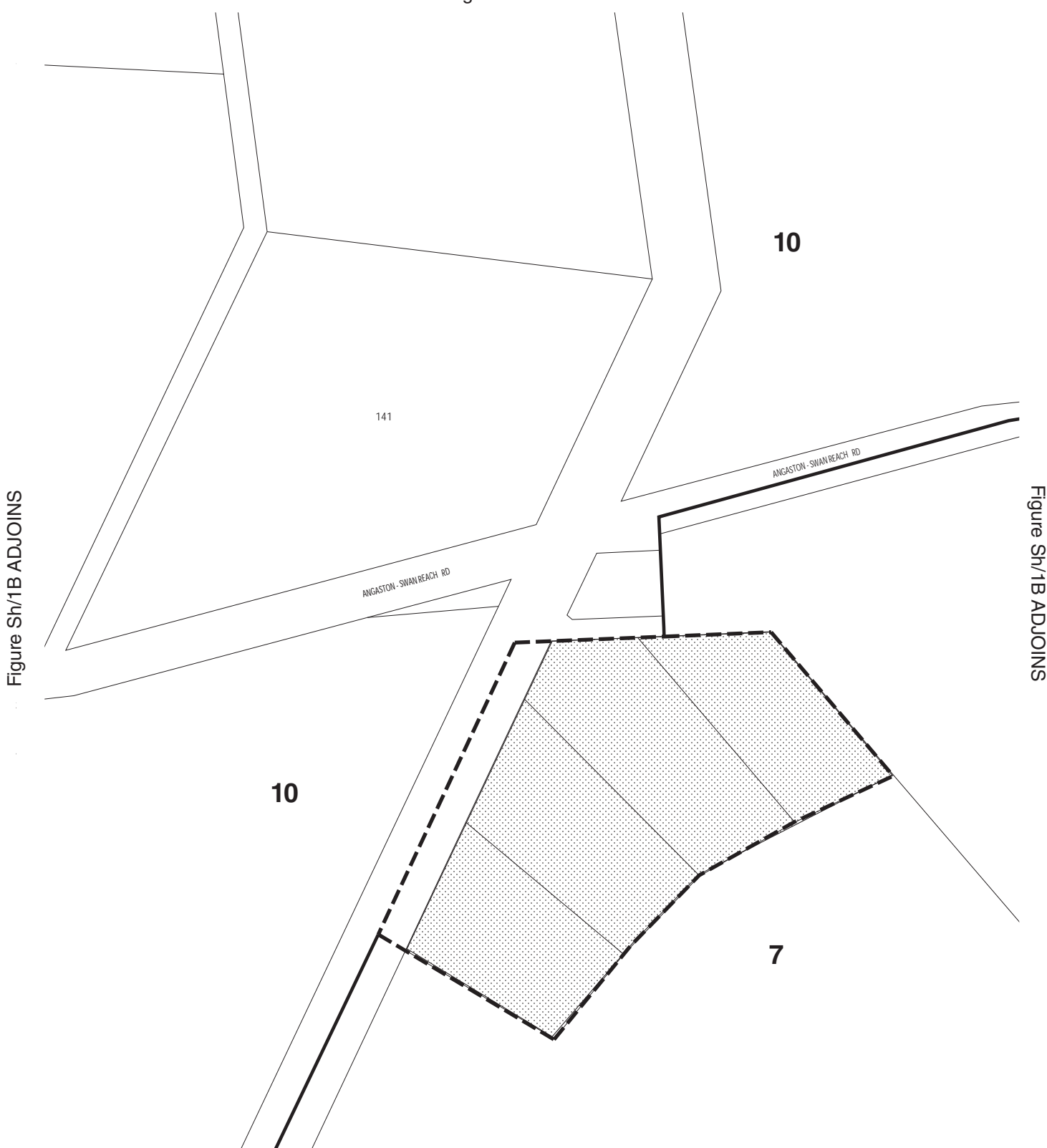


Figure Sh/14 ADJOINS



**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"McAULEYS"**




-  Residential Area
- 10** Primary Production Policy Area
- 7** Conservation Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

Figure Sh/13 ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

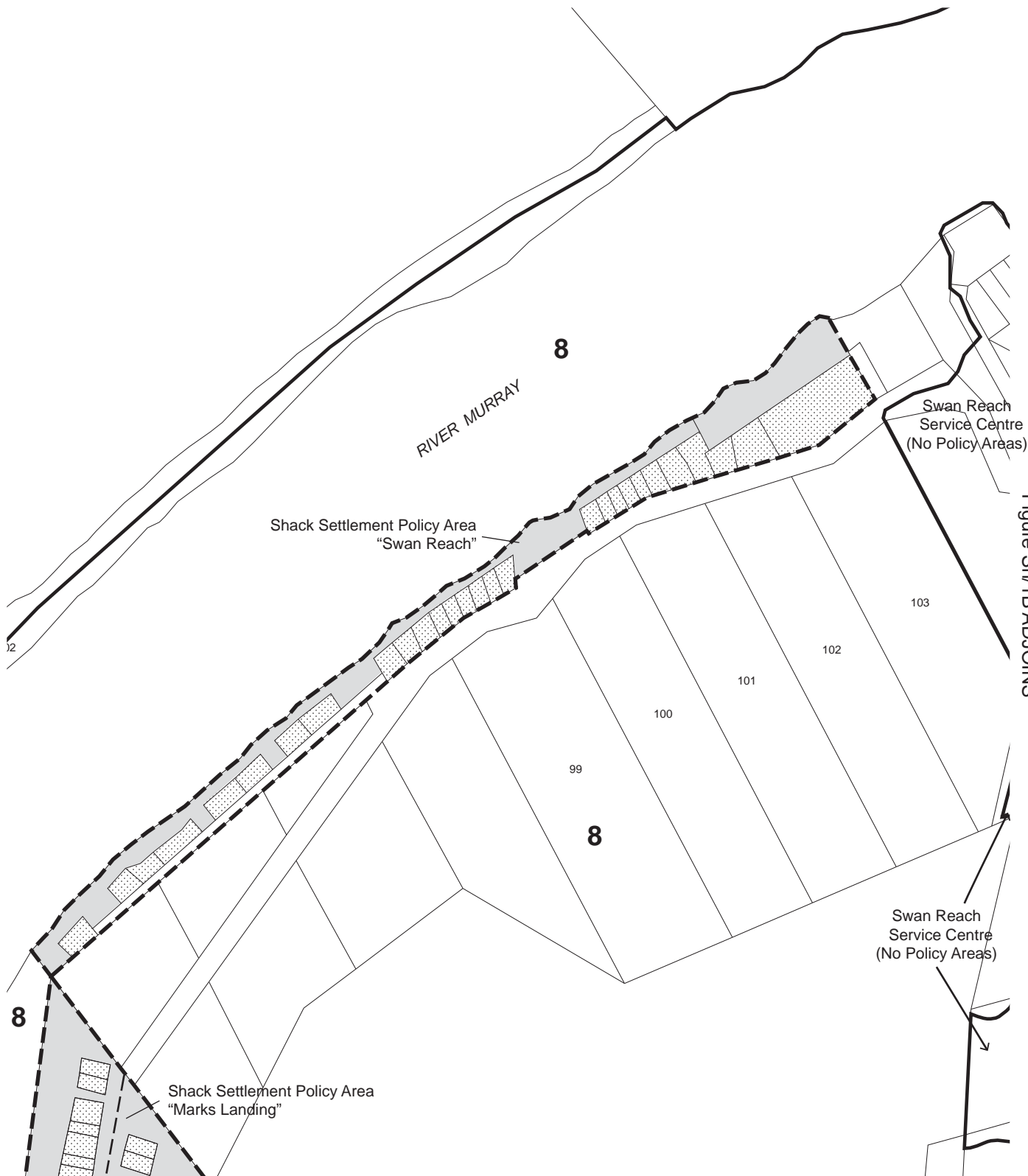







Figure Sh/15 ADJOINS



-  Residential Area
-  Common Area
- 8** Floodplain Policy Area
-  Access
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"SWAN REACH" and  
"MARKS LANDING"**

Figure Sh/14 ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

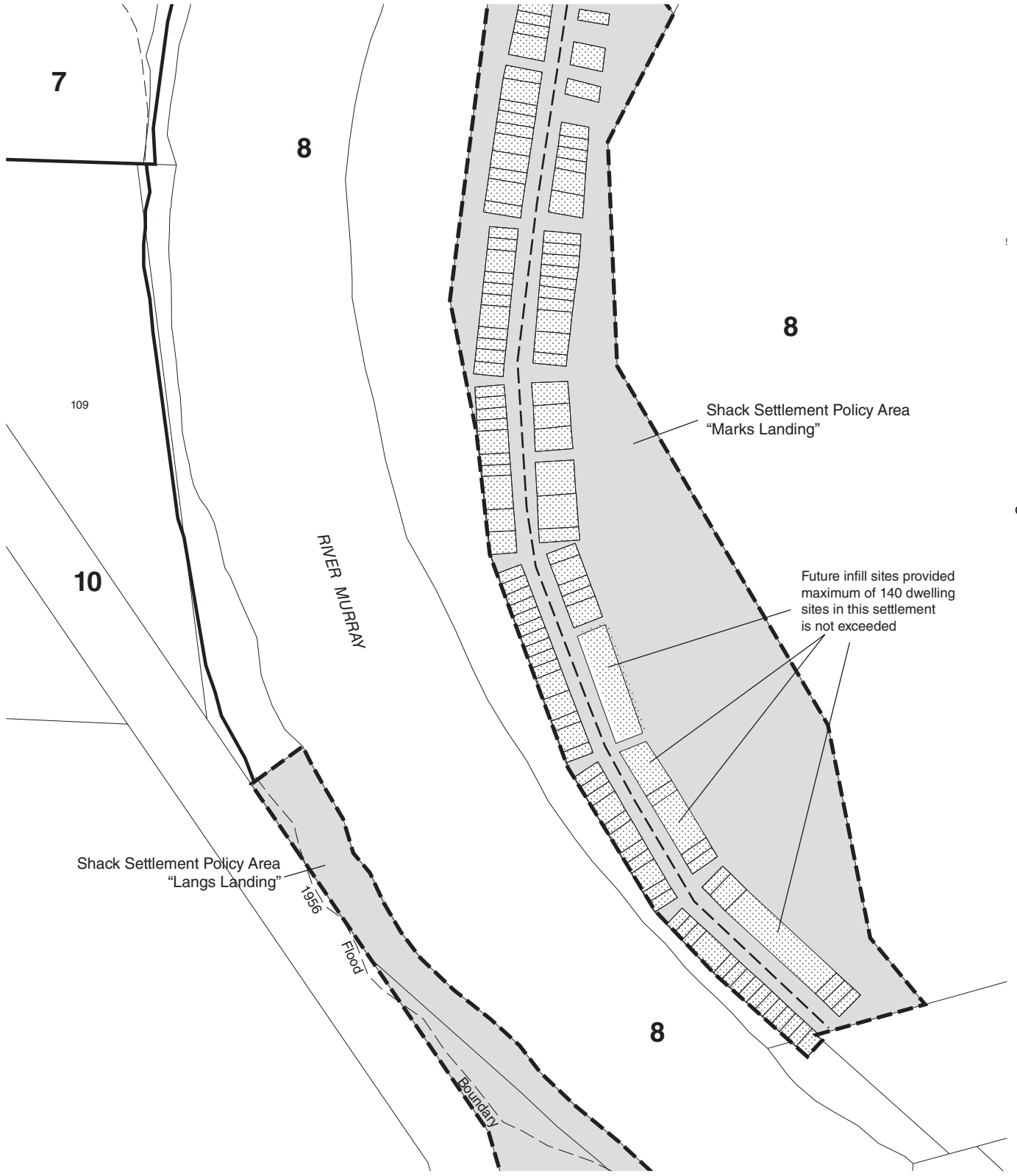




Figure Sh/16 ADJOINS



0metres 150 300

-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"MARKS LANDING" and  
"LANGS LANDING"**

Figure Sh/15 ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

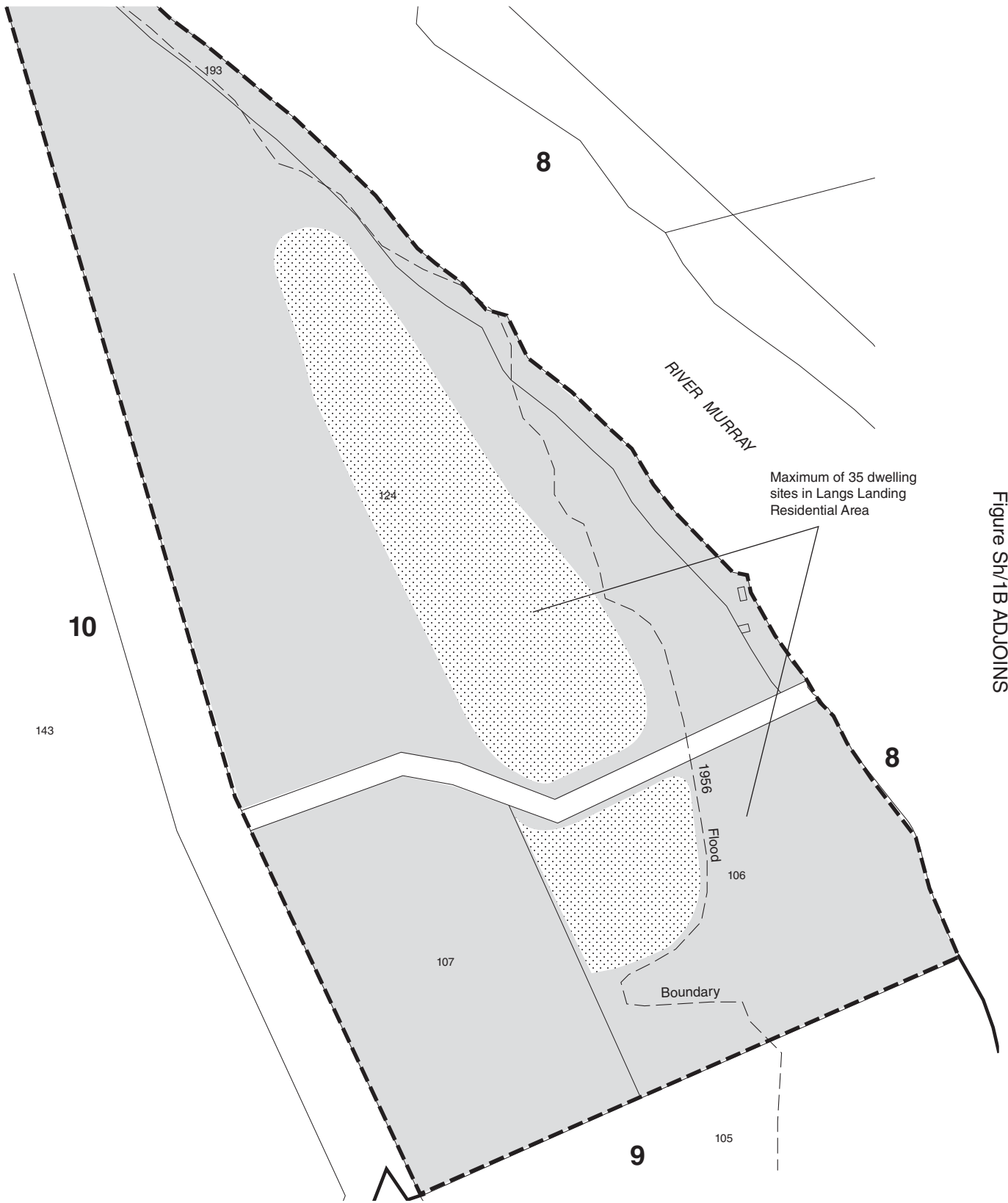


Figure Sh/1B ADJOINS



0metres 150 300

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"LANGS LANDING"**





-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary



Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

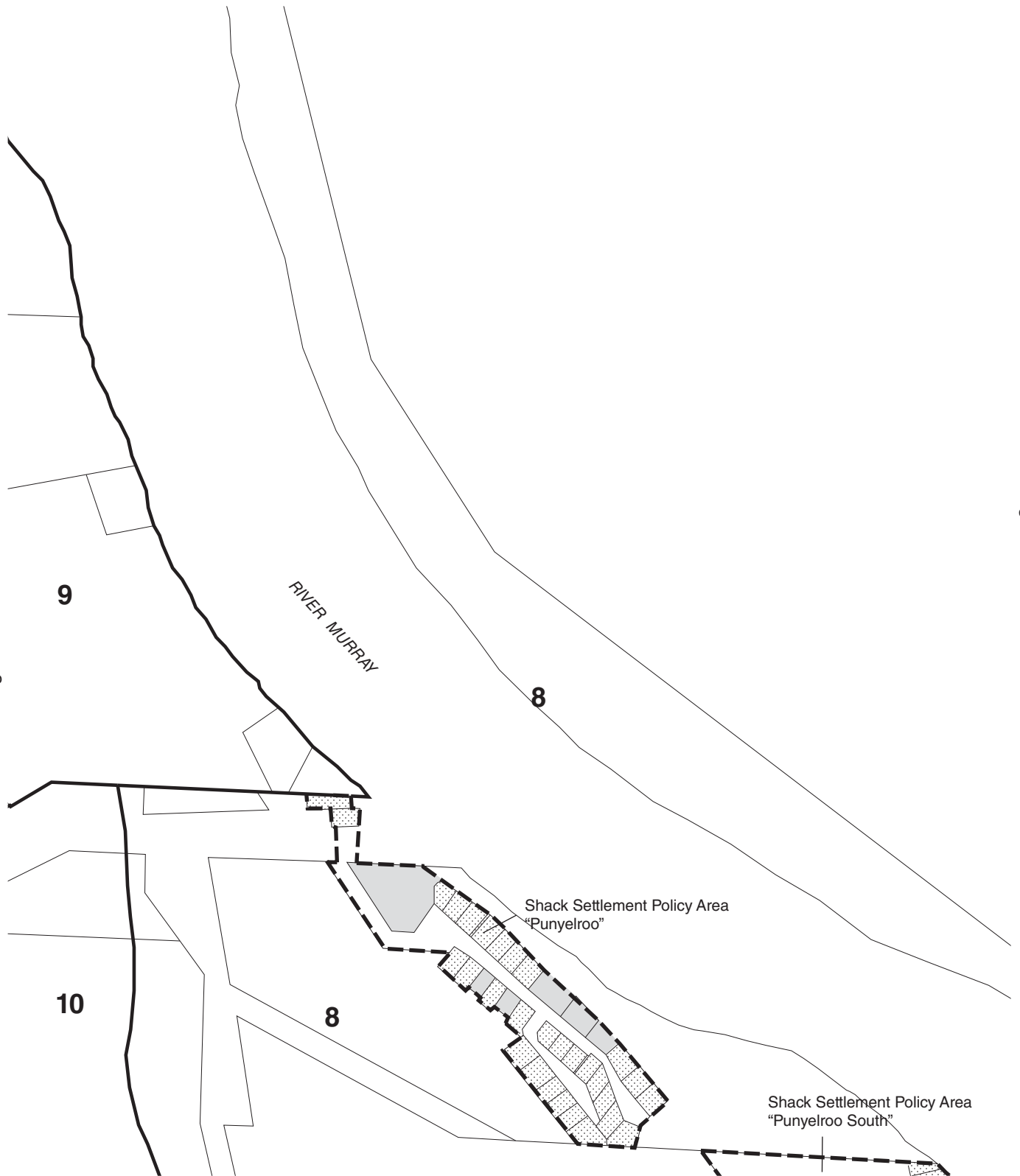


Figure Sh/18 ADJOINS



0metres 150 300

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"PUNYELROO" and  
"PUNYELROO SOUTH"**

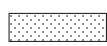

-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 9** Recreation and Tourism Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

Figure Sh/17 ADJOINS



Figure Sh/1B ADJOINS



Figure Sh/19 ADJOINS



0metres 250 500

-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"PUNYELROO SOUTH"**

Figure Sh/18 ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

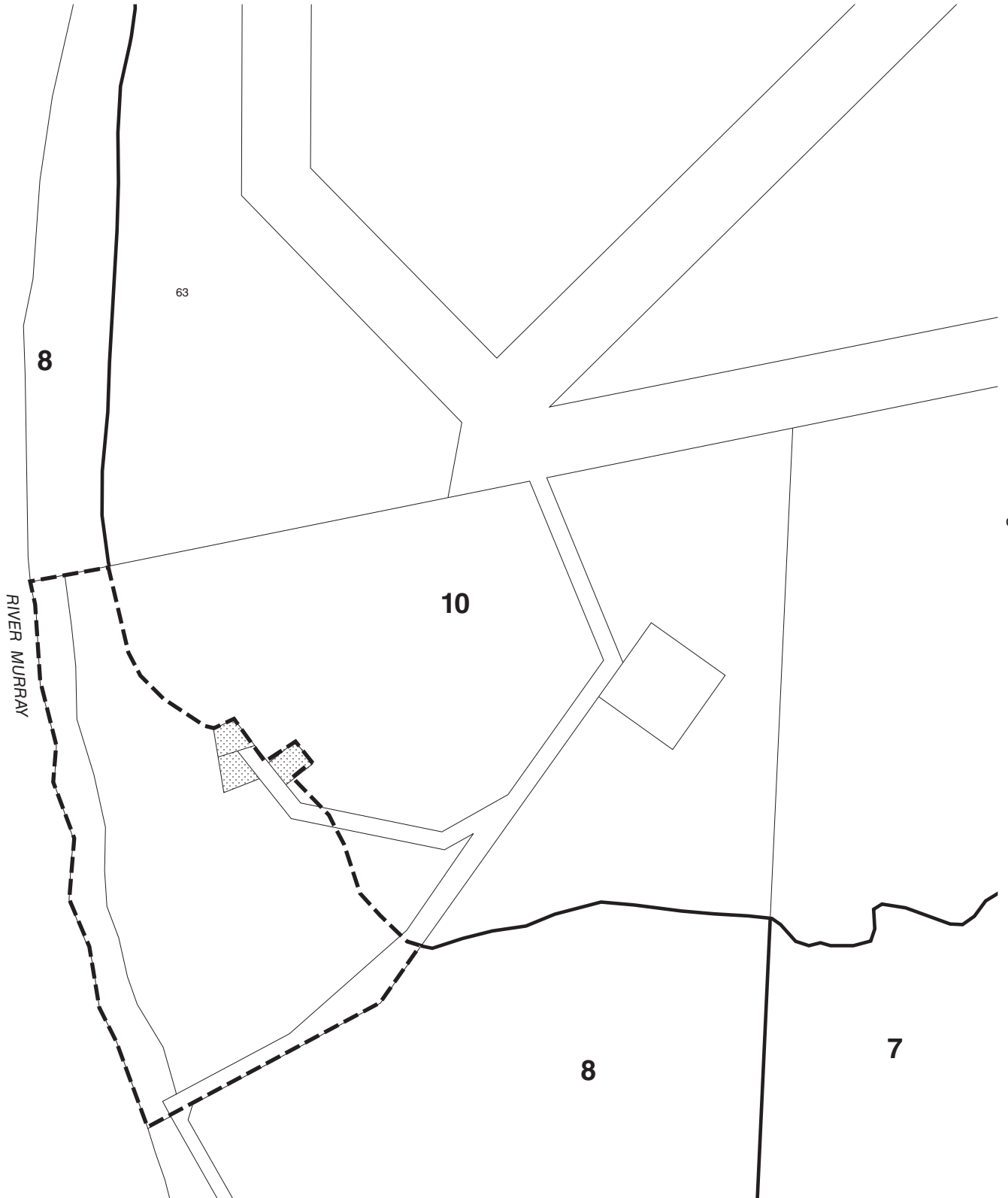



Figure Sh/20 ADJOINS



0metres 150 300

-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- - - - -** Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"BIG BEND LANDING"**

Figure Sh/19 ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

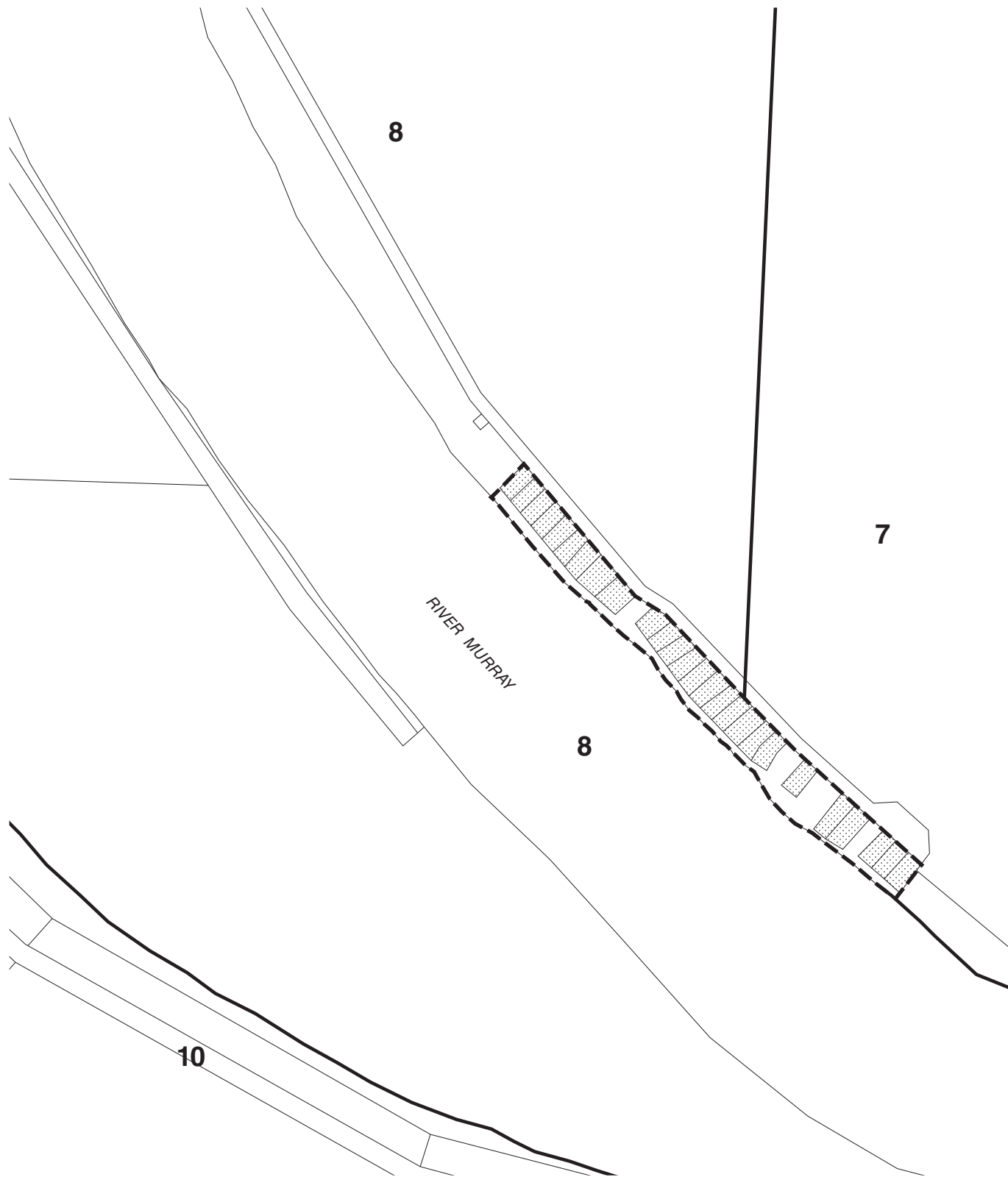


Figure Sh/1B ADJOINS



0metres 150 300

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"BIG BEND"**




-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

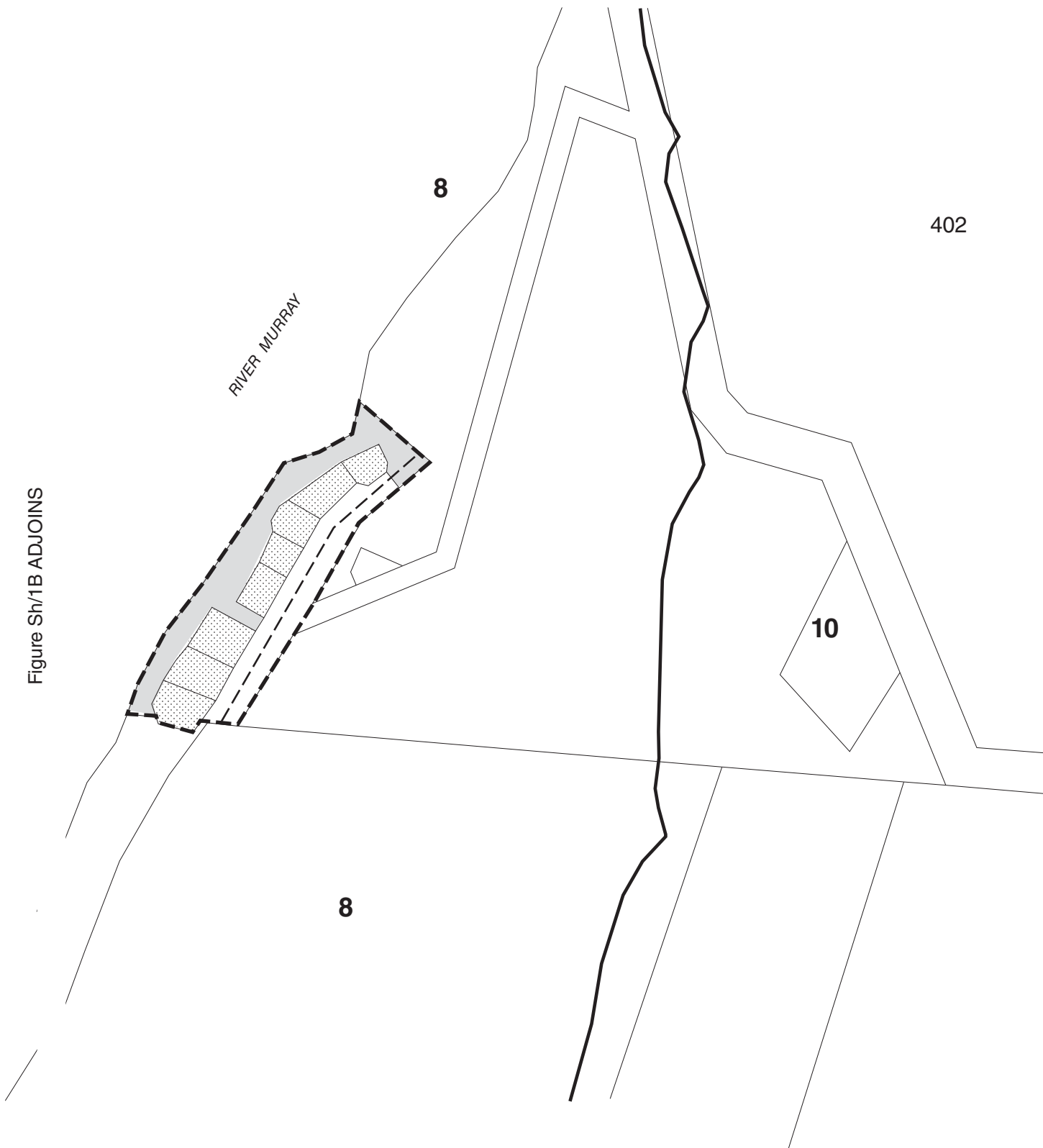




Figure Sh/1B ADJOINS



0metres 75 150

-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"GREENWAYS LANDING"**

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

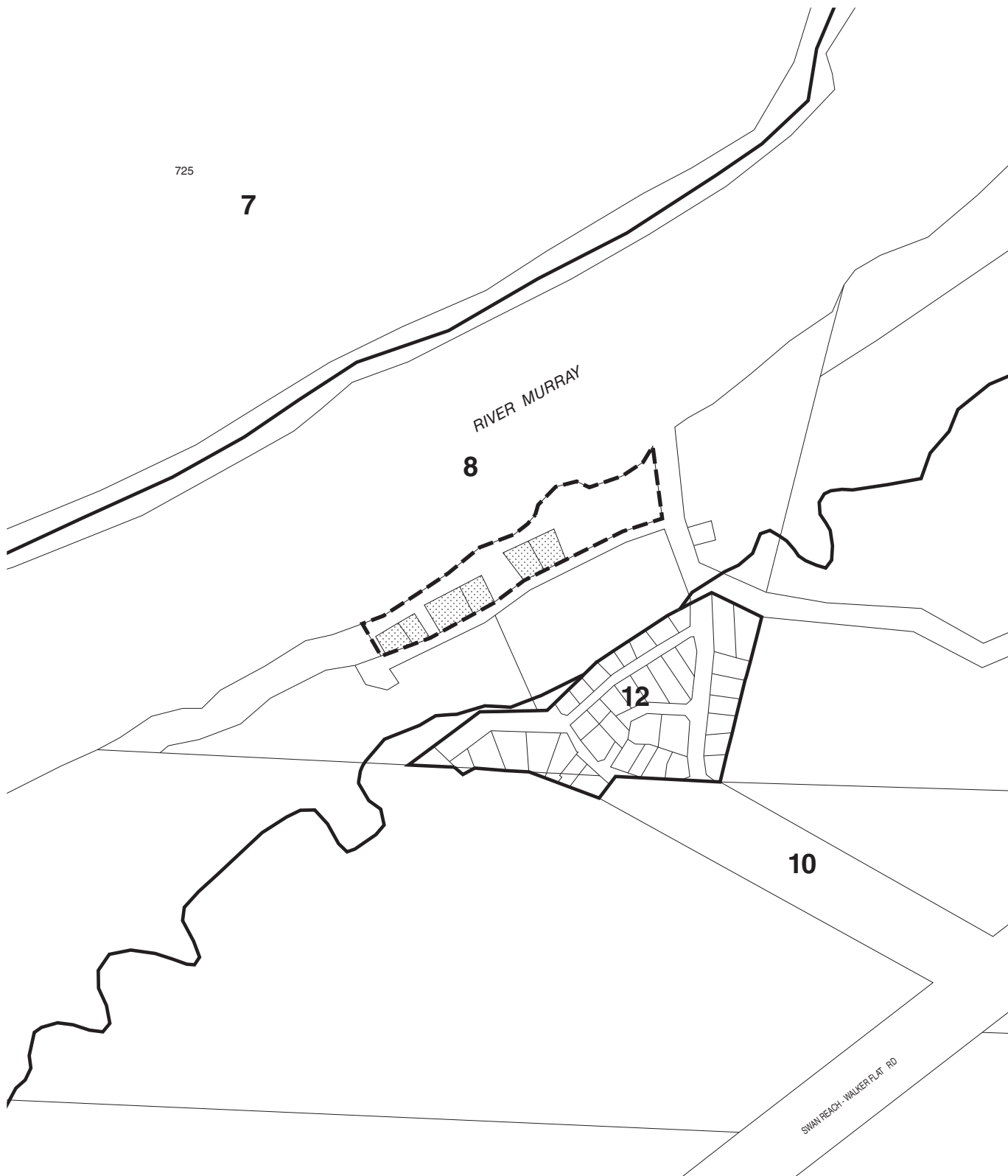



Figure Sh/1B ADJOINS



0metres 150 300

-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 12** River Settlement Policy Area
- - - -** Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"KROEHNS LANDING"**

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

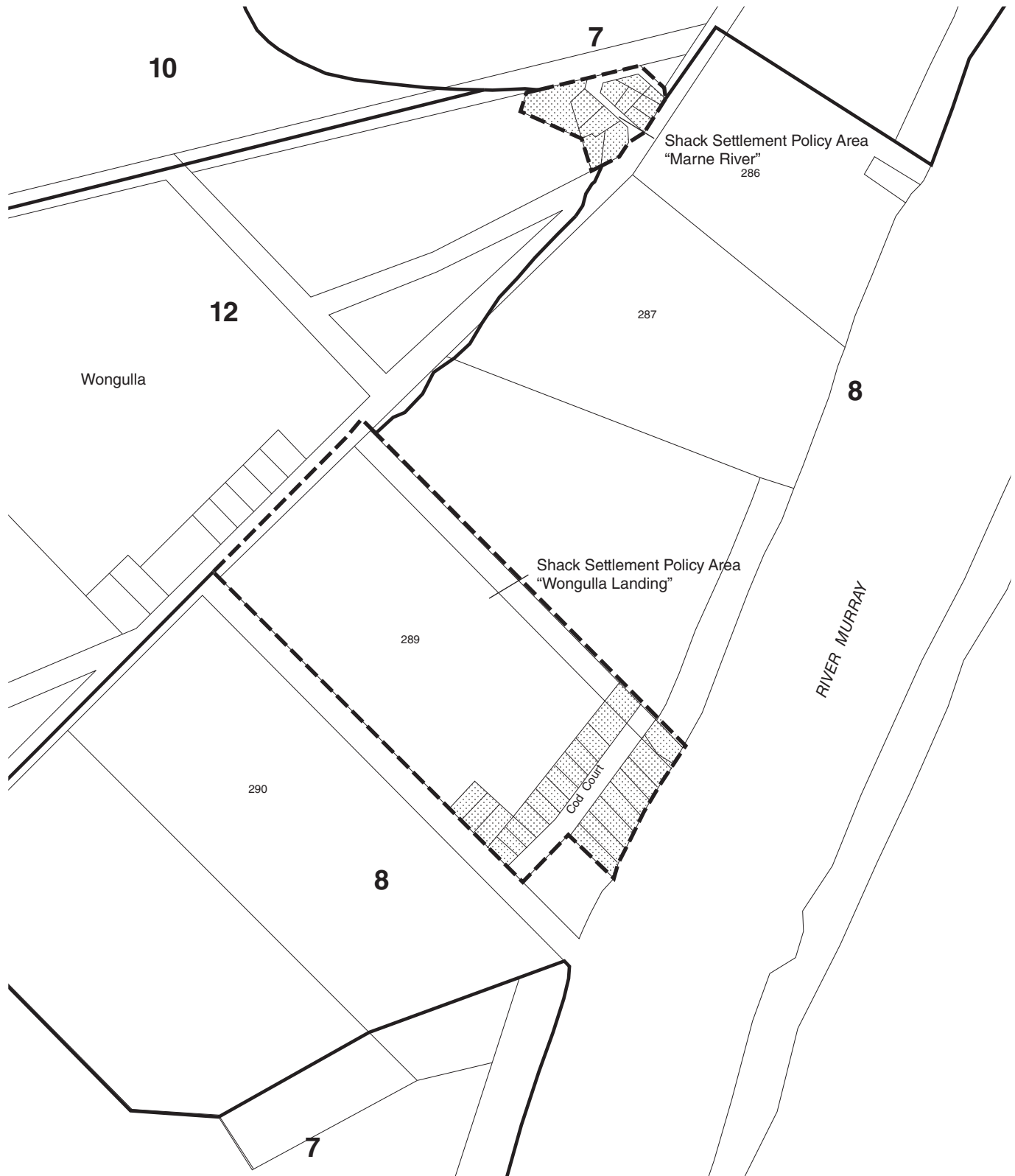


Figure Sh/1B ADJOINS



0metres 150 300

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"WONGULLA LANDING" and  
"MARNE RIVER"**




-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 12** River Settlement Policy Access
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

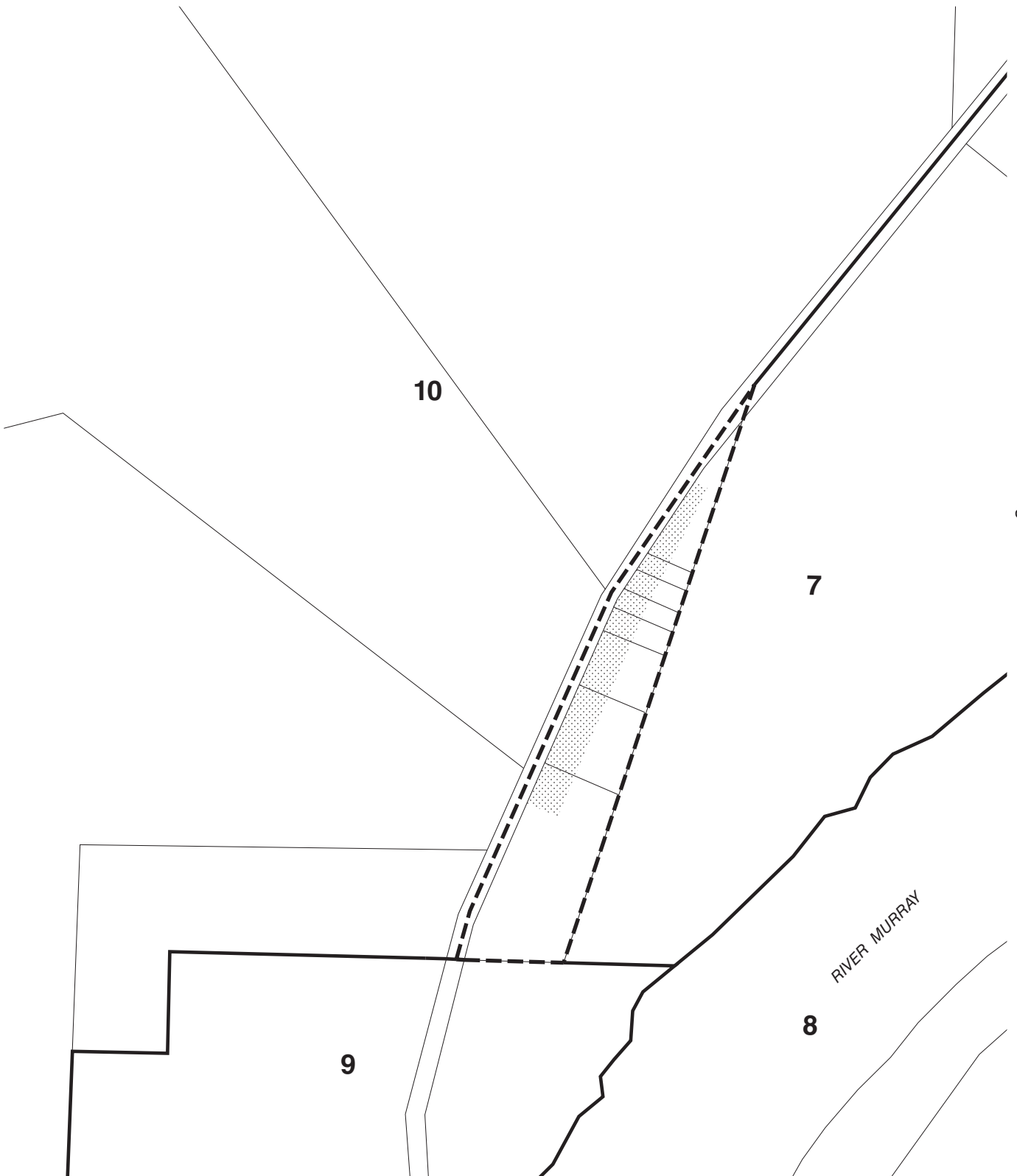



Figure Sh/25 ADJOINS



0metres 150 300

-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 9** Recreation and Tourism Policy Area
- · - · - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"WONGULLA LAGOON"**



Figure Sh/24 ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS



Figure Sh/1B ADJOINS



0metres 150 300

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"SABURAMA"**


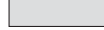


-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 9** Recreation and Tourism Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

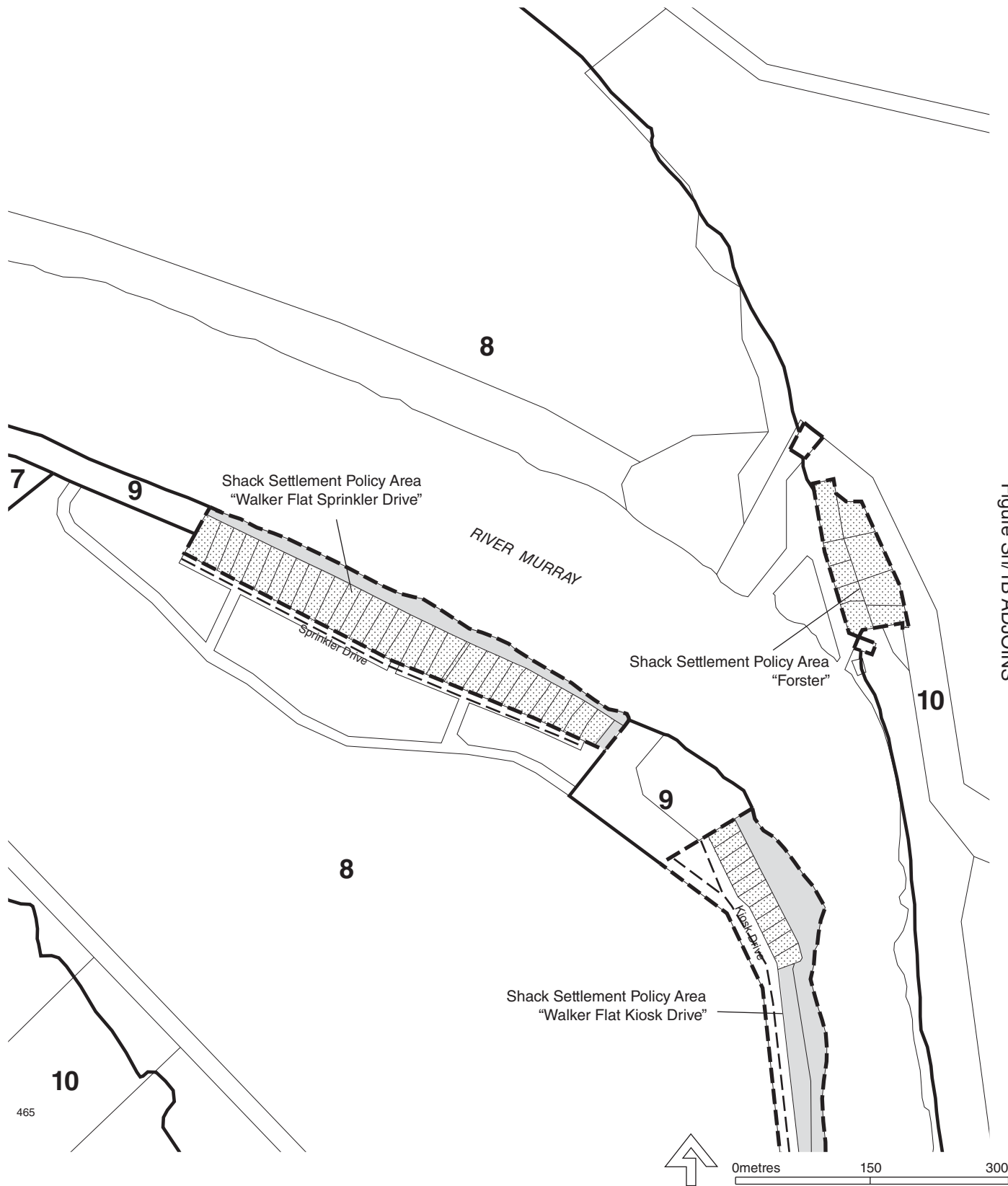

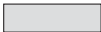


Figure Sh/27 ADJOINS

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"WALKER FLAT" Sprinkler Drive  
Kiosk Drive and  
"FORSTER"**

-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 9** Recreation and Tourism Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

Consolidated 25 February 2021

**Fig Sh/26**

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

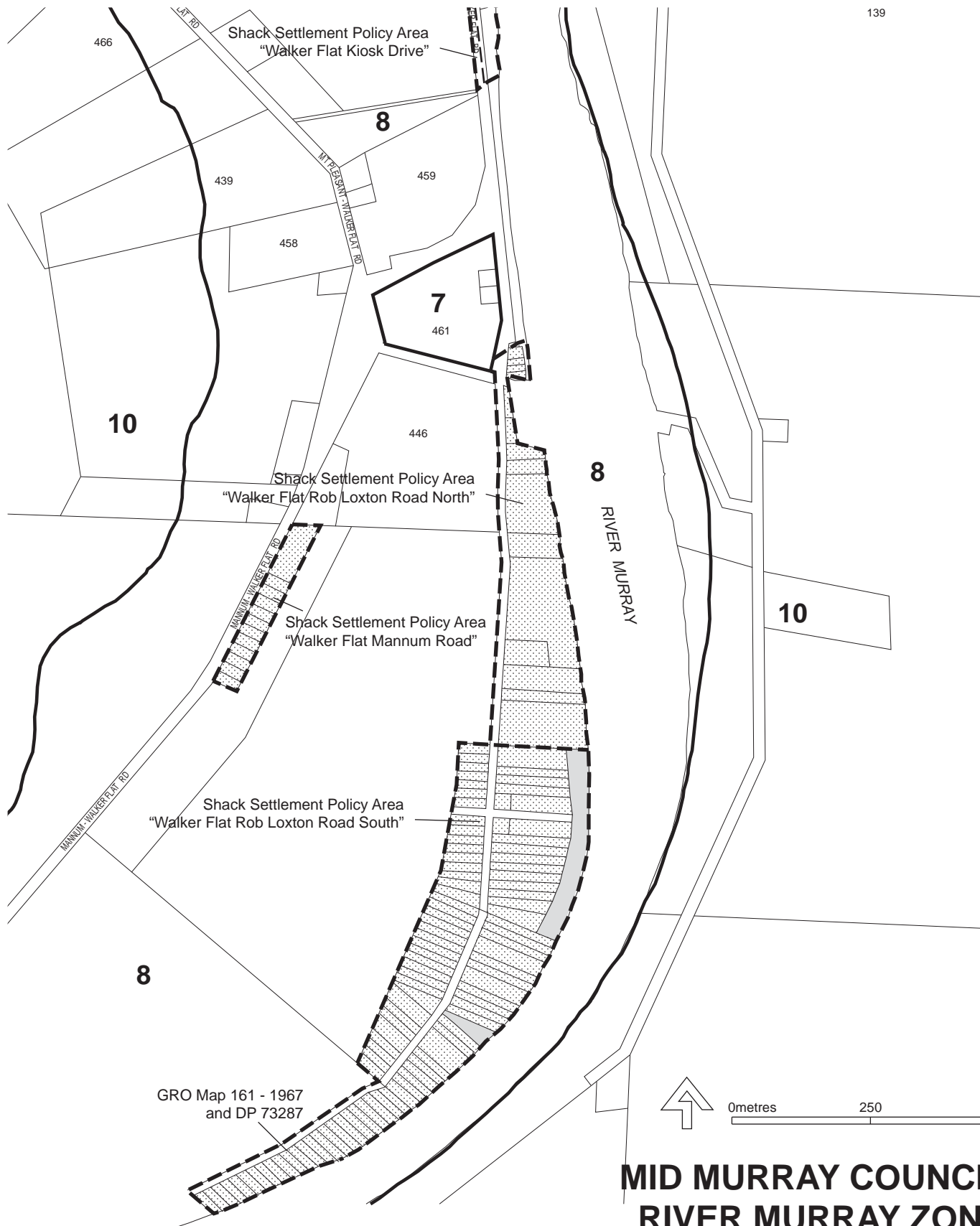


Figure Sh/1B ADJOINS

**MID MURRAY COUNCIL  
 RIVER MURRAY ZONE  
 SHACK SETTLEMENT  
 POLICY AREA  
 "WALKER FLAT" Kiosk Drive  
 Mannum Road  
 Rob Loxton Road North and  
 Rob Loxton Road South**



-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

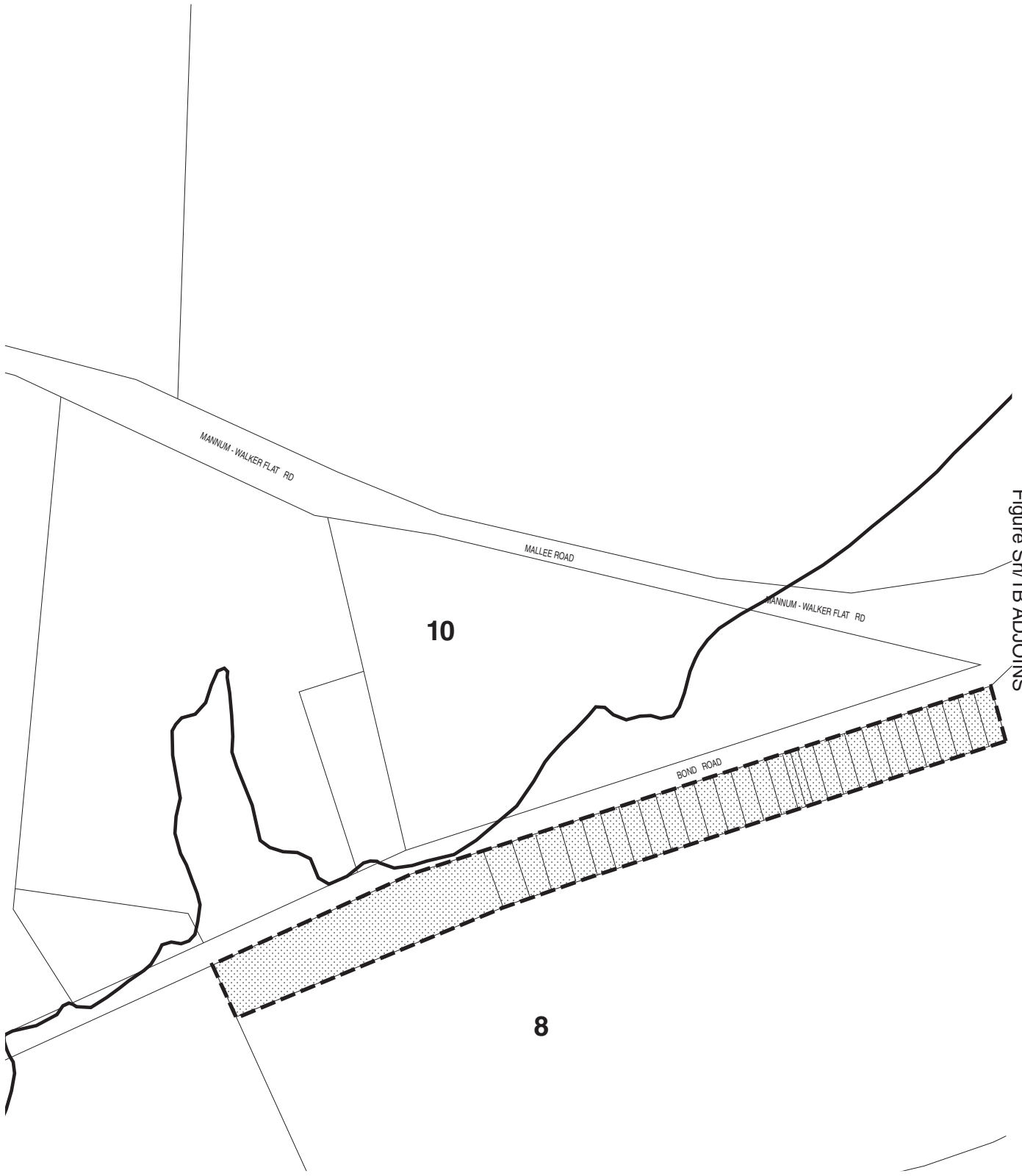


Figure Sh/29 ADJOINS



0metres 150 300

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"WALKER FLAT"**

**Bond Road**

**Fig Sh/28**




-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

Figure Sh/28 ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

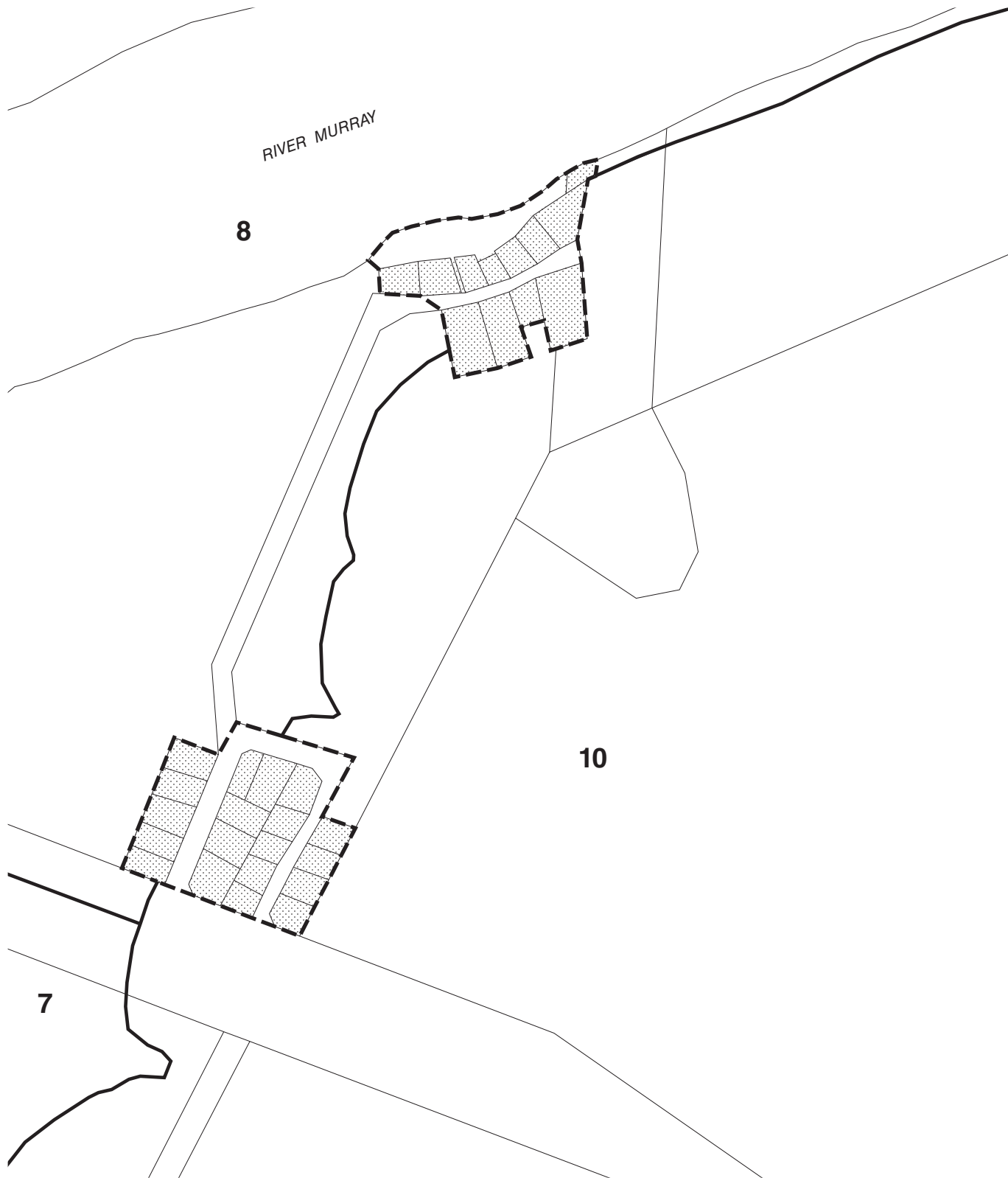





Figure Sh/1B ADJOINS



0metres 100 200

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"SCRUBBY FLAT"**

-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

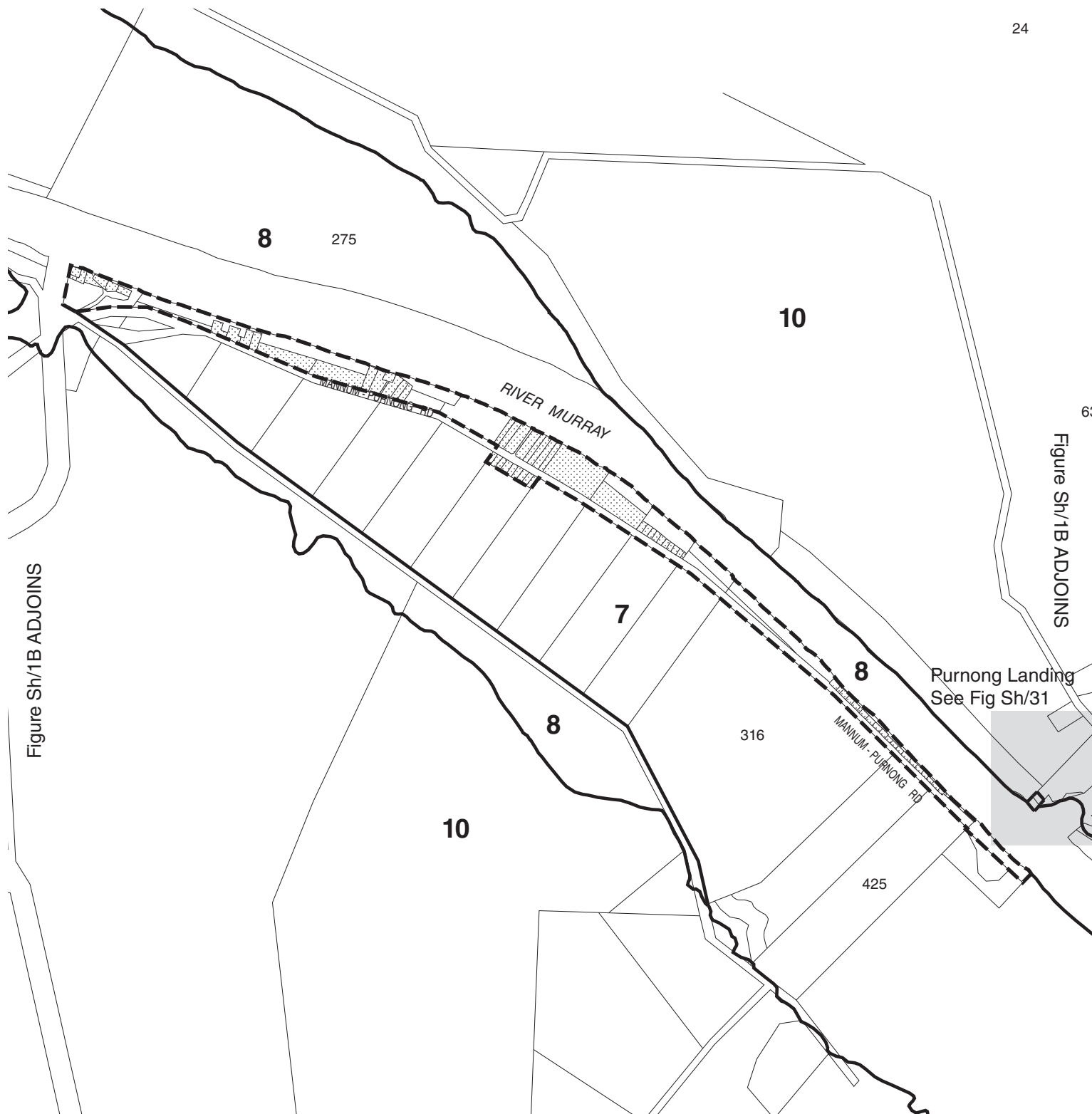


Figure Sh/1B ADJOINS



**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"CAURNAMONT"**




-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

Figure Sh/30 ADJOINS

Figure Sh/30 ADJOINS

Figure Sh/1B ADJOINS

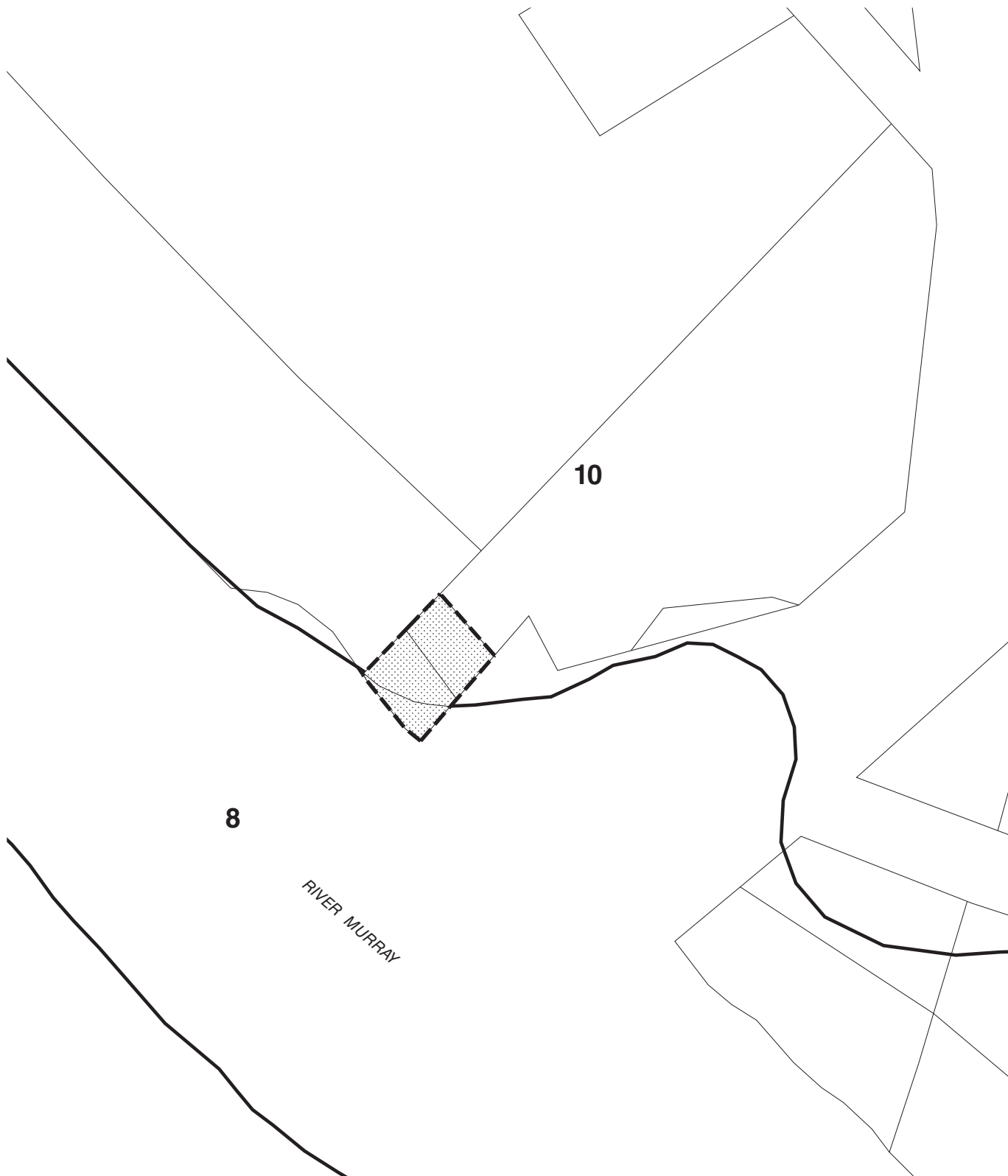





Figure Sh/30 ADJOINS



0metres 50 100

-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"PURNONG LANDING"**

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

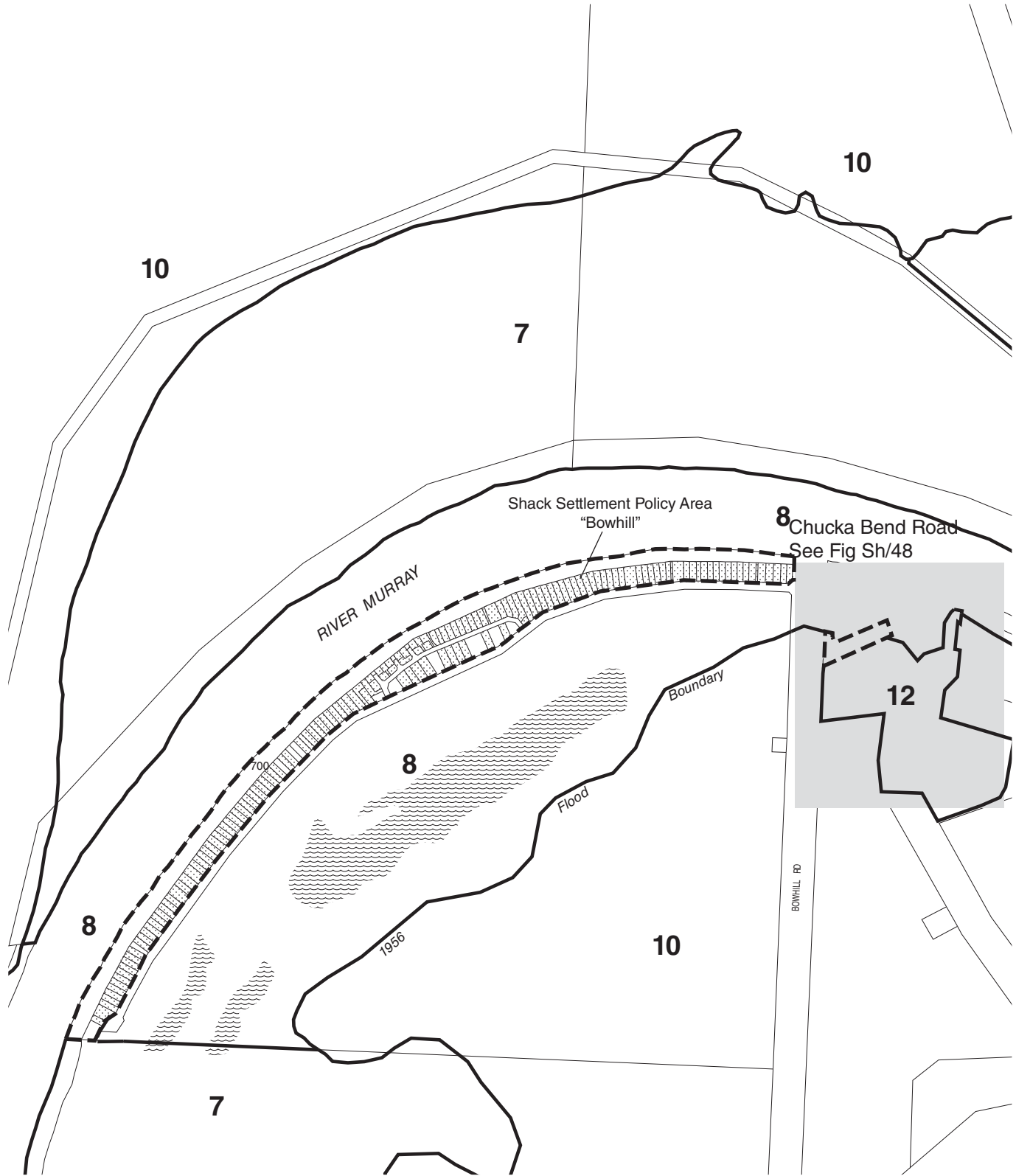


Figure Sh/1B ADJOINS



0metres 250 500

-  Residential Area
-  Conservation Wetland
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 12** River Settlement Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"BOWHILL"**



Figure Sh/1B ADJOINS

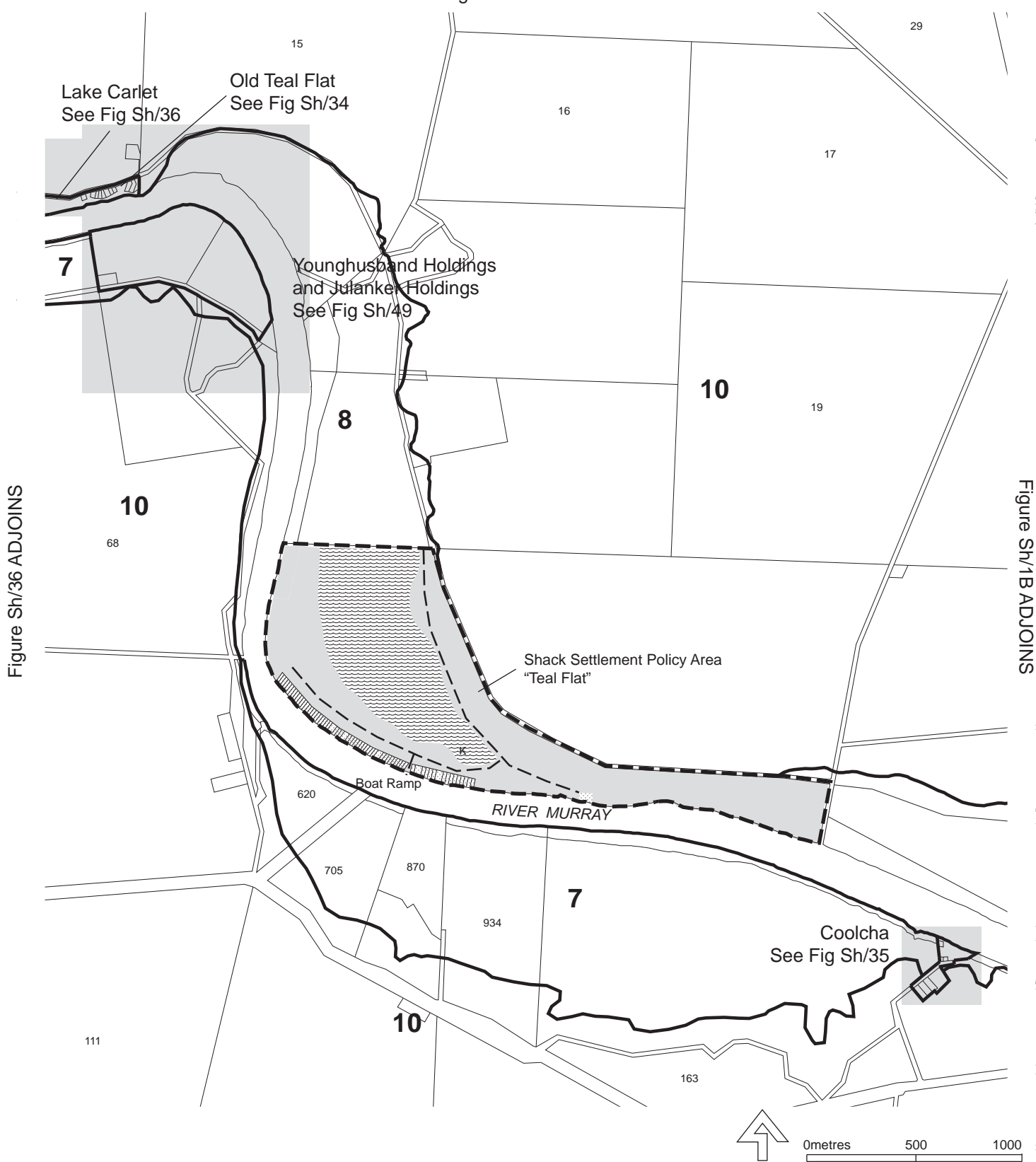
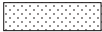

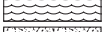






Figure Sh/1B ADJOINS

-  Residential Area
-  Common Area
-  Lagoon
-  Wetland of High Conservation Significance
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
-  Access
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"TEAL FLAT"**

Consolidated - 25 February 2023 **Fig Sh/33**

Figure Sh/33 ADJOINS

Figure Sh/36 ADJOINS

Figure Sh/33 ADJOINS

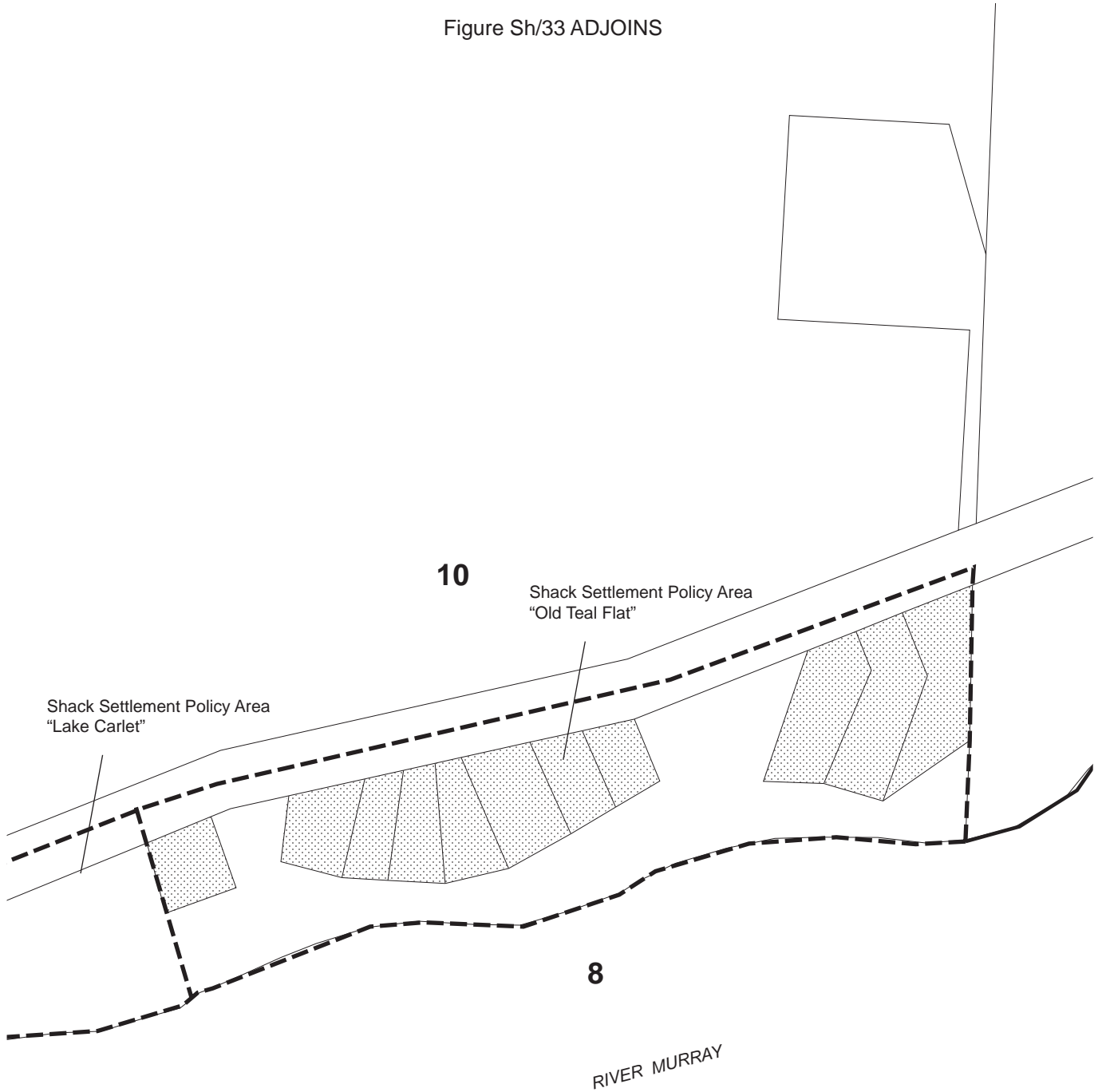


Figure Sh/33 ADJOINS



0metres 50 100

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"OLD TEAL FLAT"  
and "LAKE CARLET"**

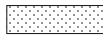


-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

Figure Sh/33 ADJOINS

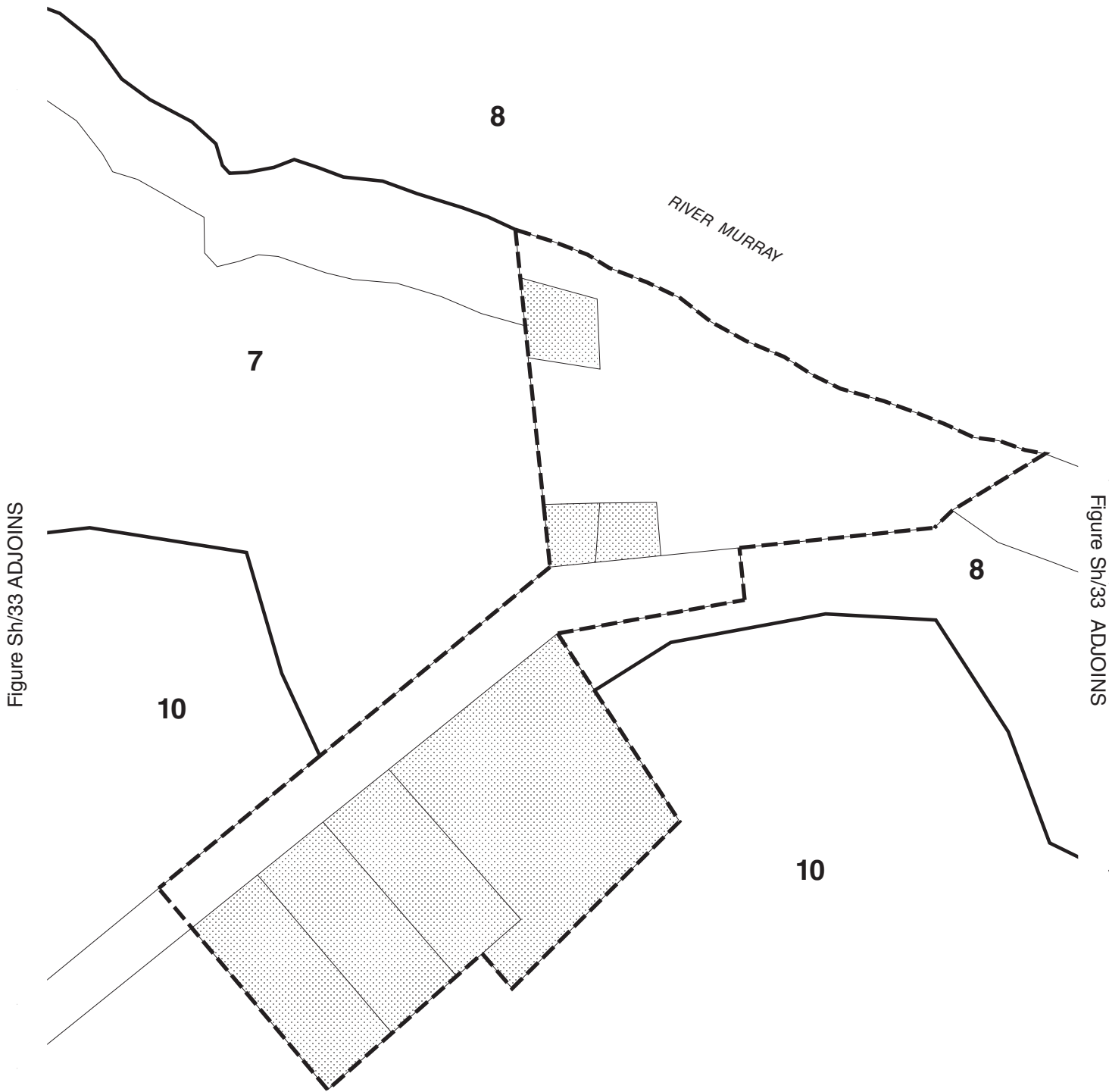


Figure Sh/33 ADJOINS



**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"COOLCHA"**




-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/34 ADJOINS


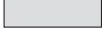


Figure Sh/33 ADJOINS



Figure Sh/1B ADJOINS



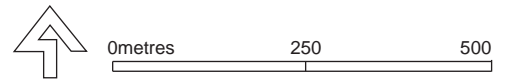
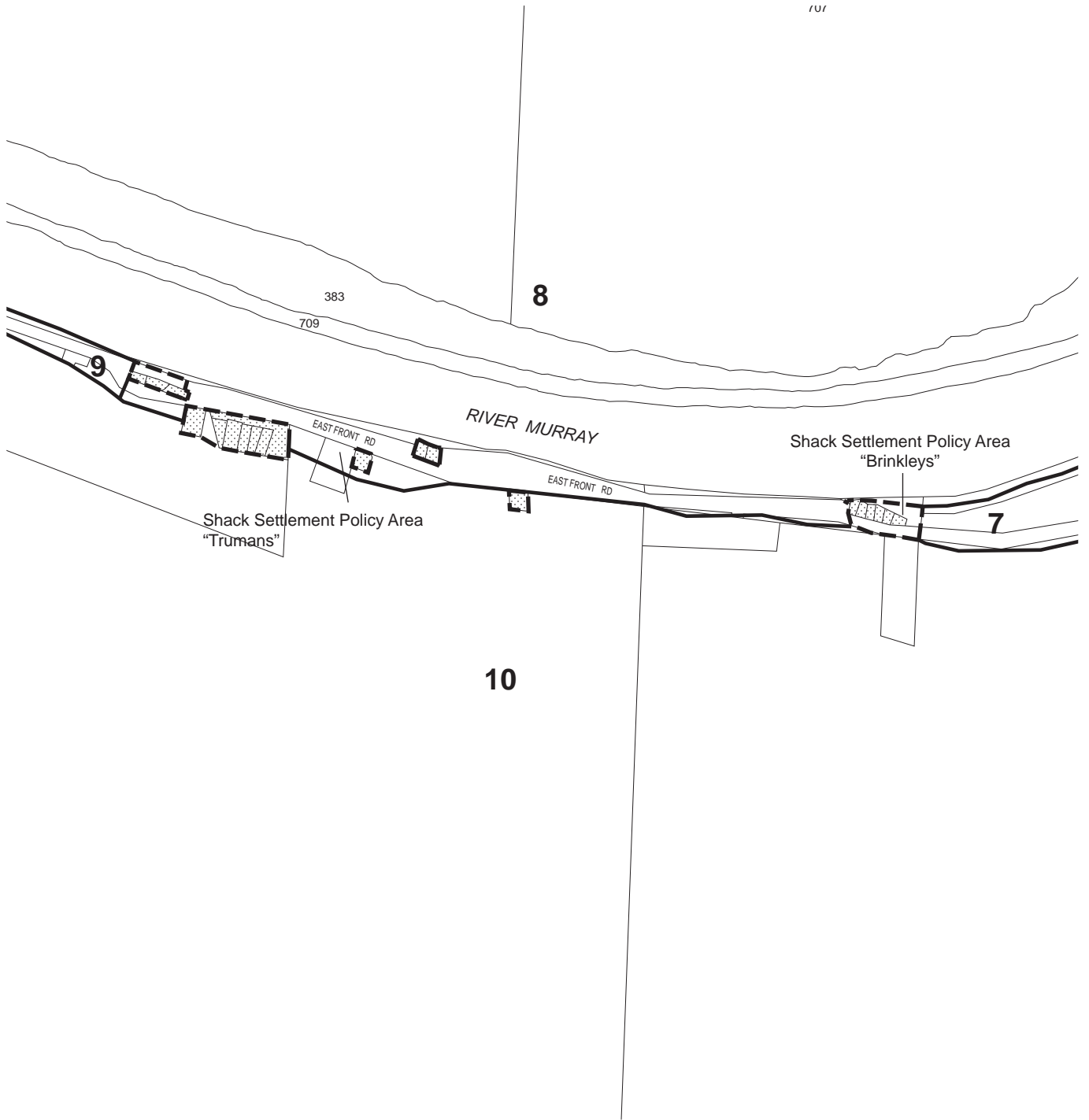
0metres 500 1000




-  Residential Area
-  Common Area
- 16** Murray Plains Policy Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 9** Recreation and Tourism Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"LAKE CARLET"**  
**Fig Sh/36**

Figure Sh/36 ADJOINS

Figure Sh/36 ADJOINS



-  Residential Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 9** Recreation and Tourism Policy Area
- 10** Primary Production Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"TRUMANS"  
and "BRINKLEYS"**

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

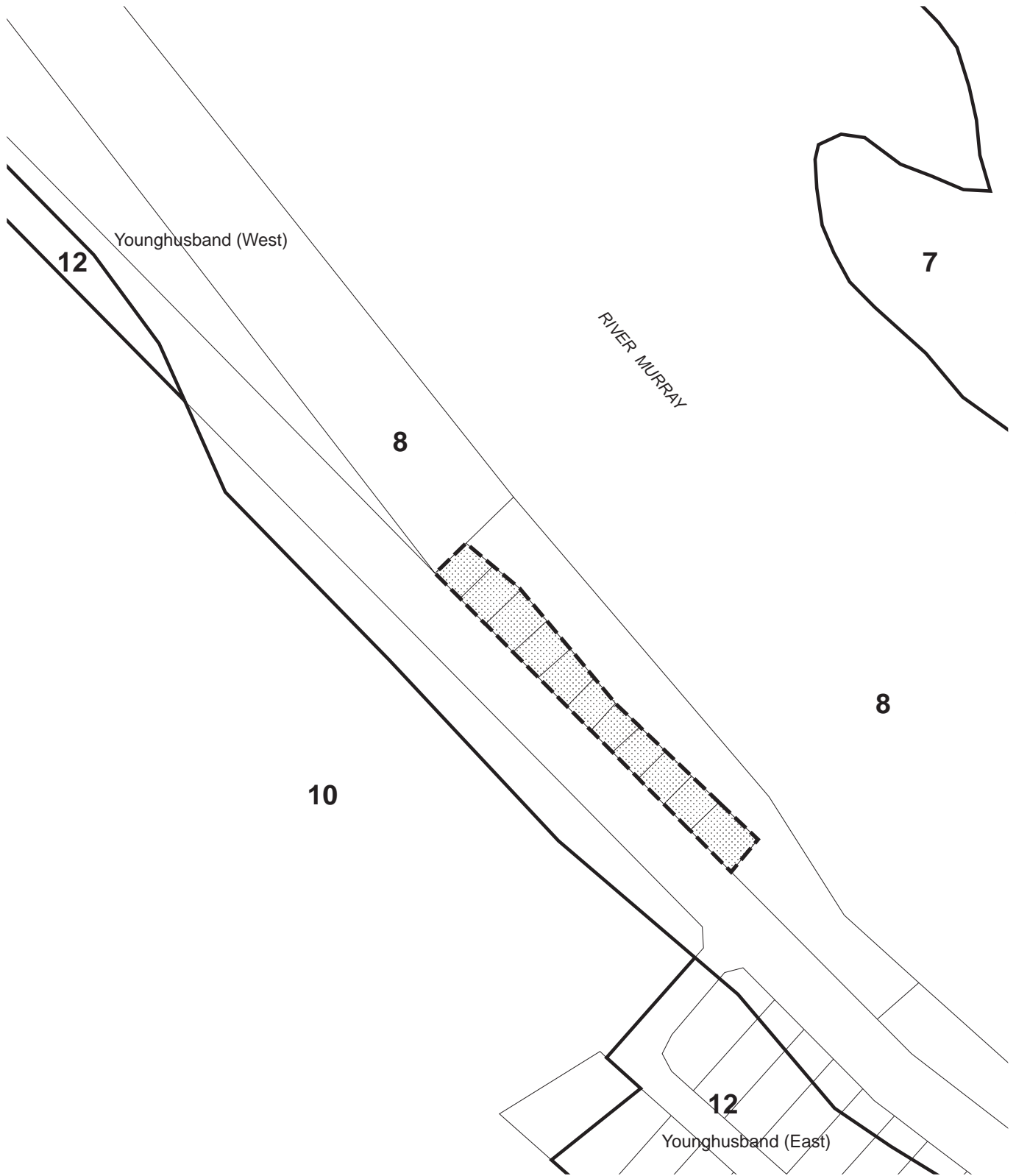





Figure Sh/1B ADJOINS



-  Residential Area
- 7** Conservation Policy Area
- 8** Floodplain Policy Area
- 12** River Settlement Policy Area
- 10** Primary Production Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"SEVEN MILE"**

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

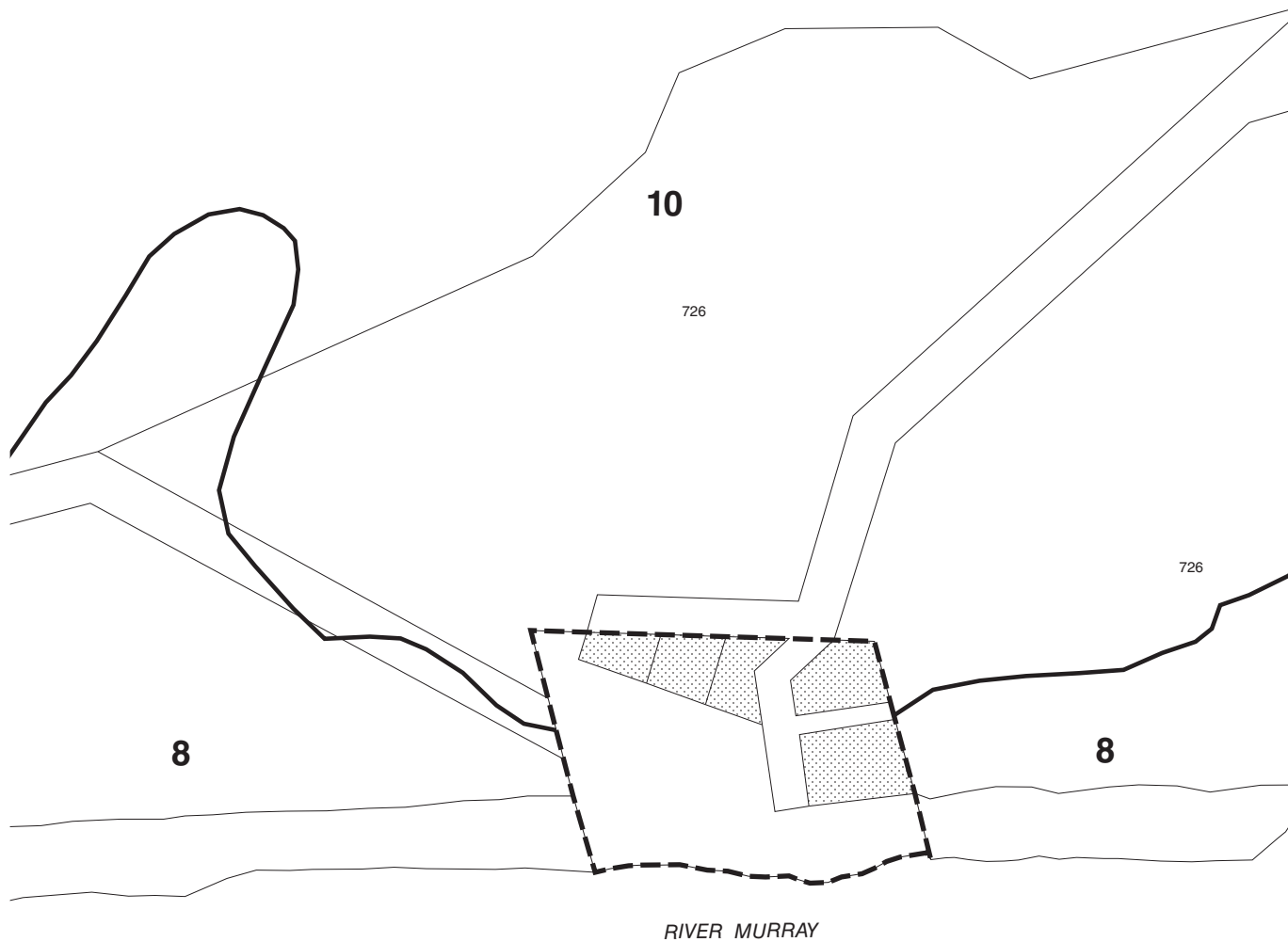


Figure Sh/1B ADJOINS



0metres 50 100

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"ROCKY POINT"**




-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

Figure Sh/1B ADJOINS

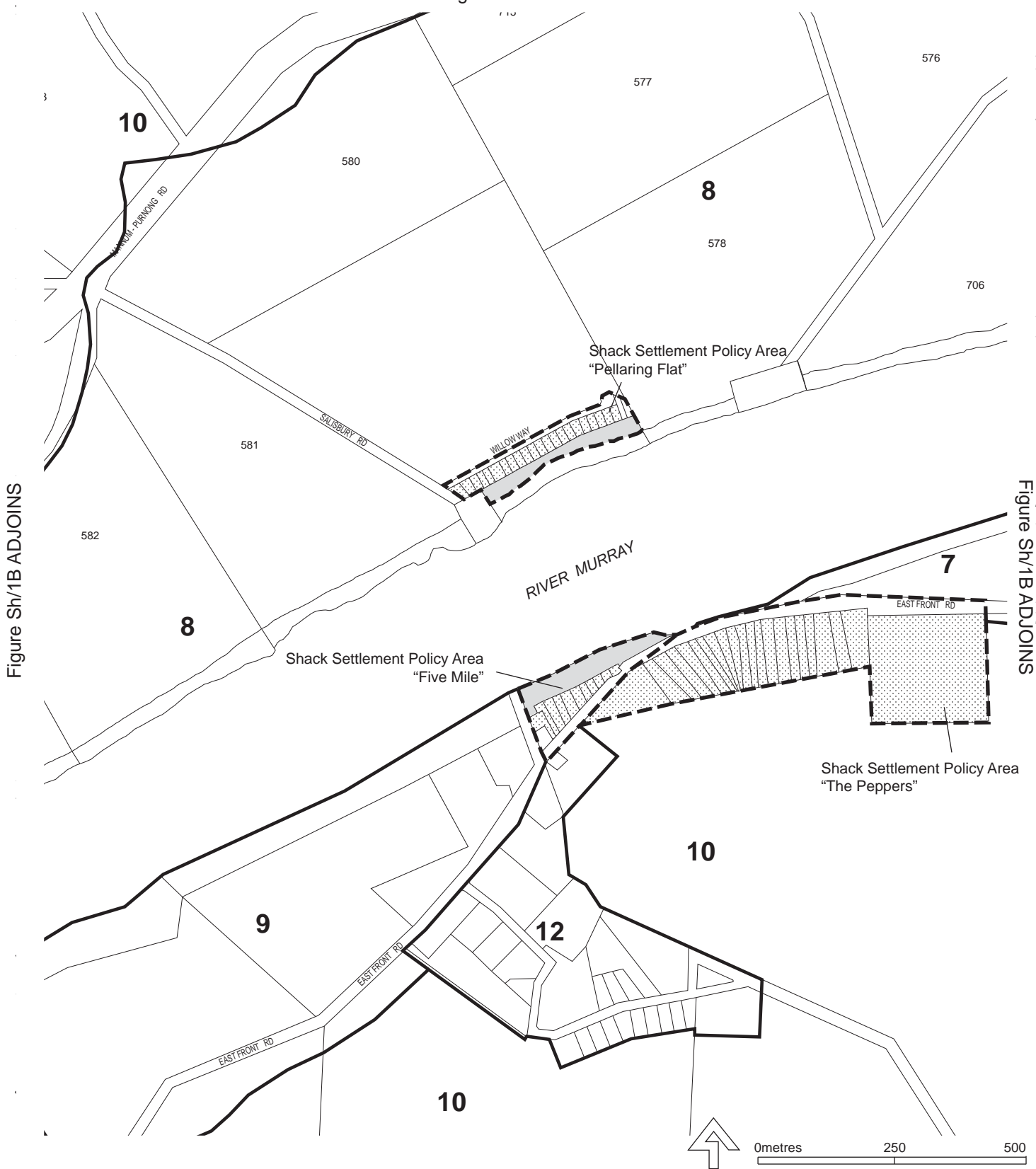


Figure Sh/1B ADJOINS

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"PELLARING FLAT"  
"THE PEPPERS"  
and "FIVE MILE"**



-  Residential Area
-  Common Area
- 12** River Settlement Policy Area
- 10** Primary Production Policy Area
- 9** Recreation and Tourism Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- - - - -** Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary



Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

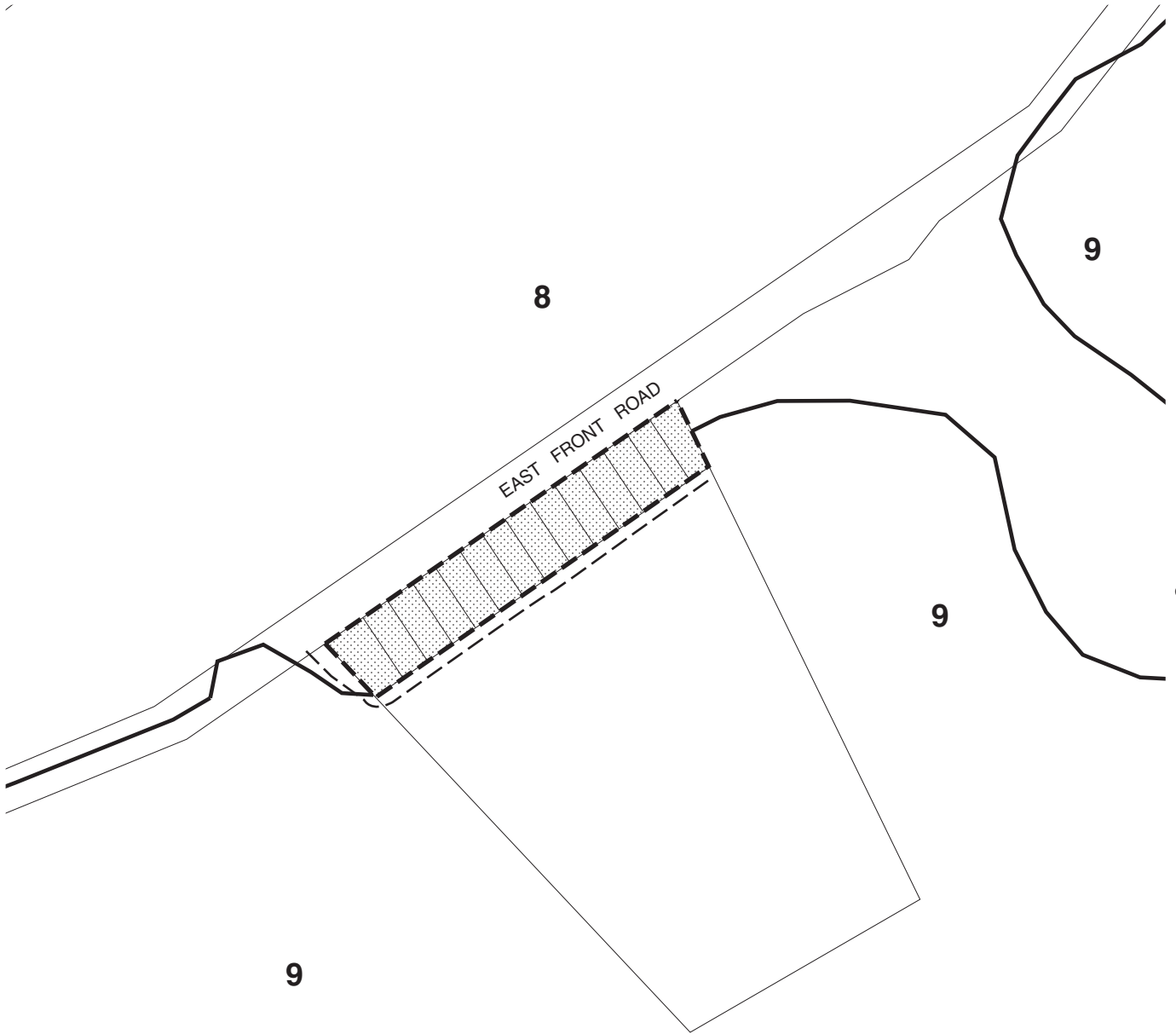



Figure Sh/1B ADJOINS



0metres 100 200

-  Residential Area
- 8** Floodplain Policy Area
- 9** Recreation and Tourism Policy Area
- - - - - Access
- - - - - Outer Boundary of Shack Settlement Policy Area
- Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"FRAHNS"**

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

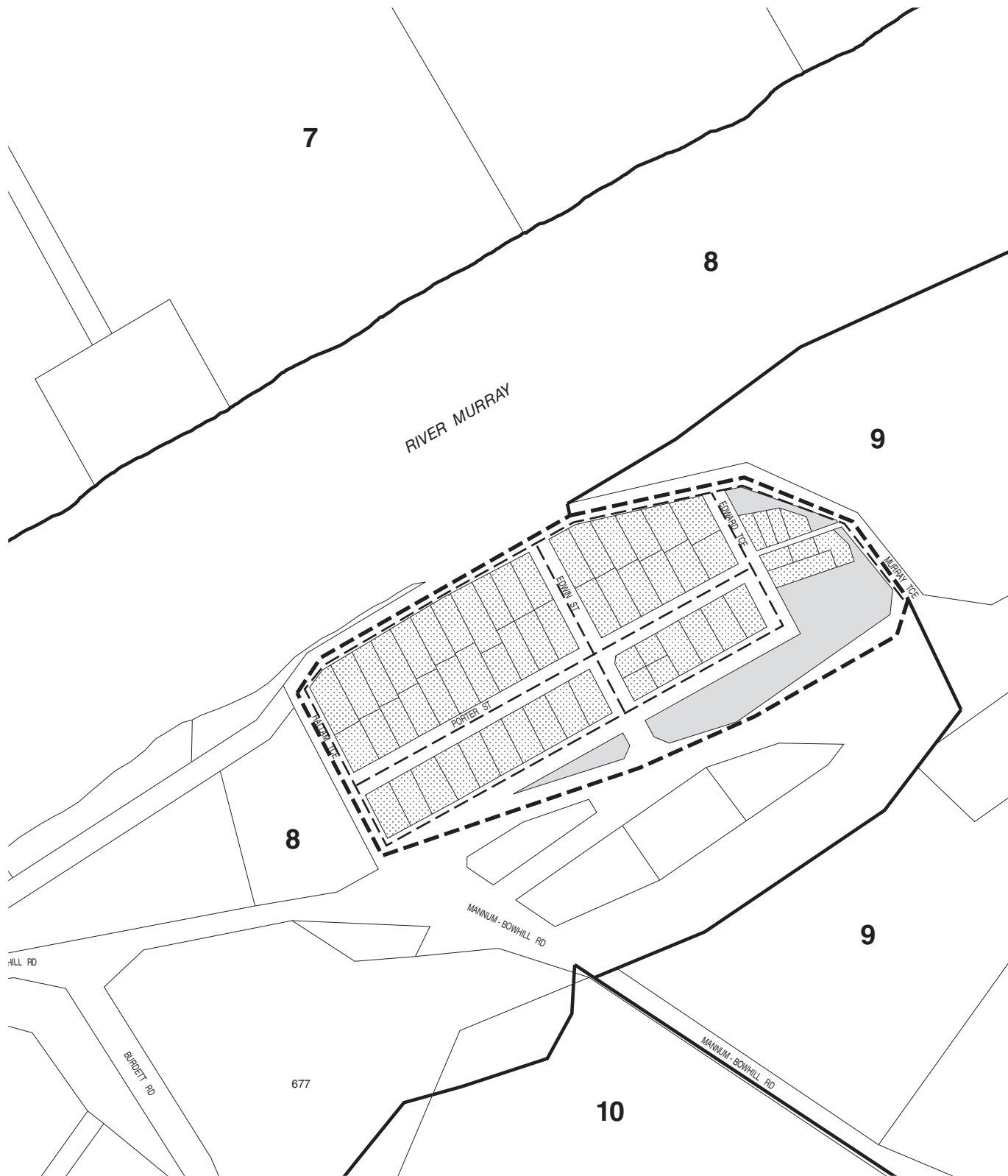

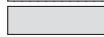
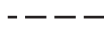




Figure Sh/1B ADJOINS



0metres 150 300

-  Residential Area
-  Common Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
- 9** Recreation and Tourism Policy Area
-  Access
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"COWIRRA"**

Figure Sh/1B ADJOINS

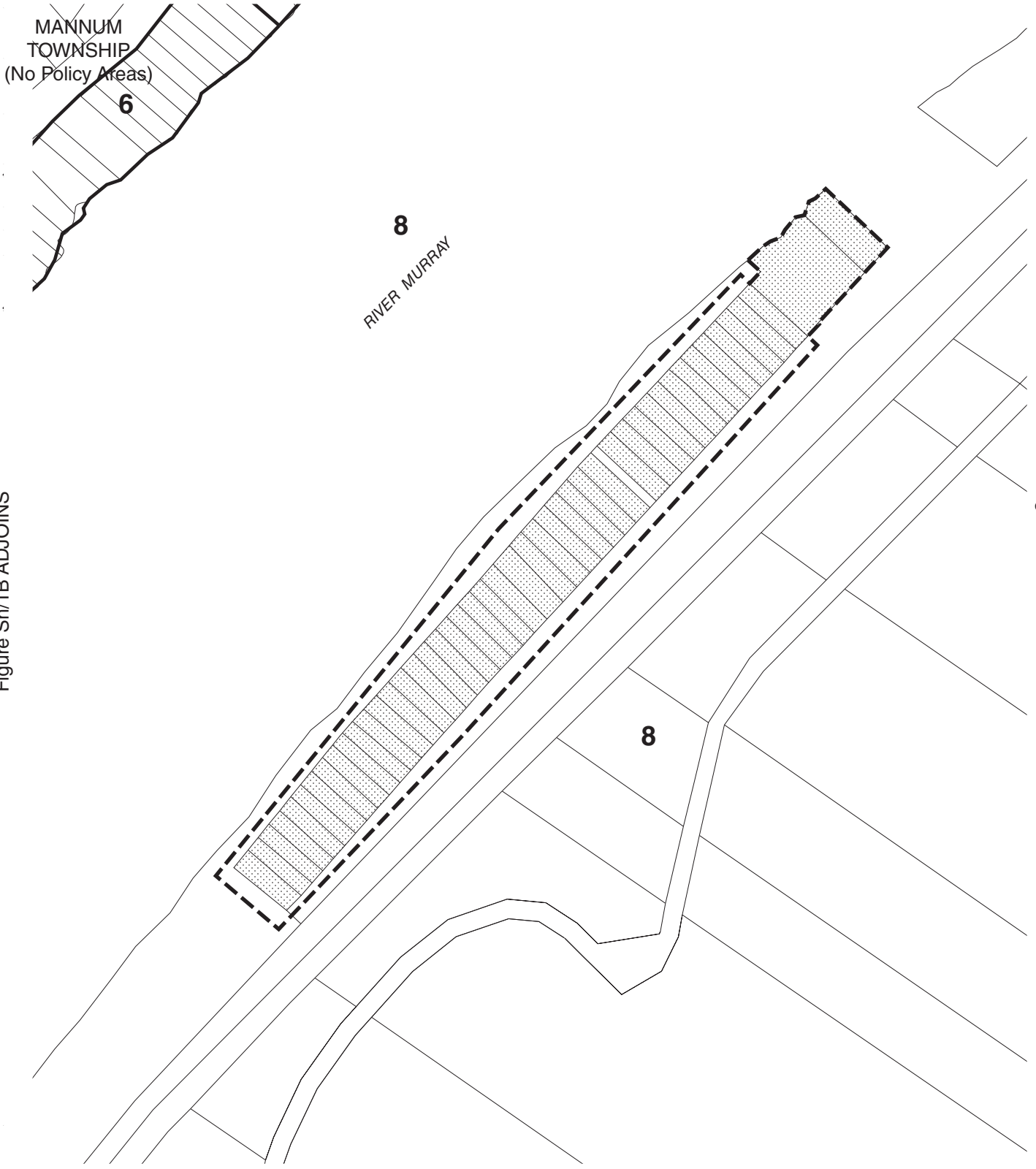
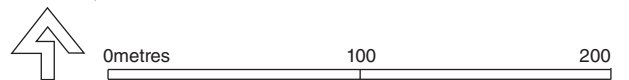


Figure Sh/1B ADJOINS



**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"BOLTO RESERVE"**




-  Residential Area
- 8** Floodplain Policy Area
- 6** Policy Area 6 - Business - Floodplain
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

Figure Sh/1B ADJOINS

MANNUM TOWNSHIP  
(No Policy Area)

8

10

8

27





(No  
Policy Area)

RIVER MURRAY

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

-  Residential Area
-  Common Area
- 8** Floodplain Policy Area
- 10** Primary Production Policy Area
- 27** Conservation Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary



0metres 50 100

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"BASEBY RESERVE"**

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

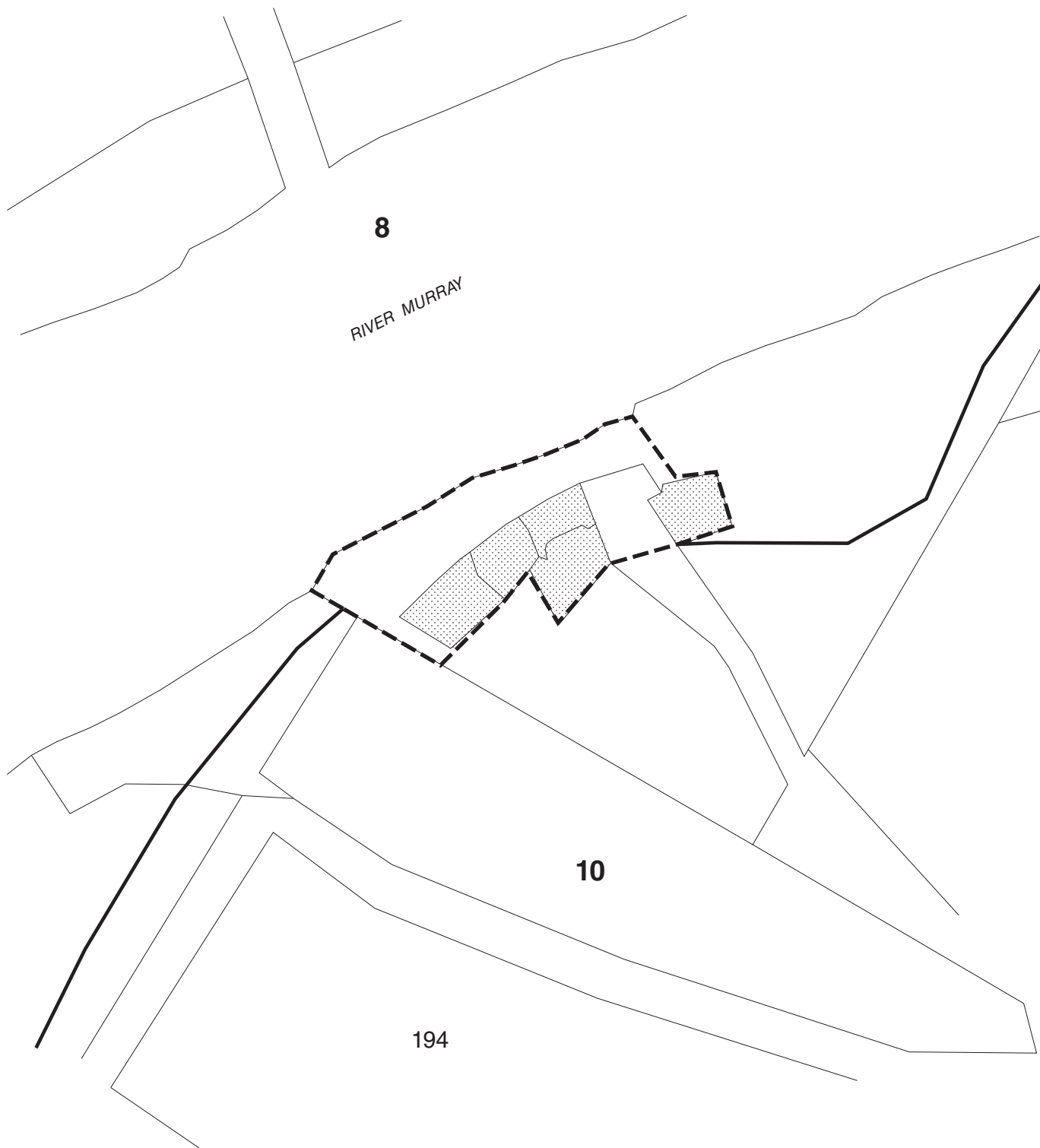





Figure Sh/1B ADJOINS



-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"NORTH NEETA"**

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

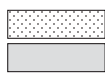
Figure Sh/1B ADJOINS



Figure Sh/1B ADJOINS



0metres 150 300



Residential Area

Common Area

10 Primary Production Policy Area

8 Floodplain Policy Area

7 Conservation Policy Area

12 River Settlement Policy Area

- - - - - Outer Boundary of Shack Settlement Policy Area

———— Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"CALOOTE LANDING"**

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

Figure Sh/1B ADJOINS

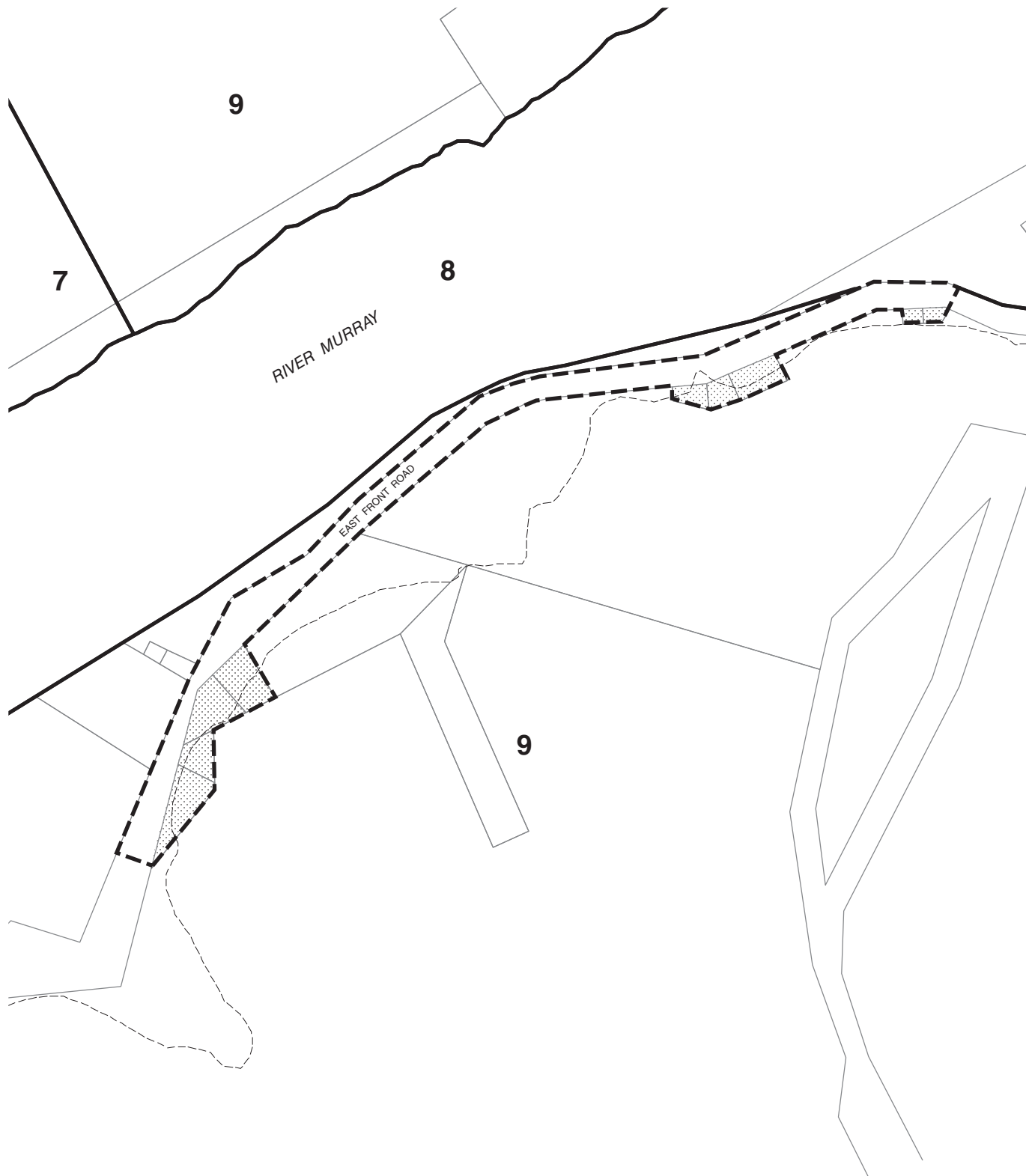


Figure Sh/1B ADJOINS



0metres 150 300



Residential Area

9

Recreation and Tourism Policy Area

8

Floodplain Policy Area

7

Conservation Policy Area



Outer Boundary of Shack Settlement Policy Area



Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"THE ROCKS"**

Figure Sh/32 ADJOINS

Figure Sh/32 ADJOINS

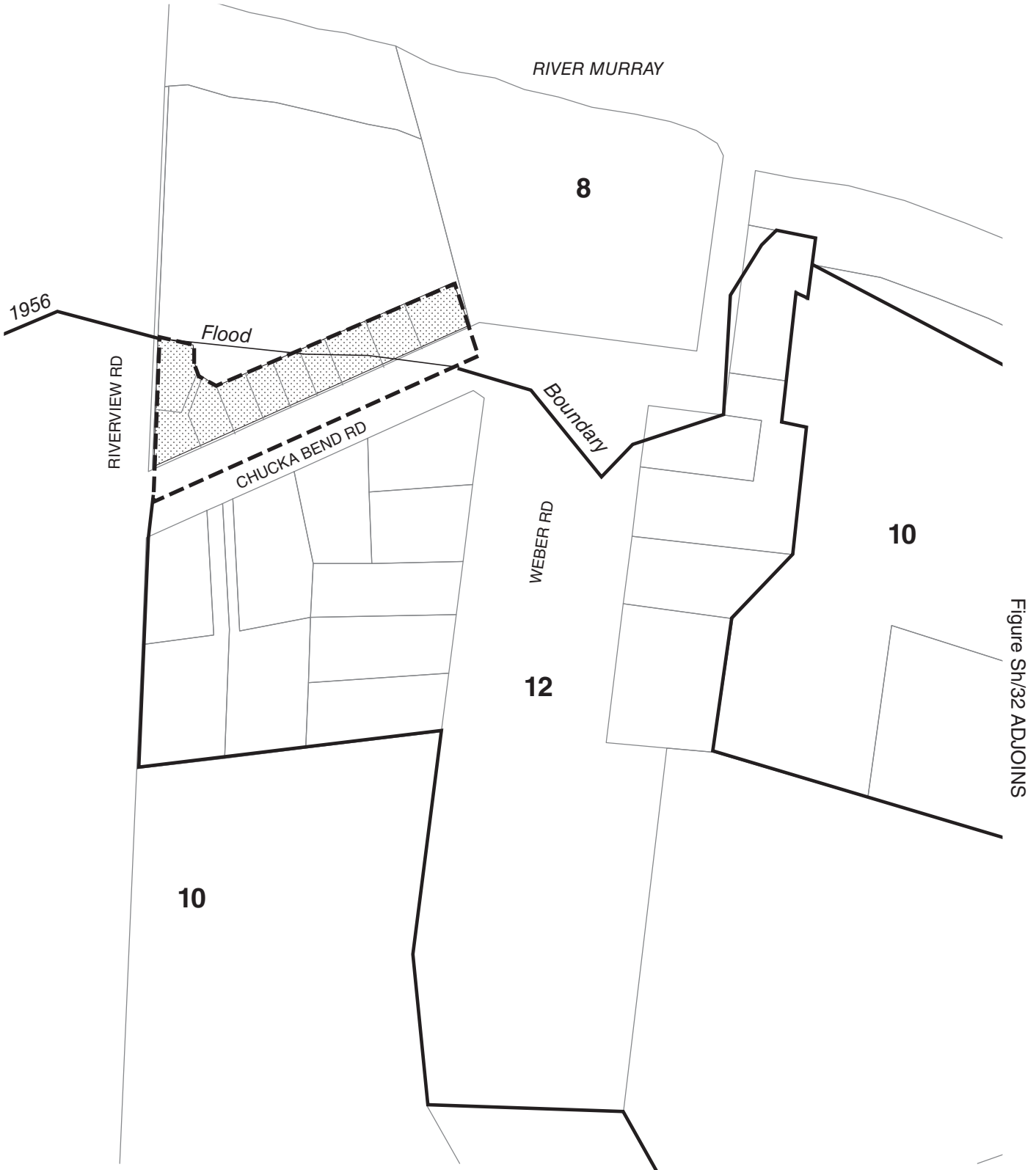





Figure Sh/32 ADJOINS



0metres 75

-  Residential Area
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 12** River Settlement Policy Area
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"CHUCKA BEND ROAD"**



Figure Sh/33 ADJOINS

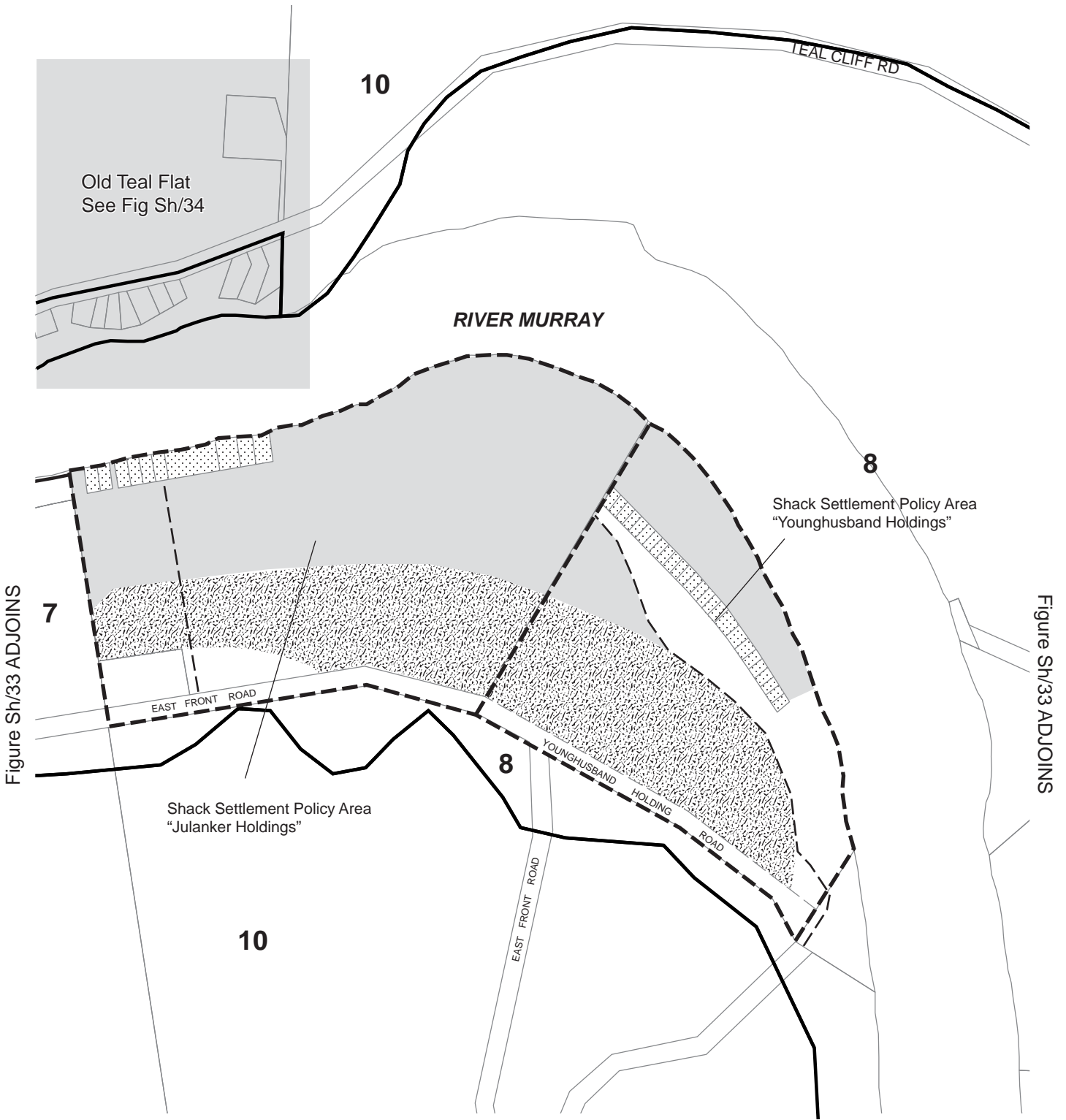


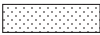


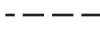


Figure Sh/33 ADJOINS

Figure Sh/33 ADJOINS

Figure Sh/33 ADJOINS



0metres 200

-  Residential Area
-  Common Area
-  Wetland of High Conservation Significance
- 10** Primary Production Policy Area
- 8** Floodplain Policy Area
- 7** Conservation Policy Area
-  Access
-  Outer Boundary of Shack Settlement Policy Area
-  Policy Area Boundary

**MID MURRAY COUNCIL  
RIVER MURRAY ZONE  
SHACK SETTLEMENT  
POLICY AREA  
"JULANKER HOLDINGS" and  
"YOUNGHUSBAND HOLDINGS"**

**Fig Sh/49**

## RURAL ZONE

### Introduction

The objectives and Principles of Development Control that follow apply to the Rural Zone as shown on [Maps MiMu/3 to 53, 58 and 59](#) and Policy Areas as defined as Policy Area 1 - Greenways, [Map MiMu/85](#) and Policy Areas: 13 – Marne Watercourse, 14 – Hills, 15 – Pastoral, 16 – Murray Plains, [Maps MiMu/64 to 102](#).

### Background

The zone comprises the majority of the Council area apart from areas nominated for urban development (towns and small settlements), rural living areas, conservation areas and the Murray Valley as defined by the River Murray Zone.

The main physical features of the zone are the eastern Mount Lofty Ranges, the Murray Plains and the Marne River. These key geographical features are recognised in separate policy areas, viz:

Hills Face;  
Pastoral Area;  
Marne River; and  
Murray Plains.

Dryland primary production is the dominant land use throughout the Zone. In the south this comprises cropping and grazing, but in response to lower rainfall to the north cropping is less prevalent and there are considerable areas of remnant mallee and saltbush, particularly in the pastoral lands where rangeland grazing is predominant. Horticulture occurs in discrete areas and is determined by access to irrigation water from the River Murray and groundwater, or surface catchment in Marne River Valley or the Mount Lofty Ranges.

### DESIRED CHARACTER

The zone is the location of the majority of dryland agricultural production within the Council area but it also includes irrigated orchards, vegetables, vineyards and pasture where there is access to water supplies for irrigation. The processing of agricultural product is envisaged which, subject to compliance with environmental criteria, could include value-adding enterprises such as packing and processing works and wineries. Other forms of small-scale industry may be appropriate in association with existing residential development, on allotments which are not suited to primary production, or as an adjunct to an existing primary production operation.

Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) are envisaged within that part of the zone outside of the Barossa Valley Character Preservation district (as defined by Character Preservation legislation) and constitute a component of the desired character of this part of the zone. These facilities will need to be located in areas where they can take advantage of the natural resource upon which they rely and, as a consequence, components (particularly turbines) may need to be:

- located in visually prominent locations such as ridgelines;
- visible from scenic routes and valuable scenic and environmental areas; and
- located closer to roads than envisaged by generic setback policy.

This, coupled with the large scale of these facilities (in terms of both height and spread of components), renders it difficult to mitigate the visual impacts of wind farms to the degree expected of other types of development. Subject to implementation of management techniques set out by general/council wide policy regarding renewable energy facilities, these visual impacts are to be accepted in pursuit of benefits derived from increased generation of renewable energy.

The Zone adjoins the River Murray and agricultural uses in the vicinity of the River must be managed to ensure that the River's water quality does not further deteriorate through accelerated groundwater inflows, irrigation run-off, chemical over-spray, erosion and siltation and other impacts. Due to the potential for adverse impacts on areas of native vegetation, olive production should be sufficiently separated from environmentally sensitive areas such as the Murray River and Conservation Zones.

The Zone encompasses the eastern face of the Mount Lofty Ranges which contributes significantly to the district's visual qualities. The location and design of development on the hills face is therefore a matter of importance, as is the retention of remnant bushland and native vegetation for aesthetic and conservation purposes. New landscaping or agro-forestry plantings should not change the bold and exposed character of the Hills Face. The use of local native species should be used in preference to introduced species for these purposes.

The zone's rural and natural character lends itself to tourism activities, such as the interpretation of the natural environment, the sale or sampling of produce and on-farm tourism which will enhance the value of local production and add to the quality and range of experiences available to the visitor in the region. These value-added activities however should not be undertaken in a way which would prejudice the long-term operation of primary production.

Scenic vehicular routes transverse and define the zone. Land adjoining a defined scenic route or which can be viewed from the routes, should only be developed to enhance their function.

Other than where qualified by the provisions for the Policy Areas, the following forms of development are **acceptable** in the Rural Zone:

- farming and farm buildings;
- horticulture particularly viticulture, vegetable and fruit production and associated storage and processing buildings;
- irrigated pasture;
- residential use providing it is associated with farming, horticulture, viticulture;
- infrastructure to support acceptable uses;
- tourist accommodation associated with existing farm dwellings;
- tourism development associated with the natural environment;
- uses which aid interpretation of natural areas and the region's natural heritage;
- intensive animal keeping providing specified separation distances can be achieved;
- land-based aquaculture providing specified separation distance can be achieved;
- land extensive uses to support urban areas such as waste disposal or waste treatment;
- wind farm and ancillary development outside of the Barossa Valley Character Preservation District; and
- wind monitoring mast and ancillary development outside of the Barossa Valley Character Preservation District.

The following forms of development are **unacceptable** in the Rural Zone:

- retail apart from the sale of farm produce;
- urban residential;
- industry and commercial not associated with farming, horticulture, or viticulture excluding small scale home industry on an allotment of which its size, existing use and land capability do not support economic primary production;
- outdoor advertising other than information signage, or relative to the sale of produce from the land on which the sign is sited; and
- olive plantation within 1km of the River Murray Zone (apart from the Primary Production Policy Area) and Conservation Zone.

## OBJECTIVES

### Sustainable Industry

**Objective 1:** Long-term operation and sustainability of rural production and primary industries.

**Objective 2:** Accommodation of wind farms and ancillary development outside of the Barossa Valley Character Preservation District as defined by Character Preservation legislation.

#### **Stormwater**

**Objective 3:** Maintenance of natural hydrological systems and environmental flows.

**Objective 4:** Surface run-off designed to protect property and life and environmental quality.

#### **Vegetation and Landscape Character**

**Objective 5:** Retention and maintenance of wetlands and existing native vegetation for its conservation, biodiversity, and habitat value and environmental management function.

**Objective 6:** Maintenance and enhancement of the landscape character.

#### **Soil**

**Objective 7:** Protection and maintenance of:

- (a) the physical, chemical and biological quality of soil resources;
- (b) the quantity of soil resources;
- (c) the natural processes of sediment transfer.

#### **Horticulture and Irrigated Pasture**

**Objective 8:** No adverse impact generated by horticulture and irrigated pasture.

Development and use of land for horticulture and irrigated pasture which does not contribute to the degradation of the River Murray by way of:

- (a) rising groundwaters or increases in water salinity levels;
- (b) a reduction of the conservation status of significant wetlands; or
- (c) undue impacts on remnant vegetation.

**Objective 9:** Horticulture and irrigated pasture which does not adversely impact on urban zones, the Murray Valley Zone, or neighbouring land uses.

**Objective 10:** Horticulture which has a medium to low risk of associated spread of feral growth.

**Objective 11:** Horticulture and irrigated pasture which does not place undue demands on the provision of infrastructure such as energy supply, water supply and road access.

#### **Dairying**

**Objective 12:** No adverse impact generated by dairying

#### **Intensive Animal Keeping**

**Objective 13:** No adverse impact generated by intensive animal keeping.

#### **Land Based Aquaculture**

**Objective 14:** No adverse impacts generated by land-based aquaculture.

**Air Quality**

**Objective 15:** Prevention of environmental nuisance or harm resulting from odour and other airborne particles.

**Noise Pollution**

**Objective 16:** Protection of sensitive uses from external noise.

**Hazard Minimisation**

**Objective 17:** Prevention of environmental nuisance or harm resulting from a biological, chemical or fire hazard, energy emission or explosion.

**Waste**

**Objective 18:** No adverse impacts from the treatment of wastes.

Effective treatment of solid and liquid wastes to prevent environmental nuisance and harmful or adverse impacts on the public, worker health or the amenity of a locality.

**Objective 19:** Enhanced opportunities for the appropriate recycling and reuse of waste.

**Built Form and Design**

**Objective 20:** Rural dwellings or value-adding enterprises which does not preclude horticulture, irrigated pasture, and dairying development.

**Objective 21:** Buildings and structures compatible with the environmental qualities, built form and character of the surrounding area and landscape.

**Infrastructure**

**Objective 22:** Economic provision of infrastructure in an environmentally sensitive manner.

**Objective 23:** Development provided with an adequate level of appropriate services and infrastructure without excessive cost to the community.

**Land Division**

**Objective 24:** Allotments suited to their proposed use.

**Conservation**

**Objective 25:** Protection of environmental values of conservation areas.

**PRINCIPLES OF DEVELOPMENT CONTROL****Form of Development**

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone and the relevant policy area.

**Stormwater**

- 2 No adverse impact on natural hydrological systems and environmental flows.

**Design Techniques** (*ONE WAY of meeting requirements of the principle of development control*)

- 2.1 *Modifications to the landform are not located closer than 50 metres to the bank of a watercourse identified on a current series 1:50 000 SA Government topographic map.*

- 2.2 *The quality of water leaving the site, be of a physical, chemical and biological condition equivalent to or better than pre-development conditions.*
- 2.3 *The rate of discharge from the site shall not exceed the rate of discharge from the site in the pre-development condition for all storm durations up to and including storms having an ARI of 100 years.*
- 3 Stormwater from buildings and ground areas managed in a manner which minimises impact on natural drainage systems by:
- (a) preventing soil erosion or siltation;
  - (b) minimising the entry of pollutants; and
  - (c) mitigating peak flows.

**Design Techniques** (*ONE WAY* of meeting requirements of the principle of development control)

- 3.1 *In relation to P3(c) on-site drainage systems shall incorporate a system to the approval of the relevant authority, to detain and treat first flush storm run-off before discharge from the site. A detention volume equivalent to the run-off from a 1 year ARI, 2 hour duration storm, discharged gradually over a period of 24 hours is acceptable.*

*For Industry:*

- 3.2 *Floor levels shall be set taking into account likely flood levels from the 100 year ARI storm, including freeboard determined by site conditions, eg where water is flowing at a high velocity a greater level of freeboard may be required compared to water flow at a low velocity.*
- 3.3 *Rainfall run-off from ground areas directed to open swales, via purpose designed and built traps for litter, sediment, grease, oil and other like substances.*
- 3.4 *Swales to be designed (in combination with roads and other hard paved surface areas) to detain the whole run-off from a 1 in 1, to 10 year event flow, and a 1 in 100 year event storm for a one hour period.*
- 3.5 *Swales are to be formed with a gradient no more than a 1 in 5 and lined with an erosion resistant base (eg, rocks or paving stones) and not be obstructed by trees and shrubs.*
- 3.6 *Any swales used for storm run-off shall be designed to be non-scouring.*

**Landscape**

- 4 Development should be designed and sited to respect and maintain the landscape character of an area which is of:
- (a) historical (including archaeological) significance;
  - (b) scientific interest;
  - (c) scenic value or natural beauty;
  - (d) other heritage significance; or
  - (e) conservation significance.

**Soil**

- 5 Development should not have an adverse impact on the natural, physical, chemical or biological quality and characteristics of soil resources.

- 6** Development should minimise the loss of soil from a site through soil erosion or siltation both:
- (a) during the construction phase; and
  - (b) following commencement of an activity.

***Design Techniques (ONE WAY of meeting requirements of the principle of development control)***

*6.1 Erosion and sediment control measures such as grade furrows, contour banks, catch/diversion drains, level spreaders, revegetation, hay bale barriers, filter fences, sediment traps and basins are implemented during the construction phase to prevent silt or sediment leaving the subject land.*

- 7** Development should not result in alterations to the landform or drainage patterns which will impede natural processes of sediment transfer.

**Waste**

- 8** Untreated waste should not be spread or discharged to land or water either on-site or elsewhere.

*Advisory Note:*

*Use of organic fertilisers for the purposes of primary production is not included, nor is treated animal effluent applied in accordance with principles of development control for irrigated development.*

- 9** On-site waste treatment and the spreading or discharging of treated waste on-site should only occur where:
- (a) site conditions including soil type and permeability, soil nutrient levels, crop selection, soil percolation rates, the slope of land, potential for flooding and site drainage, rainfall and depth to water table have been considered and are conducive to waste being spread or discharged on-site; and
  - (b) the capacity of the on-site treatment facility is sufficient to accommodate likely daily demands.
- 10** The methods for, and siting of, effluent and waste treatment and disposal systems should minimise the potential for:
- (a) environmental harm;
  - (b) adverse impacts on the quality of surface and groundwater resources;
  - (c) adverse impacts on public and worker health;
  - (d) adverse impacts on the amenity of a locality; and
  - (e) adverse impacts on sensitive land use receptors.

***Design Techniques (ONE WAY of meeting requirements of the principle of development control)***

*10.1 In relation to principle 10(a) and (b) no part of a septic tank effluent drainage field or any other waste water disposal area is:*

- (a) *located within 50 metres of any bore, well, dam or watercourse that either clearly exists or is identified on a current series 1:50 000 SA Government topographical map, and any residence on an adjacent property or within 10 metres of any public land (including public roads);*
- (b) *located on any land with a slope greater than 20 percent (1 in 5 or 12°);*

- (c) located on land where the depth to bedrock is less than 1.2 metres;
- (d) located on land where the depth to a sub surface seasonal tidal or permanent water table (fresh or saline) is less than 1.2 metres from the ground surface level;
- (e) located on land likely to be inundated by a 10 year return period flood event for any watercourse;
- (f) located in a manner that leads to surface run-off from the wastewater irrigation area at any time; or
- (g) located on waterlogged or saline areas.

### **Wineries**

10.2 In relation to Principle 10 (a) and (b) solid and semi-solid by-products or wastes (eg stalks, marc, lees, diatomaceous earth and other filter media) intended for composting or disposal are stored in the following manner to minimise the emission of odours:

- (a) spent diatomaceous earth is stored in covered areas/ containers for no longer than 3 weeks before off-site reprocessing or disposal; and
- (b) the area where stalks and/or marc are composted for later use as a soil conditioner is located at least 200 metres from any dwellings on neighbouring properties.

### **Wineries and Olive Oil Processing**

10.3 In relation to Principle 10 (a) open lagoons/ dams used to store untreated winery and olive oil processing wastewater for more than 72 hours is located at least 1000 metres from any dwellings on neighbouring properties.

### **Poultry Sheds**

10.4 In relation to principle 10(a) and (b) carcasses are stored on-site in sealed containers to prevent liquid and odour escape or access by vermin prior to removal or composting.

10.5 In relation to principle 10(a) and (b) manure/used litter from poultry sheds is cleaned from sheds and:

- (a) removed from the site within one day of collection; or
- (b) disposed of on-site (eg incorporated into the soil), provided that the land is not subject to flooding or waterlogging and the following separation distances are maintained:

<b>Land Use/Activity/Landscape Element</b>	<b>Distance to On-Site Disposal Site (metres)</b>
Urban residential zone/rural living zone	500
Rural farm residence not owned by poultry shed operator	100
Public area	50
Public road – with more than 50 vehicle movements per day	50
Public road – with less than 50 vehicle movements per day	20
Any watercourse as defined by a blue line on a current 1:50 000 SA Government topographical map	50



- 10.6 In relation to principle 10(a) and (b) manure/ used litter stored on-site prior to disposal is stored on an impervious base and all clean rainfall run-off is excluded from the storage area.

#### Piggeries

- 10.7 In relation to principle 10(a) and (b), where the effluent treatment system is located greater than 500 metres from the piggery, the separation distances surrounding effluent treatment systems are provided as follows:

#### **Separation Distances Surrounding Effluent Treatment <sup>(1)</sup> <sup>(2)</sup> Systems (For Piggeries up to 5000 Standard Pig Units)**

<b>Effluent Treatment System</b>	<b>A (metres)</b>	<b>B (metres)</b>	<b>C (metres)</b>	<b>D (metres)</b>
Large towns greater than 2000 persons	800	1000	1500	2000
Towns greater than 100 persons	500	500	1000	1500
Small towns greater than 20 persons	500	500	500	1000
Neighbouring rural farm residence not occupied by owner/staff of piggery	300	300	400	500
Public area (occasional use)	100	100	150	200
Public Road – except as below	100	100	150	200
Public road – unsealed with less than 50 vehicles per day excluding piggery traffic	50	50	50	50
Major watercourse and flood zone	200	200	200	200
Other watercourse as defined by a blue line on a 1:50 000 current SA Government topographical map	100	100	100	100
Property boundary	20	20	20	20

- 10.8 In relation to principle 10(a) and (b), for piggeries bigger than 5000 Standard Pig Units the values in 10.7 above are increased by the factor  $\sqrt{N/5000}$  where N is the number of Standard Pig Units in the piggery
- 10.9 In relation to principle 10(a) the separation distances surrounding waste disposal areas are provided as follows:

<sup>(1)</sup> Distances are measured from the edge of the effluent treatment system or the effluent disposal area

<sup>(2)</sup> System A Solids separation, anaerobic lagoon, and aerobic lagoon and also straw and manure from eco-huts  
 System B Anaerobic lagoon and aerobic lagoon  
 System C Anaerobic lagoon only  
 System D Drying lagoons

**Separation Distances Surrounding Waste Disposal Areas<sup>(3) (4)</sup>**

<b>Disposal Method</b>	<b>A (metres)</b>	<b>B (metres)</b>	<b>C (metres)</b>	<b>D (metres)</b>
<i>Large towns greater than 2000 persons</i>	500	1000	1500	2000
<i>Towns greater than 100 persons</i>	250	500	1000	1500
<i>Small towns greater than 20 persons</i>	200	400	500	1000
<i>Neighbouring rural farm residence not occupied by owner/staff of piggery</i>	100	200	300	300
<i>Public area (occasional use)</i>	50	100	150	200
<i>Public road – except as below</i>	25	25	50	75
<i>Public road – unsealed with less than 50 vehicles per day excluding piggery traffic</i>	10	10	150	15
<i>Major watercourse and flood zone</i>	100	200	200	200
<i>Other watercourse as defined by a blue line on a 1:50 000 current SA Government topographical map</i>	50	50	50	100

10.10 *In relation to principle 10(a), where more than one category of disposal to land is used, the method which requires the greater distance separation is used.*

**Cattle Feedlots**

10.11 *In relation to principle 10(a) where the effluent treatment system is located greater than 500 metres from the cattle feedlot, the separation distances surrounding effluent treatment systems are provided as follows:*

<sup>(3)</sup> if the direction of the wind is towards a receptor, the buffer distance should be increased by 50 per cent.

<sup>(4)</sup> Disposal methods are in accordance with the following:

**Disposal Method A**

- Discharge by injection directly into the soil at a rate not exceeding either the hydraulic or nutrient and salinity limits determined for the local soil types;
- Irrigation of liquid pig effluent diluted at a ration of 20:1 or greater and projected at a height of less than two metres

**Disposal Method B**

- Land receiving effluents that are “fresh” (ie those that are less than 12 hours old) and having a solids content no more than 5 percent.
- Aerated effluents from which at least 75 percent solids have been removed
- Any effluent with a BOD value of less than 25000 mg/litre
- Solids that have been completely composted
- Effluent having a solids content of not more than 1 percent
- Mechanical spreaders in combination with “ploughing-in” type equipment

**Disposal Method C**

- Downward effluent discharge nozzles
- Discharged material is not projected to a height of more than 2.0 metres above ground level

**Disposal Method D**

- All effluent that is discharged or projected to a height in excess of 2.0 metres above ground level
- Liquid effluent in which water remains visible on the soil surface for periods in excess of one hour
- Separated solids or sludge (except fully composted solids) that remain on the soil surface for more than 24 hours (ie are not immediately ploughed in).

**Separation Distances Surrounding Effluent Treatment Systems<sup>(5)</sup>**

<b>Effluent Treatment System</b>	<b>A (metres)</b>	<b>B (metres)</b>	<b>C (metres)</b>	<b>D (metres)</b>
<i>Large towns greater than 2000 persons</i>	500	1000	1500	2000
<i>Towns greater than 100 persons</i>	500	500	1000	1500
<i>Small towns greater than 20 persons</i>	200	400	500	1000
<i>Rural farm residence not owned by feedlot</i>	100	300	400	500
<i>Public area (minimum value)</i>	50	100	150	200
<i>Public road – except as below</i>	50	100	150	200
<i>Public road – unsealed with less than 50 vehicles per day excluding piggery traffic</i>	50	50	50	50
<i>Other watercourse as defined by a blue line on a 1:50 000 current SA Government topographical map</i>	100	100	100	100
<i>Property boundary</i>	50	50	50	50

10.12 In relation to principle 10(a) and (b) the following separation distances surrounding waste disposal areas are provided in the following table.

**Separation Distances Surrounding Waste Disposal Areas<sup>(6)</sup>**

<b>Disposal Method</b>	<b>A (metres)</b>	<b>B (metres)</b>	<b>C (metres)</b>	<b>D (metres)</b>
<i>Large towns greater than 2000 persons</i>	500	1000	1500	2000
<i>Towns greater than 100 persons</i>	500	500	1000	1500
<i>Small towns greater than 20 persons</i>	200	400	500	1000
<i>Rural farm residence not owned by feedlot</i>	100	300	400	500
<i>Public area (minimum value)</i>	50	100	150	200
<i>Public road –except as below</i>	50	100	150	200

- <sup>(5)</sup> System A    Settlement lagoon, and aerobic lagoon  
System B    Settlement lagoon and anaerobic lagoon  
System C    Anaerobic lagoon only  
System D    Runoff straight to pasture  
              Sludge drying beds  
              Drying lagoons

<sup>(6)</sup> Disposal methods are in accordance with the following:

**Disposal Method A**

- Discharge by injection directly into the soil at a rate not exceeding either the hydraulic or nutrient and salinity limits determined for the local soil types

**Disposal Method B**

- Solids that have been completely composted
- Effluent having a solids content of not more than 1 percent

**Disposal Method C**

- Mechanical spreaders in combination with “ploughing-in” type equipment
- Downward effluent discharge nozzles
- Discharged material is not projected to a height of more than 2 metres above ground level

**Disposal Method D**

- All effluent that are discharged or projected to a height in excess of 2 metres above ground level
- Liquid effluent in which water remains visible on the soil surface for periods in excess of one hour. Separated solids or sludge (except fully composted solids) that remain on the soil surface for more than 24 hours (ie are not immediately ploughed in).

<i>Disposal Method</i>	<i>A (metres)</i>	<i>B (metres)</i>	<i>C (metres)</i>	<i>D (metres)</i>
<i>Public road – unsealed with less than 50 vehicles per day excluding piggery traffic</i>	50	50	50	50
<i>Major watercourse and flood zone</i>	100	200	200	200
<i>Other watercourse as defined by a blue line on a 1:50 000 current SA Government topographical map</i>	50	100	100	100
<i>Property boundary</i>	50	50	50	50

10.13 *In relation to principle 10 (a) and (b) where more than one category of disposal to land is used, the method which requires the greatest distance separation is used.*

### **Dairies**

10.14 *In relation to principle 10 (a) and (b) a lagoon used for the storage or treatment of milking shed effluent:*

- (a) is not located closer than 200 metres to a dwelling not located on the subject land;*
- (b) is not located closer than 20 metres to a public road;*
- (c) is not likely to be inundated or damaged by water during a flood which has an average recurrence interval (ARI) of 1 in 25-years or greater.*

10.15 *In relation to principle 10 (a) and (b) milking shed effluent is not deposited, discharged or allowed to escape onto land within:*

- (a) 50 metres of an irrigation drainage channel containing water or a watercourse, bore, dam or sink hole;*
- (b) 10 metres of a dry irrigation drainage channel;*
- (c) 100 metres of a dwelling not on the subject land;*
- (d) 10 metres of land not owned by the owner of the milking shed.*

### **Flooding**

11 Structures (apart from purpose built flood control levels), including fencing and the filling of land should:

- (a) not impede the flow of flood waters or change the pattern of movement of floodwaters; and*
- (b) when feasible, mitigate any existing impediments to floodwaters.*

### **Design Techniques** (*ONE WAY* of meeting requirements of the principle of development control)

11.1 *Structures, including fencing (post and wire (strand) fencing), and the filling of land does not take place within the 100 year flood plain of a watercourse.*

### **Noise Pollution**

12 Development designed to minimise adverse acoustic impacts on adjoining uses which would be sensitive to acoustic interference.

**Design Techniques** (*ONE WAY* of meeting requirements of the principle of development control)

12.1 The noise levels associated with the development do not exceed the following guideline noise levels at the nearest noise sensitive receiver:

Type of receiver <sup>(7)</sup>	Guideline Noise Level $L_{Aeq}dB(A)$ <sup>(8)</sup>		Guideline Noise Level $L_{Amax}dB(A)$ <sup>(8)</sup>	
	Day <sup>(9)</sup>	Night <sup>(9)</sup>	Day <sup>(9)</sup>	Night <sup>(9)</sup>
Rural Living	45	35	60	50
Rural Living/Primary Industry interface <sup>(10)</sup>	50	40	65	55
Primary Industry	55	45	70	60

12.2 The proposal may exceed Design Technique 12.1 and satisfy principle 12 where the planning authority is of the opinion that all reasonable and practicable steps have been taken by the noise source to prevent any adverse impacts resulting from noise. In determining whether all reasonable and practicable steps have been taken by the noise source, the planning authority may consider, amongst other things<sup>(11)</sup>:

- (a) the amount by which the predicted noise level exceeds the criteria under Design Technique 12.1;
- (b) the duration and frequency of occurrence that the noise exceeds the criteria under Design Technique 12.1<sup>(12)</sup>;
- (c) the various types of use in the vicinity of the receiver;
- (d) the primary intention of the zone in which the receiver is located as provided by the relevant Development Plan;
- (e) the primary intention of the zone in which the noise source is located as provided by the relevant Development Plan;
- (f) the presence of ambient noise at the receiver of similar character, duration or frequency of occurrence to the noise exceeding the criteria under Design Technique 12.1<sup>(13)</sup>;
- (g) the presence of alternatives to the process which is generating noise, where those alternatives:
  - (i) result in a similar outcome; and
  - (ii) result in lower noise levels at the receiver; and

<sup>(7)</sup> Specific criteria must be developed where the type of receiver can not be classified in accordance with the uses in the table

<sup>(8)</sup> The  $L_{Aeq}$  and the  $L_{Amax}$  are the equivalent and maximum A weighted noise levels respectively as generally defined in Australian Standard AS1055-1997<sup>20</sup>. The  $L_{Aeq}$  shall be adjusted for noise characteristics. Where meteorological conditions exist that will regularly affect the noise level associated with the proposed development, the  $L_{Aeq}$  shall take account of this influence.

<sup>(9)</sup> The day period is 7am to 10pm. The night period is 10pm to 7am.

<sup>(10)</sup> Taken to mean where a Rural Zone and a Rural Living Zone (or similar) in which a receiver is located interface. The 'Interface' classification will also apply to a purely residential use located in a Rural Zone.

<sup>(11)</sup> Design Technique 12.2 defines the information that the proponent needs to provide to satisfy the principle where the guideline noise levels will be exceeded. It is expected an acoustic engineer (eligible for membership of both the Australian Acoustical Society and the Institution of Engineers Australia) will be required to provide the information.

<sup>(12)</sup> Such as the operation of frost fans, vintage activity, harvesting noise and the like.

<sup>(13)</sup> Such as truck movements on the development site, where the receiver is already subject to the acoustic impact of an adjacent public road carrying like vehicles.

(iii) *are successfully used by a class of persons undertaking activities of a same or similar kind;*

- (h) *the extent of the area and number of receivers exposed to the noise that exceeds the criteria under Design Technique 12.1;*
- (i) *the economic benefits and social worth of the activity;*
- (j) *the financial implications of the noise reduction steps as they relate to class of persons undertaking activities of the same or a similar kind;*
- (k) *the likelihood of successful application of the noise reduction steps*

12.3 *Gas guns are operated in accordance with the following:*

- (a) *gas guns are only used between dawn and dusk on any day, where the time of day for dawn and dusk is from time to time prescribed in the Government Gazette;*
- (b) *the maximum number of firings of gas guns will be no more than 6 sounds an hour emanating from any area of 10 hectares or less on any one property. Two firings in quick succession of the gas gun count for only one shot for the purposes of complying with the 6 sounds an hour criterion<sup>(14)</sup>;*
- (c) *the timing of firing of multiple gas guns on the same property will be the same or similar;*
- (d) *gas guns will not be used closer than 300 metres to a single noise sensitive receiver that is not associated with the property on which the gas gun is used or 600-800 metres in respect of an urban settlement. The distances may be reduced if the proponent can show that it is permanently set up such that the average maximum level of the explosions does not exceed 100dB (LinPeak) measured at any noise sensitive receiver not associated with the property on which the gas gun is used;*
- (e) *a gas gun will be positioned such that it minimises the impact to noise sensitive receivers. This will generally mean the device is not directed towards the nearest noise sensitive receiver depending on the location of other receivers and the local topography between the device and the receiver; and*
- (f) *the gas gun will only be used in conjunction with other methods of bird control.<sup>(15)</sup>*

12.4 *Frost fans are operated in accordance with the following:*

- (a) *noise emitted by a frost fan does not exceed the background noise level by more than 5dB(A);*

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<sup>(14)</sup> it has been established by PIRSA that the optimum number of firings is of the order of one every 10 minutes. Restriction in the frequency of occurrence serves the dual purpose of minimising the impact on any noise sensitive receiver and reducing the likelihood of habituation of the birds to the device.

<sup>(15)</sup> PIRSA have established that the effectiveness of a bird deterrent system may be increased when a range of the other available forms of deterrent are used. These include visual methods (scare-crows, plastic bags, car-yard bunting, reflective mirrors, silhouettes of birds of prey etc), crop management (crops that are consistent with other crops in the area, crops next to native vegetation or powerlines, rows of crops that are perpendicular to the flight path, sacrificial crops etc) and/or exclusion (netting).

(b) noise emitted by frost fans does not exceed the following:

<b>Location of affected premises</b>	<b>Outdoor noise level <math>L_{Aeq}</math> <sup>(16)</sup> <sup>(17)</sup></b>	<b>Indoor noise level <math>L_{Aeq}</math> <sup>(16)</sup> <sup>(17)</sup> <sup>(18)</sup></b>
<i>Primarily residential (or similar) zone</i>	45dB(A)	25dB(A)
<i>Primarily primary industry (or similar) zone</i>	55dB(A)	35dB(A)

(c) a frost fan will only operate during periods for which it can be established that a risk for frost formation exists (except for maintenance purposes); and

(d) frost fan installation is sized such that a lower speed of operation for the fan, or a smaller diameter fan, can not adequately service the area for which the fan is deemed to be protecting.

- 13** Storage and use of biological chemicals and chemicals in a controlled environment should be undertaken in a manner which prevents any airborne or waterborne movement or land contamination.

### Air Quality

- 14** Landscaping includes bushfire protection features to minimise risk of damage to buildings and property and assist in preventing or slowing spread of fire.
- 15** Development should have regard to the possible impacts in terms of air quality both in terms of odour and air borne particles (eg dust) on:
- (a) horticulture and viticulture;
  - (b) residential and tourist accommodation; and
  - (c) sensitive industries.

#### **Design Techniques** (ONE WAY of meeting requirements of the principle of development control)

15.1 Control measures include: provision of separation distances; enclosing the source; venting and stack heights; arresters and pavement heights.

- 16** Development likely to result in the emission of odour, or other airborne particles, should minimise environmental nuisance or harm external to the site as a result of that emission.

#### **Design Techniques** (ONE WAY of meeting requirements of the principle of development control)

16.1 The minimum separation distance between intensive animal keeping development and other land uses, activities or landscape elements is in accordance with the following requirements:

<i>Boundary of the River Murray Zone (other than a rabbit farm)</i>	100 metres
<i>Rabbit farm: boundary of the River Murray Zone</i>	100 metres
<i>Rabbit farm: other watercourses</i>	30 metres
<i>Dwelling on another property</i>	500 metres
<i>Dwelling on the same property</i>	100 metres
<i>An adjoining poultry farm</i>	1000 metres
<i>Public road</i>	300 metres

<sup>(16)</sup> The  $L_{Aeq}$  is for one full rotation of the fan.

<sup>(17)</sup> The noise of the fans shall be taken to be the total noise from all fans operating simultaneously on the same property

<sup>(18)</sup> Indoor noise levels are taken to be inside a habitable room of the affected premises with the windows closed.

<i>Side or rear property boundary</i>	<i>300 metres</i>
<i>Dairy</i>	<i>100 metres</i>
<i>Urban residential zones/rural living zones</i>	<i>1000 metres</i>

**Note: these are the minimum distances only.**

### **Built Form and Design**

**17** Outdoor lighting should not cause nuisance.

**Design Techniques** (*ONE WAY of meeting requirements of the principle of development control*)

*17.1 Outside lighting to be directed downwards and towards the site to prevent light spilling onto surrounding properties.*

**18** Buildings and structures which have:

- (a) a design scale, appearance and site to enhance the positive environmental qualities, built form and character of the locality;
- (b) a site which is unobtrusive and screened from public roads and adjoining properties by:
  - (i) natural landforms;
  - (ii) existing vegetation;
  - (iii) planting of appropriate vegetation;
- (c) a requirement for minimal excavation or filling of land;
- (d) a requirements for minimal removal of existing vegetation; and
- (e) sites which are grouped together.

**Design Techniques** (*ONE WAY of meeting requirements of the principle of development control*)

*18.1 In relation to P18 (c) excavation and/or filling associated with any building or structure is limited to no greater than 1.5 metres below or above natural ground level.*

*18.2 In relation to P18 (b) (iii) landscaping associated with new buildings:*

- (a) *comprises random plantings of a variety of indigenous tree and shrub species at spacing of 4-5 metres;*
- (b) *consists of some species with a mature tree height equivalent or greater than the height of proposed buildings and structures;*
- (c) *extends around the proposed buildings and structures for a minimum width of 10 metres; and*
- (d) *does not increase the bushfire hazard by ensuring:*
  - (i) *no overhang to buildings; and*
  - (ii) *set-back of vegetation from building equivalent to the expected mature height of vegetation.*

*18.3 In relation to P18 (e) buildings are not separated by a distance of greater than 15 metres.*



**19** The external appearance and design of buildings and structures visible from a public road or waterway should minimise their visual obtrusiveness by:

- (a) reducing the building's profile;
- (b) reducing the mass of buildings into smaller components by variations in wall and roof lines; and
- (c) using eaves, verandahs and similar techniques to create shadowed areas.

**Design Techniques** (*ONE WAY* of meeting requirements of the principle of development control)

*For Industry:*

19.1 *Any chain mesh fencing to be plastic coated coloured black and set-back 2.0 metres from the road and residential property boundary.*

19.2 *The maximum height of any building or ancillary structure is 12.0 metres.*

19.3 *Maximum unarticulated length of building to a street frontage 30 metres (punctuation by windows, canopies, verandahs or walk offsets is considered to be adequate).*

19.4 *Maximum unarticulated length of office or administration component is 15 metres.*

**20** Sites should be provided with a safe and convenient means of access which:

- (a) avoids unreasonable interference with the flow of traffic on adjoining roads;
- (b) accommodates all types and the volume of traffic likely to be generated by the development or land use; and
- (c) is located and designed to minimise any adverse impact on the occupants of visitors to neighbouring properties.

### Building Development

**21** A dwelling should only be established on an allotment with a minimum size of 36 hectares, other than the area defined as [Figs HF\(MWPA\)/1 to 5](#) and [Figs HF\(HPA\)/1 to 5](#) where an allotment with minimum size of 200 hectares is required and the Pastoral Policy Area where an allotment with a minimum size of 900 hectares is required.

**Design Techniques** (*ONE WAY* of meeting requirements of the principle of development control)

21.1 *A method for establishing a dwelling on rural land is demonstrated below (Hills Face Area shown in brackets and Pastoral Policy Area in italics).*

*Existing (no dwelling possible)*

Allotment 1	Allotment 2
32ha (150ha) 50ha	32ha (150ha) Numerous



*Proposed (1 dwelling possible on Allotment 1)*

Allotment 1	Allotment 2
36ha (200ha) 900 ha	28ha (100ha) Balance

**22** Wind farms and ancillary development should be located in areas outside of the Barossa Valley Character Preservation District as defined by Character Preservation legislation which provide opportunity for harvesting of wind and efficient generation of electricity and may therefore be sited:

- (a) in visually prominent locations;

(b) closer to roads than envisaged by generic setback policy.

**23** Buildings should not be designed and sited so as not to be visually obtrusive.

*Design Techniques (ONE WAY of meeting requirements of the principle of development control)*

*23.1 Visibility can be measured by mapping sightlines.*

**24** No residential development should be established within 500 metres of land used for or proposed to be used for the reception, storage, treatment, or disposal of waste.

#### **Land Division**

**25** Creation of additional allotments should not occur other than to excise a dwelling that existed at 26 June 2003.

*Design Techniques (ONE WAY of meeting requirements of the principle of development control)*

*25.1 Excising of a dwelling from an existing rural property should have regard to the minimum allotment size for a dwelling in the relevant Policy Area, as well as conditions relative to separation distances to Primary Production.*

**26** Allotments including realignment of existing allotments should be located and be of size and configuration which:

- (a) takes account of environmental features and site constraints;
- (b) provides sufficient space in appropriate locations for the siting of buildings, structures and associated services and infrastructure;
- (c) protects native vegetation;
- (d) is able to satisfactorily accommodate an appropriate use of the land (existing or proposed) consistent with land use policies for the Rural Zone; and
- (e) ensures existing dwellings are on allotments of 36 hectares.

#### **Separation Distance to Primary Production**

**27** Siting of dwellings should not limit the use for primary production which requires chemical spraying.

*Design Techniques (ONE WAY of meeting requirements of the principle of development control)*

*27.1 The separation distance<sup>1</sup> between a detached dwelling and primary production should be:*

*open ground:           300m*

*Advisory Note:*

*<sup>1</sup> A separation distance is the minimum horizontal distance between the curtilage of the dwelling and the primary production land use on adjoining land. The balance of the land not used for a dwelling can be included in calculating the separation distance.*

#### **Irrigated Horticulture and Pasture**

**28** Development should not increase groundwater-induced salinity, or salinity levels in the River Murray or its back waters.

*Advisory Note:*

*Proposals for irrigation development will be referred to the Minister for Water Resources for advice on the potential impacts arising from irrigation on the proposed site. Applicants may need to:*

*Provide information on the following matters for assessment:*

- *the soil and water requirements of the proposed crop;*
- *the soil type and its depth, transmissivity and stratigraphy;*
- *local topography, proximity to streams and the potential for surface water run-off;*
- *the depth to, and salinity of, local and regional groundwater; and*
- *any drainage requirements and plans for dealing with drainage water.*

*OR*

*Produce a Preliminary Irrigation and Drainage Management Plan.*

- 29** Irrigation should not take place unless an efficient irrigation system (providing 85 percent or better water use efficiency) can be installed on the site.

*Advisory Note:*

*Any design information should, preferably, be provided by an accredited member of the Irrigation Association of Australia (Category B or C member) or a certified irrigation designer (CID) and cover the following matters:*

- *planned irrigation system efficiency;*
- *proposed pump type and size/capacity;*
- *full irrigation plan layout, including all laterals, control valves and irrigation controllers;*
- *appropriate application rate;*
- *appropriate maintenance schedule; and*
- *recommendation for monitoring change in irrigation system performance.*

- 30** Irrigation should not take place if it will have an adverse impact on wetlands of high conservation significance or remnant native vegetation.

*Advisory Note:*

*Wetlands of high conservation significance are recorded in the Wetlands Atlas of the South Australian River Murray and in Coorong and Lower Lakes Ramsar Management Plan; Discussion Paper No 1: Waterbird and Wetland Habitat Conservation*

**Olives**

- 31** Olive plantations are established in a manner that poses a low risk of spread of feral olive trees and does not pose undue fire hazard.

***Design Techniques*** (*ONE WAY* of meeting requirements of the principle of development control)

*31.1 Olive plantations are located a minimum of 200 metres from the edge of stands of native vegetation, with at least one perch (a tree that will grow to a minimum height of 7 metres) located every 100 metres around the perimeter of the orchard*

*Advisory Note: Assessment will consider risk factors and applications should include:*

- *A site and district plan, showing:*
  - *Contours, drainage lines, bores and existing structures;*
  - *Rainfall and wind directions;*
  - *The location and stages of proposed developments;*
  - *Existing native vegetation, waterways and sites on the National estate;*
  - *Existing olive plantings and areas of feral olive infestation;*
  - *Proposed buffers and their composition;*
  - *Existing and any proposed dwellings; and*
  - *Relationship to sensitive areas, such as Conservation Zones and River Murray Zone.*

- *A management plan, including:*
  - *Harvest and pruning proposals, including the time of operations;*
  - *Fox and bird control programs, including the type and usage of any bird-scare devices;*
  - *Means to prevent the spread of feral olives and deal with any abandoned plantation;*
  - *Bushfire control measures;*
  - *Chemical storage and use, spray drift management and effluent disposal; and*
  - *Vehicle loading and movement patterns.*
- *Adequate information for the assessment of any irrigation development.*

### **Dairying**

**32** The methods for and siting of milking shed effluent and waste treatment and disposal systems should minimise the potential for:

- (a) environmental nuisance or harm;
- (b) adverse impacts on the quality of surface and groundwater resources;
- (c) adverse impacts on public and worker health;
- (d) adverse impacts on the amenity of a locality; and
- (e) adverse impacts on sensitive land use receptors.

### ***Design Techniques (ONE WAY of meeting requirements of the principle of development control)***

32.1 *A lagoon used for the storage or treatment of milking shed effluent is not:*

- (a) *located closer than 200 metres to a dwelling not located on the subject land;*
- (b) *located closer than 20 metres to a public road; or*
- (c) *likely to be inundated or damaged by water during a flood which has an average recurrence interval (ARI) of 1 in 25 years or greater.*

32.2 *Milking shed effluent is not deposited, discharged or allowed to escape onto land:*

- (a) *within 50 metres of an irrigation drainage channel containing water or a watercourse, bore or sink hole;*
- (b) *within 10 metres of a dry irrigation drainage channel;*
- (c) *within 100 metres of a dwelling not on the subject land;*
- (d) *within 10 metres of land not owned by the owner of the milking shed.*

### **Land Based Aquaculture**

**33** Land based aquaculture should be sited, designed and managed in a manner which does not result in adverse impacts on the natural environment, including:

- (a) the pollution or salinisation of wetlands, watercourses or groundwater;
- (b) the contamination of natural waterways by foods, waste or drugs used in production;
- (c) adverse impacts on native flora and fauna, including the introduction of pests, diseases, parasites or new genetic strains;
- (d) the escape or accidental release of any species, including exotic species, into any waterway;

- (e) the introduction of species associated with farmed species; and
- (f) the loss of visual amenity to the locality.

**Design Techniques** (*ONE WAY* of meeting requirements of the principle of development control)

33.1 *Criteria for Construction of Aquaculture Ponds*

<b>Depth to High Seasonal Watertable</b>	<b>Soil Salinity Level</b>	<b>Required Construction of Aquaculture Ponds*</b>
>3 metres	0dS/m or greater	Clay lined with a clearance of at least 1 metre from the high seasonal watertable
2 to 3 metres	4dS/m or less	Clay lined with a clearance of at least 1 metre from the high seasonal watertable
2 to 3 metres	>4dS/m	Artificial liner with a clearance of at least 1 metre from the high seasonal watertable
<2 metres	4dS/m or less	Artificial liner with a clearance of at least 1 metre from the high seasonal watertable
<2 metres	<4dS/m	Pond shall not be constructed

\*where water is not sourced from ground water

33.2 *Designed and constructed to incorporate a freeboard and spillway capable of coping with a 1 in 25 year flood event.*

**34** Land based aquaculture should not:

- (a) interfere with the normal wetting and drying regime of natural wetlands; or
- (b) require the clearance of native vegetation.

**35** Land based aquaculture should be sited so that it is not exposed to impacts from adjacent or nearby land uses such as aerial spraying.

**Design Techniques** (*ONE WAY* of meeting requirements of the principle of development control)

35.1 *Land based aquaculture developments are located 100 metres from existing or potential horticultural developments.*

**Tourism**

**36** Small to medium scale tourism facilities located which do not adversely affect the use of land for rural activities or existing industrial activities.

**Design Techniques** (*ONE WAY* of meeting requirements of the principle of development control)

36.1 *Tourist accommodation development not be located within 300 metres of existing viticulture, winery or industrial land uses unless:*

- (a) *the development is located on the same allotment as the viticultural, winery or industrial operation; or*
- (b) *the development incorporates measures to address the likely noise and odour impacts arising from the viticultural, winery or industrial operation.*

## Rock Harvesting

37 Rock harvesting should not be undertaken:

- (a) within 500 metres of Scenic or Secondary or Primary Arterial Roads;
- (b) within 20 metres of native vegetation;
- (c) on land slopes greater than 20 percent; 1 in 5; 12 degrees; and
- (d) where rocks are an important habitat for native fauna.

38 No rock stock piles should be established with 500 metres of Scenic, or Secondary or Arterial Roads.

## Forestry

39 Forestry plantations should incorporate measures which reduce the risk and effects of fire.

**Design Techniques** (*ONE WAY* of meeting requirements of the principle of development control)

39.1 plantations are provided with an external boundary firebreak consisting of either a:

- (a) 20 metre wide break; or
- (b) 10 metre wide break and a 10 metre wide fuel modified zone;

39.2 large plantations are divided into units not exceeding 400 hectares by firebreaks referred to in 40.1 above;

39.3 where possible, all firebreaks and access tracks are a minimum of 7 metres in width to allow for the simultaneous access of two fire trucks;

39.4 where practicable, vehicular access tracks enclose individual plantation units generally not exceeding 40 hectares and of such dimensions that a hose lay can reach any point in the unit;

39.5 The following clearances from power lines are maintained when planting trees with an expected mature height of more than six metres;

**Minimum horizontal clearance distance between plantings and transmission lines**

<b>Voltage of Transmission Line</b>	<b>Towers or Poles</b>	<b>Minimum Horizontal Clearance Distance (Metres)</b>
500 kV	Towers	38
275 kV	Towers	25
132kV	Towers	20
132kV	Poles	20
66kV	Poles	20
<66kV	Poles	20

39.6 Internal fire access tracks are aligned to allow straight through access at junctions

39.7 Dead end fire access tracks are sign-posted and provide a suitable turn-around area for fire fighting vehicles

39.8 *Plantations are set back from dwellings:*

- (a) *a minimum of 50 metres, combined with fuel reduction works within the plantation to provide a total of 100 metres from the northern or western alignment of the dwelling; and*
- (b) *a minimum of 35 metres, combined with fuel reduction works within the plantation to provide a total of 50 metres from the eastern and southern alignment of the dwelling.*

**40** Commercial forestry should not result in the removal of native vegetation.

**41** Commercial forestry should not:

- (a) occur on land exceeding 35 percent; 1 in 3; 20 degrees slope;
- (b) involve cultivation in drainage lines or within 20 metres of a drainage line;
- (c) be located within 50 metres of the edge of stand of remnant native vegetation of greater than 1 hectare in size.

### **Dams**

**42** The location and construction of a dam should:

- (a) occur off-stream;
- (b) not take place in ecologically sensitive areas or areas prone to erosion;
- (c) provide for low flow by-pass mechanisms;
- (d) minimise the loss of soil from the site through soil erosion and siltation;
- (e) minimise the removal or destruction of in-stream or riparian vegetation; and
- (f) incorporate features to improve water quality and enhance biodiversity where appropriate (eg wetlands)

### ***Design Techniques (ONE WAY of meeting requirements of the principle of development control)***

42.1 *The dam is constricted with:*

- (a) *irregular edges*
- (b) *a variety of depths to provide opportunities for the establishment of a range of aquatic plants and animals;*
- (c) *vegetation cover around the banks of the dam;*
- (d) *restricted stock access; and*
- (e) *a silt trap which is one tenth the size of the dam and is located upstream of the dam to trap incoming silt and nutrients.*

### **Conservation**

**43** Rural development that does not degrade the conservation value of adjoining Conservation Zones.

### Complying Development

44 The following kinds of development are **complying** in the Rural Zone:

Farming (subject to no removal of native vegetation)

### Non-complying Development

45 The following kinds of development are **non-complying** in the Rural Zone:

Caravan park

Industry other than:

- (a) associated with processing of primary production; or
- (b) the total floor area of buildings for manufacture, storage or associated activities does not exceed 300 square metres; and
  - (i) involvement in the industry by people who are not resident on the site does not exceed two persons; and
  - (ii) the industry does not involve the use of vehicles exceeding eight tonnes in weight and no more than one vehicle over one tonne in weight.

Intensive animal keeping where separation distances specified in Principle 16 (Design Technique 16.1) are not achieved.

Land division except for the purpose of realigning of allotment boundaries without creating an additional allotment or excising a dwelling on an additional allotment where that dwelling existed as at 26 June 2003.

Land-based aquaculture where separation distances in Principle 5 (Design Technique 33.1, 33.2) and Principle 35 (Design Technique 35.1) are not achieved

Landfill that constitutes solid waste disposal required to be licensed as a waste depot under the Environment Protection Act 1993, except where:

- (a) other than on the site of a disused quarry, the proposed landfill is located on a site with ground slopes of no greater than 10 percent; and
- (b) the land to be used for the deposition of the landfill and the operation of the waste handling facilities is at least a distance of 500 metres from the boundaries of the landfill site; and
- (c) the proposed landfill operation is located a minimum of three kilometres from the boundary of any airport used by commercial aircraft; and
- (d) the proposed landfill operation is located a minimum distance of 100 metres from any creek, river, inlet, wetland or marine estuarine area and not within the area of a 1-in-100-year flood event; and
- (e) the interface between any engineered landfill liner and the natural soil is:
  - (i) greater than 15 metres from unconfined aquifers bearing ground water with a water quality of less than 3000 milligrams per litre of total dissolved salts; or
  - (ii) greater than five metres from ground water with a water quality between 3000 milligrams per litre of total dissolved salts and 12000 milligrams per litre of total dissolved salts; or
  - (iii) greater than two metres from ground water with a water quality exceeding 12000 milligrams per litre of total dissolved salts.

Olive plantations within 1km of the River Murray Zone (other than the River Murray Zone – Primary Product Policy Area), Conservation Zone or within 200 metres from the edge of stands of native vegetation

Petrol filling station

Service trade premises

Shop:

- (a) in excess of 50 square metres; and



- (b) not associated with sale of primary produce from the land

Stock slaughter works

Wind farm and ancillary development such as substations, maintenance sheds, access roads

and connecting power lines (including to the National Electricity Grid) located within the Barossa Valley Character Preservation District as defined by Character Preservation legislation

Wind monitoring mast located within the Barossa Valley Character Preservation District as defined by Character Preservation legislation.

And in addition, within the Marne Watercourse Policy Area 13 and Hills Policy Area 14, all kinds of development other than those listed below are non-complying:

Advertisements:

- (a) within a 60km/h speed restriction; or
- (b) where the development has an advertisement area of two square metres or less and providing: the message contained thereon relates entirely to a lawful use of land; the advertisement is erected on the same site as that use; and the advertisement will not result in more than two advertisements on the site.

Alterations and additions to an existing building, or other than those buildings specifically exempted below, where the total floor area of the extension does not exceed 50 percent of the total floor area as at 14 September 1990, and which will comply with the criteria (a) to (g) inclusive specified in Design Technique 10.1

Aviary

Bed and breakfast accommodation:

- (a) within or as an addition to a dwelling existing as at 14 September 1990, and where up to six persons are accommodated; or
- (b) in association with a lawful activity where bed and breakfast accommodation existed as at 14 September 1990, and where up to six persons are accommodated:

and which in either case will comply with the criteria (a) to (g) inclusive specified in Design Technique 10.1

Carport

Community centre

Dairy

Detached dwelling where the detached dwelling conforms with criteria (a) to (g) inclusive specified in Design Technique 10.1

Farming

Farm building

Fire station

Horticulture

Horticulture building

Land division where no additional allotments are created, either partly or wholly, and where the development of the proposed allotments does not result in a greater risk of pollution of surface or underground waters than would the development of the existing allotments, and provided a suitable site for a detached dwelling is available which will comply with the criteria specified in criteria (a) to (g) inclusive specified in Design Technique 10.1

Organic waste processing facility where:

- (a) an impervious leachate barrier is provided between the operational areas and the underlying soil and groundwater of an organic waste processing operation proposed to be located on a site that is wholly or partly within a water protection area; and
- (b) the proposed organic waste processing operation is located on a site with ground slopes no greater than 6 percent; and
- (c) the proposed organic waste processing operation is located a minimum distance of 100 metres from any dam, river, creek, natural watercourse, channel or bore and not within the areas of a 1 in 100 year flood event; and
- (d) the proposed organic waste processing operation is located on land with a depth to subsurface seasonal tidal or permanent groundwater of 2 metres or greater; and

- (e) the land to be used for the organic waste processing operation is at least a distance of 500 metres from the nearest sensitive receptor; or
- (f) the proposed organic waste processing operation employs an in-vessel or fully enclosed composting system where a lesser distance to the nearest sensitive receptor may be appropriate.

Outbuilding

Pergola

Recreation area including associated buildings and facilities

Telecommunications facilities below 30 metres in height

Verandah

Water storage tank

Wind farm and ancillary development such as substations, maintenance sheds, access roads and connecting power lines (including to the National Electricity Grid) located outside of the Barossa Valley Character Preservation District as defined by Character Preservation legislation

Wind monitoring mast located outside of the Barossa Valley Character Preservation District as defined by Character Preservation legislation

## Public Notification

### 46 For the purposes of public notification, the following activities are assigned **Category 1**:

Advertisement and or advertisement hoarding (except where assigned Category 2)

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Dwelling, providing it is associated with farming, horticulture, viticulture

External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Farming and farm buildings

Horticultural and associated processing and storage buildings

Infrastructure to support acceptable uses

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary

Irrigated pasture

Land extensive uses to support urban areas such as waste disposal or waste treatment

Public service installations

Tourism development associated with the natural environment

Tourist accommodation associated with existing farm dwellings

Uses which aid interpretation of natural areas and the region's natural heritage

Viticultural and associated processing and storage buildings

### 47 For the purposes of public notification, the following activities are assigned **Category 2**:

Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

Intensive animal keeping (other than Marne Watercourse Policy Area 13 and Hills Policy Area 14) where the separation distance in Design Techniques 10, 12, 32 can be achieved

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) located outside of the Barossa Valley Protection District as defined by Character Preservation legislation where the base of all wind turbines is located at least 2000 metres from:

- (a) an existing dwelling or tourist accommodation that is not associated with the wind farm
- (b) a proposed dwelling or tourist accommodation for which an operable development plan consent exists
- (c) the boundaries of any Airfield, Airport, Centre, Community, Fringe, Historic Conservation, Home Industry, Living, Mixed Use, Residential, Settlement, Tourist, Township or Urban Zone, Policy Area or Precinct or any Heritage Area (including within the area of an adjoining Development Plan)

Wind monitoring mast and ancillary development located outside of the Barossa Valley Character Preservation District as defined by Character Preservation legislation

## Rural Zone – Policy Area Number 1 – Greenways (Rural)

### Introduction

The objectives and principles of development control that follow apply to Policy Area 1 shown on [Maps MiMu/20 and 85](#). They are additional to those expressed for the Rural Zone and Council Wide provisions.

### DESIRED CHARACTER

The following forms of development are **acceptable** in the Greenways (Rural) Policy Area 1:

- animal keeping and horse keeping
- detached dwelling on land used for farming or horticulture
- farm building
- horticulture and farming on existing allotments

### OBJECTIVES

**Objective 1:** An area for living in association with horticulture

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the policy area.
- 2 No additional allotments should be created in the policy area.
- 3 Residential development should be designed, sited and landscaped to minimise conflict with horticultural activities such as spray drift.
- 4 Animal keeping, other than horse keeping, should be limited to:
  - (a) allotments 1.0 hectare or less:
    - (i) two dogs per allotment;
  - (b) allotments greater than 1.0 hectare:
    - (i) two large animals such as a pig or cow per allotment;
    - (ii) two dogs per allotment;
    - (iii) 20 head of poultry per allotment.
- 5 One horse may be kept on an allotment provided such allotment has a minimum area of 1 hectare and provided the horse is accommodated within a stable or horse shelter and is hand-fed.

- 6 A maximum of two horses may be kept on an allotment provided such an allotment has a minimum area of 2 hectares, and provided the horses are accommodated within a stable or horse shelter and are hand fed.
- 7 Stable development should conform with standards in [Table MiMu/3](#).

## Rural Zone – Policy Area Number 13 – Marne Watercourse

### Introduction

The objectives and principles of development control that follow apply to the Marne Watercourse Policy Area 13 shown on [Maps MiMu/75 to 79 and 86](#). The policies are additional to those for the Rural Zone and the Council Wide provisions.

### Background

The Marne Catchment can be defined in four distinct ecological and hydrological units

#### (a) The Upper Catchment

Most of the water is collected in the upper catchment in the Mount Lofty Ranges, in the tributaries of the Somme and the high rainfall tributaries of the Marne.

#### (b) The Gorge and Hills Face

The main drainage lines join to form a gorge at the start of the descent from the upper catchment. The Marne falls 130 metres over a distance of 12km and has formed a deep gorge through metamorphic rock. The gorge is also representative of the eastern hills face of the ranges.

#### (c) The Floodplain and River Channel

The Marne forms a floodplain at the base of the gorge to where the river meets the Mallee Plain at Cambrai. The river flows infrequently to the mouth on the Murray. Groundwater is recharged by the Marne's flows in the local Cambrai to Kongolia area.

#### (d) Marne Mouth or Wongulla Wetland (see River Murray Zone)

Watercourses in the Policy Area have been impacted by agricultural land use including clearing, grazing, dam construction and groundwater use for irrigation. The plant biomass and diversity have reduced the habitat value for fauna.

Dam construction in the upper catchment has reduced stream flows considerably and groundwater use near Cambrai has lowered the local watertable.

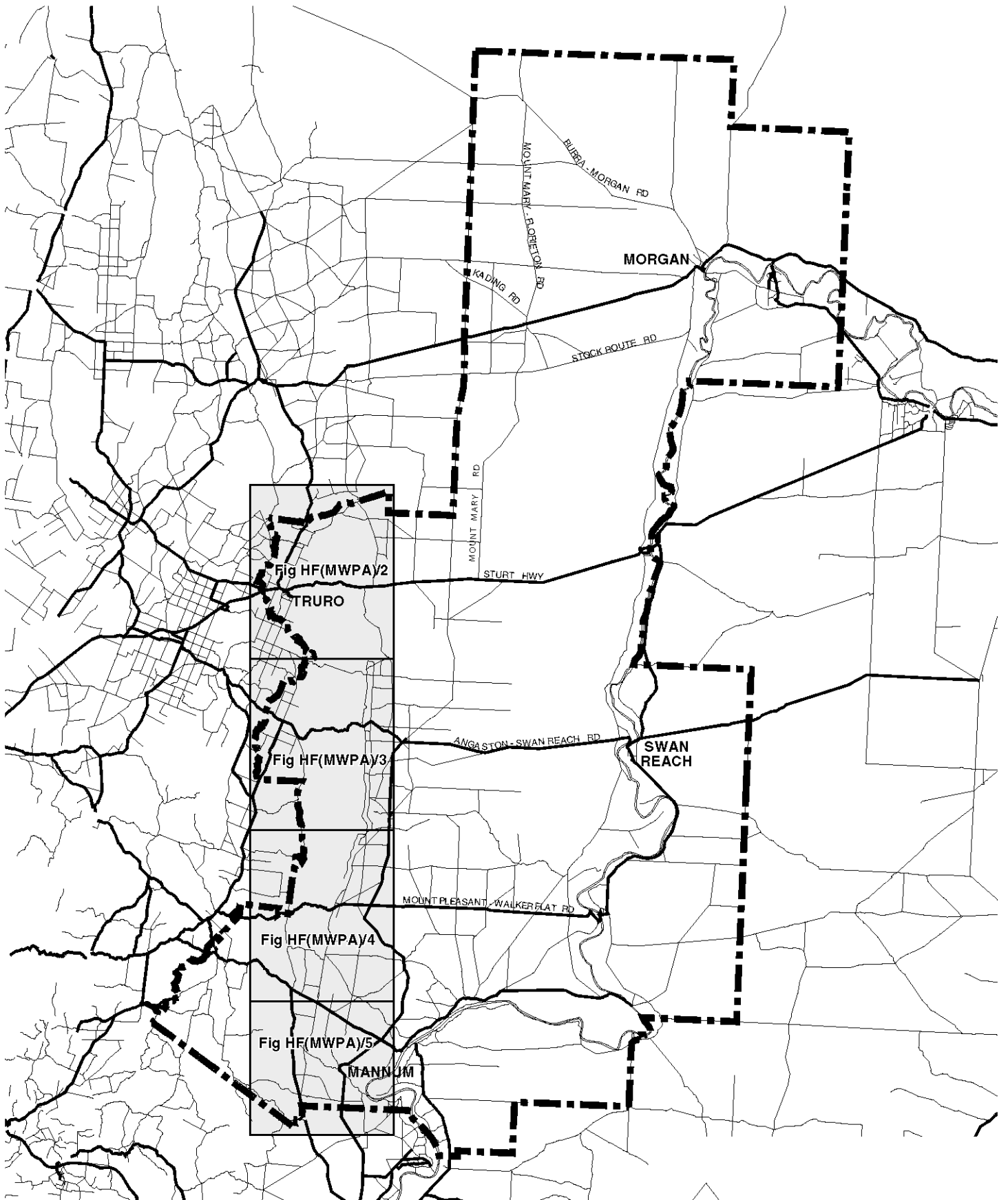
Development policies therefore need to take account of the requirement to make allowance for the environmental needs of the rivers' systems and existing water users.

### DESIRED CHARACTER

Apart from the hills face see [Figs HF\(MWPA\)/1 to 5](#) and associated gorge, the Policy Area is suitable for a range of agricultural and horticultural uses.

The hills face is unsuitable to intensive agricultural uses that would change the existing open and exposed character of the landform. Low intensity uses like grazing of sheep should continue. Tree plantations on the hills face should be confined to gullies and watercourses and building development should, in addition to meeting design criteria, be limited to very large holdings. Local species should be used such as Sheoaks (*Allocasuarina verticulata*).

Water harvesting and use to support agricultural development is appropriate within sustainable limits.



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(MARNE WATERCOURSE POLICY AREA)**

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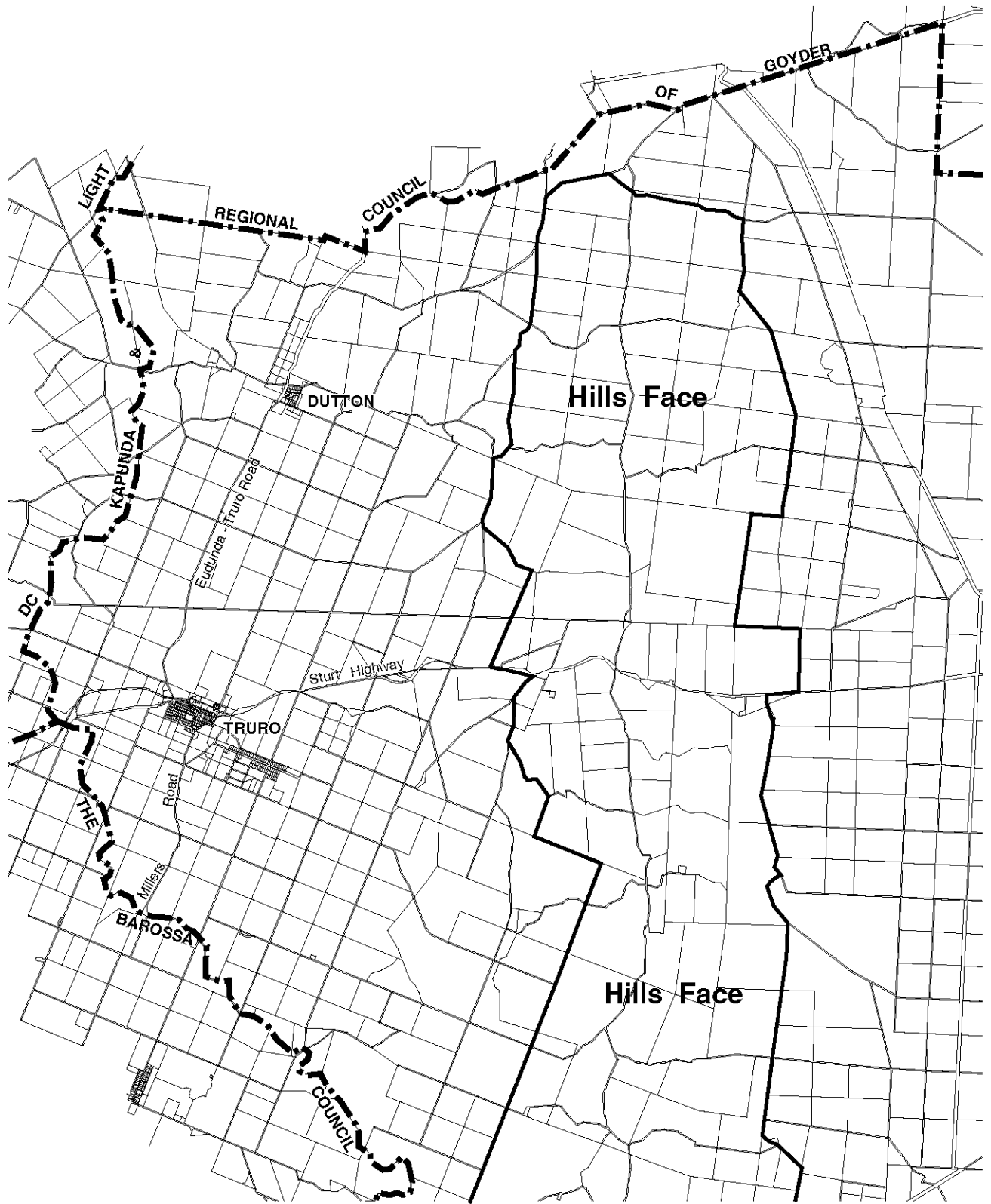


Fig HF(MWPA)/3 ADJOINS



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(MARNE WATERCOURSE  
POLICY AREA)**

**Fig HF(MWPA)/2**

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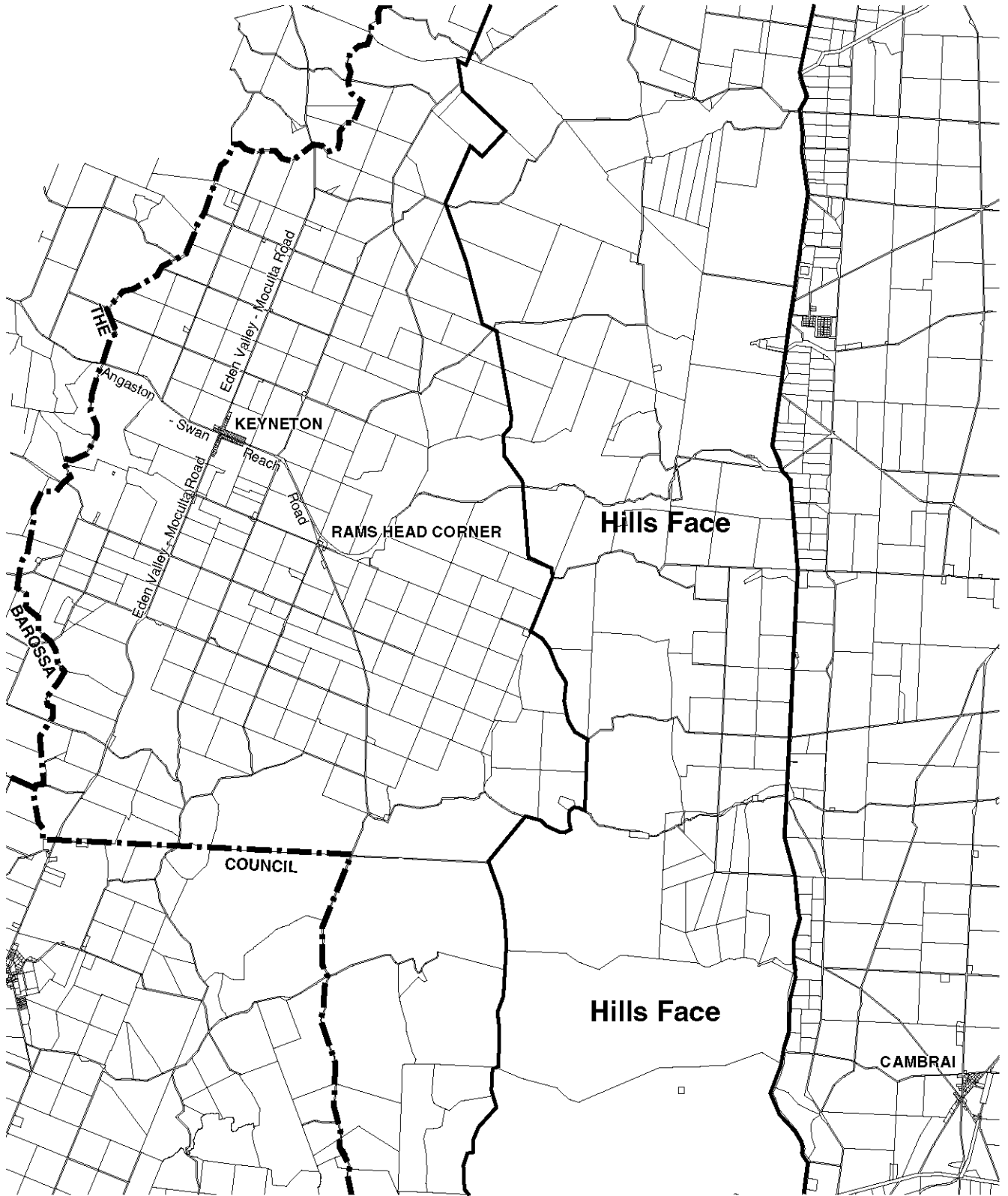
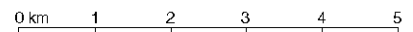


Fig HF(MWPA)/4 ADJOINS



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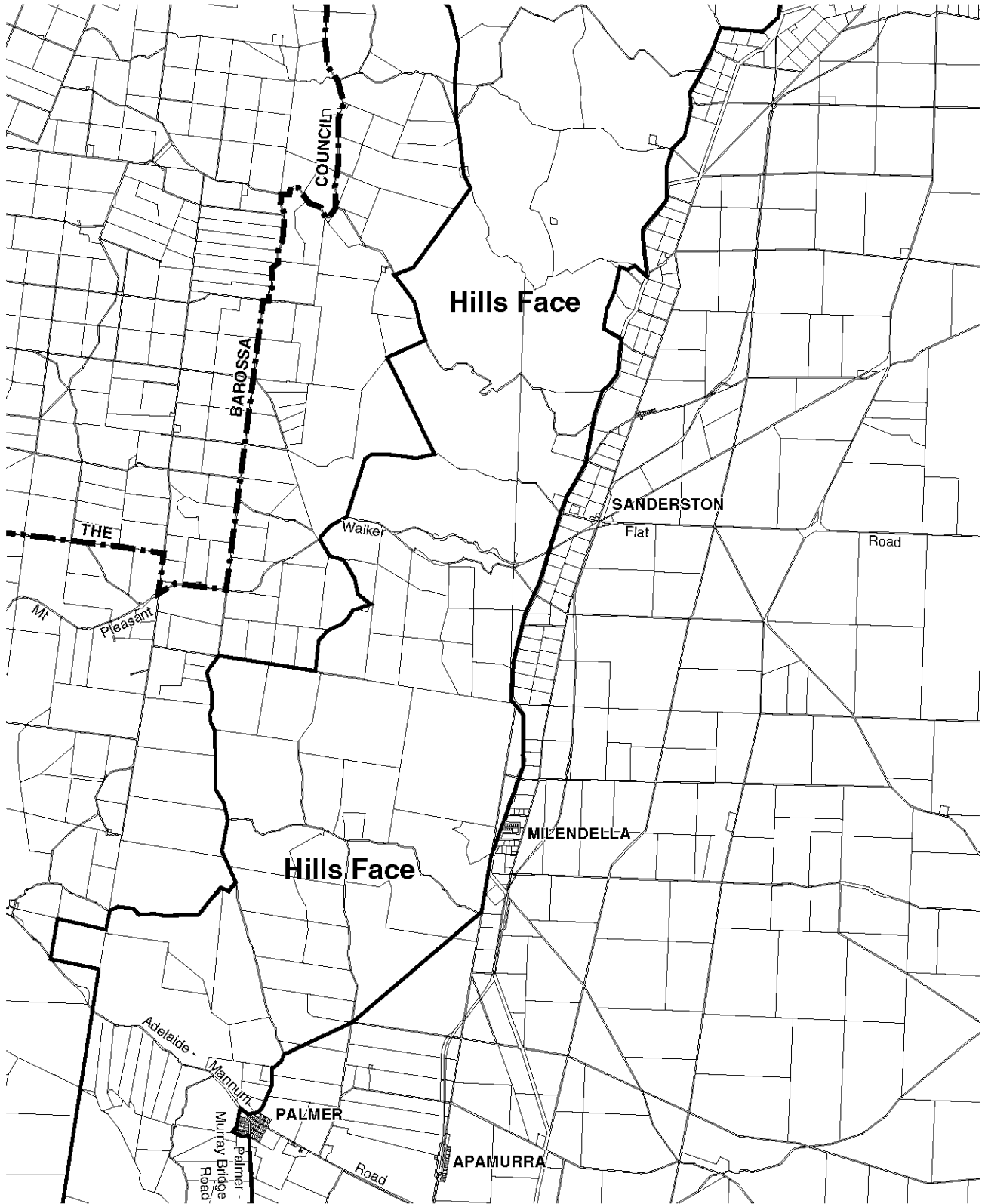


Fig HF(MWPA)/5 ADJOINS



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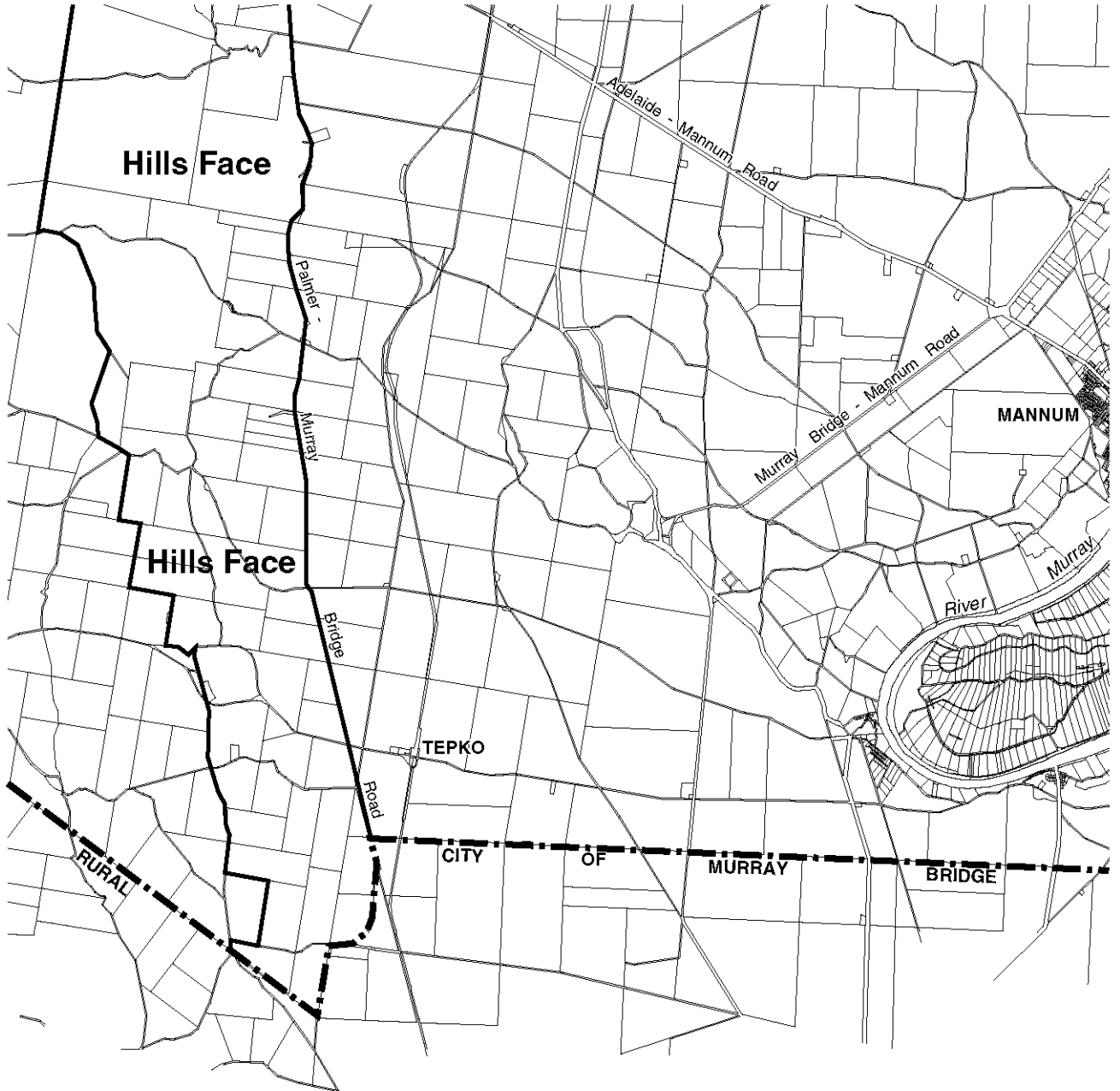
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The following forms of development are **unacceptable** in that part of the Marne Watercourse Policy Area that comprises the hills face and gorge as defined in [Figs HF\(MWPA\)/1 to 5](#) (additional to unacceptable use for the Rural Zone):

- horticulture, particularly viticulture and olive production;
- forestry;
- buildings on allotments less than 200ha in size.

## OBJECTIVES

**Objective 1:** The character, aesthetic appearance, scenic beauty and amenity of the River Marne and River Somme and its environs are preserved and enhanced in order to:

- (a) undertake sustainable primary production;
- (b) protect water systems;
- (c) provide recreation areas, particularly passive recreation areas;
- (d) provide for native flora and fauna habitats; and
- (e) protect areas of scientific, archaeological or cultural significance

**Objective 2:** Sustainable use of the River Marne's and River Somme's groundwater aquifer and catchments as sources of water for primary production.

**Objective 3:** Maintenance of the capacity and hydraulic characteristics of the Upper Catchment, Gorge and Floodplain in order to avoid flooding outside the channel.

**Objective 4:** Protection of the open rural character of the hills face of gorge

## PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 2 Development should preserve and enhance the character and amenity of the River Marne and River Somme and its environs.
- 3 Development should be located and designed so as to minimise damage resulting from floodwaters.
- 4 Buildings should be located unobtrusively and should be constructed of materials that blend with the riverine landscape.
- 5 No buildings should be developed on the eastern face of the ranges as defined in Marne Watercourse Policy Area [Figures HF\(MWPA\)/1 to 5](#).
- 6 Development should not be undertaken if the establishment, operation or management of such development is likely to result in:
  - (a) pollution of the Rivers' systems;
  - (b) unnecessary loss or damage to native vegetation;
  - (c) erosion;
  - (d) the introduction of or an increase in the number of pest plants or vermin;
  - (e) reduction in capacity of the river channel;

- (f) landfill or landslide; or
  - (g) damage to Aboriginal sites, objects or remains as defined under the Aboriginal Heritage Act, 1988
- 7** Development should be for primary production purposes which are compatible with the Policy Area's role as a water catchment or recharge area, and should not be undertaken if such development is likely to pollute water resources or lead to a diminution of the water resource.
- 8** Activities liable to cause deterioration in water quality should not be established.
- 9** Development, including the formation of dams used for irrigation or aesthetic purposes, should not:
- (a) contribute to the pollution of lakes, watercourses or groundwater; or
  - (b) cause environmental harm to downstream property owners whose primary production activities are dependant upon access to reliable and readily available water supplies.
- 10** Development should maintain and enhance the natural character and beauty of land within the locality.
- 11** Buildings should not be sited on prominent ridgelines or in locations that would detract from views obtained from any primary or secondary arterial roads or scenic routes, or in locations requiring unnecessary removal of natural vegetation or excessive amounts of excavation.
- 12** Land should not be used for horticultural purposes unless:
- (a) there is no risk of pollution and no further increase in salinity levels to either surface or groundwater supplies;
  - (b) the land is capable of sustaining the horticultural activity with reasonable investment and management inputs;
  - (c) surface and/or sub-surface water resources, of sufficient quantity, are available to sustain the proposed horticultural use;
  - (d) water resources are used at sustainable levels to prevent adverse impacts on dependent ecosystems;
  - (e) the land is capable and appropriate for the particular form of horticultural development, and in particular where:
    - (i) irrigation areas are not prone to waterlogging or subject to flood water inundation;
    - (ii) drainage volumes are limited to a maximum of 15 percent of total applied water;
  - (f) the horticultural use will be compatible with adjacent uses of land;
  - (g) adverse impacts on downstream property owners in terms of water flow and discharge of pollution will be avoided, where:
    - (i) a minimum of 300 metres separation should be maintained between irrigation bores and stock and domestic bores;
    - (ii) diversion or storage dams used for irrigation are located off-stream, with the storage capacity of the dams not exceeding 50 percent of the medium annual run-off from a property;
    - (iii) spillways are designed and constructed in a manner to prevent erosion;

- (iv) a minimum separation distance of 50 metres should be maintained between bores and any part of an effluent disposal field;
- (v) irrigation areas have a minimum set-back distance of 30 metres from a watercourse, lake or well;
- (h) there will not be deleterious risk of the water table either falling or rising because of excessive irrigation;
- (i) the depth to the water tables is greater than 2.0 metres from the ground surface;
- (j) located outside of the hills face as defined in Marne Watercourse Policy Area [Figures HF\(MWPA\)/1 to 5](#).

## Rural Zone – Policy Area Number 14 – Hills Policy Area

### Introduction

The objectives and principles of development control that follow apply to the Hills Policy Area 14 shown on [Maps MiMu/64, 73, 75, 76, 78, 95, 96 and 102](#). The policies are additional to those for the Rural Zone and the Council Wide provisions.

### Background

The eastern face of the Mount Lofty Ranges, and the ranges themselves, are a dramatic and attractive landscape feature of the Council area and region generally. Development Policies are structured to encourage suitable rural uses and limit built form on the face of the ranges.

### DESIRED CHARACTER

Open grazing of the eastern hills face see [Figures HF\(HPA\)/1 to 5](#) and very limited or no built form to preserve the eastern backdrop of the Murray Plains. The hills face is unsuitable to intensive agricultural uses which would change the existing open and exposed character of the land form. Low intensity uses like grazing of sheep should continue. These plantations on the hills face should be confined to gullies and water courses and building development should, in addition to meeting design criteria, be limited to very large holdings.

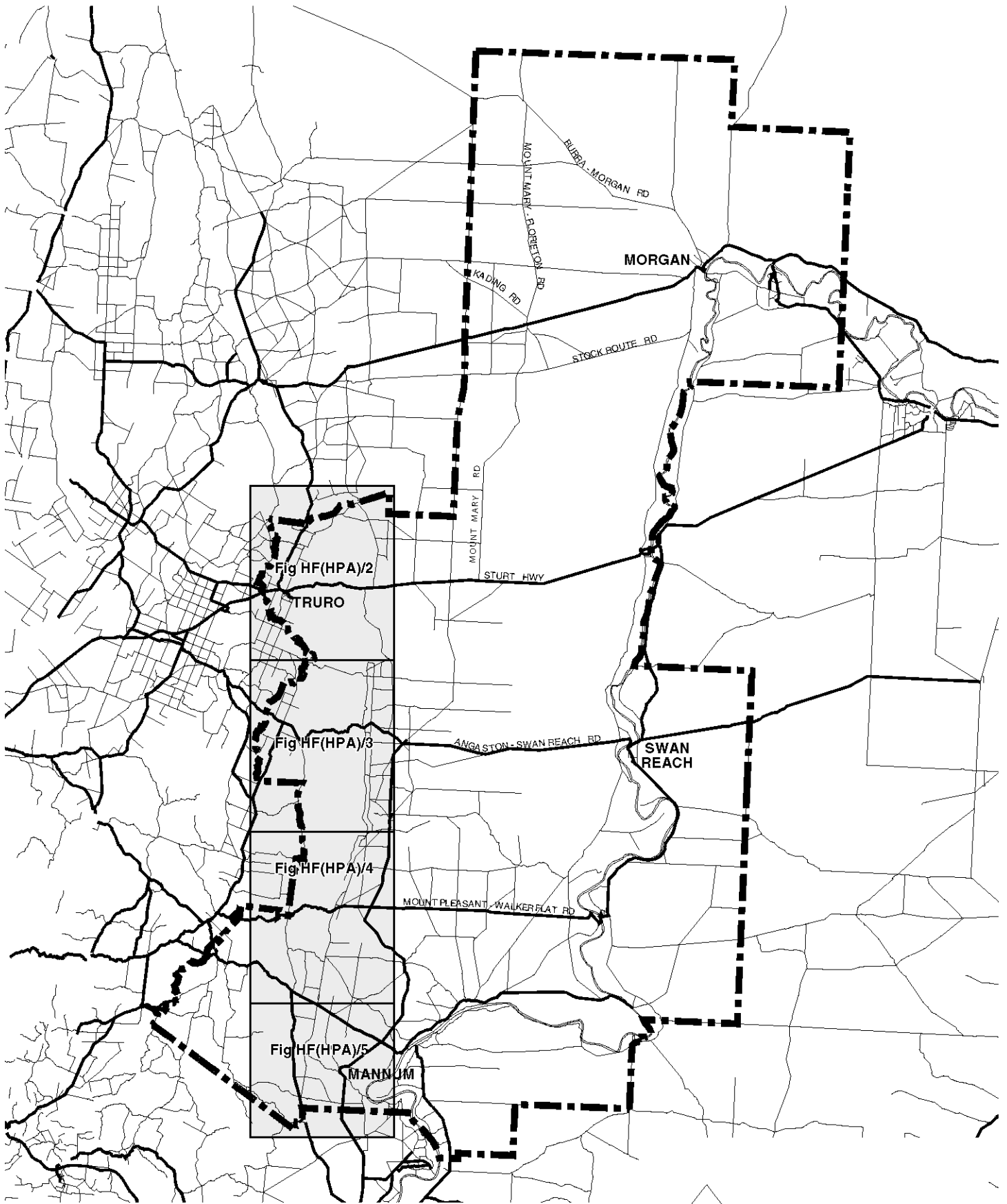
Behind the eastern face of the range a wider range of agricultural and horticultural uses are appropriate where builtform, providing it relates to primary production, will be evident, but at low densities. These uses include grazing and animal keeping, cropping, viticultural and dairying.

The following forms of development are **unacceptable** in that part of the Hills Policy Area defined in [Figures HF\(HPA\)/1 to 5](#) (additional to unacceptable uses for the Rural Zone):

- horticulture, particularly viticulture and olive production;
- forestry;
- buildings on allotments less than 200ha in size.

### OBJECTIVES

- Objective 1:** Retention of the open rural character as derived from large land holdings used for primary production and dispersed isolated built form.
- Objective 2:** No building development on the eastern face of the Mount Lofty Ranges.
- Objective 3:** Conservation and enhancement of the importance of the area for Aboriginal heritage.



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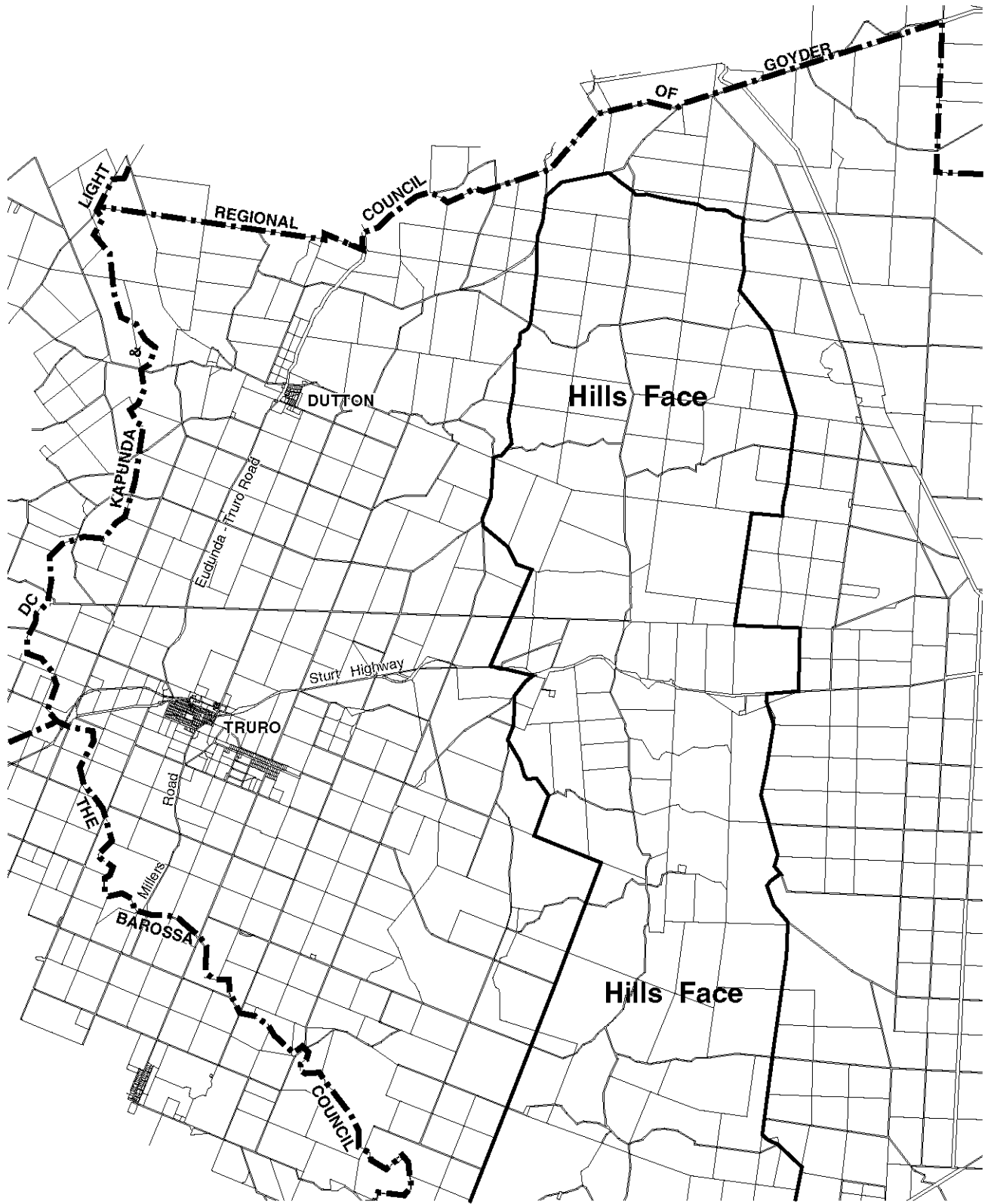


Fig HF(HPA)/3 ADJOINS



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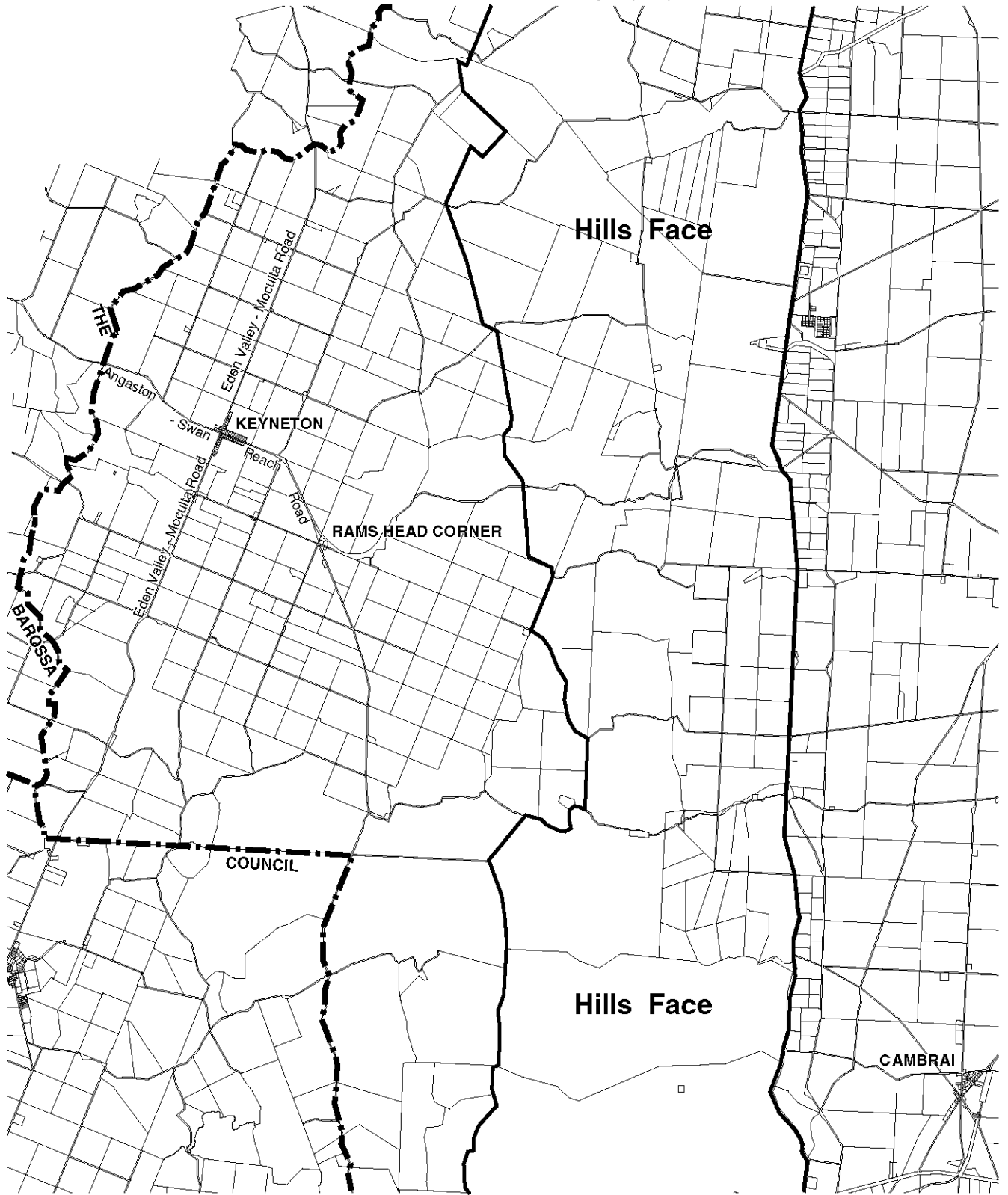


Fig HF(HPA)/4 ADJOINS



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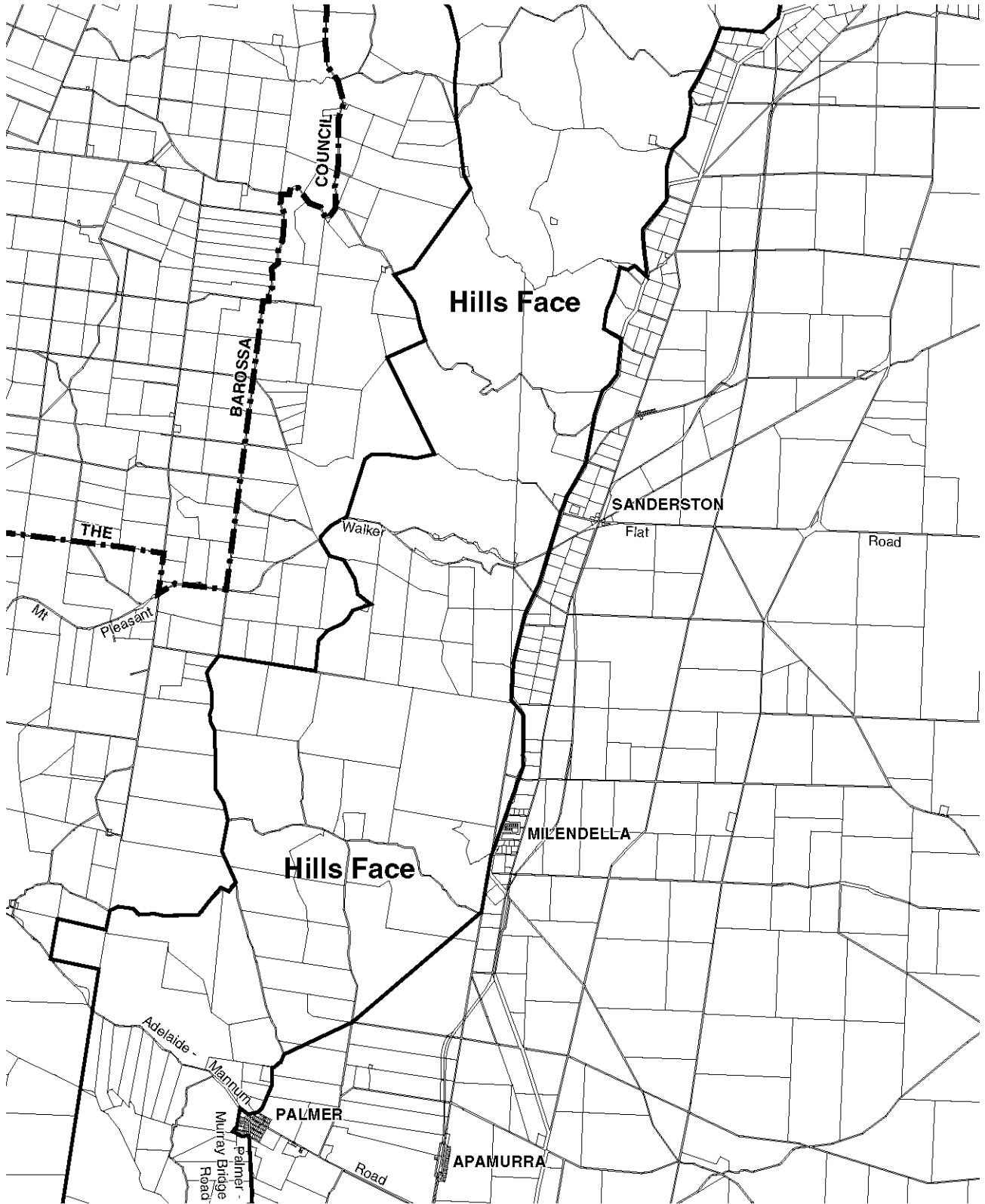


Fig HF(HPA)/5 ADJOINS



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Fig HF(HPA)/4 ADJOINS



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**PRINCIPLES OF DEVELOPMENT CONTROL**

- 1 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 2 The erection of dwellings, alterations and additions to an existing dwelling, and establishment of a tourist accommodation shall comply with the following:
  - (a) will not be located in areas subject to inundation by a 100 year return period flood event or sited on land fill which would interfere with the flow of such flood;
  - (b) will be connected to an approved sewerage or common effluent disposal scheme or has an on-site wastewater treatment and disposal method which complies with the Standard for the Installation and Operation of Tank Systems in South Australia (including supplements A and B) as prepared by the South Australian Health Commission;
  - (c) will not have any part of a septic tank effluent drainage field or any other wastewater disposal area (eg irrigation area) located within 50 metres of a bore, well or watercourse where a watercourse is identified as:
    - (i) a blue line on a current series Government Standard topographic map; or
    - (ii) any river, stream, creek or channel in which water is contained or flows permanently, intermittently or occasionally;
  - (d) will not have a wastewater disposal area located on any land with a slope greater than 20 percent (1 in 5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres;
  - (e) will not have a septic tank or any other wastewater treatment facility located on land likely to be inundated by a 10-year return period flood event;
  - (f) will be sited at least 50 metres from any bore, well or watercourse where a watercourse is identified as:
    - (i) a blue line on a current series Government Standard topographic map; or
    - (ii) any river, stream, creek or channel in which water is contained or flows permanently, intermittently or occasionally; and
  - (g) no more than one dwelling will exist on the allotment.
- 3 Dwellings and non-rural buildings shall not be located where they are prominently visible from a public road without extensive screening first established.
- 4 The excavation and/or filling of land should:
  - (a) be kept to a minimum so as to preserve the natural form of the land and the native vegetation;
  - (b) only be undertaken in order to reduce the visual impact of buildings, including structures, or in order to construct water storage facilities for use on the allotment; and
  - (c) result in stable scree slopes which are covered with top soil and landscaped so as to preserve and enhance the existing character of the Policy Area.

## Rural Zone – Policy Area Number 15 – Pastoral Policy Area

### Introduction

The principles of development control that follow apply to the Pastoral Policy Area 15 shown on [Maps MiMu/64 to 74 and 80](#). The policies are additional to those for the Rural Zone and the Council Wide provisions.

### DESIRED CHARACTER

The majority of the Pastoral Area is used for extensive grazing on property sizes of an average size of 900ha. Land Management practices should improve the marginal quality of the land, and not result in further land degradation or land fragmentation.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 2 The minimum allotment size for a dwelling is 900ha.

## Rural Zone – Policy Area Number 16 – Murray Plains Policy Area

### Introduction

The principles of development control that follow apply to the Murray Plains Policy Area 16 shown on [Maps MiMu/64, 73, 74 and 76 to 101](#). The policies are additional to those for the Rural Zone and the Council Wide provisions.

### DESIRED CHARACTER

The majority of the Murray Plains is used for dryland farming although in proximity of the River Murray Zone where it is economical to reticulate River water, horticultural development of a variety of types is undertaken compared to other agricultural regions. There are a number of large stands of the original Mallee vegetation of the Plains which should be preserved.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character for the policy area.

## (MID MURRAY) ENTERPRISE ZONE

### Introduction

The Objectives and Principles of Development Control that follow apply to the Mid Murray Enterprise Zone as shown on [Map MiMu/128](#). These are additional to those expressed for the whole Council area.

### Background

The entire Zone, located within both the Regional Council of Goyder and Mid Murray Council, covers an area of land approximately 350 km<sup>2</sup> in size in a semi-arid area of the State that has generally been grazed for generations. Although substantial clearing has occurred in the past, mallee woodlands extend across a significant part of the Zone and within these woodlands are Casuarina tree species.

The Zone is sparsely populated with the nearest towns of Robertstown and Morgan being located approximately 12 and 15 kilometres (respectively) from the edge of the area affected. Land within the Zone contains a number of farm house ruins of a bygone era. These are dotted across the landscape and indicate the optimism for farming that once prevailed in the area. Very few, if any, are now inhabited.

The land is predominantly utilized for grazing purposes, generally on large pastoral property holdings with some cropping conducted in the south western sector where conditions are appropriate. It is envisaged that such land use practices will continue to occur until such time as land is developed in accordance with the requirements of the Enterprise Zone.

A feature of the Zone is the extensive road network that was created during the opening up of the land for agriculture in the late 1800s. Roads presently serving the area include Bower Road, Powerline Road, Pipeline Road and Florieton Road.

### DESIRED CHARACTER

The primary purpose of the Zone is to facilitate the establishment of intensive animal industries, other primary industries and related value adding enterprises. It is intended that the Zone could ultimately function as a multi-purpose agricultural production precinct in which sustainable activities and resource recovery are key elements in the production cycle. Suitable enterprises envisaged include (subject to compliance with environmental criteria) pig production, poultry production, animal feedlots facilities, vermiculture, stock feed plant, as well as large scale composting facilities with opportunities for renewable energy such as methane gas power generation.

A key objective for the Enterprise Zone is to create a new type of industrial agriculture based on aggregation of enterprises that ultimately would present relatively low risk to the environment, and would optimise natural resource inputs for maximum economic benefit.

Enterprise Zone activities are envisaged to produce a significant change from the way farming has been conducted generally in the area since European settlement. For this reason, all prospective enterprises will need to carefully consider the local environment and establish management programs that:

- assure the conservation and health of soil;
- avoid the establishment and spread of weeds;
- maintain the integrity of the landscape;
- minimise removal of indigenous vegetation and support vegetation ecosystems;
- preserve and enhance the condition of watercourses; and
- monitor local environmental factors.

Soil disturbance from intensive animal industries such as feedlot systems require appropriate management protocols, not only to avoid soil erosion but also to prevent the colonisation of weeds.

Activities associated with the Enterprise Zone need to observe relevant aspects of the *Native Vegetation Act (1991)* and *The National Parks and Wildlife Act (1972)*. During the planning phase for developments, it would be appropriate that flora and fauna surveys be conducted on and around the development sites to ensure the conservation of important and endangered species.

A 3 kilometre wide development exclusion area around the perimeter of the Enterprise Zone is incorporated into the Zone. Refer to the Concept Plan for the Zone - [Figure En/1](#). The development exclusion area also surrounds the existing rural living land division in the southern part of the Enterprise Zone near Bower.

The purpose of the development exclusion area is to provide “buffer” to future enterprises and existing properties in order to attenuate any possible development impacts.

Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) are envisaged within the zone and constitute a component of the zone's desired character. These facilities will need to be located in areas where they can take advantage of the natural resource upon which they rely and, as a consequence, components (particularly turbines) may need to be:

- located in visually prominent locations such as ridgelines;
- visible from scenic routes and valuable scenic and environmental areas; and
- located closer to roads than envisaged by generic setback policy.

This, coupled with the large scale of these facilities (in terms of both height and spread of components), renders it difficult to mitigate the visual impacts of wind farms to the degree expected of other types of development. Subject to implementation of management techniques set out by general/council wide policy regarding renewable energy facilities, these visual impacts are to be accepted in pursuit of benefits derived from increased generation of renewable energy.

The Concept Plan, [Figure En/1](#), outlines the preferred staging of the Enterprise Zone to allow for progressive construction of infrastructure including the planned and incremental flow of capital expenditure. It is considered that an orderly approach to development within the Zone is preferable and more cost-effective than scattered development having limited access to road, water, and electricity services.

The following forms of development are **acceptable** in the Enterprise Zone:

- intensive animal keeping (providing Enterprise Zone performance standards can be achieved);
- resource recovery;
- composting facilities;
- infrastructure to support appropriate uses;
- farming and farm buildings;
- wind farm and ancillary development; and
- wind monitoring mast.

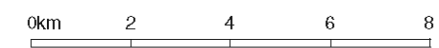
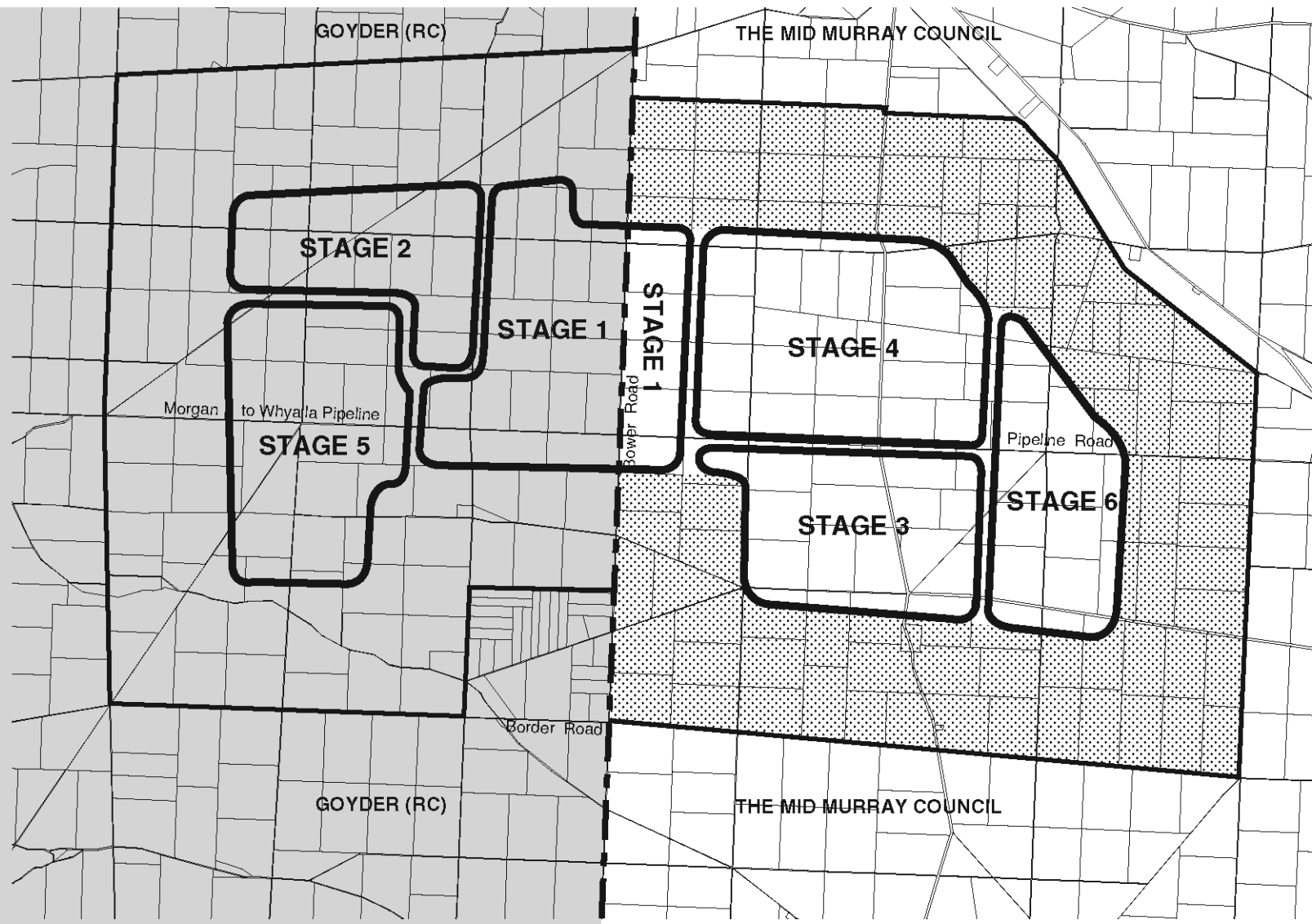
The following forms of development are **unacceptable** in the Enterprise Zone.

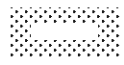


- dwellings not directly associated with enterprise activities;
- industry not associated with intensive primary production, or other enterprise activities envisaged for the Zone;
- mining;
- outdoor advertising other than information signage relating to the use of the land;
- shops; and
- wineries.

## OBJECTIVES

### Development Generally

- Objective 1:** An intensive agricultural production precinct in which sustainable activities and resource recovery are key elements in the production cycle.



-  Development Exclusion Area (3 kilometres in width)
-  Zone Boundary
-  Development Plan Boundary

**THE MID MURRAY COUNCIL  
ENTERPRISE ZONE  
CONCEPT PLAN  
Fig En/1**

**Objective 2:** A Zone primarily accommodating intensive animal industries and other primary industries including pig production, piggeries, chicken and egg production, chicken hatcheries and broiler sheds, with scope for composting facilities on a large scale and as opportunities for renewable energy.

**Objective 3:** A Zone where development maintains and enhances agricultural production that improves the economic base of the district and the long-term sustainability of enterprises.

**Objective 4:** Protection of intensive agricultural production from incompatible land uses.

**Objective 5:** Accommodation of wind farms and ancillary development.

#### Staging of Development

**Objective 6:** A Zone that is developed in stages, ensuring the maximisation of efficiency in the use of established infrastructure and of the desired co-location benefits of enterprise activities.

#### Stormwater

**Objective 7:** Maintenance of natural hydrological systems and environmental flows.

**Objective 8:** Surface run-off designed to protect property and life and environmental quality.

#### Vegetation

**Objective 9:** Retention and maintenance of existing native vegetation for its conservation, biodiversity, and habitat value and environmental management function.

#### Soil

**Objective 10:** Protection and maintenance of:

- (a) the physical, chemical and biological quality of soil resources;
- (b) the quantity of soil resources; and
- (c) the natural processes of sediment transfer.

#### Intensive Animal Keeping

**Objective 11:** The aggregation of intensive animal keeping enterprises that ultimately would present relatively low risk to the environment, and would use minimum natural resource inputs for maximum economic benefit.

#### Organic Waste Processing

**Objective 12:** Minimisation of environmental impacts from the location and operation of organic waste processing facilities.

#### Dwellings

**Objective 13:** Residential development may occur only where:

- (a) it is directly associated with and ancillary to, a legitimate intensive primary industry activity; and
- (b) the use of the dwelling will not jeopardise the continuation of intensive primary production on adjoining land or elsewhere within the zone.

**Air Quality**

**Objective 14:** Prevention of environmental nuisance or harm resulting from odour and other airborne particles.

**Noise Pollution**

**Objective 15:** Protection of sensitive uses from external noise.

**Hazard Minimisation**

**Objective 16:** Prevention of environmental nuisance or harm resulting from a biological, chemical or fire hazard, energy emission or explosion.

**Waste**

**Objective 17:** No adverse impacts from the treatment of wastes.

**Objective 18:** Effective treatment of solid and liquid wastes to prevent environmental nuisance and harmful or adverse impacts on the public, worker health or the amenity of a locality.

**Objective 19:** Enhanced opportunities for the appropriate recycling and reuse of waste.

**Infrastructure**

**Objective 20:** Economic provision of infrastructure in an environmentally sensitive manner.

**Objective 21:** Development provided with an adequate level of appropriate services and infrastructure without excessive cost to the community.

**Objective 22:** Development that allows for progressive construction of infrastructure, including planned and incremental flow of capital expenditure to allow orderly access to road, water and electricity supplies.

**Conservation**

**Objective 23:** Protection of environmental values of conservation areas.

**PRINCIPLES OF DEVELOPMENT CONTROL****Development Generally**

- 1 Development should primarily be for an intensive animal keeping and organic waste composting precinct in which sustainable activities and resource recovery are key elements in the production cycle in accordance with the Enterprise Zone Concept Plan, [Figure En/1](#).
- 2 Development of dwellings or other sensitive receptors should not occur within the development exclusion area as indicated on the Enterprise Zone Concept Plan – [Figure En/1](#).

**Form of Development**

- 3 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.

**Staging of Development**

- 4 Development within the zone should be staged in accordance with the staging plan identified on the Enterprise Zone Concept Plan – [Figure En/1](#).



- 5 Development should not occur until the necessary infrastructure is in place to allow safe operations to proceed.

### Stormwater

- 6 Stormwater from buildings and ground areas managed in a manner that minimises impact on natural drainage systems by:
- (a) preventing soil erosion or siltation;
  - (b) minimising the entry of pollutants; and
  - (c) mitigating peak flows.

#### *Design Techniques (these are ONE WAY of meeting the above principle)*

- 6.1 *In relation to PDC 6(c), on-site drainage systems shall incorporate a system to the approval of the relevant authority, to detain and treat first flush storm run-off before discharge from the site. A detention volume equivalent to the run-off from a 1 year ARI, 2 hour duration storm, discharged gradually over a period of 24 hours is appropriate.*

#### *For Industry:*

- 6.2 *Floor levels shall be set taking into account likely flood levels from the 100 year ARI storm, including freeboard determined by site conditions, (eg where water is flowing at a high velocity a greater level of freeboard may be required compared to water flow at a low velocity).*
- 6.3 *Rainfall run-off from ground areas directed to open swales, via purpose designed and built traps for litter, sediment, grease, oil and other like substances.*
- 6.4 *Swales to be designed (in combination with roads and other hard paved surface areas) to detain the whole run-off from a 1 in 1, to a 1 in 10 year event flow, and a 1 in 100 year event storm for a one hour period.*
- 6.5 *Swales are to be formed with a gradient of no more than 1 in 5, lined with an erosion resistant base (eg rocks or paving stones) and not be obstructed by trees and shrubs.*
- 6.6 *Any swales used for storm run-off shall be designed to be non-scouring.*

### Vegetation

- 7 Buildings and other structures should be sited a sufficient distance from native vegetation so as not to require further vegetation clearance for bushfire safety reasons.
- 8 Any essential clearance of native vegetation (for example, for management of fire protection purposes) should be accompanied by other conservation initiatives, such as replanting, to ensure the overall result is no net loss or preferably, a biodiversity gain.
- 9 Development should not increase the potential for, or result in, pest plant infestation of areas of native vegetation; and result in the degradation of remnant native vegetation by any other means, including as a result of spray drift, compaction of soil, modification of surface water flows, pollution to groundwater or surface water or changes to groundwater levels.

### Soil

- 10 Development should not have an adverse impact on the natural, physical, chemical or biological quality and characteristics of soil resources.

- 11 Development should minimise the loss of soil from a site through soil erosion or siltation both:
- (a) during the construction phase; and
  - (b) following commencement of an activity.

**Design Techniques** (these are ONE WAY of meeting the above principles)

11.1 *Erosion and sediment control measures such as grade furrows, contour banks, catch/diversion drains, level spreaders, revegetation, hay bale barriers, filter fences, sediment traps and basins are implemented during the construction phase to prevent silt or sediment leaving the subject land.*

- 12 Development should occur in a manner which will not increase soil salinity levels.
- 13 Development should not result in alterations to the landform or drainage patterns which will impede natural processes of sediment transfer.

**Waste**

- 14 On-site waste treatment and the spreading or discharging of treated waste on-site should only occur where:
- (a) site conditions including soil type and permeability, soil nutrient levels, crop selection, soil percolation rates, the slope of land, potential for flooding and site drainage, rainfall and depth to water table have been considered and are conducive to treated waste being spread or discharged on-site; and
  - (b) the capacity of the on-site treatment facility is sufficient to accommodate likely daily demands.
- 15 The methods for, and siting of, effluent and waste treatment and disposal systems should minimise the potential for:
- (a) environmental harm;
  - (b) adverse impacts on the quality of surface and groundwater resources;
  - (c) adverse impacts on public and worker health;
  - (d) adverse impacts on the amenity of a locality; and
  - (e) adverse impacts on sensitive land use receptors.

**Design Techniques** (these are ONE WAY of meeting the above principle)

15.1 *In relation to PDC 15(a) and (b), no part of a septic tank effluent drainage field or any other waste water disposal area is:*

- (a) *located within 50 metres of any bore, well, dam or watercourse that either clearly exists or is identified on a current series 1:50 000 SA Government topographical map, and any residence on an adjacent property or within 10 metres of any public land (including public roads);*
- (b) *located on any land with a slope greater than 20 percent (1 in 5 or 12°);*
- (c) *located on land where the depth to bedrock is less than 1.2 metres;*
- (d) *located on land where the depth to a sub surface seasonal tidal or permanent water table (fresh or saline) is less than 1.2 metres from the ground surface level;*

- (e) located on land likely to be inundated by a 10 year return period flood event for any watercourse;
- (f) located in a manner that leads to surface run-off from the wastewater irrigation area at any time; or
- (g) located on waterlogged or saline areas.

#### Poultry Sheds

- 15.2 In relation to PDC 15(a) and (b), carcasses are stored on-site in sealed containers to prevent liquid and odour escape or access by vermin prior to removal or composting.
- 15.3 In relation to PDC 15(a) and (b), manure/used litter from poultry sheds is cleaned from sheds and removed from the site within one day of collection.
- 15.4 In relation to PDC 15(a) and (b) manure/ used litter stored on-site prior to disposal is stored on an impervious base and all clean rainfall run-off is excluded from the storage area.

#### Piggeries

- 15.5 In relation to PDC 11(a) and (b), where the effluent treatment system is located greater than 500 metres from the piggery, the separation distances surrounding effluent treatment systems are provided as follows:

#### **Separation Distances Surrounding Effluent Treatment Systems<sup>2 3</sup>**

(For Piggeries up to 5000 Standard Pig Units)

<b>Effluent Treatment System</b>	<b>A (metres)</b>	<b>B (metres)</b>	<b>C (metres)</b>	<b>D (metres)</b>
Neighbouring rural farm residence not occupied by owner/staff of piggery	300	300	400	500
Public area (occasional use)	100	100	150	200
Public Road - except as below	100	100	150	200
Public road - unsealed with less than 50 vehicles per day excluding piggery traffic	50	50	50	50
Major watercourse and flood zone	200	200	200	200
Other watercourse as defined by a blue line on a 1:50 000 current SA Government topographical map	100	100	100	100
Property boundary	20	20	20	20

- 15.6 In relation to PDC 15(a) and (b), for piggeries bigger than 5000 Standard Pit Units, the values in 15.5 above are increased by the factor  $\sqrt{(N/5000)}$  where N is the number of Standard Pig Units in the piggery. (1 Pig Unit = Grower Pig 26 – 40 kg)

In relation to PDC 15(a) the separation distances surrounding waste disposal areas are provided as follows:

<sup>2</sup> Distances are measured from the edge of the effluent treatment system or the effluent disposal area.

<sup>3</sup> System A: Solids separation, anaerobic lagoon, and aerobic lagoon and also straw and manure from eco-huts.  
System B: Anaerobic lagoon and aerobic lagoon.  
System C: Anaerobic lagoon only.  
System D: Drying lagoons.

**Separation Distances Surrounding Waste Disposal Areas<sup>4 5</sup>**

<b>Disposal Method</b>	<b>A (metres)</b>	<b>B (metres)</b>	<b>C (metres)</b>	<b>D (metres)</b>
<i>Neighbouring rural farm residence not occupied by owner/staff of piggery</i>	100	200	300	300
<i>Public area (occasional use)</i>	50	100	150	200
<i>Public road - except as below</i>	25	25	50	75
<i>Public road - unsealed with less than 50 vehicles per day excluding piggery traffic</i>	10	10	150	15
<i>Major watercourse and flood zone</i>	100	200	200	200
<i>Other watercourse as defined by a blue line on a 1:50 000 current SA Government topographical map</i>	50	50	50	100

- 15.8 *In relation to PDC 15(a), where more than one category of disposal to land is used, the method which requires the greater distance separation is used.*

**Cattle Feedlots**

*In relation to PDC 15(a), where the effluent treatment system is located greater than 500 metres from the cattle feedlot, the separation distances surrounding effluent treatment systems are provided as follows:*

<sup>4</sup> If the direction of the wind is towards a receptor, the buffer distance should be increased by 50 per cent.

<sup>5</sup> Disposal methods are in accordance with the following:

**Disposal Method A**

- Discharge by injection directly into the soil at a rate not exceeding either the hydraulic or nutrient and salinity limits determined for the local soil types.
- Irrigation of liquid pig effluent diluted at a ration of 20:1 or greater and projected at a height of less than two metres.

**Disposal Method B**

- Land receiving effluents that are "fresh". (ie those that are less than 12 hours old) and having a solids content no more than 5 percent.
- Aerated effluents from which at least 75 percent solids have been removed
- Any effluent with a BOD value of less than 25000 mg/litre
- Solids that have been completely composted
- Effluent having a solids content of not more than 1 percent
- Mechanical spreaders in combination with "ploughing-in". type equipment

**Disposal Method C**

- Downward effluent discharge nozzles
- Discharged material is not projected to a height of more than 2.0 metres above ground level

**Disposal Method D**

- All effluent that is discharged or projected to a height in excess of 2.0 metres above ground level
- Liquid effluent in which water remains visible on the soil surface for periods in excess of one hour
- Separated solids or sludge (except fully composted solids) that remain on the soil surface for more than 24 hours (ie are not immediately ploughed in).

**Separation Distances Surrounding Effluent Treatment Systems<sup>6</sup>**

<b>Effluent Treatment System</b>	<b>A (metres)</b>	<b>B (metres)</b>	<b>C (metres)</b>	<b>D (metres)</b>
Rural farm residence not owned by feedlot	100	300	400	500
Public area (minimum value)	50	100	150	200
Public road - except as below	50	100	150	200
Public road - unsealed with less than 50 vehicles per day excluding piggery traffic	50	50	50	50
Other watercourse as defined by a blue line on a 1:50 000 current SA Government topographical map	100	100	100	100
Property boundary	50	50	50	50

15.10 In relation to PDC 15(a) and (b), the following separation distances surrounding waste disposal areas are provided in the following table:

**Separation Distances Surrounding Waste Disposal Areas<sup>7</sup>**

<b>Disposal Method</b>	<b>A (metres)</b>	<b>B (metres)</b>	<b>C (metres)</b>	<b>D (metres)</b>
Rural farm residence not owned by feedlot	100	300	400	500
Public area (minimum value)	50	100	150	200
Public road .except as belo	50	100	150	200
Public road - unsealed with less than 50 vehicles per day excluding piggery traffic	50	50	50	50
Major watercourse and flood zone	100	200	200	200
Other watercourse as defined by a blue line on a 1:50 000 current SA Government topographical map	50	100	100	100
Property boundary	50	50	50	50

15.11 In relation to PDC 15(a) and (b), where more than one category of disposal to land is used, the method which requires the greatest distance separation is used.

<sup>6</sup> System A: Settlement lagoon, and aerobic lagoon  
System B: Settlement lagoon and anaerobic lagoon  
System C: Anaerobic lagoon only  
System D: Runoff straight to pasture, sludge drying beds, drying lagoons

<sup>7</sup> Disposal methods are in accordance with the following:

**Disposal Method A**

- Discharge by injection directly into the soil at a rate not exceeding either the hydraulic or nutrient and salinity limits determined for the local soil types

**Disposal Method B**

- Solids that have been completely composted
- Effluent having a solids content of not more than 1 percent

**Disposal Method C**

- Mechanical spreaders in combination with "ploughing-in". type equipment
- Downward effluent discharge nozzles
- Discharged material is not projected to a height of more than 2 metres above ground level

**Disposal Method D**

- All effluent that are discharged or projected to a height in excess of 2 metres above ground level
- Liquid effluent in which water remains visible on the soil surface for periods in excess of one hour. Separated solids or sludge (except fully composted solids) that remain on the soil surface for more than 24 hours (ie are not immediately ploughed in).

## Flooding

- 16** Structures (apart from purpose built flood control levels), including fencing and the filling of land should:
- (a) not impede the flow of flood waters or change the pattern of movement of floodwaters; and
  - (b) when feasible, mitigate any existing impediments to floodwaters.
- 17** Structures, including fencing (post and wire [strand] fencing), and the filling of land should not take place within the 100 year flood plain of a watercourse.

## Noise Pollution

- 18** Development should take all reasonable and practical noise reduction steps to prevent or minimise adverse impacts arising from noise.
- 19** Development designed to minimise adverse acoustic impacts on adjoining uses which would be sensitive to acoustic interference.

### *Design Techniques (these are ONE WAY of meeting the above principle)*

- 19.1 *The noise levels associated with the development do not exceed the following guideline noise levels at the nearest noise sensitive receiver:*

<i>Type of Receiver<sup>8</sup></i>	<i>Guideline Noise Level L<sub>Aeq</sub>dB(A)<sup>9</sup></i>		<i>Guideline Noise Level L<sub>Amax</sub>dB(A)<sup>9</sup></i>	
	<i>Day<sup>10</sup></i>	<i>Night<sup>10</sup></i>	<i>Day<sup>10</sup></i>	<i>Night<sup>10</sup></i>
<i>Rural Living</i>	45	35	60	50
<i>Rural Living/Primary Industry interface<sup>11</sup></i>	50	40	65	55
<i>Primary Industry</i>	55	45	70	60

- 19.2 *The proposal may exceed Design Technique 19.1 and satisfy PDC 19 where the planning authority is of the opinion that all reasonable and practicable steps have been taken by the noise source to prevent any adverse impacts resulting from noise. In determining whether all reasonable and practicable steps have been taken by the noise source, the planning authority may consider, amongst other things<sup>12</sup>:*

- (a) *the amount by which the predicted noise level exceeds the criteria under Design Technique 19.1;*
- (b) *the duration and frequency of occurrence that the noise exceeds the criteria under Design Technique 19.1<sup>13</sup>*
- (c) *the various types of use in the vicinity of the receiver;*

<sup>8</sup> Specific criteria must be developed where the type of receiver can not be classified in accordance with the uses in the table.

<sup>9</sup> The LAeq and the LAmax are the equivalent and maximum A weighted noise levels respectively as generally defined in Australian Standard AS1055-199720. The LAeq shall be adjusted for noise characteristics. Where meteorological conditions exist that will regularly affect the noise level associated with the proposed development, the LAeq shall take account of this influence.

<sup>10</sup> The day period is 7am to 10pm. The night period is 10pm to 7am.

<sup>11</sup> Taken to mean where a Rural Zone and a Rural Living Zone (or similar) in which a receiver is located interface. The 'Interface' classification will also apply to a purely residential use located in a Rural Zone.

<sup>12</sup> The Design Technique defines the information that the proponent needs to provide to satisfy the principle where the guideline noise levels will be exceeded. It is expected an acoustic engineer (eligible for membership of both the Australian Acoustical Society and the Institution of Engineers Australia) will be required to provide the information.

<sup>13</sup> Such as the operation of frost fans, vintage activity, harvesting noise and the like.

- (d) *the primary intention of the zone in which the receiver is located as provided by the relevant Development Plan;*
- (e) *the primary intention of the zone in which the noise source is located as provided by the relevant Development Plan;*
- (f) *the presence of ambient noise at the receiver of similar character, duration or frequency of occurrence to the noise exceeding the criteria under Design Technique 19.1<sup>14</sup>*
- (g) *the presence of alternatives to the process which is generating noise, where those alternatives:*
  - (i) *result in a similar outcome; and*
  - (ii) *result in lower noise levels at the receiver; and*
  - (iii) *are successfully used by a class of persons undertaking activities of a same or similar kind;*
- (h) *the extent of the area and number of receivers exposed to the noise that exceeds the criteria under Design Technique 19.1;*
- (i) *the economic benefits and social worth of the activity;*
- (j) *the financial implications of the noise reduction steps as they relate to class of persons undertaking activities of the same or a similar kind;*
- (k) *the likelihood of successful application of the noise reduction steps.*

## Chemicals

- 20** Storage and use of biological chemicals and chemicals in a controlled environment should be undertaken in a manner which prevents any airborne or waterborne movement or land contamination.

## Air Quality

- 21** Development likely to result in the emission of odour, or other airborne particles, should minimise environmental nuisance or harm external to the site as a result of that emission.

### ***Design Techniques*** (these are ONE WAY of meeting the above principle)

- 21.1** *The minimum separation distance between intensive animal keeping development and other land uses, activities or landscape elements is in accordance with the following requirements:*

<b><i>Activity</i></b>	<b><i>Land Use/Activity/Landscape Element</i></b>	<b><i>Required Separation Distance (metres)</i></b>
<i>Poultry Sheds</i>	<i>Urban residential zone/rural living zone</i>	<i>1000</i>
	<i>Dwelling on another property</i>	<i>500</i>
	<i>Dwelling on same property</i>	<i>100</i>
	<i>Another poultry farm (including free range poultry), ostrich and emu farms</i>	<i>1000</i>
	<i>National Highway</i>	<i>1000</i>

<sup>14</sup> Such as truck movements on the development site, where the receiver is already subject to the acoustic impact of an adjacent public road carrying like vehicles.

<i>Activity</i>	<i>Land Use/Activity/Landscape Element</i>	<i>Required Separation Distance (metres)</i>		
	<i>Public Road</i>	250		
	<i>Side or rear boundary</i>	300		
<i>Piggeries</i>	<i>Public road (except as below)</i>	200		
	<i>Public road (unsealed with less than 50 vehicles per day excluding piggery traffic)</i>	50		
	<i>Dairy</i>	100		
	<i>Slaughter house</i>	100		
	<i>Neighbouring rural residence</i>	200		
	<i>Property boundary</i>	20		
<i>Cattle Feedlot</i>	<i>Public road (except as below)</i>	200		
	<i>Public road (unsealed with less than 50 vehicles per day excluding piggery traffic)</i>	50		
	<i>Property boundary</i>	50		
<i>Rabbit Farm</i>		<i>Wet System</i>	<i>Dry System</i>	<i>Pond &amp; Irrigation Areas</i>
	<i>Public road (except as below)</i>	50	20	50
	<i>Public road (unsealed with less than 50 vehicles per day excluding rabbit complex traffic)</i>	20	10	20
	<i>Nearest dwelling on adjoining/adjacent land</i>	150	60	150
	<i>A dwelling on site which includes rabbit complex</i>	20	10	20
	<i>Nearest complex for other farmed rabbits</i>	500	500	500
	<i>Any township</i>	1000	500	1000
<i>Stockyard Sales</i>	<i>Dwellings or urban residential zone/rural living zone</i>	500		

*Note: these are the minimum fixed buffer distances.*

### **Built Form and Design**

#### **22 Buildings and structures which have:**

- (a) a design scale, appearance and site to enhance the positive environmental qualities, built form and character of the locality;
- (b) a requirements for minimal removal of existing vegetation; and
- (c) sites which are grouped together.

#### ***Design Techniques (these are ONE WAY of meeting the above principle)***

22.1 *In relation to PDC 22(c), buildings are not separated by a distance of greater than 15 metres.*



- 23** The external appearance and design of buildings and structures visible from a public road should minimise their visual obtrusiveness by:
- (a) reducing the building's profile;
  - (b) reducing the mass of buildings into smaller components by variations in wall and roof lines; and
  - (c) using eaves, verandahs and similar techniques to create shadowed areas.
- 24** Sites should be provided with a safe and convenient means of access that:
- (a) avoids unreasonable interference with the flow of traffic on adjoining roads;
  - (b) accommodates all types and the volume of traffic likely to be generated by the development or land use; and
  - (c) is located and designed to minimise any adverse impact on the occupants of visitors to neighbouring properties.
- 25** Wind farms and ancillary development should be located in areas which provide opportunity for harvesting of wind and efficient generation of electricity and may therefore be sited:
- (a) in visually prominent locations
  - (b) closer to roads than envisaged by generic setback policy.

### **Building Development**

- 26** A dwelling should only be established on an allotment in association with appropriate enterprise activities envisaged for the zone and where it is demonstrated there is a direct need for a caretakers residence to accommodate the primary land use being undertaken on site.
- 27** Buildings should be designed and sited so as not to be visually obtrusive.

*Design Techniques (these are ONE WAY of meeting the above principle)*

*27.1 Visibility can be measured by mapping sightlines.*

### **Infrastructure**

- 28** Physical infrastructure required for development should:
- (a) be able to be economically provided;
  - (b) be of a sufficient standard, design and capacity to accommodate the proposed development;
  - (c) not have a detrimental impact on the environmental qualities and amenity of the area;
  - (d) minimise the removal of native vegetation;
  - (e) not increase the level of risk to public health;
  - (f) not compromise the level of service to other existing or future users; and
  - (g) not unreasonably increase the infrastructure maintenance cost to the community.
- 29** Development should not proceed until relevant infrastructure is provided for efficient operation of the stage in which the development is proposed and in accordance with the staging plan identified in the Enterprise Zone Concept Plan – [Figure En/1](#).

- 30** Where roadworks or effluent drainage mains are required to be provided, or extended for a development, the developer should pay the costs and provide the necessary easements and reserves.
- 31** Sites should be provided with a safe and convenient means of access that:
- (a) will avoid unreasonable interference with the flow of traffic on adjoining roads;
  - (b) will accommodate the type and volume of traffic likely to be generated by the development or land use;
  - (c) can accommodate emergency vehicles to and within the site;
  - (d) is located and designed to minimise any adverse impact on the occupants of and visitors to neighbouring properties; and
  - (e) is economically sustainable in regards to the maintenance of access infrastructure.
- 32** Sufficient provision should be made on-site for the parking, loading, unloading and turning of all vehicles likely to be generated by the proposed development or land use.
- 33** Driveways, access tracks and parking areas should:
- (a) follow the natural contours of the land;
  - (b) be designed and constructed with a minimum amount of excavation and/or fill;
  - (c) be designed and constructed to minimise the potential for erosion from run-off; and
  - (d) not involve the removal of or damage to existing native vegetation.

### **Land Division**

- 34** Creation of additional allotments should not occur other than to realign boundaries or amalgamating titles without creating an additional allotment(s)

### **Dams**

- 35** The location and construction of a dam should:
- (a) occur off-stream;
  - (b) not take place in ecologically sensitive areas or areas prone to erosion;
  - (c) provide for low flow by-pass mechanisms;
  - (d) minimise the loss of soil from the site through soil erosion and siltation;
  - (e) minimise the removal or destruction of in-stream or riparian vegetation; and
  - (f) incorporate features to improve water quality and enhance biodiversity where appropriate (eg wetlands).

#### ***Design Techniques (these are ONE WAY of meeting the above principle)***

##### ***35.1 The dam is constructed with:***

- (a) *irregular edges;*
- (b) *a variety of depths to provide opportunities for the establishment of a range of aquatic plants and animals;*

- (c) *vegetation cover around the banks of the dam;*
- (d) *restricted stock access; and*
- (e) *a silt trap which is one tenth the size of the dam and is located upstream of the dam to trap incoming silt and nutrients.*

### Industrial Development

- 36** Industrial development should only occur where it involves the repair and maintenance of farm equipment, organic waste processing / composting or the processing, packing, fermentation, storage and/or wholesale of primary produce and where:
- (a) the development cannot be accommodated within other appropriately zoned locations;
  - (b) no detriment or nuisance to owners or occupiers of land in the locality of the development would be likely to arise;
  - (c) it is unlikely to limit or jeopardise the use of adjoining land for primary production;
  - (d) it is sited to allow safe and convenient access to an all weather public road and would not cause traffic problems or undue deterioration of road surfaces;
  - (e) the industrial development in question has an association with its rural surroundings;
  - (f) it does not involve or necessitate the creation of an additional allotment(s); and
  - (g) stormwater is directed from paved areas into extensive landscape plantings that screen the development from public view.
- 37** Development of land for commercial purposes including service trade premises, commercial depot or storage activities or the purposes of industry other than an industry primarily associated with processing rural products, should not be undertaken.

### Non-complying Development

- 38** The following forms of development are **non-complying** in the Enterprise Zone:

Dwelling, except where the residence is directly related to the on-site management of an appropriate enterprise activity  
Horticulture

Industrial and commercial development, other than where:

- (a) it is associated with processing of primary production; or
- (b) the total floor area of buildings for manufacture, storage or associated activities does not exceed 300 square metres; and
  - (i) involvement in the industry by people who are not resident on the site does not exceed two persons; and
  - (ii) the industry does not involve the use of vehicles exceeding eight tonnes in weight and no more than one vehicle over one tonne in weight.

Land based aquaculture

Land division, except for the purpose of realigning of allotment boundaries without creating an additional allotment

Landfill, that constitutes solid waste disposal required to be licensed as a waste depot under the Environment Protection Act 1993

Mining

Outdoor advertising, other than information signage or relative to the lawful use of the land on which they are situated.

Petrol filling station

Service trade premises  
 Shop  
 Wineries

### Public Notification

- 39** For the purposes of public notification, the following activities, in addition to all forms of development listed within Schedule 9 of the *Development Regulations 2008*, are assigned **Category 1**:

Composting works  
 Dwelling, where the residence is directly related to the on-site management of an appropriate enterprise activity  
 Farming and farm buildings  
 Infrastructure, to support appropriate enterprise activities (as outlined within the desired future character statement)  
 Intensive animal keeping  
 Intensive primary production activity  
 Organic waste processing facility

- 40** The following kinds of development are assigned to **Category 2** in the (Mid Murray) Enterprise Zone:

Wind farms and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) where the base of all wind turbines is located at least 2000 metres from:

- (a) an existing dwelling or tourist accommodation that is not associated with the wind farm
- (b) a proposed dwelling or tourist accommodation for which an operable development plan consent exists
- (c) the boundaries of any Airfield, Airport, Centre, Community, Fringe, Historic Conservation, Home Industry, Living, Mixed Use, Residential, Settlement, Tourist, Township or Urban Zone, Policy Area or Precinct or any Heritage Area (including within the area of an adjoining Development Plan)

Wind monitoring mast and ancillary development

## CONSERVATION ZONE

### Introduction

The Objectives and Principles of Development Control that follow apply to the Conservation Zone as shown on [Maps MiMu/13, 17 to 19, 24 and 26](#). The policies are additional to those for the Council Area.

### DESIRED CHARACTER

The Conservation Zone should maintain a character which achieves:

- (a) a diversity of local native plant and animal species;
- (b) a range of habitats and environmental niches;
- (c) retention of the Zone's natural beauty; and
- (d) the interpretation and appreciation of the natural and cultural heritage of the Zone.

Conservation areas will retain natural qualities and habitats as a contribution to the management of the overall eco system as an environmental resource.

The following forms of development are **acceptable** in the Conservation Zone:

- fencing and signage for conservation management purposes;
- structures for conservation management purposes;
- scientific monitoring structures or facilities; and
- facilities associated with the interpretation and appreciation of natural and cultural heritage.

The following forms of development are **unacceptable** in the Conservation Policy Area:

- all forms of urban development (residential, industry, commercial and retail);
- all forms of farming, horticulture, viticulture and land based aquaculture;
- intensive animal keeping;
- horse keeping.

### OBJECTIVES

#### Environment

**Objective 1:** Retention of native vegetation, wildlife habitat, features of cultural heritage significance and natural beauty.

#### Tourism and Recreation

**Objective 2:** Provision of appropriate environmental and heritage interpretive facilities.

### PRINCIPLES OF DEVELOPMENT CONTROL

**1** Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the policy area.

#### Ecologically Sustainable Development

**2** All revegetation and screen plantings should be of locally occurring native species, preferably using seed sourced from the region. The presence of grasslands and grassy woodlands needs to be recognised and inappropriate plantings discouraged.

**Water**

- 3 Development should take place in a manner which will not compromise the utilisation, conservation or quality of water resources or capacity for natural systems to restore or maintain water quality.

**Environment**

- 4 Development should not degrade the wildlife value, scenic beauty or scientific or cultural value of land or water in the zone.
- 5 Development should be designed and sited to respect and maintain the landscape character of an area which is of:
- (a) historical (including archaeological) significance;
  - (b) scientific interest;
  - (c) scenic value or natural beauty; or
  - (d) other heritage significance.
- 6 Trees and other vegetation, including native flora and bushland remnants which are of:
- (a) special visual, historical or scientific significance or interest or heritage value;
  - (b) existing or possible future value in the screening of a building or unsightly views;
  - (c) existing or possible future value in the prevention of soil erosion; or
  - (d) value as a habitat or feeding area for native fauna;
- should be conserved and their value and function not compromised by development.

**Recreation and Tourism**

- 7 Development or use of land for recreation should provide services such as access roads, signage, car parks, fire pits, campsites, drinking water, lawns and rubbish and toilet facilities commensurate with the intended intensity of use.

**Related Development**

- 8 Development should not increase the potential for, or result in, pest plant infestations of areas of native vegetation.
- 9 Buildings and other structures should not be sited adjacent to native vegetation where such siting will necessitate the clearance of vegetation to ensure the safety of the proposed structure from fire hazard.
- 10 The visual obtrusiveness of buildings and structures should be minimised through:
- (a) their design and siting;
  - (b) the use of screen landscaping.

**Non-complying Development**

11 All forms of development are **non-complying** in the Conservation Zone except:

- Fencing and signage for conservation management purposes
- Land division for the rearrangement or rationalisation of existing allotments and where no additional allotments are created
- Outdoor advertising for information signage
- Structures and buildings for conservation management purposes (including scientific monitoring and interpretive facilities)

**Public Notification**

12 For the purposes of public notification, the following forms of development are assigned as **Category 1** development:

- Fencing and signage for conservation management purposes
- Land division for rearrangement or rationalisation of existing allotments and where no additional allotments are created
- Structures and buildings for conservation management purposes (including scientific monitoring and interpretive facilities)

## RURAL LIVING ZONE

### Introduction

The objectives and principles of development control that follow apply in the Rural Living Zone shown on [Maps MiMu/4 to 7, 12 to 14, 17, 21 to 26, 36, 37, 43, 44, 47, 48, 53, 56 to 58, 60 to 62](#) and [Maps MiMu/1 \(Overlay 1\) Enlargements A, C, D, E, G, J, L and M](#) and Policy Areas defined as Policy Area 3, 4 & 21 Truro [Map MiMu/102](#); Policy Area 17 – Shearer Heights [Maps MiMu/98 and 125](#); and Policy Areas 18, 19 and 20 [Map MiMu/129](#). They are additional to those expressed for the whole council area.

### OBJECTIVES

- Objective 1:** A zone for detached dwellings on large allotments and associated compatible rural activities of a minor nature.
- Objective 2:** A zone which includes compatible business activities where nominated on structure plans.
- Objective 3:** Development adjacent to the Conservation Zone should not degrade the vegetation, wildlife, scientific or cultural value of land or water in that zone.

### DESIRED CHARACTER

The predominant use in the zone is residential development on large allotments which are capable of supporting hobby rural activities such as animal keeping and horse keeping.

Development and use of land must give attention to land management to ensure land is not degraded or untidy, with tree planting around the perimeter of properties and buildings strongly encouraged. Native vegetation should be maintained throughout the zone.

There are currently limitations on access to reticulated water supply in many areas. All development should incorporate adequate rainwater catchment, ie roof area, and associated rainwater storage, to provide for domestic internal water use requirements, applicable to the locality.

The zone is distributed across sixteen separate locations namely: Mannum; Mannum North; Morgan; Truro; Tungkillo; Anna; Cadell; Cambrai; Marne Valley; Ruedigers; Sanderston; Swan Reach Environs; Swan Reach; Keyneton; Palmer and Section 80/83.

- Rural Living (Mannum) [Maps MiMu/1 \(Overlay 1\) Enlargement A and MiMu/60 and 62](#)
- Rural Living (Mannum North) [Maps MiMu/1 \(Overlay 1\) Enlargement A, MiMu/37, 60, 61, 98 and 125](#)
- Policy Area 17 – Shearer Heights [Maps MiMu/98 and 125](#)
- Rural Living (Morgan) [Maps MiMu/1 \(Overlay 1\) Enlargement E and MiMu/4, 5 and 53](#)
- Policy Areas 3, 4 and 21 - Rural Living (Truro) [Maps MiMu/1 \(Overlay 1\) Enlargement G and MiMu/43 and 102](#)
- Policy Areas 18, 19 and 20 - Rural Living (Tungkillo) [Maps MiMu/1 \(Overlay 1\) Enlargement M and MiMu/47 and 129](#)
- Rural Living (Anna) [Maps MiMu/12 and 13](#)
- Rural Living (Cadell) [Maps MiMu/6 and 7](#)
- Rural Living (Cambrai) [Map MiMu/1 \(Overlay 1\) Enlargement C and D](#) and [Map MiMu/57](#)
- Rural Living (Keyneton) [Map MiMu/44](#)
- Rural Living (Marne Valley) [Maps MiMu/22 to 26](#)
- Rural Living (Palmer) [Maps MiMu/1 \(Overlay 1\) Enlargement J](#) and [MiMu/48](#)
- Rural Living (Sanderston) [Maps MiMu/21, 22 and 58](#)
- Rural Living (Swan Reach) [Maps MiMu/17](#)
- Rural Living (Swan Reach Environs) [Maps MiMu/1 \(Overlay 1\) Enlargement L](#) and [MiMu/56](#)
- Rural Living (Section 80/83) [Maps MiMu/17](#)
- Rural Living (Rudigers) [Map MiMu/14](#)



The following forms of development are **acceptable** in the Rural Living Zone:

- animal keeping in limited numbers on a non-commercial basis
- detached dwelling in accordance with specified standards
- land division in accordance with specified standards
- small-scale business activities where nominated

### **Truro - Policy Areas 3, 4 & 21**

The Policy Areas are characterised by a range of allotment sizes and detached dwellings on individual allotments. Some land is situated alongside public water mains and further division is appropriate subject to the capacity of available water supply. This land is identified as Area 3. Allotments in Area 3 should be a minimum of 2000 square metres.

Allotments not adjacent to a public water main (Area 4 & 21) should be a minimum of 4000 square metres.

Policy Area 21 contains a watercourse running from south to north connecting into the main watercourse that passes through the Truro township. Portions of this watercourse are badly eroded. Land division should incorporate the rehabilitation of the watercourse. Contingent upon the rehabilitation of the watercourse, allotments maybe created with a minimum of 2000 square metres between the watercourse and Millers Road/East Terrace.

### **Keyneton**

Rural living land is provided for land division on the north-eastern side of the settlement where allotments should be a minimum size of 3000 square metres. Land division layout should ensure that existing stands of native vegetation are retained and not fragmented.

### **Morgan**

The land in this part of the zone is already divided into allotments suitable for rural living ranging from 2 hectares to 5 hectares with examples of smaller and larger allotments. Land division should be limited to rearrangement of boundaries and not create additional allotments.

Numerous private water supplies which feed from a public main are undesirable. An alternative such as a community reticulation scheme should be investigated as part of any proposal for development.

Services should be designed to fill a tank which is in turn used to reticulate water to allotments in the Policy Area. Community Title Scheme to facilitate supply systems is the most desirable method for managing a common reticulation system, although other methods will be considered.

There are some business or commercial uses at Morgan and minor expansion of these and similar activity is appropriate, however all new development must be setback from residential development so that sources of land use conflict such as noise and dust in particular do not compromise residential amenity.

Landscaping including tree planting, around the perimeter of allotments and buildings is strongly encouraged for all forms of development.

### **Mannum**

The land in this part of the zone is only partly developed for this use and the balance of the land is used predominantly for broadacre cropping. It is appropriate that this use continue until there is demand for additional allotments. Land division should proceed in an orderly manner, preferably from locations closest to the township boundary outwards to ensure the orderly and economic extensions to services.

Dwellings should be located a minimum of 100 metres from land located within the River Murray Zone and the Rural Zone to provide for adequate buffers to rural land uses. Dwellings should be located a minimum of 120 metres from the Transport Industry Zone to allow for adequate buffers to industrial land uses.

### **Mannum North**

The southern portion of Mannum North is located along the northern side of Dollard Avenue. The northern part of Mannum North is located on the northern side of Long Gully Road, in a subdivision known as 'Shearer Heights', and is contained within the Mannum North Policy Area 17 – Shearer Heights.

The land located along the northern side of Dollard Avenue forms a contiguous part of the Mannum Township. Much of this land drains north towards Long Gully Road.

The land located in the River Murray Zone between the two portions of Mannum North is very sensitive, with steep eroded gullies, interspersed with intermittent watercourses and areas of native vegetation.

Given the sensitive nature of parts of Mannum North and adjoining land, development within the zone should be limited to a single detached dwelling on each allotment. No commercial activities or further subdivision of land should occur.

### **Policy Area 17 – Shearer Heights**

The land within Policy Area 17 – Shearer Heights is elevated between 20 to 30 metres above the River Murray. The northern portion of Policy Area 17 is located on a high ridge that slopes south through a number of eroded valleys towards Long Gully Road and the River Murray floodplain. Parts of the Policy Area contain elevated levels of naturally occurring arsenic. In order to prevent harm to human health or the environment, development involving a change of use to a residential land use must not be undertaken on contaminated land unless it is demonstrated that the development will be undertaken in a manner that will not pose a threat to the health and safety of the environment or occupiers of the land or land in the locality.

The upper slopes of the Policy Area are visible from the River Murray and parts of Mannum Township. Development within the Policy Area should be limited to single storey and be designed to limit its visual impact.

### **Tungkillo**

Rural living development occurs on the southern side of the settlement (Policy Area 18) where allotments should be a minimum size of 2000 square metres. In addition, rural living land for larger size allotments is provided immediately west and north of the settlement.

The land within Policy Area 19 is immediately north of the settlement between Church Street and Hoopers Road. Allotments within this policy area should be a minimum of 4000 square metres.

The land within Policy Area 20 is generally steeper and includes the hillside adjacent to the western edge of the settlement that is elevated 20 to 25 metres above the town. The hillside is visible from Tungkillo and the Adelaide – Mannum Road. Development within the Policy Area should be limited to single storey located on the lower portions of the hillside to limit its visual impact. Allotments in this policy area should be a minimum of 1.2 hectares with a minimum frontage to a public road of 85 metres.

### **Palmer**

Rural living land is provided for land division to the north-east of the settlement where allotments should be a minimum size of 3000 square metres.

### **Anna**

The zone is dissected by Highway 1 (Sturt Highway) which is a key transport route and carrier of visitors to the Riverland and from interstate to Adelaide.

Development therefore should be set-back from Sturt Highway, to ensure that no building development occurs in open cleared areas. Whilst this will require that development is located in treed areas, removal of vegetation should be minimised.

No further land division should occur.

### **Cadell**

No further land division should occur.

### **Cambrai**

Rural living land is provided for land division on the western side of the township where allotments should be a minimum size of 4000 square metres. A creek runs through the south-west corner of the rural living zone. The creek bed and associated areas of native vegetation will be preserved and protected from development.

### **Sanderston**

The Sanderston part of the zone follows the old stock routes and extends from the settlement of Sanderston to the boundary township of Cambrai.

The zone is at the interface of the Hills Face and Murray River and being only lightly treed. Visual issues associated with new development are of critical importance. These can be addressed by appropriate siting of development, minimising changes in land form and promoting extensive tree plantings. There are few large allotments, well above the medium size, which can be divided to a minimum size of 10 hectares.

### **Marne Valley**

Marne Valley, whilst consisting of an attractive treed landscape, is not ideally suited to residential development due to the zone's susceptibility to flooding and proximity to intensive agricultural activities and irrigated pasture and hay production. New allotments are therefore discouraged and dwellings should be centrally located on existing allotments to maximise set-backs from adjoining allotments that will have agricultural potential, providing however natural characteristics are not compromised and buildings are located off the flood plain.

Building development should not be located immediately adjoining the Marne Valley Conservation Park.

### **Ruedigers**

Ruedigers is heavily treed and located in proximity to the Service Centre of Blanchetown. Allotments are around 32 hectares in size and should not be further divided. The locality adjoins the Sturt Highway and the Brookfield Conservation Park. Set-backs between residential development and the Park and the Sturt Highway should be maximised.

### **Swan Reach and Sections 80/83**

Swan Reach Rural Living Zone is located in proximity to Swan Reach Service Centre. No further land division should occur. Set-backs between residential development and the adjoining Conservation Park should be maximised.

### **Swan Reach Environs**

Swan Reach (Environs) Rural Living Zone is located immediately adjacent to the Swan Reach Township. Allotments should be a minimum size of 5000 square metres, and one hectare where located within 500 metres of the closed landfill site on Lot 200 DP 60609 C/T 5946/749.

The area of native vegetation on Allotment 10 FP 105006 will be preserved and protected from development.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Land Use

- 1 The following forms of development are envisaged in the zone:
  - animal keeping in limited numbers on a non-commercial basis
  - detached dwelling
  - domestic outbuildings in association with a detached dwelling
  - domestic structure
  - dwelling addition
  - farm
  - farm building
  - horse keeping in limited numbers on a non-commercial basis and associated stable or shelter
  - land division
  - small-scale business activities where nominated.
- 2 Development should not be undertaken unless it is consistent with the desired character and envisaged forms of development for the zone.
- 3 Development listed as non-complying is generally inappropriate.
- 4 Development should be primarily detached dwellings and associated rural activities of a minor nature, with the maximum of one dwelling per allotment.
- 5 No commercial or industrial development should be undertaken in the zone apart from minor additions to existing uses at Morgan. Any expansion of existing uses should only occur where the uses:
  - (a) would not adversely affect residential amenity
  - (b) are associated with an existing residential use of land in question; and
  - (c) do not operate after 7pm or before 7am.
- 6 The keeping or breeding of animals should only be undertaken where nuisance due to the creation of noise, smell or risk to health is minimised.
- 7 All development should make adequate provision for disposal of effluent, wastes and water.
- 8 Where a potentially contaminating land use such as agriculture, horticulture or industry has occurred on a site and a change of use to a more sensitive land use (eg residential) is proposed, investigations should be undertaken to establish the actual contamination status of the land.

### Form and Character

- 9 Buildings and structures should be located in unobtrusive locations and in particular should:
  - (a) be set-back from public roads;
  - (b) be located in such a way as to maximise the retention of existing native vegetation;
  - (c) have external materials with surfaces of a low light reflective nature (not zincalume or similar material); and
  - (d) be of natural colours so as to be unobtrusive, blend with the rural landscape and minimise visual intrusion.
- 10 Development should retain existing areas of native vegetation and where possible contribute to revegetation using locally indigenous plant species.

- 11 Any development that results in the clearance of regenerating vegetation should incorporate the provision of a Significant Environmental Benefit to offset the loss of vegetation.
- 12 Local indigenous plant species should be planted along property boundaries and around dwellings and structures.
- 13 Dwellings and structures within Policy Area 17 Shearer Heights should:
  - (a) avoid the use of reflective materials
  - (b) be constructed of natural and subdued earth toned colours
  - (c) be limited to one storey
  - (d) be sited within a landscaped setting consisting of native trees and shrubs
  - (e) not occur on land with a gradient greater than 1:10.
- 14 Development should not occur within Policy Area 17 – Shearer Heights unless remediation of the land is undertaken to a standard that makes it suitable and safe for the proposed use.
- 15 Land division should not occur within Policy Area 21 – Truro unless it incorporates rehabilitation of the watercourse.
- 16 Buildings should be designed so that as much stormwater as possible is retained for re-use on site through the collection of roof run-off in rainwater tanks of a size capable of storing the upper limit of anticipated annual run-off.
- 17 Animal keeping, other than horse keeping, should be limited to:
  - (a) allotments 1 hectare or less;
    - (i) two dogs per allotment;
  - (b) allotments greater than 1 hectare:
    - (i) two large animals such as a pig or cow per allotment;
    - (ii) two dogs per allotment;
    - (iii) 20 head of poultry per allotment.
- 18 One horse may be kept on an allotment provided such allotment has a minimum area of 1 hectare, (except Mannum, Mannum North and Swan Reach Environs where a minimum of 2 hectares is required) and provided the horse is accommodated within a stable or horse shelter and is hand fed.
- 19 A maximum of two horses may be kept on an allotment provided such an allotment has a minimum area of 2 hectares, (except in Mannum, Mannum North and Swan Reach Environs where a minimum of 4 hectares is required) and provided the horses are accommodated within a stable or horse shelter and are hand fed.
- 20 Stables should conform with Standards in [Table MiMu/4](#).
- 21 Stables and associated day yards should:
  - (a) be of a scale appropriate to the number of horses accommodated on the allotment;
  - (b) be constructed of materials of a high standard and maintained to ensure they do not detract from the appearance of the land;

- (c) be landscaped with trees and shrubs as appropriate to provide screening, shade and shelter; and
  - (d) be sited to protect views from public roads.
- 22** Sheds, garages, and similar outbuildings should be limited to a combined total area of 200 square metres.
- 23** Development should have adequate provision to control any stormwater runoff from the site and should be sited to improve the quality of stormwater and minimise pollutant transfer to receiving waters.
- 24** Development within Policy Area 20 – Tungkillo shall restrict stormwater discharge from each individual allotment to pre development flow (above the 1 in 100 ARI rainfall event) and retain the 1 in 100 ARI rainfall event on site to the post development flow level. Retention basins should be controlled to 1 in 5 ARI - 10 minutes storm duration pre development flows and be fully drained following an event.
- 25** Residential development within Policy Area 17 – Shearer Heights and Policy Area 20 – Tungkillo should treat and dispose of wastewater via aerobic wastewater treatment plants and on-site irrigation or an alternative approved system.
- 26** Where rural living allotments abut land that is zoned for primary production purposes, dwellings should be setback as far as possible from the rural/rural living boundary, and in any event with at least a 50 metre buffer.
- 27** The erection of dwellings, alterations and additions to an existing dwelling and land division shall conform with the following criteria:
- (a) will not be located in areas subject to inundation by a 100 year return period flood event or sited on land fill which would interfere with the flow of such flood waters;
  - (b) will be connected to an approved sewerage or common effluent disposal scheme or has an on-site waste water treatment and disposal method which complies with the Standard for the Installation and Operation of Septic Tank Systems in South Australia (including supplements A and B) as prepared by the South Australia Health Commission;
  - (c) will not have any part of a septic tank effluent drainage field or any other waste water disposal area (eg irrigation area) located within 50 metres of a bore, well or watercourse where a watercourse is identified as:
    - (i) a blue line on a current series Government Standard topographic map; or
    - (ii) any river, stream, creek or channel in which water is contained or flows permanently, intermittently or occasionally; or
  - (d) will not have a waste water disposal area located on any land with a slope greater than 20 percent (1 in 5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres; and
  - (e) will not have a septic tank or any other waste water treatment facility located on land likely to be inundated by a 10-year return period flood event.

### **Land Division**

- 28** Allotments proposed by land division should be in accordance with the following standards:

	Minimum Allotment Size	Minimum Road Frontage
Truro – Policy Area 3	2000 square metres	20 metres
Truro – Policy Area 4	4000 square metres	30 metres
Truro – Policy Area 21	4000 square metres east of the watercourse 2000 square metres west of the watercourse	30 metres
Morgan	2.5 to 4 hectares	
Mannum	2 hectares, unless a maximum frontage to depth ratio of 1:3 can be achieved, whereby it may be reduced to 1 hectare	50 metres
Tungkillo – Policy Area 18	2000 square metres	20 metres
Tungkillo – Policy Area 19	4000 square metres	30 metres
Tungkillo – Policy Area 20	1.2 hectares	85 metres
Sanderston	10 hectares	
Cambrai	4000 square metres	30 metres
Palmer and Keyneton	3000 square metres	25 metres
Swan Reach Environs	5000 square metres or one hectare where located within 500m of the closed landfill site on Lot 200 DP 60609	30 metres or 50 metres where located within 500m of the closed landfill site on Lot 200 DP60609

- 29** No additional allotments should be created at Anna, Cadell, Marne Valley, Mannum North, Policy Area 17 – Shearer Heights, Ruedigers, Swan Reach, Sections 80/83.
- 30** Allotments located within, or partly within, 500 metres of the closed landfill site on Lot 200 DP 60609, should provide a site suitable for the erection of a dwelling, and any other associated buildings, located more than 500 metres from the closed landfill.
- 31** The design of land division should ensure that areas of native vegetation are not fragmented either by allotment boundaries, roads or potential dwelling sites.
- 32** No allotments should be created at Tungkillo or Palmer with access to the Adelaide to Mannum Road.

## PROCEDURAL MATTERS

### Complying Development

- 33** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

- 34** The following forms of development are **non-complying** in the Rural Living Zone:

Dwelling, dwelling additions and outbuildings located within 500 metres of the closed landfill site on Lot 200 DP60609 at Swan Reach  
 Fuel depot  
 Group dwelling  
 Hotel  
 Industry, except for minor additions to existing development at Morgan

Intensive animal keeping  
 Junk yard  
 Land division which would result in the creation of allotments less than the allotment sizes specified in Principle 28, or no additional allotments where that is specified in Principle 29  
 Land division which would result in the creation of allotments inconsistent with Principle 30  
 Motor repair station  
 More than one dwelling on an allotment  
 Multiple dwelling  
 Petrol filling station  
 Prescribed mining operations  
 Residential flat building  
 Retail showroom  
 Road transport terminal  
 Semi-detached dwelling  
 Service trades premises  
 Shop  
 Stores  
 Tourist accommodation, except for bed and breakfast accommodation

- 35** In addition, the following forms of development are **non-complying** in Policy Area 17 Shearer Heights:

All development except:  
 Detached dwelling with a height not exceeding one storey or 5 metres above natural ground level  
 Dwelling additions and verandahs with a height not exceeding one storey or 5 metres above natural ground level  
 Domestic outbuilding with an area less than 100 square metres and a height not exceeding 3.5 metres above natural ground level, that is erected in association with a detached dwelling

- 36** In addition, **the** following forms of development are **non-complying** in Policy Area 20 Tungkillo:

All development except:  
 Animal keeping in accordance with Principle 17  
 Detached dwelling or dwelling additions, where the vertical distance between any point at the top of any external wall and the finished ground level immediately below that point on the wall does not exceed three metres, other than gable ends of the dwelling where the distance does not exceed five metres; and the depth of excavation and/or height of filling does not exceed 1.5 metres  
 Domestic outbuilding with an area less than 100 square metres and a height not exceeding 3.5 metres above natural ground level, and that is erected in association with a detached dwelling  
 Horse keeping in accordance with Principles 18, 19, 20 and 21  
 Land division which would result in the creation of allotments greater than the allotment size and minimum frontage specified in Principle 28

### Categories of Public Notification

- 37** For the purpose of public notification, the following forms of development are assigned as **Category 1** development:

Advertisement and or advertisement hoarding (except where assigned Category 2)  
 Animal keeping in limited numbers on a non-commercial basis where consistent with Principle 17  
 Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Detached dwelling  
 Domestic Outbuildings where the total area of existing or proposed outbuildings is less than 200 square metres in area  
 External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places



Farm building

Horse keeping and associated stable or shelter where consistent with Principles 18, 19, 20 and 21

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary

Land division in accordance with specified standards in Principles 28 and 29.

- 38** For the purpose of public notification, the following forms of development are assigned as **Category 2** development:

Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Bed and breakfast accommodation

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places.

## TOWNSHIP ZONE

### Introduction

The objectives and principles of development control that follow apply to the Township Zone shown on [Maps MiMu/43, 53, 56 and 57](#) and [Maps MiMu/1 \(Overlay 1\) Enlargements C to H and L](#).

### OBJECTIVES

- Objective 1:** Services and facilities grouped together to serve the local community and the visiting public.
- Objective 2:** Increased mix in the range of dwellings available to cater for changing demographics, particularly smaller household sizes and supported accommodation.
- Objective 3:** Conservation and enhancement of the main road streetscape and scenic rural setting of the township.
- Objective 4:** Development that contributes to the desired character of the zone.
- Objective 5:** Development to be in an orderly and compact form.

### DESIRED CHARACTER

After Mannum, which is the principal urban area in the district, the townships of Morgan, Cambrai, Truro and Swan Reach have key roles due to their strategic location on the district's road network and their current focus in providing a range of public administration facilities.

Each town will develop in an orderly and compact form to avoid indiscriminate expansion and uneconomic extension to public utilities. New residential and other development will be accommodated through consolidation within the existing defined township boundaries.

It is expected that development will comprise low density residential areas, local shops, community sport and recreation facilities, commercial enterprises and service industries allied to the rural uses in the locality.

Areas of native vegetation and creek beds contained within the townships will be preserved and protected from development.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Land Use

1 The following forms of development are acceptable in the zone:

- affordable housing
- community facility
- domestic outbuilding in association with a dwelling
- domestic structure
- dwelling
- dwelling addition
- educational establishment
- open space
- recreation area
- shop or group of shops
- small-scale commercial development
- small scale light and service industry development
- small-scale tourist development
- supported accommodation.

- 2 Development listed as non-complying is generally inappropriate.
- 3 Residential development should be mainly in the form of low-density detached dwellings, with a limited range of increased density development.
- 4 Business and commercial development should be of a scale and function consistent with the role of the township as a local service centre supplying a range of goods and services to the local community, the surrounding district and visitors to the area.
- 5 Industry uses should be restricted to light and service industry activities that provide small-scale facilities to the community or are agriculturally based industries that process local produce.
- 6 Where a potentially contaminating land use such as agriculture, horticulture or industry has occurred on a site and a change of use to a more sensitive land use (eg residential) is proposed, investigations should be undertaken to establish the actual contamination status of the land.

### Form and Character

- 7 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.
- 8 Residential development should primarily be in the form of detached dwellings on individual allotments.
- 9 Development, including extensions to existing buildings, where applicable should:
  - (a) be sited and or designed to promote continuity of built form and an attractive street frontage;
  - (b) incorporate verandahs over footpaths where practicable to assist the quality of the pedestrian environment; and
  - (c) screen outdoor storage areas from view with attractive fencing and or landscaping.
- 10 Buildings should be designed with regard to the appearance, building materials, colours, siting and landscaping of existing development, so as to preserve and enhance the character of the locality.
- 11 Buildings and structures should not be erected on any allotment so that any portion of such building or structures would be nearer to the existing boundary of a road, street or thoroughfare than 8 metres unless a lesser distance is consistent with existing adjoining buildings and would not cause interference to neighbouring land or detract from the character or amenity of the locality.
- 12 The erection of dwellings, alterations and additions to an existing dwelling and land division shall conform with the following criteria:
  - (a) will not be located in areas subject to inundation by a 100 year return period flood event or sited on land fill which would interfere with the flow of such flood waters;
  - (b) will be connected to an approved sewerage or common effluent disposal scheme or has an on-site waste water treatment and disposal method which complies with the Standard for the Installation and Operation of Septic Tank Systems in South Australia (including supplements A and B) as prepared by the South Australian Health Commission;
  - (c) will not have any part of a septic tank effluent drainage field or any other waste water disposal area (eg irrigation area) located within 50 metres of a bore, well or watercourse where a watercourse is identified as:
    - (i) a blue line on a current series Government Standard topographic map; or

- (ii) any river, stream, creek or channel in which water is contained or flows permanently, intermittently or occasionally; or
  - (d) will not have a waste water disposal area located on any land with a slope greater than 20 percent (1 in 5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres; and
  - (e) will not have a septic tank or any other waste water treatment facility located on land likely to be inundated by a 10-year return period flood event.
- 13 In undeveloped areas of the zone, clearance of trees and other vegetation should be minimised and used where possible to screen proposed buildings or structures.
  - 14 Development should provide safe and convenient access for vehicles and pedestrians.
  - 15 Retail, business and commercial development in the zone should only be undertaken as a logical extension to existing activities of these types and consistent with the township's role being a location for service provision to the local area and surrounding rural district.
  - 16 New commercial and industrial development should only occur in townships where there is a mechanism for waste water disposal and stormwater treatment.
  - 17 New commercial and industrial development should be designed to minimise nuisance to residential areas.
  - 18 State or local heritage places should be conserved and adaptively re-used wherever possible.
  - 19 The keeping of animals such as horses, cattle, pigs, goats, donkeys, wild or other large animals should not occur in townships.
  - 20 There should be no direct access to the Mannum to Sedan Road from allotments or new roads at Cambrai, south of the six way intersection.
  - 21 Where residential allotments abut land that is zoned for primary production purposes, dwellings should be setback as far as possible from the rural/ residential boundary, and in any event with at least a 50 metre buffer.

### **Morgan**

- 22 No development should be undertaken within 50 metres of the Morgan to Whyalla pipeline or within 100 metres of the Morgan Filtration Plant.
- 23 Development on Lot 465 should incorporate a 20 metre buffer distance from the area of native vegetation shown as 'conservation' on Structure Plan [Map MiMu/1 \(Overlay 1\) Enlargement F.](#)
- 24 No buildings or structures should be situated within 20 metres of the boundary of the Conservation Zone.
- 25 Any development on Lot 465 that results in the clearance of regenerating vegetation should incorporate the provision of a Significant Environmental Benefit to offset the loss of vegetation.
- 26 Access from the Morgan – Renmark Road to development on Lot 465 should be limited to a single public road.
- 27 Development on Lot 465 should incorporate an off-site common wastewater solution.

### **Swan Reach**

- 28 Any development on Lot 42 DP 74945 that results in the clearance of regenerating vegetation should incorporate the provision of a Significant Environmental Benefit to offset the loss of vegetation.

- 29 Prior to horticulture land being used for residential or other sensitive purposes, the potential for site contamination should be investigated.

### Land Division

- 30 Allotments should vary in size and be suitable to facilitate a use of land consistent with the objectives for the zone and should have an area of not less than 1200 square metres (where supporting on-site effluent disposal).

## PROCEDURAL MATTERS

### Complying Development

- 31 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

- 32 The following forms of development (including building work, a change in the use of land, or division of an allotment) are **non-complying** in the Township Zone:

Crematorium

Dairy

Fuel depot, except in the area shown as Industry on Structure Plan [Map MiMu/1 \(overlay 1\) Enlargements D and L](#)

General Industry, except in the area shown as Industry on Structure Plan [Map MiMu/1 \(overlay 1\) Enlargements D and L](#)

Horse keeping

Horticulture

Intensive animal keeping

Land division within 100 metres of Floodplain Policy Area 8 except for the purpose of any of the following:

- (a) creating a public road or a public reserve
- (b) a minor adjustment of allotment boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures, provided there is no increase in the number of allotments with a frontage to Floodplain Policy Area 8

Prescribed mining operations

Road transport terminal except the expansion of existing facilities, and in the area shown as Industry on Structure Plan [Map MiMu/1 \(overlay 1\) Enlargements D and L](#)

Shop or group of shops, except where the gross leasable area is less than 450 square metres

Special industry

Stock sales yard

Stock slaughter works

Waste reception, storage, treatment or disposal, except where it is in the form of a recycling collection depot

Winery

Wrecking yard

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development (except where the development is non-complying are designated:

- 33 Category 1 forms of development are:

Advertisement and or advertisement hoarding (except where assigned Category 2)

Bed and breakfast accommodation

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary

Recreation area

Residential outbuildings ancillary to a dwelling if the wall height is equal to or less than 2.4 metres, the floor area is equal to or less than 75 square metres and the minimum setback from adjoining allotment boundaries is 1 metre

**34** Category 2 forms of development are:

Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Builder's yard

Educational establishment

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

Hotel

Light industry

Motel

Motor repair station

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

Public service depot

Residential flat building

Restaurant

Service industry

Service trade premises

Shop or group of shops with a gross leasable floor area of 450 square metres or less

Store

Warehouse

## TOWNSHIP (DEFERRED) ZONE

### Introduction

The objectives and principles of development control that follow apply to the Township Deferred Zone shown on [Maps MiMu/43 and 47](#) and [Maps MiMu/1 \(Overlay 1\) Enlargements G, H and M](#).

### OBJECTIVES

- Objective 1:** Land preserved to accommodate future town growth when the existing townships of Truro and Tungkillo have been substantially developed and infrastructure services are available.
- Objective 2:** The prevention of development likely to be incompatible with long term urban development, or likely to be detrimental to the orderly and efficient servicing and conversion of land to urban use.
- Objective 3:** A zone accommodating a restricted range of rural uses that are not prejudicial to development of the land for urban purposes and maintain the rural appearance of the zone.
- Objective 4:** Development that contributes to the desired character of the zone.

### DESIRED CHARACTER

The zone has been delineated to enable future infrastructure requirements to be planned for in advance of need to ensure compact, orderly and economic expansion in the future for the town expansion of Truro and Tungkillo. The land has been identified as appropriate for supporting residential land use, once infrastructure issues such as stormwater and wastewater have been addressed. In the interim it is essential that the land continue to be used for rural purposes and that development of the land concerned not be undertaken.

Areas of native vegetation and creek beds contained within the zone will be preserved and protected from development.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Land Use

- 1** A zone accommodating low impact agricultural and pastoral activities until required for residential development. The conversion from rural to urban use should only occur once urban infrastructure services are available.
- 2** Development should not prejudice the future orderly, compact and proper extension of the townships of Truro and Tungkillo.
- 3** Urban development in the zone should not occur unless reticulated water supply, stormwater infrastructure and a common wastewater scheme are provided.
- 4** The following forms of development are envisaged in the zone until infrastructure is available for urban development:
  - broad-acre cropping
  - grazing
- 5** The following forms of development are envisaged in the zone once reticulated water supply, stormwater infrastructure and a common wastewater scheme are provided:
  - affordable housing
  - community facility
  - domestic outbuilding in association with a dwelling

- domestic structure
- detached dwelling
- dwelling addition
- educational establishment
- open space
- recreation area
- small-scale tourist development
- supported accommodation

- 6** Development listed as non-complying is generally inappropriate.
- 7** Development should not be undertaken if it will be prejudicial to the orderly and economic development of future urban land uses within the zone.
- 8** A zone accommodating low impact agricultural and pastoral activities until required for residential development.
- 9** Where a potentially contaminating land use such as agriculture, horticulture or industry has occurred on a site and a change of use to a more sensitive land use (eg residential) is proposed, investigations should be undertaken to establish the actual contamination status of the land.

### **Form and Character**

- 10** Development should not be undertaken unless it is consistent with the desired character for the zone.
- 11** Development should not prejudice the future orderly, compact and proper extension of the township.
- 12** Where residential allotments abut land that is zoned for primary production purposes, dwellings should be setback as far as possible from the residential/rural boundary, and in any event with at least a 50 metre buffer.

### **Affordable Housing**

The following principles apply to development once urban infrastructure is provided.

- 13** Development should include a minimum 15 per cent of residential dwellings for affordable housing.
- 14** Affordable housing should be distributed throughout the zone to avoid over-concentration of similar types of housing in a particular area.

### **Land Division**

- 15** Land division should not occur prior to the provision of urban infrastructure unless it is in the form of an alteration to the boundaries of an allotment and no additional allotments are created in the zone.
- 16** The alteration of allotment boundaries prior to the provision of urban infrastructure should only occur in order to achieve one or more of the following:
- (a) correct an anomaly in the placement of allotment boundaries with respect to the location of existing buildings or structures
  - (b) improve the management of the land for the purpose of primary production
  - (c) enable the provision of public infrastructure.



- 17 Land should not be divided for urban purposes until:
- (a) water and power services, stormwater infrastructure and a common wastewater scheme have been provided; and
  - (b) the Township zone at Truro has been substantially divided and used for residential purposes; or
  - (c) the Service Centre zone at Tungkillo has been substantially divided and used for residential purposes.
- 18 There should be no direct access to the Sturt Highway from allotments or new roads.

## PROCEDURAL MATTERS

### Complying Development

- 19 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

- 20 Development (including building work, a change in the use of land, or division of an allotment) for the following is **non-complying**:

Advertisement  
 Advertising hoarding  
 Amusement machine centre  
 Commercial forestry  
 Community centre, except where urban infrastructure (including power, reticulated water supply, stormwater and a common wastewater disposal scheme) are provided  
 Consulting room  
 Crematorium  
 Dairy  
 Dwelling except a detached dwelling that does not result in more than one dwelling on an allotment.  
 Educational establishment, except where urban infrastructure (including power, reticulated water supply, stormwater and a common wastewater disposal scheme) are provided  
 Fuel depot  
 Horticulture  
 Hospital  
 Hotel  
 Indoor recreation centre  
 Industry  
 Intensive animal keeping  
 Land division, except where no additional allotments are created partly or wholly within the zone or where urban infrastructure (including power, reticulated water supply, stormwater and a common wastewater disposal scheme) are provided for each allotment  
 Motel  
 Motor repair station  
 Nursing home  
 Office  
 Prescribed mining operations  
 Residential flat building  
 Road transport terminal  
 Service trade premises  
 Shop  
 Stock sales yard  
 Stock slaughter works  
 Store  
 Tourist accommodation, except where urban infrastructure (including power, reticulated water supply, stormwater and a common wastewater scheme) are provided  
 Warehouse

Waste reception, storage, treatment or disposal  
Winery  
Wrecking yard

**Categories of Public Notification**

- 21** Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

## SERVICE CENTRE ZONE

### Introduction

The objectives and principles of development control that follow apply to the Settlement Zone shown on [Maps MiMu/44, 46 to 48 and 55](#) and [Maps MiMu/1 \(Overlay 1\) Enlargements I to K and M](#).

### OBJECTIVES

- Objective 1:** Small-scale services and facilities grouped together to service the requirements of the local community and the visiting public.
- Objective 2:** Low density residential development contained within the boundaries of the settlement.
- Objective 3:** Development that contributes to the desired character of the zone.

### DESIRED CHARACTER

There are a number of small settlements which comprise predominantly detached dwellings and a range of small commercial and service industry development. The range of facilities does not generally extend to public administration facilities but may include a primary school and community sport and recreation facilities.

The mixed use character is desirable however new development should generally be limited to residential and minor additions and alterations of the non-residential uses.

The settlements which function as Service Centres include: Blanchetown; Keyneton; Palmer; Sedan; and Tungkillo.

The two settlements of Palmer and Tungkillo are located in the Mount Lofty Ranges and have additional policies.

Palmer is a small isolated township located on the Adelaide to Mannum Road, at the base of the eastern escarpment of the Mount Lofty Ranges. Existing services and facilities in the town include a school, recreation park, hotel, post office and general store. The allotments and road pattern are well laid out and of reasonable proportions with a considerable number of vacant allotments suitable for development. Compatible minor rural activities are suitable for large allotments.

The Palmer Structure Plan [Map MiMu/1 \(Overlay 1\) Enlargement J](#) illustrates in general terms the desired strategy for the development of the settlement of Palmer. The aims of the Structure Plan are:

- (a) consolidation of the settlement through residential use of existing allotments within the living area;
- (b) provision for expansion and improvement of local service facilities in the vicinity of the town centre;
- (c) protection of the amenity value of the eastern escarpment of the Mount Lofty Ranges which form a scenic backdrop to the town; and
- (d) scope for residential uses on small rural allotments in the Urban/Rural Fringe area.

Tungkillo is a small isolated centre located on the main Adelaide to Mannum road between Mount Pleasant and Palmer. Urban development consists of a hotel, general store and a few dwellings dispersed along the main road. Whilst several new dwellings have been erected in the township in recent years there is a considerable amount of vacant land within the township.

The Tungkillo Structure Plan [Map MiMu/1 \(Overlay 1\) Enlargement M](#) illustrates in general terms the desired strategy for the development of the settlement of Tungkillo. The aims of the Structure Plan are:

- (a) provision for urban residential development on a variety of allotment sizes in the Living area;
- (b) scope for residential uses on small rural allotments in the Urban/Rural Fringe area; and
- (c) provision for the development of local retail, business and community uses in the Local Service Centre.

## **PRINCIPLES OF DEVELOPMENT CONTROL**

### **Land Use**

- 1 The following forms of development are acceptable in the zone:
  - affordable housing
  - domestic outbuilding in association with a detached dwelling
  - domestic structure
  - dwellings
  - dwelling addition
  - educational establishment
  - light industry
  - local community facilities
  - local shops
  - minor public service depot
  - motor repair station
  - petrol filling station
  - recreation area
  - restaurant
  - small-scale tourist development
  - supported accommodation.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Business and commercial development should be limited in scale and function to service the local requirements of the settlement and travellers using the main road.
- 4 Industry uses should be restricted to light and service industry activities that provide small-scale facilities to the community or are agriculturally based industries that process local produce.
- 5 Where a potentially contaminating land use such as agriculture, horticulture or industry has occurred on a site and a change of use to a more sensitive land use (eg residential) is proposed, investigations should be undertaken to establish the actual contamination status of the land.

### **Form and Character**

- 6 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.
- 7 Local service facilities should be grouped together in proximity to existing facilities.
- 8 Development (including land division where relevant) should:
  - (a) be visually compatible with the area in which it is located;
  - (b) be landscaped with locally indigenous species in order to enhance the amenity of the area and to screen buildings from public view;
  - (c) be designed to minimise potential risk from bushfire hazard;
  - (d) not detract from the value or significance within the locality of items, land, buildings and structures of exceptional beauty or aesthetic, architectural, scientific use;

- (e) only use second-hand or re-used materials for external cladding for any buildings when it is of sound condition, good quality and painted an appropriate colour to harmonise with the surrounding environment.
- 9** Buildings and structures should not be erected on any allotment so that any portion of such building or structure would be nearer to the existing boundary of a road, street or thoroughfare than 8.0 metres unless a lesser distance is consistent with existing adjoining buildings and would not cause interference to neighbouring land or detract from the character or amenity of the locality.
- 10** Buildings should be designed with regard to the appearance, building materials, colours, siting and landscaping of existing development, so as to preserve and enhance the character of the locality.
- 11** Development should be for local shopping and community facilities to serve the daily needs of residents in the local area.
- 12** Non-residential development should be confined to modest expansion of existing uses and where such development will not cause nuisance to residential development in the locality of the proposed use.
- 13** State or local heritage places should be conserved and adaptively re-used wherever possible.
- 14** Buildings should be 3 metres from adjacent allotment boundaries where landscaping is required or 1 metre in all other instances unless stormwater can be satisfactorily disposed of on the property.
- 15** The erection of dwellings, alterations and additions to an existing dwelling and land division shall conform with the following criteria:
- (a) will not be located in areas subject to inundation by a 100 year return period flood event or sited on land fill which would interfere with the flow of such flood waters;
  - (b) will be connected to an approved sewerage or common effluent disposal scheme or has an on-site waste water treatment and disposal method which complies with the Standard for the Installation and Operation of Septic Tank Systems in South Australia (including supplements A and B) as prepared by the South Australia Health Commission;
  - (c) will not have any part of a septic tank effluent drainage field or any other waste water disposal area (eg irrigation area) located within 50 metres of a bore, well or watercourse where a watercourse is identified as:
    - (i) a blue line on a current series Government Standard topographic map; or
    - (ii) any river, stream, creek or channel in which water is contained or flows permanently, intermittently or occasionally; or
  - (d) will not have a waste water disposal area located on any land with a slope greater than 20 percent (1 in 5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres; and
  - (e) will not have a septic tank or any other waste water treatment facility located on land likely to be inundated by a 10-year return period flood event.
- 16** In undeveloped areas of the zone, clearance of trees and other vegetation should be minimised and used where possible to screen proposed buildings or structures.
- 17** Buildings and structures should:
- (a) be sited in an unobtrusive location, not on visually prominent sites, ridge-tops or similar visually exposed locations particularly when viewed from public roads;

- (b) be clustered to ensure that the majority of any site remains free from buildings and structures;
  - (c) maximise the retention of mature vegetation;
  - (d) take advantage of favourable climatic and solar energy consideration;
  - (e) have surfaces which are not reflective;
  - (f) be not higher than two-storey (6 metres) and their roof lines and overall profile should complement the natural form of the land; and
  - (g) incorporate large eaves, verandahs and pergolas into their design so as to create shadowed areas which reduce their bulky appearance.
- 18** Driveways and access tracks should be sited so as to reduce their visual impact and erosion from water run-off. The excavation/filling of land associated with the provision of driveways and access tracks should be kept to a minimum in order to preserve the natural form of the land and the native vegetation.
- 19** Out-buildings, structures, above ground water tanks, should be located below ridgelines, out of view from public roads and screened with landscaping.
- 20** Out-buildings, above-ground water tanks, should be constructed from new non-reflective materials and finished in the colours which are visually dominant in terms of their frequency in the local landscape.
- 21** Fences, if required, should be located in such a way as to minimise their visual impact and should be of post and wire construction. When solid fences are required to ensure reasonable privacy to private open space areas (eg clothes drying areas), obtrusive gateways, particularly of brick or masonry, should not be constructed.
- 22** Outdoor storage areas for vehicles, equipment, materials and other items should be kept to a minimum and screened from view from public roads by appropriate landscaping planting.
- 23** Where residential allotments abut land that is zoned for primary production purposes, dwellings should be setback as far as possible from the residential/rural boundary, and in any event with at least a 50 metre buffer.

### **Blanchetown**

- 24** New allotments created south of South Terrace, should incorporate an off-site common wastewater solution.

### **Palmer**

- 25** Development should be primarily for the low density residential use of land.
- 26** Commercial, retail or industrial development should be compatible with the service centre function of the area.
- 27** Development should not interfere with the residential amenity.
- 28** Development should not interfere with the safe and efficient flow of traffic along, nor gain access to, the Adelaide to Mannum Road.
- 29** Buildings should be set-back a minimum of 6 metres from the street frontage.
- 30** Buildings should be 3 metres from adjacent allotment boundaries where landscaping is required or 1 metre in all other instances unless stormwater can be satisfactorily disposed of on the property.

- 31** The erection of dwellings, alterations and additions to an existing dwelling and establishment of bed and breakfast accommodation shall comply with the following criteria:
- (a) will not be located in areas subject to inundation by a 100-year return period flood event or sited on land fill which would interfere with the flow of such flood waters;
  - (b) will be connected to an approved sewerage or common effluent disposal scheme or has an on-site waste water treatment and disposal method which complies with the Standard for the Installation and Operation of Septic Tank Systems in South Australia (including supplements A and B) as prepared by the South Australia Health Commission;
  - (c) will not have any part of a septic tank effluent drainage field or any other waste water disposal area (eg irrigation area) located within 50 metres of a bore, well or watercourse where a watercourse is identified as:
    - (i) a blue line on a current series Government Standard topographic map; or
    - (ii) any river, stream, creek or channel in which water is contained or flows permanently, intermittently or occasionally; or
  - (d) will not have a waste water disposal area located on any land with a slope greater than 20 percent (1 in 5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres; and
  - (e) will not have a septic tank or any other waste water treatment facility located on land likely to be inundated by a 10-year return period flood event; and
  - (f) be setback at least 20 metres from the Adelaide to Mannum pipeline and the Water Treatment Plant.

### **Tungkillo**

- 32** Development should be primarily for the residential use of land.
- 33** Business and retail activities of a local service nature should be located in close proximity to the hotel and general store.
- 34** Development should not interfere with the primarily residential function and character of the area.
- 35** Light industrial uses should not be visible from the Adelaide-Mannum Road nor detract from the amenity of the locality.
- 36** Buildings should be set-back a minimum of 6 metres from the street frontage.
- 37** Buildings should be 3 metres from adjacent allotment boundaries where landscaping is required or 1 metre in all other instances unless stormwater can be satisfactorily disposed of on the property.
- 38** The erection of dwellings, alterations and additions to an existing dwelling and establishment of bed and breakfast accommodation shall comply with the following criteria:
- (a) will not be located in areas subject to inundation by a 100-year return period flood event or sited on land fill which would interfere with the flow of such flood waters;
  - (b) will be connected to an approved sewerage or common effluent disposal scheme or has an on-site waste water treatment and disposal method which complies with the Standard for the Installation and Operation of Septic Tank Systems in South Australia (including supplements A and B) as prepared by the South Australia Health Commission;

- (c) will not have any part of a septic tank effluent drainage field or any other waste water disposal area (eg irrigation area) located within 50 metres of a bore, well or watercourse where a watercourse is identified as:
  - (i) a blue line on a current series Government Standard topographic map; or
  - (ii) any river, stream, creek or channel in which water is contained or flows permanently, intermittently or occasionally; or
- (d) will not have a waste water disposal area located on any land with a slope greater than 20 percent (1-in-5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres;
- (e) will not have a septic tank or any other waste water treatment facility located on land likely to be inundated by a 10-year return period flood event; and
- (f) be setback a distance of at least 20 metres from the Adelaide to Mannum pipeline.

### Land Division

- 39** Allotments should vary in size and be suitable to facilitate a use of land consistent with the objectives for the zone and should have an area of not less than 1200 square metres (where supporting on-site effluent disposal).
- 40** Allotments should be designed to:
- (a) allow for future development without adverse impact to adjoining development;
  - (b) allow safe and efficient drainage from each with provision for on-site harvesting;
  - (c) locate boundaries with minimal interference to trees and other vegetation; and
  - (d) allow safe and convenient vehicular access to each allotment.
- 41** New allotments can be created, but not without provision being made for connection to an all weather public road. The standard of road should be determined through projecting the road's function and usage by reference to estimated vehicles per day (vpd) in accordance with the following standards:

Function	vpd	Standard
Major movements	> 2000	Sealed
Between population centres	1000 – 2000	Sealed
Movements between centres and linkage to primary road	500 – 1000 100 – 500	Sealed Unsealed
Local traffic	0-100	Unsealed

- 42** No further land division should occur at Sedan in the area containing extensive native vegetation east of Charles Street.

### Landscape Planting

- 43** All buildings and structures should have landscaping established within the first twelve months of the buildings and structures erected on the site. Such landscaping should:
- (a) retain and incorporate existing vegetation, where possible;
  - (b) revegetate ridge-lines;



- (c) enhance the streetscape and natural character of the locality;
- (d) soften the appearance of buildings, structures and driveways and excavations associated with these works;
- (e) improve privacy of private open spaces;
- (f) be of an appropriate scale relative to the bulk of buildings and structures;
- (g) maximise site specific engineering approved absorptive landscape areas for onsite filtration of stormwater, such as (but not limited to) gravel filled trenches and/or reed beds.

### **Movement of People and Goods**

- 44** Access roads should be constructed and minimise cut and fill and where possible to follow the natural contours of the land. Where cutting and filling is necessary, slopes should be battered and stabilised by planting.

### **Public Utilities**

- 45** Development, including the division of land, should not be undertaken unless a water supply is, or will be made available to the development, such water supply must be reliable and able to satisfy the anticipated demands for domestic and garden purposes.
- 46** All dwellings should be provided with rainwater collection tanks having a minimum storage area of 40 000 litres so as to minimise the loss of roof catchment and exploitation of underground water, regardless of whether connected to a reticulated mains water supply system.

### **Erosion, Water Quality and Run-off**

- 47** Watercourses should be protected from development which would detract from its present character and function.
- 48** Natural watercourses and drainage lines should be revegetated to reduce run-off.
- 49** Development in locations where there are steep slopes, should be designed, constructed and managed to minimise soil erosion, run-off and cut and fill.
- 50** Development in locations where there are watercourses should be designed to protect water quality and should in particular ensure watercourses are fenced to restrict animals grazing or watering at points along the watercourse.
- 51** Natural features and vegetation in and around watercourses should be retained.

## **PROCEDURAL MATTERS**

### **Complying Development**

- 52** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### **Non-complying Development**

- 53** The following forms of development (including building work, a change in the use of land, or division of an allotment) are **non-complying** in the Service Centre Zone:

- Crematorium
- Dairy
- Fuel depot
- General industry
- Horse keeping

Horticulture

Intensive animal keeping

Land division within 100 metres of Floodplain Policy Area 8 except for the purpose of any of the following:

- (a) creating a public road or a public reserve
- (b) a minor adjustment of allotment boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures, provided there is no increase in the number of allotments with a frontage to Floodplain Policy Area 8

Residential flat building

Road transport terminal except the expansion of existing facilities

Shop or group of shops, except where the gross leasable area is less than 250 square metres

Special industry

Stock sales yard

Stock slaughter works

Waste reception, storage, treatment or disposal, except where it is in the form of a recycling collection depot

Wrecking yard

In addition, the following forms of development are **non-complying** in the settlements of Tungkillo and Palmer:

Detached dwelling, except where there is conformity with Principle 31 and Principle 38

Detached dwelling, except where it involves the adaptive reuse of a State or local heritage place.

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development (except where the development is non-complying) are designated:

#### 54 Category 1 forms of development are:

Advertisement and or advertisement hoarding (except where assigned Category 2)

Bank

Bed and breakfast accommodation

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary

Post office

Recreation area

Residential outbuildings ancillary to a dwelling if the wall height is equal to or less than 2.4 metres, the floor area is equal to or less than 75 square metres and the minimum setback from adjoining allotment boundaries is 1 metre

#### 55 Category 2 forms of development are:

Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Educational establishment

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

Hotel  
Light industry  
Motel  
Motor repair station  
Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places  
Petrol filling station  
Public service depot  
Restaurant  
Service industry  
Service trade premises  
Shop with a gross leasable floor area less than 250 square metres  
Store  
Warehouse

## SETTLEMENT ZONE

### Introduction

The Objectives and Principles of Development Control that follow apply to the Settlement Zone shown on [Maps MiMu/41, 42, 45, 49, 52, 58 and 59](#). They are additional to the Council Wide provisions.

### DESIRED CHARACTER

There are a number of small settlements which comprise predominantly detached dwellings, and in some cases, minor commercial and service development. New development should generally be limited to residential and minor additions and alterations of the non-residential uses. The settlements in the Zone include: Rams Head Corner; Dutton; Sanderston; Mount Mary; Milendella; Punthari; Tepko; Angas Valley.

The conservation value of the built form of dwellings and outbuilding comprising the settlement of Dutton is important historically and for its amenity value. New building work should be sympathetic to the distinctive architecture with references to building form, use, materials and detailing.

The following forms of development are **acceptable** uses in the Settlement Zone:

- dwellings and ancillary structures such as a garage, carport and rainwater tank and stand;
- local community facilities;
- local shops;
- minor public service depot;
- recreation area;
- horse keeping;
- light industry.

The following forms of development are **unacceptable** in the Settlement Zone:

- intensive animal keeping.

### OBJECTIVES

**Objective 1:** An Area primarily for detached dwellings with local service facilities in appropriate locations.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.
- 2 Development (including land division where relevant) should:
  - (a) be visually compatible with the area in which it is located;
  - (b) be landscaped with locally indigenous species in order to enhance the amenity of the area and to screen buildings from public view;
  - (c) be designed to minimise potential risk from bushfire hazard;
  - (d) not detract from the value or significance within the locality of items, land, buildings and structures of exceptional beauty or aesthetic, architectural, scientific use;
  - (e) only use second-hand or re-used materials for external cladding for any buildings when it is of sound condition, good quality and painted an appropriate colour to harmonise with the surrounding environment.

- 3 Buildings and structures should not be erected on any allotment so that any portion of such building or structure would be nearer to the existing boundary of a road, street or thoroughfare than 8.0 metres unless a lesser distance is consistent with existing adjoining buildings and would not cause interference to neighbouring land or detract from the character or amenity of the locality.
- 4 Buildings should be designed with regard to the appearance, building materials, colours, siting and landscaping of existing development, so as to preserve and enhance the character of the locality.
- 5 Non-residential development should be confined to modest expansion of existing uses and where such development will not cause nuisance to residential development in the locality of the proposed use.
- 6 Existing buildings of historic interest should be preserved and re-used wherever possible.
- 7 Buildings should be 3 metres from adjacent allotment boundaries where landscaping is required or 1 metre in all other instances unless stormwater can be satisfactorily disposed of on the property.
- 8 The erection of dwellings, alterations and additions to an existing dwelling and land division shall conform with the following criteria:
  - (a) will not be located in areas subject to inundation by a 100 year return period flood event or sited on land fill which would interfere with the flow of such flood waters;
  - (b) will be connected to an approved sewerage or common effluent disposal scheme or has an on-site waste water treatment and disposal method which complies with the Standard for the Installation and Operation of Septic Tank Systems in South Australia (including supplements A and B) as prepared by the South Australia Health Commission;
  - (c) will not have any part of a septic tank effluent drainage field or any other waste water disposal area (eg irrigation area) located within 50 metres of a bore, well or watercourse where a watercourse is identified as:
    - (i) a blue line on a current series Government Standard topographic map; or
    - (ii) any river, stream, creek or channel in which water is contained or flows permanently, intermittently or occasionally; or
  - (d) will not have a waste water disposal area located on any land with a slope greater than 20 percent (1 in 5), or depth to bedrock or seasonal or permanent watertable less than 1.2 metres; and
  - (e) will not have a septic tank or any other waste water treatment facility located on land likely to be inundated by a 10-year return period flood event.
- 9 Allotments should have an area of around 1000 square metres.
- 10 Allotments should be designed to:
  - (a) allow for future development without adverse impact to adjoining development;
  - (b) allow safe and efficient drainage from each with provision for on-site harvesting;
  - (c) locate boundaries with minimal interference to trees and other vegetation; and
  - (d) allow safe and convenient vehicular access to each allotment.

## Land Division

- 11 New allotments can be created, but not without provision being made for connection to an all-weather public road.

**Design Techniques** (*ONE WAY* of meeting requirements of the principle of development control)

11.1 The standard of road should be determined through projecting the road's function and usage by reference to estimated vehicles per day (vpd) in accordance with the following standards:

<b>Function</b>	<b>vpd</b>	<b>Standard</b>
Major movements	>2000	Sealed
Major movements	>2000	Sealed
Between population centres	100-2000	Sealed
Movements between centres and linkage to primary road	500-1000 100-500	Sealed Unsealed
Local traffic	0-100	Unsealed

## Built Form and Design

- 12 Buildings and structures should:
- be sited in an unobtrusive location, not on visually prominent sites, ridge-tops or similar visually exposed locations particularly when viewed from public roads;
  - be clustered to ensure that the majority of any site remains free from buildings and structures;
  - maximise the retention of mature vegetation;
  - take advantage of favourable climatic and solar energy consideration;
  - have surfaces which are not reflective;
  - be not higher than two-storey (6.0 metres) and their roof lines and overall profile should complement the natural form of the land; and
  - incorporate large eaves, verandahs and pergolas into their design so as to create shadowed areas which reduce their bulky appearance.
- 13 Driveways and access tracks should be sited so as to reduce their visual impact and erosion from water run-off. The excavation/filling of land associated with the provision of driveways and access tracks should be kept to a minimum in order to preserve the natural form of the land and the native vegetation.
- 14 Out-buildings, structures, above ground water tanks, should be located below ridgelines, out of view from public roads and screened with landscaping.
- 15 Out-buildings, above-ground water tanks, should be constructed from new non-reflective materials and finished in the colours which are visually dominant in terms of their frequency in the local landscape.
- 16 Fences, if required, should be located in such a way as to minimise their visual impact and should be of post and wire construction. When solid fences are required to ensure reasonable privacy to private open space areas (eg clothes drying areas), obtrusive gateways, particularly of brick or masonry, should not be constructed.

- 17 Outdoor storage areas for vehicles, equipment, materials and other items should be kept to a minimum and screened from view from public roads by appropriate landscaping planting.

### **Landscape Planting**

- 18 All buildings and structures should have landscaping established within the first twelve months of the buildings and structures erected on the site. Such landscaping should:
- (a) retain and incorporate existing vegetation, where possible;
  - (b) revegetate ridge-lines;
  - (c) enhance the streetscape and natural character of the locality;
  - (d) soften the appearance of buildings, structures and driveways and excavations associated with these works;
  - (e) improve privacy of private open spaces;
  - (f) be of an appropriate scale relative to the bulk of buildings and structures;
  - (g) maximise site specific engineering approved absorptive landscape areas for onsite filtration of stormwater, such as (but not limited to) gravel filled trenches and/or reed beds.

### **Movement of People and Goods**

- 19 Access roads should be constructed and minimise cut and fill and where possible to follow the natural contours of the land. Where cutting and filling is necessary, slopes should be battered and stabilised by planting.

### **Public Utilities**

- 20 Development, including the division of land, should not be undertaken unless a water supply is, or will be made available to the development, such water supply must be reliable and able to satisfy the anticipated demands for domestic and garden purposes.
- 21 All dwellings should be provided with rainwater collection tanks having a minimum storage area of 40 000 litres so as to minimise the loss of roof catchment and exploitation of underground water, regardless of whether connected to a reticulated mains water supply system.

### **Erosion, Water Quality and Run-off**

- 22 Watercourses should be protected from development which would detract from its present character and function.
- 23 Natural watercourses and drainage lines should be revegetated to reduce run-off.
- 24 Development in locations where there are steep slopes, should be designed, constructed and managed to minimise soil erosion, run-off and cut and fill.
- 25 Development in locations where there are watercourses should be designed to protect water quality and should in particular ensure watercourses are fenced to restrict animals grazing or watering at points along the watercourse.
- 26 Natural features and vegetation in and around watercourses should be retained.

## Non-complying Development

27 The following forms of development are **non-complying** in the Settlement Zone:

- Caravan park - except existing use
- Commercial forestry
- Dairy
- Education establishment
- Fuel depot
- Industry - other than light industry or additions to existing use
- Intensive animal keeping
- Junk yard
- Major public service depot
- Service trade premises - other than additions to existing use
- Shop - other than additions to existing use
- Stock slaughter works
- Store
- Timber yard
- Tourist accommodation, except where it involves the adaptive use of a State or local heritage place
- Warehouse

## Public Notification

28 For the purposes of public notification, the following forms of development are assigned as **Category 1** development:

- Advertisement and or advertisement hoarding (except where assigned Category 2)
- Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places
- Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places
- Dwellings and ancillary structures such as a garage, carport and rainwater tank and stand
- External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places
- Horse keeping
- Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary
- Light industry
- Local community facilities
- Local shops
- Minor public service depot
- Recreation area

29 For the purpose of public notification, the following forms of development are assigned as **Category 2** development:

- Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places
- External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place that is described in [Table MiMu/7](#)
- Partial or total demolition of a building or structure listed in [Table MiMu/7](#) - Local Heritage Places



## BULK HANDLING ZONE

### Introduction

The objectives and principles of development control that follow apply to the Bulk Handling Zone shown on [Maps MiMu/51 and 57](#).

### OBJECTIVES

- Objective 1:** A zone in which agricultural and other commodities are received, stored and dispatched in bulk.
- Objective 2:** Buildings and structures screened from adjoining areas by landscaping, using locally indigenous plant species where possible.
- Objective 3:** Development of rural support infrastructure for the bulk handling and transportation of agriculture commodities.
- Objective 4:** Development that contributes to the desired character of the zone.

### DESIRED CHARACTER

Facilities for the transportation, handling and storage of agricultural commodities in bulk are an essential component of the rural economy. Apamurra and Cambrai contain essential infrastructure for the bulk handling and storage of farm commodities. The facilities are integral to the rural economy and should be protected from encroachment by incompatible development or activities likely to be affected by continued operation of them, particularly residential development.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Land Use

- 1 The following forms of development are acceptable in the Bulk Handling Zone:
  - bulk handling and storage facility
  - office and workers' amenities (operating as an adjunct to a bulk handling use of the site)
  - public service depot
  - road transport terminal
  - value-adding industries associated with bulk commodities
  - warehouse.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development unrelated to facilities associated with the reception, storage and dispatch of agricultural and other commodities in bulk, or value-adding industries processing such commodities, should not occur.
- 4 Development should not impede the on-going operation of facilities associated with the handling and storage of bulk commodities.
- 5 Residential Development should not occur within the zone.

#### Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.
- 7 Development associated with the handling and storage of bulk commodities, or value-adding processing, should be undertaken in a manner that minimises adverse off-site impacts on sensitive land uses.

- 8 Development within 300 metres of facilities for the transportation, handling and storage of agricultural commodities in bulk, should be designed, sited and developed having regard to the potential environmental impact arising from operation of the bulk transportation, handling and storage facilities.
- 9 Development in the zone should be sensitive to the need for bulk handling storage and transport facilities to be subjected to extended operation during the grain harvest.
- 10 Development of facilities for the handling, transportation and storage of agricultural commodities in bulk should have:
  - (a) adequate area set aside on the site of the development for the marshalling of vehicles attending the site;
  - (b) roadways and parking areas surfaced in a manner sufficient to have dust emission from the site reduced to a level appropriate to the locality;
  - (c) landscaping established around the perimeter and within the site for the purposes of providing shade and shelter and to assist with screening and dust filtration;
  - (d) vehicle circulation between elements on the site, restricted to the site of the development; and
  - (e) materials and finishes appropriate to the locality of the development.
- 11 Development other than for commercial purposes should not be undertaken.
- 12 Development should provide on-site car parking in accordance with [Table MiMu/1](#), loading and unloading areas together with adequate storage areas screened from public view.
- 13 Security fences should be set-back from the street alignment to provide a buffer area for the establishment of dense landscaping along the road frontage.

#### Land Division

- 14 Land division likely to prejudice development for commercial purposes should not be undertaken.

#### PROCEDURAL MATTERS

##### Complying Development

- 15 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

##### Non-complying Development

- 16 The following forms of development (including building work, a change in the use of land, or division of an allotment) are **non-complying** in the Bulk Handling Zone:

Amusement Machine Centre  
 Community Centre  
 Consulting Room  
 Dwelling  
 Educational Establishment  
 Horticulture  
 Hospital  
 Hotel  
 Intensive Animal Keeping  
 Motel  
 Motor Repair Station  
 Nursing Home  
 Petrol Filling Station

Place of Worship  
Pre-school  
Residential Flat Building  
Shop, except where it is ancillary to bulk handling use and involves a gross leasable floor area of 50 square metres or less.  
Special Industry  
Tourist Accommodation  
Warehouse  
Waste Reception, Storage, Treatment or Disposal  
Wrecking Yard

**Categories of Public Notification**

- 17 Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.
- 18 Category 1 forms of development are:
- Bulk Handling and Storage Facilities

## RESIDENTIAL ZONE

### Introduction

The objectives and principles of development control that follow apply to the Residential Zone shown on [Maps MiMu/60 to 62](#) inclusive, Policy Area 5 – Residential Floodplain [Maps MiMu/124 and 125 and Map MiMu/1 \(Overlay 1\) Enlargement B](#) and Policy Area 29. They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** Provision of mainly detached dwellings with some medium density permitted in selected areas where they are consistent with the predominant design elements and streetscape characteristics of the area.
- Objective 2:** Safe, pleasant and convenient living environment for all residents provided by a range of housing.
- Objective 3:** Compact urban residential expansion in the western parts of the town.
- Objective 4:** Increased dwelling densities in close proximity to the Neighbourhood Centre.
- Objective 5:** Development complementing buildings of historic character.
- Objective 6:** Protection of stands of native vegetation.
- Objective 7:** Development that contributes to the desired character of the zone.
- Objective 8:** Buildings, or structures, or levee banks, or earth mounds which are not subject to damage or would impede flood waters.

### DESIRED CHARACTER

Land within this zone comprises the existing residential area of Mannum and undeveloped land west of the town.

Expansion of the town along the River Murray is limited by the cliffs at the northern end of the town, and the low-lying swamp land at the southern end. Residential and other development has consequently developed on land west of the River Murray and has generally followed the higher land, intersected by Adelaide Road.

The areas of early subdivision located between Randell Street - Purnong Road and Walker Avenue, and east of Berryman Avenue includes buildings of historic interest reflecting the historic development of the town and are located in the Residential Character Zone. Recent residential land division has occurred in the western portion of the town, including the creation of 183 residential allotments in Paddlesteamer Estate.

A number of large parcels of vacant land are located in the western and north-west part of the zone. The future land division and development of land in the northern part of the zone for residential purposes will retain existing native vegetation and provide an additional area to be set aside as public open space for community use. Future land division within the residential zone will incorporate landscaped buffer areas to minimise land use conflict with adjoining Commercial, Light Industry and Industry Zones and employ water sensitive urban design principles to assist with stormwater management.

Medium density development is anticipated and encouraged in new land divisions and will be located close to existing and proposed community facilities and open space. It is desirable that a range of allotment sizes and dwelling types that complement the existing built form be incorporated according to community needs.

Expansion of non-residential uses is not encouraged and the relocation of non-conforming and inappropriate development to more suitable sites outside the zone is desirable unless the development does not conflict with residential amenity.

The upgrading of the standard of roads and roadside landscaping and the provision of pedestrian linkages is encouraged. The conservation and restoration of buildings of historic significance is also desirable.

Parts of the Residential Zone are located within Policy Area 5 – Residential Floodplain.

The land located within Policy Area 5 – Residential Floodplain is located within the 1956 floodplain and re-occurring flooding will occur from time to time. To minimise damage, building restrictions are specified. The waterfront residential land also has visitor appeal and the built form will reinforce the area's recreational and aesthetic value. For this reason, and due to the need to minimise the restriction of floodwaters, there will be no solid fencing established.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Land Use

- 1 The following forms of development are envisaged in the Residential Zone:
  - affordable housing
  - community centre
  - dwelling
  - domestic outbuilding in association with a dwelling
  - domestic structure
  - pre-school
  - primary and secondary schools
  - recreation areas
  - supported accommodation
  - one mooring for a vessel with overnight accommodation per dwelling located on the waterfront.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Vacant or under-utilised land should be developed in an efficient and co-ordinated manner to increase housing choice by providing dwellings at densities higher than, but compatible with adjoining residential development.
- 4 The use and placement of outbuildings should be ancillary to and in association with a dwelling or dwellings.

### Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character and forms of development envisaged in the zone.
- 6 Garages and carports facing the street (other than an access lane way) should be designed with a maximum width of 6 metres or 50 percent of the allotment or building site frontage width, whichever is the lesser distance.
- 7 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	6 metres
Minimum setback from secondary road frontage	2 metres
Maximum site coverage	50 percent
Maximum building height (from natural ground level)	9 metres

- 8 Private open space should be provided in accordance with Council Wide Objectives and Principles of Development Control.
- 9 Dwelling and outbuilding setbacks should be designed to comply with Council Wide Objectives and Principles of Development Control.
- 10 The minimum number of on site car parking spaces should be provided in accordance with [Table MiMu/1](#).
- 11 Sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area	75 square metres
Maximum building height (from natural ground level)	4 metres
Maximum wall height (from natural ground level)	3 metres
Maximum length located on a boundary	6 metres
Minimum setback from a public road or public open space area	6 metres

- 12 A dwelling should have a minimum site area (and in the case of residential flat buildings and group dwellings, an average site area per dwelling) and a frontage to a public road not less than that shown in the following table:

Dwelling type	Site area (square metres)	Minimum frontage (metres)	Minimum depth (metres)
Detached	450 minimum	15	25
Semi-detached	350 minimum	9	25
Group dwelling	400 minimum	20 metres (group dwelling site)	
Residential flat building	300 average (if one storey) 200 average (if two storey)	20 metres (combined site)	
Row dwelling	300 minimum	8	25

### Affordable Housing

- 13 Development should include a minimum 15 percent of residential dwellings for affordable housing.
- 14 Affordable housing should be distributed throughout the zone to avoid over-concentration of similar types of housing in a particular area.

### Land Division

- 15 Land division should create allotments with an area of greater than 450 square metres, unless undertaken in conjunction with the erection of a dwelling.
- 16 All dwellings should be connected to the SA Water sewer system.
- 17 Land division of land located on the north-eastern side of Elizabeth Street (adjacent to the Council Depot) and on the south-western side of Wanke Road (adjacent to the water tower) should incorporate landscaped buffers to the adjoining Commercial Zones.

- 18 Land division of allotments 124 and 125 for residential purposes should only occur once other residential land in the zone has been developed.
- 19 Development of allotments 15, 123, 124 and 125 should incorporate substantial landscaped buffers and other design techniques to minimise interface issues with the adjoining Commercial, Light Industry and Industry Zones.

## PROCEDURAL MATTERS

### Complying Development

- 20 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

- 21 The following forms of development (including building work, a change in the use of land, or division of an allotment) are **non-complying** in the Residential Zone:

Advertisement and/or advertising hoarding, except in association with an existing non-residential use of land or tourist accommodation

Amusement machine centre

Consulting room, except where:

- (a) the total floor area is less than 100 square metres
- (b) the site does not front an arterial road.

Crematorium

Dairy

Farming

Fuel depot

Horse keeping

Horticulture

Hospital

Hotel

Industry

Intensive animal keeping

Junk yard

Land division in the 1956 floodplain or within 100 metres of normal pool level of the River Murray, except for the purpose of any of the following:

- (a) creating a public road or a public reserve
- (b) a minor adjustment of allotment boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures, provided there is no increase in the number of allotments with a frontage to Floodplain Policy Area 8

Motel

Motor repair station

Office

Petrol filling station

Public service depot

Restaurant

Retail showroom

Road transport terminal

Service trade premises

Shop or group of shops, except where:

- (a) the gross leasable area is less than 100 square metres
- (b) the site does not front an arterial road.

Stock sales yard

Stock slaughter works

Store

Timber yard  
 Warehouse  
 Waste reception, storage, treatment or disposal  
 Wrecking yard

- 22** In addition, development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying in Policy Areas 5 only:

More than one dwelling on an allotment  
 Group dwelling  
 Residential flat building  
 Multiple dwellings  
 Land division except the alteration of boundaries that does not create an additional allotment.

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

- 23** Category 1 forms of development are:

Advertisement and or advertisement hoarding (except where assigned Category 2)  
 Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary  
 Residential outbuildings ancillary to a dwelling where:

- (a) the wall height is equal to or less than 3 metres;
- (b) the floor area is equal to or less than 54 square metres; and
- (c) the minimum set-back from adjoining allotment boundaries is 1.0 metre.

- 24** Category 2 forms of development are:

Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Bed and breakfast accommodation  
 Community centre  
 External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places  
 Group dwelling  
 Multiple dwelling  
 Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places  
 Pre-school  
 Recreation area  
 Residential flat building  
 Row dwelling



## Residential Zone – Policy Area 5 (Residential Floodplain)

### OBJECTIVES

- Objective 1:** Buildings, or structures, or levee banks, or earth mounds which are not subject to damage or would impede flood waters.
- Objective 2:** Dwellings that are visually compatible with the River Valley and exhibit a high standard of appearance through built form, design, external materials, colours, siting and landscaping.
- Objective 3:** Retention and protection of the waterfront and existing tree planting.
- Objective 4:** Preservation of the quality of the river water.

### PRINCIPLES OF DEVELOPMENT CONTROL

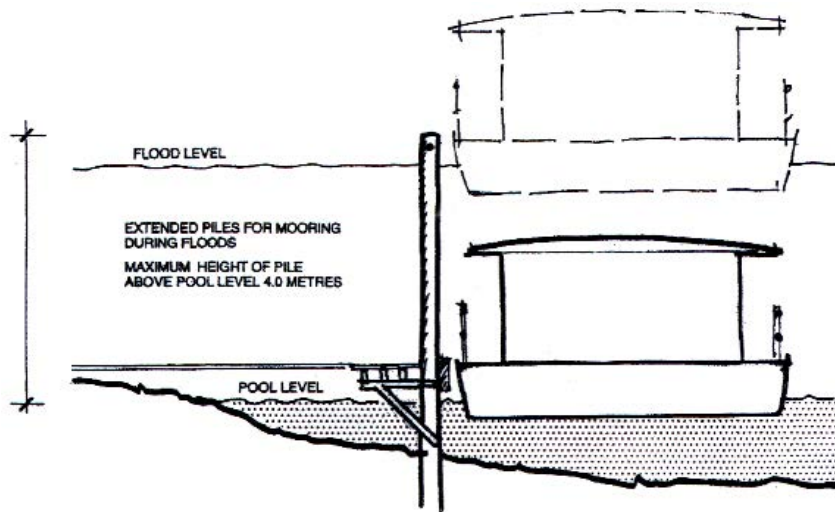
- 1 Land division should not create additional allotments or new allotments with a frontage to Floodplain Policy Area 8 unless the new allotment or additional allotment is for a recreation area or essential public or community facility under the care, control and management of the Crown or the council.
- 2 Development including land division where relevant, should:
  - (a) be visually compatible with the area in which it is located;
  - (b) not adversely impact upon the ability to maintain the river frontage in a stable condition;
  - (c) avoid adverse impact on the environment by the appropriate location of vehicle access to the river;
  - (d) maximise waterfront reserve between buildings and the water;
  - (e) maintain existing public access routes to the waterfront reserves;
  - (f) be landscaped with local indigenous species which complement the residential and public function of the zone; and
  - (g) use new materials for external cladding of buildings or second-hand or re-used materials only when materials are of sound condition, good quality and painted an appropriate colour to harmonise with the surrounding built form and riverine character of the zone.
- 3 All river structures constructed to withstand floodwaters, increased river flow rates and collision impact through day-to day use and located where they do not cause a hazard to safe navigation or create unsafe conditions.

### Moorings for vessels with overnight accommodation

- 4 Use of an allotment for the mooring of more than one vessel should not occur.
- 5 All moorings for vessels should be provided with a connection point to the main sewer and moored vessels should be connected to the mains sewer system.
- 6 Adequate provision should be made for securing moored vessels during periods of high flood waters.

**Design Techniques** (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)

6.1 Method for securing moored vessels.



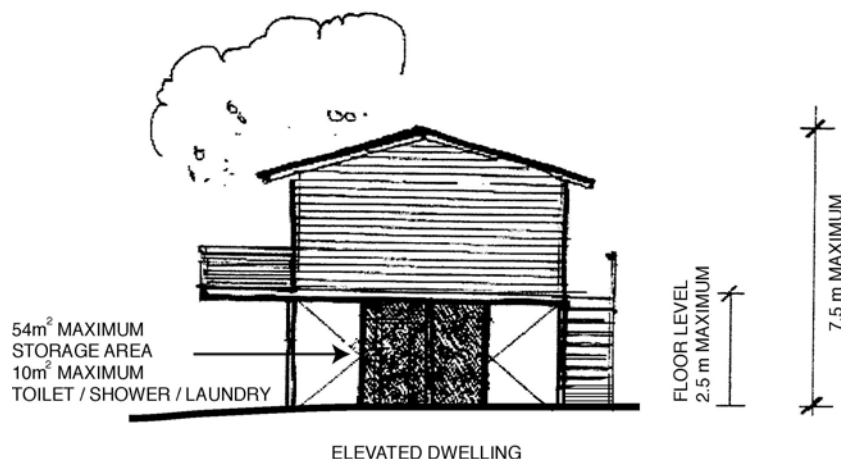
- 7 Moorings for vessels should not be located within 50 metres of the pumping station inlet structure.

### River Structures

- 8 All River Structures should be consequential on authorised use of land.

### Built Form and Design

- 9 Fencing should be of post and wire construction so as to not impede water flow and of neutral colours which blend with the natural colours of the landscape.
- 10 Dwellings should not exceed the following maximum heights:
- one habitable storey of 2.7 metres;
  - roof of 1.8 metres;
  - underfloor clearance of 2.5 metres above existing ground level (existing ground level measured at the lowest height of the clearance between ground level and the underside of the floor – ground level is natural level prior to any site cut and fill);
  - total combined height of 7.5 metres.



11 Dwellings (either replacement, new or extensions) should:

- (a) Minimise obstruction to, or loss of view from other dwellings; and
- (b) Not occur closer to the waterfront than any part of the waterfront alignment of adjoining dwellings either side of the development site.

12 Development should display a built form consistent with the Desired Future Character so to provide visual interest through building elements which include wide verandahs, balconies, integrated roof designs and pitches and building materials and finishes which complement each other and the riverine character of the locality.

*Advisory Note: Principle 12 applies to new development on vacant sites, dwelling extensions, replacement of all buildings including dwellings; and new buildings, ie outbuildings.*

**Design Techniques** (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)

#### 12.1 Scale

- Articulation of plan and roof forms should be used to ensure that buildings are not bulky and massive;
- There is no upper limit to the size of a dwelling but modules should be around 100 square metres in size.

### Flood Protection and Health

13 Replacement or new dwellings requires:

- (a) waste water disposal to the mains sewer;
- (b) elevation of the dwelling's living areas above the 1956 flood level, but to a maximum underfloor clearance of no greater than 2.5 metres above existing ground level.

*Advisory Note: Maximum underfloor clearance above existing ground level measured at the lowest height of the clearance between ground level and the underside of the floor. Ground level is natural level prior to any site cut and fill.*

14 Alteration of an addition to an existing dwelling requires:

- (a) waste water disposal to the main sewer; and

In this regard, the alteration of or addition to an existing dwelling does not include any of the following structures constructed in association with an existing dwelling:

- a carport;
  - a verandah or pergola;
  - external decking;
  - a garage or shed; or
  - building work (but excluding alterations to existing toilet, bathroom, or laundry areas) not resulting in a change to the total floor area of the dwelling; and
- (b) should result in an elevated dwelling in situations where the proposed development would increase the existing living area beyond 90 square metres with, where possible, floor levels for living areas above the 1956 flood level, but to a maximum underfloor clearance of no greater than 2.5 metres above existing ground level.

*Advisory Note: Maximum underfloor clearance above existing ground level measured at the lowest level between ground level and the underside of the floor. Ground level is natural ground level prior to any site cut and fill.*

**15** Underneath areas of elevated dwellings:

- (a) should not be used for living purposes;
- (b) may be used for storage purposes, or for a toilet, or a shower, or laundry facilities;
- (c) may be enclosed using roller doors, removable panels, or other material which can easily be removed during times of flood;
- (d) limited to a maximum of 54 square metres enclosed for storage purposes; and
- (e) limited to a maximum of 10 square metres enclosed for a toilet, or a shower, or laundry facilities.

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

**15.1 Elevated Dwellings**

- *Living Areas such as lounge/dining/family rooms, kitchen, bedrooms and sunroom should be located on the first or elevated floor.*
- *The ground floor of elevated dwellings can be used for vehicular, boat or caravan storage, toilet, shower or laundry.*
- *Service, general storage areas are appropriate on ground levels.*
- *Enclosed areas of the underneath of an elevated dwelling should not exceed 54 square metres.*
- *The maximum wall height is 2.7 metres.*
- *The maximum height of an elevated dwelling above ground level is 2.5 metres.*

**16** Caravans or garages or sheds or any other type of structure (other than an existing dwelling) should not be used as a self-contained residence.**17** Total on-site storage areas and residential outbuildings should be limited to a total area of 54 square metres, inclusive of garages, sheds, or enclosed areas underneath an elevated building. The number of residential outbuildings on a site should be limited to:

- (a) one garage or one shed;
- (b) rainwater tank(s) and tank stand(s); and
- (c) open sided garden structures (eg pergola, gazebo).

**18** Residential outbuildings (garages or sheds) should:

- (a) not exceed 54 square metres in total (combined) floor area; and
- (b) be fitted with roller doors, removable panels or similar on two ends or sides (whichever elevations face the direction of the river flow).

**Design Techniques** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

**18.1 Garages, Sheds, Carports**

- *Carports may be attached to the side or rear of the dwelling*
- *Carport roofs should be separate from the main roof to minimise building bulk*
- *Outbuildings should be substantially smaller in plan, form height and scale than the dwelling*
- *The maximum size of individual sheds or outbuildings is 54 square metres*
- *Garages should have a pitch between 15° to 25°, a maximum roof span of 6 metres and a maximum wall height of 3.0 metres. Larger floor areas are best achieved by joining smaller sheds or by using lean-to additions.*

- 19** Rainwater tanks and associated stands should only be constructed in association with an existing dwelling.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

#### 19.1 Tanks

- It is preferable that larger rainwater tanks are of traditional corrugated iron tanks, located close to buildings.
- Modular tanks may be used for smaller storage.
- Plastic, fibreglass and concrete tanks may be used.
- Stormwater from downpipes and tank overflows should be directed away from buildings to soak into the soil

*Advisory Note: Avoid concentrating the stormwater from a large catchment area into one outlet as this may cause erosion on sloping ground. It is better to have more outlets to distribute the stormwater disposal and assist soakage.*

- 20** Rainwater tanks and associated stands should be located and sited as to be as unobtrusive as practicable when viewed from the River Murray and nearby public roads.

## Residential Zone – Policy Area 29 (Walker Avenue)

The objectives and principles of development control that follow apply to the Walker Avenue Policy Area 29 as shown on [Map MiMu/98](#). They are additional to those expressed for the Residential Zone and Council Wide Provisions.

### DESIRED CHARACTER

The Policy Area includes the former Horwood Bagshaw industrial land, the former Mannum Primary School site and a number of existing residential properties, which are located on the eastern side of the policy area and have direct frontage onto Diercks Road.

The Policy Area will provide a high quality residential infill development that is designed in accordance with Concept Plan, [Figure R/1](#). Development within the Policy Area will be integrated with the adjacent established areas to provide a cohesive residential neighbourhood within close proximity to the nearby school, community facilities, main street and riverfront.

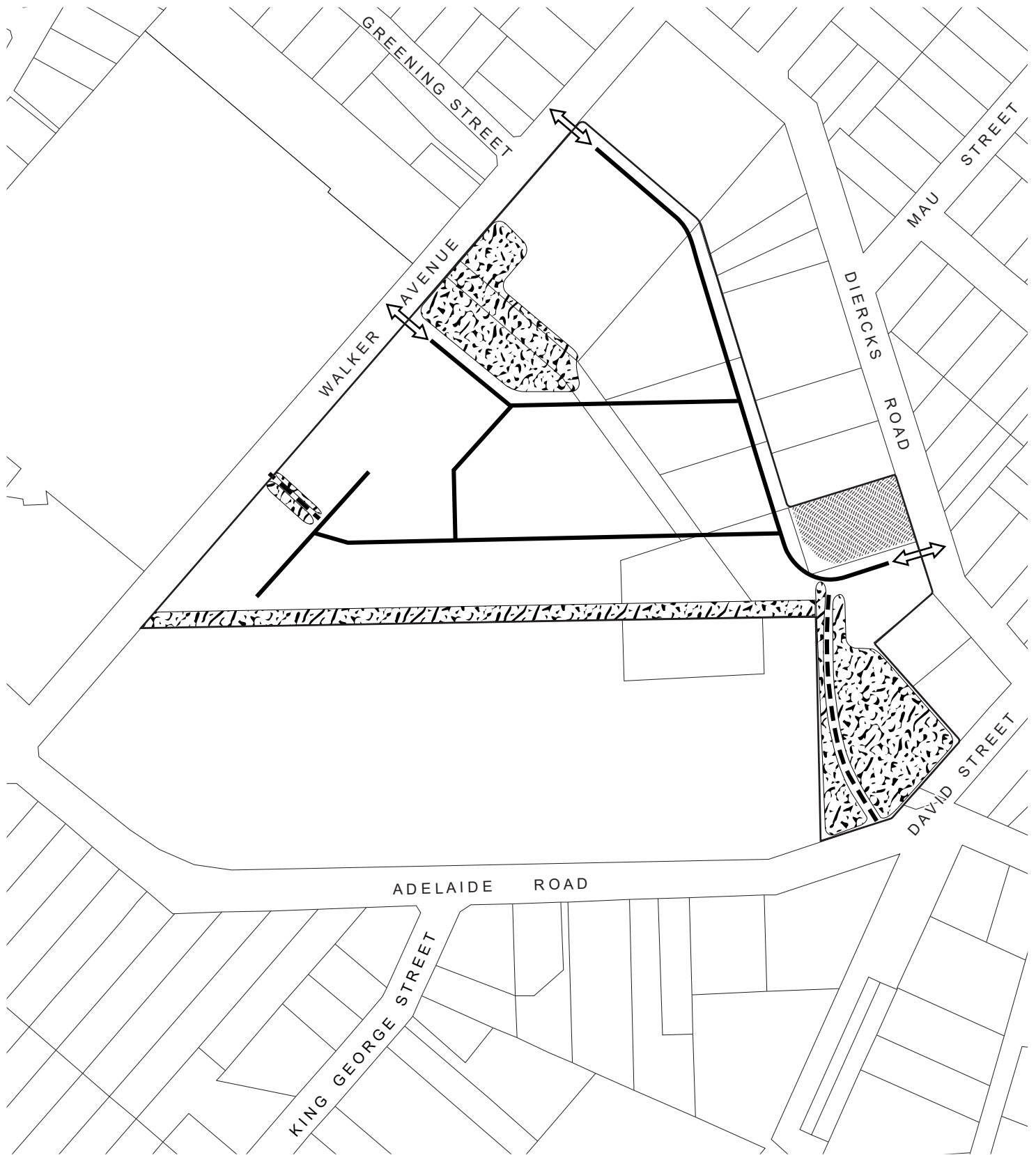
A local park incorporating the community centre will be developed adjacent to the existing school located along Walker Avenue.

Development within the Policy Area will result in an attractive residential environment, which is comprised of medium to high density dwellings of up to three storeys in height and of a variety of architectural styles. Dwellings will typically be at a higher density and generally have a lesser setback from road frontages and other boundaries compared to the original housing stock, which typifies the form of development located within the surrounding area.

Development adjacent to the Diercks Road frontage will have regard to the design elements of the adjoining Residential Character area. Development of allotments adjoining the existing Industry Zone boundary will incorporate suitable landscaped buffers to improve the visual amenity of the area.







Appropriate assessment and remediation of site contamination will be undertaken, prior to any land division, to ensure the subject land is suitable and safe for its intended residential use. Residential or community development will be undertaken, in accordance with an accredited Site Contamination Audit Report.

The affected area may, from time to time, be subject to odours from Horwood Bagshaw and these are not considered to be a public health risk.



Scale 1:3000



-  Concept Plan Boundary
-  Open Space
-  Access Points
-  Proposed Road Network
-  Proposed Walkway
-  Stormwater Detention Basin

**THE MID MURRAY COUNCIL  
MANNUM  
STRUCTURE PLAN  
Fig R/1**

**WALKER AVENUE CONCEPT PLAN**  
Consolidated - 25 February 2021

## OBJECTIVES

- Objective 1:** A residential policy area comprising a range of medium to high density dwellings, designed to integrate with areas of open space, neighbouring centres and community facilities.
- Objective 2:** Development that supports the viability of community services and infrastructure and reflects good residential design principles.
- Objective 3:** Development that contributes to the desired character of the policy area.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Land Use

- 1 The following forms of development are envisaged in the policy area:

Affordable housing  
 Community centre  
 Detached dwelling  
 Domestic outbuilding in association with a dwelling  
 Domestic structure  
 Dwelling addition  
 Group dwelling  
 Pergola in association with a dwelling  
 Residential flat building (buildings between 1 and 3 storeys)  
 Row dwelling  
 Semi-detached dwelling  
 Supported accommodation.

- 2 Outbuildings should only occur where they are ancillary to and in association with a residential development.

### Form and Character

- 3 Development should not be undertaken unless it is consistent with the desired character for the policy area.
- 4 Medium density development should occur in locations in accordance with Concept Plan, [Figure R/1](#), and should be in the form of 2 to 3 storey buildings.
- 5 Upper level balconies may extend 1 metre closer to the road boundary than the associated dwelling.
- 6 In the case of multiple dwellings on one site, access to parking and garaging areas from public streets should primarily be via a minimum number of common driveways.
- 7 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	3 metres
Minimum setback from secondary road frontage	1 metres
Maximum site coverage	70 percent
Maximum building height (from natural ground level)	10 metres
Minimum number of onsite car parking spaces other than for affordable housing (1 of which should be covered)	1

- 8 Sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area	60 square metres
Maximum building height (from natural ground level)	5 metres
Maximum wall height (from natural ground level)	3 metres
Minimum setback from side and rear boundaries	1 metres
Minimum setback from a public road or public open space area	4 metres

- 9 A dwelling should have a minimum site area (and in the case of residential flat buildings, an average site area per dwelling) and a frontage to a public road not less than that shown in the following table:

Dwelling type	Site area other than for affordable housing (square metres)	Minimum frontage (metres)
Detached	300 minimum	8
Semi-detached	220 minimum	7
Group dwelling	200 minimum	6
Residential flat building	200 average	6
Row dwelling	150 minimum	6

#### Side Boundary Setbacks

- 10 Where the wall of a dwelling is setback from the side boundary, that wall should be designed in accordance with the following parameters:

Wall height (measured from natural ground level)	Minimum setback from side boundaries except for south facing walls (metres)	Minimum setback from side boundaries for a south facing wall (metres)
For any portion of the wall less than or equal to 3 metres	0.9	0.9
For any portion of the wall greater than 3 metres	0.9 plus a distance equal to one-third of the extent to which the height of the wall is greater than 3 metres	1.9 plus a distance equal to one-third of the extent to which the height of the wall is greater than 3 metres

#### Setbacks from Rear Boundaries

- 11 The walls of dwellings should be setback from rear boundaries, except where the rear boundary adjoins a service lane, in accordance with the following parameters:



Allotment size (square metres)	Ground floor minimum setback (metres)	Second storey minimum setback (metres)	Third Storey minimum setback (metres)
≤ 300	3	5	5 plus any increase in wall height over 6 metres
>300	4	6	6 plus any increase in wall height over 6 metres

### Private Open Space

12 Dwellings should provide private open space in accordance with the following table:

Allotment size (square metres)	Minimum area excluding any area at ground level at the front of the dwelling (square metres)	Minimum dimension (metres)	Minimum area provided directly accessible from a habitable room (square metres)
>500	80 of which 10 square metres may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2 metres.	4	24
300-500	60 of which 10 square metres may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2 metres.	4	16
<300	24 of which 8 square metres may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2 metres.	3	16

13 Development should be carried out, where applicable, in accordance with the concepts shown on Concept Plan, [Figure R/1](#).

14 Residential allotments and sites should have the appropriate orientation, area, configuration and dimensions to accommodate:

- (a) the siting and construction of a dwelling and associated ancillary outbuildings;
- (b) the provision of landscaping and private open space;
- (c) convenient and safe vehicle access and off-street parking;
- (d) passive energy design;

- (e) rainwater tank(s); and
  - (f) front, side and rear boundary setbacks that contribute to the desired character of the area.
- 15 Development should be extensively landscaped with plant species indigenous to the locality, which are low maintenance and drought tolerant.
  - 16 The scale, bulk and design elements of residential development situated on the Diercks Road frontage should be complementary to the predominant design elements and streetscape characteristics of the existing residential development in the street.
  - 17 Development of the land shown on [Figure R/1](#) as Community Centre should be for the ongoing operation of the Community Centre and associated activities.
  - 18 Upper level windows, balconies, terraces and decks that overlook habitable room windows or private open space of dwellings should maximise visual privacy through the use of measures such as sill heights of not less than 1.5 metres or permanent screens having a height of 1.5 metres above finished floor level.
  - 19 Dwellings of three storeys should be designed to reduce the impact of their height and bulk, including options to incorporate the third level into the roof space.
  - 20 Development of allotments adjacent to the southern boundary should incorporate suitable landscaped buffers of not less than 3 metres in width to screen buildings and structures within the adjoining Industry Zone.
  - 21 Land division of allotments with a frontage to Diercks Road should not include hammerhead allotments and should reflect the traditional sub-division pattern of the adjoining Residential Character zone.

### Water Sensitive Design

- 22 Development should be sited and designed to:
  - (a) capture and re-use stormwater, where practical;
  - (b) minimise surface water runoff;
  - (c) prevent soil erosion and water pollution;
  - (d) protect and enhance natural water flows;
  - (e) protect water quality by providing adequate separation distances from watercourses and other water bodies;
  - (f) not contribute to an increase in salinity levels;
  - (g) avoid the water logging of soil or the release of toxic elements; and
  - (h) maintain natural hydrological systems and not adversely affect:
    - (i) the quantity and quality of groundwater;
    - (ii) the depth and directional flow of groundwater; and
    - (iii) the quality and function of natural springs.

- 23** Water discharged from a development site should:
- (a) be of a physical, chemical and biological condition equivalent to or better than its pre-developed state; and
  - (b) not exceed the rate of discharge from the site as it existed in pre-development conditions.
- 24** Development should include stormwater management systems to protect it from damage during a minimum of a 1-in-100 year average return interval flood.
- 25** Development should have adequate provision to control any stormwater over-flow runoff from the site and should be sited and designed to improve the quality of stormwater and minimise pollutant transfer to receiving waters.
- 26** Development should include stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure the carrying capacities of downstream systems are not overloaded.
- 27** Development should include stormwater management systems to minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system.
- 28** Stormwater management systems should preserve natural drainage systems, including the associated environmental flows.
- 29** Stormwater management systems should:
- (a) maximise the potential for stormwater harvesting and re-use, either on-site or as close as practicable to the source;
  - (b) utilise, but not be limited to, one or more of the following harvesting methods:
    - (i) the collection of roof water in tanks;
    - (ii) the discharge to open space, landscaping or garden areas, including strips adjacent to car parks;
    - (iii) the incorporation of detention and retention facilities; and
    - (iv) aquifer recharge.
- 30** Where it is not practicable to detain or dispose of stormwater on site, only clean stormwater runoff should enter the public stormwater drainage system.
- 31** Artificial wetland systems, including detention and retention basins, should be sited and designed to:
- (a) ensure public health and safety is protected; and
  - (b) minimise potential public health risks arising from the breeding of mosquitoes.

## RESIDENTIAL ESCARPMENT ZONE

### Introduction

The objectives and principles of development control that follow apply to the Residential Escarpment Zone shown on [Maps MiMu/60 to 62, and 130](#), and [Map MiMu/1 \(Overlay 1\) Enlargement B](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** Protection and enhancement of the low density residential character as described in the Desired Future Character below.
- Objective 2:** A zone accommodating detached dwellings on landscaped large allotments with significant setbacks to boundaries.
- Objective 3:** Development designed and sited so that the natural appearance of the escarpment visible from the River Murray and land located on the eastern side of the River is not impaired.
- Objective 4:** Protection of the natural landform and natural drainage lines of the escarpment.
- Objective 5:** Protection of the aesthetic value and drainage function of the escarpment.
- Objective 6:** Development complementing buildings of historic character.
- Objective 7:** Development that contributes to the desired character of the zone.

### DESIRED CHARACTER

The Residential Escarpment Zone encompasses the River Murray escarpment located on the western side of the River within the Mannum Township. The zone includes undulating, steep and elevated land visible from the River Murray and its eastern bank. Many existing dwellings and dwellings sites in the zone have excellent views of the River Murray and surrounding land.





The desired character of the Residential Escarpment Zone is an attractive residential environment consisting of appropriately designed single-storey detached dwellings on large allotments, set in attractively landscaped, relatively large gardens. Development shall incorporate generous setbacks to side and rear boundaries and employ techniques to minimise visual impact and address issues associated with land stability, soil erosion and stormwater management.

The zone includes buildings of historic interest reflecting the historic development of the town, including a number of State Heritage Items. Development on surrounding land shall complement the built form of heritage buildings.

This desired character is derived from the existing landform, visual prominence of land within the Residential Escarpment Zone and relatively large, sloping allotments. The importance of the landscape character, the protection of existing trees and vegetation and the revegetation of land are all emphasised, as the zone provides a backdrop to the River Murray and contributes significantly to the scenic riverine landscape. Other important features are the natural topography and drainage systems of the escarpment. The distinctive landscape character with gullies and spurs warrants protection from inappropriate development and earthworks.

Naturally occurring arsenic associated with geological and geomorphological conditions is known to be present in the zone, including on the land identified in Concept Plan [Figure R\(Esc\)/1](#). Development should occur on a precautionary basis by incorporating management measures that ensure that the naturally occurring arsenic will not pose a threat to the health and safety of the environment, or occupiers of the land or land in the locality.



- Lot 1 F10460 Indicative allotment layout
- ..... Bushfire setback from vegetation
-  Stormwater detention basin
- 46 ~~~~~ 46m Contours
-  Native vegetation to be retained
-  Proposed access
-  Waterways



0  200 metres

# THE MID MURRAY COUNCIL MYALL PLACE CONCEPT PLAN

**Fig R(Esc)/1**  
Consolidated - 25 February 2021

Buildings and associated earthworks will be designed to minimise alteration of the natural or existing landform. The design of dwellings and outbuildings shall incorporate split-level to reduce visual bulk and reduce the need to cut and fill sloping sites. Buildings will be finished with natural and subdued earth toned colours and materials that complement the surrounding environment. Highly reflective and bright materials and colours that detract from the natural character of the escarpment are inappropriate.

New development, including extensions (and associated finished levels and decks) on sloping sites shall be designed to pay considerable attention to, and reduce the potential impact on, the privacy and amenity of existing development. Development will follow the contours of the land and buildings or other development will not be erected on stilts or be similarly elevated by other means.

Development in the zone will not be achieved at the expense of mature vegetation. Trees and large shrubs within the zone are to be retained wherever possible. To ensure that existing vegetation is protected and enhanced wherever possible, buildings will be setback from all property boundaries. Landscaping will be established around dwellings and outbuildings to soften the visual impact of the buildings when viewed from the River Murray.

New development will minimise alterations to the existing landform and be limited to existing vacant sites or the replacement of dwellings which are unsound or detract from the desired character with new detached dwellings.

## **PRINCIPLES OF DEVELOPMENT CONTROL**

### **Land Use**

- 1 The following forms of development are envisaged in the Residential Escarpment Zone:
  - Detached dwelling
  - Domestic outbuilding in association with a dwelling
  - Domestic structure
- 2 Development undertaken in the Residential Escarpment Zone should be primarily detached dwellings on individual allotments.
- 3 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 4 The use and placement of outbuildings should be ancillary to and in association with a dwelling.

### **Form and Character**

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Development should be restricted to single storey detached dwellings and their associated outbuildings.
- 7 Site coverage<sup>15</sup> should not exceed 35 percent of the allotment area.
- 8 Private open space should be provided in accordance with Council Wide Objectives and Principles of Development Control.
- 9 Dwellings should be setback from the primary road frontage consistent with adjoining dwellings or the predominant streetscape. In the event there is not a cohesive street setback they should be setback a minimum of 6 metres from the primary road frontage.

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<sup>15</sup> In relation to a detached dwelling, site coverage represents the proportion of an allotment (excluding the area of any "handle" of a hammerhead allotment) covered by the floor level of a building or buildings including the dwelling, garage and carport and freestanding residential outbuildings, but excluding balconies, verandahs (not exceeding a width of 2 metres) and unroofed pergolas.

- 10 Dwelling and outbuilding setbacks should be designed to comply with Council Wide Objectives and Principles of Development Control.
- 11 The minimum number of on site car parking spaces should be provided in accordance with [Table MiMu/1](#).
- 12 Any alteration to existing boundaries should ensure that each site has a minimum site area of 800 square metres and an 18 metre frontage to a public road.
- 13 Buildings and structures should be designed, in terms of their scale, bulk, height, roof line, external finishes and colours to limit their visual intrusion in the landscape, particularly when viewed from the River Murray and the eastern side of the River.
- 14 Buildings should be located to maximise the retention and establishment of vegetation in order to screen buildings and improve the visual amenity of the Zone.
- 15 The design, scale, location and appearance of development should be consistent with a desired character derived from detached dwellings on large allotments, landscaping and open space, and have regard to local topography and the enhancement of natural features, views and vistas.
- 16 Additions to buildings should maintain the single-storey profile of the buildings and be located on the side of the dwelling which minimises the obtrusiveness of the building.
- 17 Garages and carports facing the street (other than an access lane way) should be designed with a maximum width of 6 metres or 50 percent of the allotment or building site frontage width, whichever is the lesser distance.
- 18 Residential development, outbuildings and ancillary structures on land identified on [Figure R\(Esc\)/1](#) Myall Place Concept Plan should avoid areas of native vegetation and be located outside of the bushfire setback line, being at least 43 metres from woodland and at least 25 metres from shrubland.

### **Building Height**

- 19 Buildings should be limited in height to one storey.
- 20 Dwellings should not exceed a height of 5 metres (as measured from existing natural ground level to the highest point of the building), except where an increase in height is required to provide a split-level dwelling that follows the natural slope of the land.

### **Setbacks from Side and Rear Boundaries**

- 21 Walls of a dwelling should be set back from a side property boundary at least:
  - (a) 2 metres where the wall has a height not exceeding 3 metres
  - (b) 3 metres where the wall has a height greater than 3 metres but less than or equal to 6 metres
  - (c) 3 metres plus a distance equal to the measurement of the increase in wall height above 6 metres where the wall has a height in excess of 6 metres.
- 22 Dwellings should be set back at least 8 metres from a rear property boundary.

- 23** Sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area	54 square metres
Maximum building height (from natural ground level)	4 metres
Maximum wall height (from natural ground level)	3 metres
Minimum setback from rear and side boundaries	1 metres
Minimum setback from a public road or public open space area	6 metres

- 24** Land division of Lot 1 F10460 should:

- (a) be consistent with [Figure R\(Esc\)/1](#) Myall Place Concept Plan.
- (b) ensure that the construction of roads or any stormwater detention ponds does not result in the removal of soil off-site.
- (c) provide a stormwater solution that ensures that runoff from the site is no greater after development than prior to development.

#### Landform

- 23** Driveways should follow the contours of the land so as to reduce their visual impact and erosion potential from water run-off.
- 24** Development should be designed to relate to the slope of the land, so that:
- (a) the amount of cutting and filling of the natural ground profile is minimised;
  - (b) the need for retaining walls is avoided, or the height of retaining walls is minimised, and
  - (c) the use of stilts or other building method which results in an elevated building platform is avoided.
- 25** Development should not be undertaken if it is likely to create or aggravate erosion of the escarpment or land instability, nor where it would be placed at risk by such erosion or land instability.
- 26** Development should be located so that it does not interfere with the existing drainage lines or stormwater systems.
- 27** Sites disturbed during construction activities should be suitably managed to minimise soil erosion.
- 28** All dwellings should be connected to the SA Water sewer system.

#### PROCEDURAL MATTERS

##### Complying Development

- 29** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

##### Non-complying Development

- 30** All development (including building work, a change in the use of land, or division of an allotment) is non-complying with the exception of:



Detached dwelling  
 Residential outbuilding or domestic structure erected in association with a dwelling  
 Bed and breakfast accommodation  
 Land division that does not create an additional allotment

Land division of Allotment 1 in F10460 where:

- (a) no more than 16 residential allotments are created; and
- (b) no public road reserve is located below the 46 metre contour; and
- (c) a stormwater solution is achieved where runoff from the site is no greater after development than prior to development; and
- (d) each residential allotment:
  - (i) is connected to an approved sewerage effluent disposal scheme; and
  - (ii) is connected to mains water; and
  - (iii) has a minimum frontage of 18 metres; and
  - (iv) has a minimum site area of 800 square metres; and
  - (v) provides a suitable site for a detached dwelling located outside of the bushfire setback line, being at least 43 metres from woodland and at least 25 metres from shrubland; and
  - (vi) provides a suitable site for a detached dwelling and driveway access that are located above the 46 metre contour and are sited at least 25 metres from any watercourse identified on a current series 1:2500 Government Standard topographic map.

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

#### 31 Category 1 forms of development are:

Advertisement and or advertisement hoarding (except where assigned Category 2)  
 Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary  
 Residential outbuildings ancillary to a dwelling where:
 

- (a) the wall height is equal to or less than 3 metres;
- (b) the floor area is equal to or less than 42 square metres; and
- (c) the minimum set-back from adjoining allotment boundaries is 1.0 metre.

#### 32 Category 2 forms of development are:

Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places  
 Land division that creates an additional allotment or allotments  
 Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places.

## RESIDENTIAL CHARACTER ZONE

### Introduction

The objectives and principles of development control that follow apply to the Residential Character Zone shown on [Maps MiMu/60 to 62 and 130, and Map MiMu/1 \(Overlay 1\) Enlargement B](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** Maintenance and reinforcement of the historic land division layout and streetscape character.
- Objective 2:** Provision of mainly detached dwellings with some semi-detached dwellings permitted in selected areas where they are consistent with the predominant design elements and streetscape characteristics of the area.
- Objective 3:** Safe, pleasant and convenient living environment for all residents.
- Objective 4:** Development complementing buildings of historic character.
- Objective 5:** Protection of stands of native vegetation.
- Objective 6:** Development that contributes to the desired character of the zone.

### DESIRED CHARACTER

Land within this zone comprises existing residential areas of Mannum that are located in the areas of early subdivision south of Victoria Street, between the cliff face and east of Walker and Berryman Avenue. The zone includes buildings of historic interest reflecting the historic development of the town.

Development in this zone will retain larger allotments reflecting the original subdivision pattern. Land division will be restricted to corner allotments or sites with dual street frontages where new allotments can incorporate wide street frontages and generous setbacks to boundaries. Buildings up to two-storeys in height are appropriate in the zone, provided that landscaping is proposed on the site of the development to soften the visual impact of the second storey and the impact of their height and bulk does not adversely impact existing neighbouring development and neighbouring amenity.

Expansion of non-residential uses is not encouraged and the relocation of non-conforming and inappropriate development to more suitable sites outside the zone is desirable unless the development does not conflict with residential amenity.

The upgrading of the standard of roads and roadside landscaping and the provision of pedestrian linkages is encouraged. The conservation and restoration of buildings of historic significance is also desirable.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Land Use

- 1** The following forms of development are envisaged in the Residential Character Zone:
  - dwelling
  - domestic outbuilding in association with a dwelling
  - domestic structure
  - recreation areas
  - supported accommodation.
- 2** Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.

- 3 The use and placement of outbuildings should be ancillary to and in association with a dwelling or dwellings.

### Form and Character

- 4 The scale, bulk and design elements of residential development should be complementary to the character of the surrounding residential development. Where there is no dominant character within the locality, building design elements should be complementary to surrounding development in terms of built form elements such as:
- (a) building mass and proportion
  - (b) materials, patterns, textures, colours and decorative elements
  - (c) ground floor height above natural ground level
  - (d) façade articulation and detailing and window and door proportions
  - (e) roof form and pitch
  - (f) verandahs, eaves and parapets
  - (g) driveway crossovers, fence style and alignment.
- 5 Dwellings should be setback from the primary road frontage consistent with adjoining dwellings or the predominant streetscape. In the event there is not a cohesive street setback they should be setback a minimum of 6 metres from the primary road frontage.
- 6 Site coverage<sup>16</sup> should not exceed 45 percent of the allotment area.
- 7 Garages and carports facing the street (other than an access lane way) should be designed with a maximum width of 6 metres or 50 per cent of the allotment or building site frontage width, whichever is the lesser distance.
- 8 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from secondary road frontage	2 metres
Maximum building height (from natural ground level)	9 metres

- 9 Private open space should be provided in accordance with Council Wide Objectives and Principles of Development Control.
- 10 Dwelling and outbuilding setbacks should be designed to comply with Council Wide Objectives and Principles of Development Control.
- 11 The minimum number of on site car parking spaces should be provided in accordance with [Table MiMu/1](#).
- 12 Sheds, garages and similar outbuildings should be setback behind the main face of the associated dwelling and should be designed so as to not dominate the streetscape.

<sup>16</sup> In relation to a detached dwelling, site coverage represents the proportion of an allotment (excluding the area of any "handle" of a hammerhead allotment) covered by the floor level of a building or buildings including the dwelling, garage and carport and freestanding residential outbuildings, but excluding balconies, verandahs (not exceeding a width of 2 metres) and unroofed pergolas

- 13 Subject to PDC 12, sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area	75 square metres
Maximum building height (from natural ground level)	4 metres
Maximum wall height (from natural ground level)	3 metres
Maximum length located on a boundary	6 metres
Minimum setback from a public road or public open space area	6 metres

### Site Areas and Street Frontages

- 14 A dwelling should have a minimum site area and a frontage to a public road not less than that shown in the following table:

Dwelling type	Site area (square metres)	Minimum frontage (metres)	Minimum depth (metres)
Detached	600 minimum	15	25
Semi-detached	420 minimum	9	25
Row Dwelling	420 minimum	9	25
Group Dwelling	600 minimum (average)	20	30
Residential Flat Building	600 minimum (average)	20	30

### Land Division

- 15 Land division should create allotments with an area of greater than 600 square metres and a minimum frontage of 15 metres.
- 16 Hammerhead allotments should not be created in the zone.
- 17 All dwellings should be connected to the SA Water sewer system.

### PROCEDURAL MATTERS

#### Complying Development

- 18 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

#### Non-complying Development

- 19 Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Advertisement and /or advertising hoarding, except in association with an existing non-residential use of land or tourist accommodation

Amusement machine centre

Consulting room, except where:

- (a) the total floor area is less than 100 square metres

(b) the site does not front an arterial road.

Crematorium  
 Dairy  
 Farming  
 Fuel depot  
 Horse keeping  
 Horticulture  
 Hospital  
 Hotel  
 Industry  
 Intensive animal keeping  
 Junk yard  
 Motel  
 Motor repair station  
 Office  
 Petrol filling station  
 Public service depot  
 Restaurant  
 Retail showroom  
 Road transport terminal  
 Service trade premises

Shop or group of shops, except where:

- (a) the gross leasable area is less than 100 square metres
- (b) the site does not front an arterial road.

Stock sales yard  
 Stock slaughter works  
 Store  
 Timber yard  
 Warehouse  
 Waste reception, storage, treatment or disposal  
 Wrecking yard

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

**20** Category 1 forms of development are:

Advertisement and or advertisement hoarding (except where assigned Category 2)  
 Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary  
 Residential outbuildings ancillary to a dwelling where:

- (a) the wall height is equal to or less than 3 metres;
- (b) the floor area is equal to or less than 54 square metres; and
- (c) the minimum set-back from adjoining allotment boundaries is 1 metre.

**21** Category 2 forms of development are:

Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Bed and breakfast accommodation

Community centre

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

Group dwelling

Multiple dwelling

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

Pre-school

Recreation area

Residential flat building

Residential outbuildings that do not satisfy Category 1 principles

Row dwelling

## RESIDENTIAL MARINA ZONE

### Introduction

The objectives and principles of development control that follow apply to the Residential Marina Zone shown on [Maps MiMu/36, 37, 62 and 130](#) and [Figure R\(Mar\)/1](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** A residential zone which caters for conventional and waterfront residential development along with residential development integrated with recreational activities in specific localities.
- Objective 2:** Development designed and sited to conserve water and energy, and minimise waste.
- Objective 3:** Protection of the water quality of the River Murray, marina basin and wetlands.
- Objective 4:** Development that contributes to the desired character of the Zone.
- Objective 5:** A residential zone comprising a range of dwelling types including a minimum of 15 percent affordable housing.

### DESIRED CHARACTER

The Residential Marina Zone includes the residential development associated with the marina, including conventional and waterfront allotments.

The physical form of the zone is characterised by allotments fronting the man-made marina, waterbody and the valley floor and walls that rise from the floodplain to the undulating elevated land visible from the River Murray and its eastern bank.

Dwellings will be contemporary in style with well articulated facades that incorporate large eaves, low profile rooflines, balconies, verandahs and pergolas to add visual interest and create shadowed areas which reduce the bulky appearance of buildings.

Development should be designed to be energy efficient and employ water sensitive urban design principles to minimise the overall impact of the development on the environment. In particular, development should be designed to minimise pollutant entry to the water reserve and River Murray.

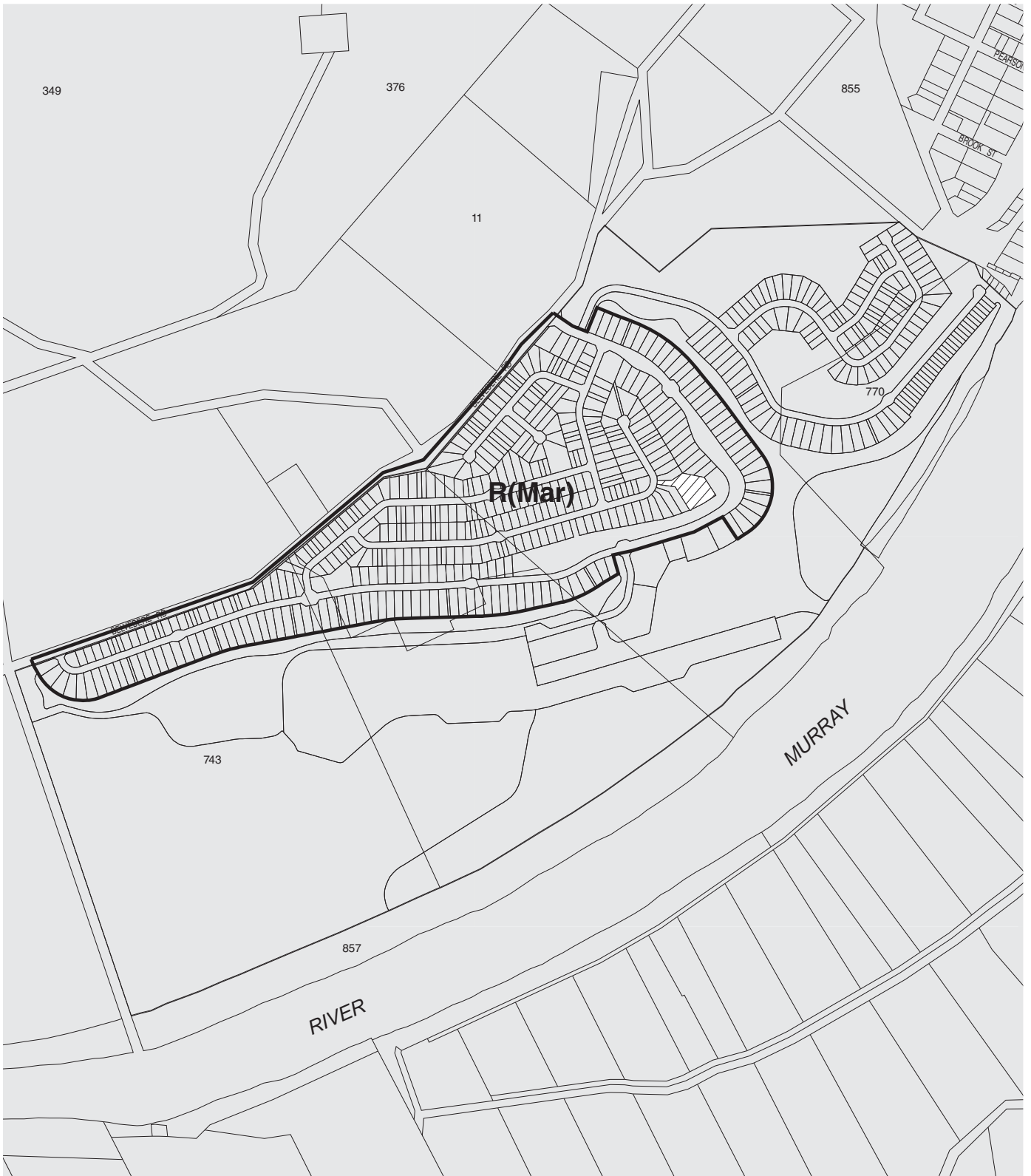
Landscaping throughout the zone should be comprised predominantly of native plants.

Parts of the zone contain naturally occurring elevated concentrations of arsenic in site soils due to local geological factors, and levels of boron, nickel and selenium in ground water that exceed potable and irrigation criteria. Use and development of the land should therefore be undertaken in accordance with the Site Contamination Audit Report - Residential Portion of Area 'A' Mannum Waters Development dated 3 March 2010.


### PRINCIPLES OF DEVELOPMENT CONTROL

#### Land Use

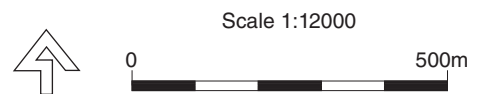
- 1 The following forms of development are envisaged in the Residential Marina Zone:
  - affordable housing
  - boat berth
  - detached dwellings
  - domestic outbuilding in association with a dwelling
  - domestic structure
  - dwelling addition or alteration
  - open space



**R(Mar)** Residential Marina Zone

 Land suitable for group dwellings and residential flat buildings

 Zone Boundary



**MID MURRAY COUNCIL**  
**Fig R(Mar)/1**



- rainwater tanks
- recreation area and ancillary structures
- residential flat buildings on land identified in [Figure R\(Mar\)/1](#)
- retaining walls
- marina pontoon.

### Form and Character

- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 4 Dwellings, buildings and structures should be designed to:
  - (a) take into account the 1956 River Murray flood level by limiting enclosed structures on the floodplain; and
  - (b) provide a minimum floor level for living areas of 5.3 metres Australian Height Datum.
- 5 The design, scale and appearance of development should contribute to the creation of a cohesive character that reflects the riverine location, views and waterfront opportunities unique to the zone.
- 6 Residential buildings and associated structures should be of a high standard of design with regard to the external appearance of building materials and colours and be of a comparable scale to adjoining buildings.
- 7 Dwellings located on corner allotments should be designed so that they address the primary street frontage and the secondary street frontage.
- 8 Residential buildings and associated structures within the Residential Marina Zone should be sited and landscaped so as not to be obtrusive when viewed from outside zone.
- 9 Development should be undertaken in a manner which minimises the effect on natural landscape features, flora and fauna and their habitat corridors, land adjoining water and scenically attractive areas.
- 10 Single storey dwellings should be setback a minimum of 5 metres from the primary street front boundary.
- 11 Buildings should be setback a minimum of 2.5 metres from the secondary street boundary (the longer street boundary) of a corner lot.
- 12 Second storeys and garages should be setback a minimum of 5.5 metres from the primary street front boundary.
- 13 Dwellings should not exceed two storeys in height and the overall height of residential buildings should not exceed 9 metres above design ground level or 5.3 metres Australian Height Datum for waterfront allotments.
- 14 Dwellings should be designed so that living areas face onto waterways or open spaces, whilst still providing a main frontage to the public road that preserves and enhances the character and amenity of the streetscape.
- 15 Site coverage should not exceed 50 percent of the site.
- 16 Garages, carports, sheds, and similar outbuildings should be setback behind the main face of the associated dwelling and should be designed so as to not dominate the streetscape, whether located under the main roof of the dwelling or detached.

- 17** Garages and carports facing the street (other than an access lane way) should be designed with a maximum width of 6 metres or 50 percent of the allotment or building site frontage width, whichever is the lesser distance, whether located under the main roof of the dwelling or detached.
- 18** The use and placement of outbuildings should be ancillary to and in association with a dwelling.
- 19** Garages, carports and other outbuildings should be constructed of timber, steel, rendered concrete or brick construction to match the materials and colours used in the construction of the associated dwelling.
- 20** Garages, carports and other outbuildings should:
- (a) be limited to one outbuilding per allotment, not exceeding a total floor area of 54 square metres;
  - (b) be constructed no closer than 1 metre to a side boundary;
  - (c) not exceed a maximum wall height of 3 metres;
  - (d) be limited to a maximum length of 6 metres where located on a boundary;
  - (e) be located unobtrusively, and:
    - (i) sited at the rear of the dwelling unless located on a waterfront allotment; and
    - (ii) not visible from waterways.
- 21** Buildings and structures should be sited to minimise any adverse affect from overshadowing or loss of privacy to adjoining land.
- 22** Buildings should be designed and finished so that:
- (a) the profile of buildings complement the form of the land;
  - (b) the mass of buildings is minimised by variations in wall and roof lines and by floor plans which complement the contours of the land;
  - (c) large eaves, verandahs and pergolas are incorporated into designs so as to create shadowed areas which reduce the bulky appearance of buildings;
  - (d) building materials are low reflective.
- 23** Important sites of Aboriginal and European heritage should be preserved.
- 24** Private open space should be provided in accordance with Council Wide Principles of Development Control.
- 25** Side and rear setbacks should be provided in accordance with Council Wide Principles of Development Control.
- 26** Service yards for clothes drying and open storage should be constructed and located such that they are not visible from roads or waterways.

### **Energy Efficiency**

- 27** Development should be designed to minimise energy consumption through siting and design.

### **Affordable Housing**

- 28** Development should include a minimum 15 percent of residential dwellings for affordable housing with the exclusion of waterfront properties.

- 29 Affordable housing should be distributed throughout the zone to avoid over-concentration of similar types of housing in a particular area.

### Infrastructure

- 30 All buildings should be connected to the SA Water sewer system.
- 31 Each dwelling should incorporate on-site stormwater harvesting and be connected to a tank or tanks of at least 10 000 litre capacity.
- 32 All facilities associated with the supply and maintenance of public utilities should be underground.

### Landscaping

- 33 Development should be landscaped utilising primarily native species, suited to the local soil and climatic conditions, with open space and landscaping that minimises hard paved surfaces.
- 34 Landscaping should include the planting of locally indigenous species where appropriate.

### Vehicle Movement and Carparking

- 35 The minimum number of on site car parking spaces should be provided in accordance with [Table MiMu/1](#).

## PROCEDURAL MATTERS

### Complying Development

- 36 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

- 37 Development (including building work, a change in the use of land, or division of an allotment) for the following is **non-complying**:

Advertisement and/or advertising hoarding

Amusement machine centre

Consulting room

Crematorium

Dairy

Farming

Fuel depot

Group dwellings except on the allotment identified as suitable in [Figure R\(Mar\)/1](#)

Horse keeping

Horticulture

Hospital

Hotel

Industry

Intensive animal keeping

Junk yard

Land division except for:

(a) minor boundary adjustments where no new allotment is created; or

(b) in association with a residential flat building or group dwelling on land identified as suitable in [Figure R\(Mar\)/1](#)

Motel

Motor repair station

Office

Petrol filling station

Public service depot

Residential flat building except on land identified as suitable in [Figure R\(Mar\)/1](#)  
 Restaurant  
 Retail showroom  
 Road transport terminal  
 Service trade premises  
 Shop  
 Stock sales yard  
 Stock slaughter works  
 Store  
 Timber yard  
 Warehouse  
 Waste reception, storage, treatment or disposal  
 Wrecking yard

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

#### 38 Category 1 forms of development are:

Detached dwelling  
 Dwelling additions or alterations

Residential outbuildings and structures ancillary to a dwelling where:

- (a) the wall height is equal to or less than 3 metres; and
- (b) the floor area is equal to or less than 54 square metres; and
- (c) the minimum set-back from adjoining allotment boundaries is 1.0 metre.

#### 39 Category 2 forms of development are:

Recreation area and ancillary structures  
 Group dwellings located on land identified as suitable in [Figure R\(Mar\)/1](#)  
 Residential flat buildings located on land identified as suitable in [Figure R\(Mar\)/1](#).

## Residential Marina Zone - Policy Area 22 (Waterfront)

### Introduction

The objectives and principles of development control that follow apply to the Policy Area 22 (Waterfront) shown on [Map MiMu/131](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

**Objective 1:** A policy area primarily accommodating detached dwellings on individual waterfront allotments.

**Objective 2:** Buildings and structures which are not subject to damage from and will not impede flood waters.

### DESIRED CHARACTER

The Policy Area will be a high quality residential area that provides frontage to the waterbody and private boat mooring facilities. Dwellings will be sited and designed to take advantage of views to and over the water.

Dwelling form will be primarily detached dwellings.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Form of Development

- 1 Single storey dwellings should be setback a minimum of 5 metres from the primary street front boundary. A reduced setback of 3.5 metres can apply to verandahs and porticos that are attached to the main face of the dwelling.
- 2 Dwellings should be setback a maximum of 8 metres from the primary street front boundary.
- 3 The underneath area of an elevated dwelling:
  - (a) should not be used for living purposes (lounge/dining, family rooms, sunroom, kitchen and bedrooms and any room capable of being used as a bedroom) nor incorporate internal walls or cladding;
  - (b) may only be used and enclosed for vehicle (boat and car), other domestic storage purposes and/or rainwater tanks.
- 4 The underneath area of an elevated dwelling should only be enclosed in accordance with the following:
  - (a) the floor area enclosed by any method of enclosure does not exceed 54 square metres in total floor area;
  - (b) provided the method of and design of the enclosure includes materials or panels that allow easy removal and transportation to a site above the 1956 River Murray flood level, without requiring demolition, destruction or engineering assistance to achieve removal;
  - (c) acceptable methods of enclosure may only include:
    - (i) roller doors;
    - (ii) tilt-up panel doors;
    - (iii) roller blinds/awnings;
    - (iv) removable panels that can be detached from the support structure and handled easily by two people without mechanical assistance; and
    - (v) external cladding (but no internal lining) screw fixed spanning the width of one removable panel (such as cement fibre sheeting, pre-coloured steel or timber).
  - (d) where removable panels are proposed, no panel should exceed the dimensions of 3 metres by 3 metres;
  - (e) the method of enclosure or other internal fittings and fixtures does not include:
    - (i) permanent fixed cladding;
    - (ii) cladding fixed to permanent framework;
    - (iii) external cladding spanning more than one removable panel width;
    - (iv) internal cladding;
    - (v) sliding doors or glass doors and floor-ceiling windows;
    - (vi) floor fixtures and coverings; and

- (vii) ceiling linings, other than where the underside of an elevated dwelling must be protected with a non-combustible sheet material to meet the requirements of SA Housing Code, Appendix F.8 to comply with buildings constructed in General Bushfire Fire Risk Areas (soffit lining is acceptable).

- 5 No dwelling, building, outbuilding or other structure (excluding side boundary fencing) on an allotment fronting the waterbody should be built within 19 metres of the boundary with the water easement.
- 6 The riparian edge should be maintained along waterfront allotments.

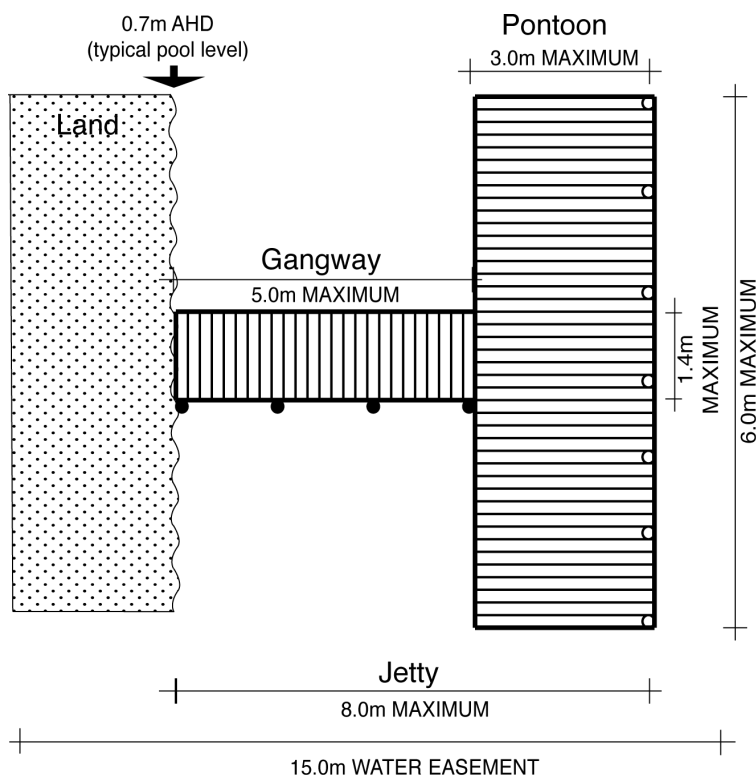
### **Outbuildings and Structures**

- 7 Garages, carports and storage structures should:
  - (a) be located under the dwelling or to the side of the dwelling, and not forward of the river side of the dwelling, so as not to detract from the character of the waterfront or obstruct views of the waterfront;
  - (b) be substantially smaller in building envelope, height and scale than the associated dwelling.
- 8 Rainwater tanks should only be erected in association with an existing dwelling and:
  - (a) be located under the dwelling or to the side of the dwelling, and not forward of the river side of the dwelling, so as not to detract from the character of the waterfront or obstruct views of the waterfront; and
  - (b) be located above the 1956 River Murray flood level and/or be designed so as not to be affected by flooding; and
  - (c) stormwater from downpipes and tank overflows should be directed away from buildings and not concentrated in any one location.
- 9 Rainwater tanks and associated stands should be located and sited to be as unobtrusive as practicable when viewed from the River Murray and nearby public roads.

### **Waterbody**

- 10 Moored vessels should not be permanently occupied.
- 11 No development other than marina berthing facilities and channel markers should extend into or over the marina waters.
- 12 Only one river structure (including a gangway and marina pontoon, or a jetty) should be developed with each residential waterfront allotment.
- 13 Gangways should be designed in accordance with the diagram below and:
  - (a) comply with Australian Standards (AS 3962) Guidelines for Design of Marinas;
  - (b) have a maximum length of 5 metres and a maximum width of 1.4 metres.
- 14 Pontoons should be designed in accordance with the diagram below and have a maximum length of 6 metres and a maximum width of 3 metres.
- 15 Jetties should be designed in accordance with the diagram below and:
  - (a) extend no further than 8 metres maximum into the water body from typical pool level (0.7 metres Australian Height Datum);

- (b) have a maximum walkway width of 1.4 metres and maximum landing dimensions of 3 metres by 6 metres.



- 16** Lighting on marina berths and jetties should be low voltage only and designed not to create light spill, glare or nuisance.
- 17** All river structures should be constructed to withstand floodwaters, increased river flow rates and collision impact through day-to-day use and located where they do not cause a hazard to safe navigation or create unsafe conditions.
- 18** All river structures should be of an appropriate human scale and designed through the use of materials and detailing to contribute to the riverine and natural character.

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

- 19** In addition to those listed in the Residential Marina Zone the following are **Category 1** forms of development in Policy Area 22:

Pontoons  
Jetties  
Gangways.

## MANNUM MARINA ZONE

### Introduction

The objectives and principles of development control that follow apply to the Mannum Marina Zone shown on [Maps MiMu/36, 37, 62 and 130](#) and [Figure M\(Mar\)/1](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** A zone accommodating a marina including berthing facilities and areas for the passage and manoeuvring of vehicles, with complementary tourist, accommodation, recreational, local retail and boat maintenance facilities.
- Objective 2:** A zone that provides for a marina and riverine structures including:
- (a) pontoons
  - (b) jetties
  - (c) piers
  - (d) boat berths
  - (e) slipway/boat ramp/boat lift
  - (f) repair facilities
  - (g) wastewater collection, storage and transfer facilities.
- Objective 3:** Development that does not unreasonably interfere with the desired character of the locality by generating noise nuisance.
- Objective 4:** Protection of the water quality of the River Murray, marina basin and wetlands.
- Objective 5:** Development designed and sited so that the natural appearance of the site visible from the River Murray and land located on the eastern side of the River is not impaired.
- Objective 6:** Development designed and sited to conserve water and energy, and minimise waste.
- Objective 7:** Development that contributes to the desired character of the Zone.

### DESIRED CHARACTER

The Mannum Marina Zone encompasses the Mannum Waters Marina, tourist accommodation, marina wharf and boat mooring and maintenance facilities, along with local retail and commercial uses such as a general store, café and restaurant.

Mannum Waters should be developed as a high quality off-river marina with an integrated and cohesive centre that provides a focal point for houseboat related tourism and the adjoining residential development.

The Zone includes the marina water body, commercial and recreation areas, and wetlands. The physical form of the Zone is characterised by a man-made marina, waterbody and wetlands and the valley floor and lower walls.

Development should be sympathetic with its setting along the River Murray and designed to be energy efficient and employ water sensitive urban design principles to minimise the overall impact of the development on the environment. In particular, development should be designed to minimise pollutant entry to the water reserve and River Murray. Landscaping throughout the Zone should be comprised predominantly of native plants.





**Mannum Marina Zone - Structure**

- A** Boat maintenance and repair
- B** Boat ramp and public facilities
- C** General store/cafe/office
- D** Tavern/restaurant
- E** Accommodation
- F** Marina berths and waterbody

Scale 1:12000



**MID MURRAY COUNCIL**  
**Fig M(Mar)/1**

— Zone Boundary

Commercial facilities and boat related activities should be designed and operated to minimise off-site impacts on adjoining residential areas.

## **PRINCIPLES OF DEVELOPMENT CONTROL**

### **Land Use**

- 1 The forms of development envisaged in the Mannum Marina Zone are listed in the specific policy areas.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should not be undertaken unless it is consistent with the desired character for the zone.

### **Form and Character**

- 4 Development in the zone should be undertaken in accordance with the Structure Plan shown on [Figure M\(Mar\)/1](#).
- 5 The design of the marina basin and siting of buildings should be designed to:
  - (a) take into account the 1956 River Murray flood level by limiting enclosed structures on the floodplain; and
  - (b) provide a minimum floor level for occupation of 5.3 metres Australian Height Datum.
- 6 Residential buildings and associated structures within the Mannum Marina Zone should be sited and landscaped so as not to be obtrusive when viewed from outside zone.
- 7 External building materials and finishes should be low reflective and be of natural colours so as to be unobtrusive and blend with the natural landscape colours of the locality.
- 8 Buildings or structures should be not greater than two storeys and should not exceed a total height of 9 metres measured from 5.3 metres Australian Height Datum.
- 9 Buildings and structures should be sited to minimise any adverse affect from overshadowing or loss of privacy to adjoining land.
- 10 Buildings should be designed and finished so that:
  - (a) the profile of buildings and roof lines complement the form of the land;
  - (b) the mass of buildings is minimised by variations in wall and roof lines and by floor plans which complement the contours of the land; and
  - (c) large eaves, verandahs and pergolas should be incorporated into designs so as to create shadowed areas which reduce the bulky appearance of buildings.
- 11 The design, scale and appearance of development should contribute to the creation of a cohesive character that reflects the riverine location, views and waterfront opportunities unique to the zone.
- 12 Advertising signs should be limited in number and of a size, scale and colour to complement the character of the zone.
- 13 Overwater development should be limited to boat berthing, boat servicing facilities, waterfront walkways and channel markers and of a scale and design to minimise its visual bulk.
- 14 The riparian edge should be maintained along waterfront allotments.

- 15 Waterfront walkways and pedestrian paths should be established in appropriate areas to provide pedestrian access to and along the waterfront.
- 16 Lighting on marina berths and jetties should be low voltage only and designed not to create light spill, glare or nuisance.
- 17 All development should provide a suitable space for the storage of waste bins, screened from public view.
- 18 Aerials, television antennas, satellite dishes, and the like should be positioned to minimise their view from adjoining properties and public places.
- 19 Marina berths, channels, fairways, gangways and floating structures should comply with Australian Standards (AS 3962) Guidelines for Design of Marinas.
- 20 Untreated stormwater should not be discharged to the waterway.
- 21 Development should be landscaped utilising primarily native species, suited to the local soil and climatic conditions.
- 22 Landscaping should include the planting of locally indigenous species where appropriate.

#### Landform

- 23 The excavation and/or filling of land should:
  - (a) be kept to a minimum so as to preserve the form of the land and native vegetation; and
  - (b) result in stable slopes, which are covered with top soil and landscaping so as to preserve and enhance the natural character of the zone.
- 24 Building and associated storage, car parking and driveway areas should minimise the amount of cut and fill of land.

#### Vehicle Movement and Carparking

- 25 On site car parking spaces should be provided in accordance with [Table MiMu/1](#).

#### Interface with Sensitive Land Uses

- 26 Development should be sited and designed to minimise potential adverse impacts on the amenity of adjoining residential land through noise, dust, smoke or odour generation, light spill or hours of operation.
- 27 Development with potential to emit significant noise (including licensed premises and boat maintenance activities) should incorporate appropriate noise attenuation measures in to their design to prevent noise from causing unreasonable interference with the amenity and desired character of adjoining residential areas.

### PROCEDURAL MATTERS

#### Complying Development

- 28 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

#### Non-complying Development

- 29 Development (including building work, a change in the use of land, or division of an allotment) for the following is **non-complying**:

Agistment and holding of stock  
 Amusement park  
 Boat or vessel construction  
 Crematorium  
 Dairy  
 Farming  
 Horse keeping  
 Intensive animal keeping  
 Junk yard  
 Motor repair station  
 Prescribed mining operations  
 Road transport terminal  
 Stadium  
 Stock sales yard  
 Stock slaughter works  
 Used car lot  
 Wrecking yard

## Mannum Marina Zone - Policy Area 25 (Marina)

### Introduction

The objectives and principles of development control that follow apply to the Policy Area 25 (Marina) shown on [Map MiMu/131](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

**Objective 1:** A policy area accommodating a range of facilities and services that cater for and support recreational boating,

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Land Use

- 1 The following forms of development are envisaged in the policy area:
  - boat berthing facilities
  - boat lift, slipping and related facilities
  - boat repair and maintenance area
  - boat servicing facility (including fuel supply, power, water, effluent pump, toilets and showers)
  - clubroom in association with a marina
  - dry storage and facilities for vessels and associated equipment
  - infrastructure to support boat mooring
  - loading and unloading facility
  - marina
  - marina structures
  - parking for vehicles and boats
  - public boat ramp and associated facilities
  - public amenities
  - recreation area and ancillary structures
  - storage and facilities for vessels and associated equipment
  - wastewater collection, storage and transfer facility.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Development should provide for a range of facilities and services that cater for recreational boating, including berthing facilities, and the safe passage and manoeuvring of vessels.
- 4 The marina water reserve should be retained for the free and safe movement of boats and other waterborne craft as it forms an important tourist and recreation feature.

- 5 Development within the marina should allow for the safe passage and manoeuvring of vessels around the marina and in and out of moorings.

### **Form of Development**

- 6 Jetties, pontoons, walkways and other river structures should be sited so as to maintain safe distances for navigation purposes.
- 7 Marina, wharf and boat mooring structures should be:
- (a) of simple and attractive design and constructed with materials that are durable and require minimal maintenance;
  - (b) constructed and sited so as not to impede the general circulation and manoeuvring of boats; and
  - (c) designed to withstand occasional flooding without suffering any material damage or causing pollution of the river.
- 8 Development should not cause pollution or contamination through unacceptable discharges entering the waterway.
- 9 Adequate waste disposal facilities should be provided for all wastes generated by activities located within the policy area.
- 10 Development for refuelling waterborne craft should comply with the following:
- (a) fuel bulk storage tanks are to be located no closer than 30 metres to the nearest water body and positioned above 5.3 metres Australian Height Datum.
  - (b) sniffer pipes should be installed around the storage tanks and regularly tested.
- 11 Overwater development should be limited to berthing facilities, boat servicing facilities, jetties, pontoons, walkways and channel markers.
- 12 No built form should occur within the commercial marina area other than that required for essential public or commercial infrastructure or in the boat maintenance.
- 13 Activities that are likely to generate noise, odour, smoke, fumes or other nuisance should:
- (a) be located within the area nominated for boat maintenance and repair;
  - (b) be contained within a building designed and sited to contain noise and pollutants;
  - (c) not impact adversely on the amenity of adjoining residential areas;
  - (d) be limited to operating hours that complement adjoining residential areas;
  - (e) comply with the current Environment Protection (Noise) Policy; and
  - (f) ensure pollutants do not enter marina waters.
- 14 Adequate landscaped buffers of not less than 3.0 metres in width should be provided to screen building and structures from adjoining areas.

### **PROCEDURAL MATTERS**

#### **Complying Development**

- 15 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

- 16** Development (including building work, a change in the use of land, or division of an allotment) for the following is **non-complying**:

- Agistment and holding of stock
- Amusement park
- Boat or vessel construction
- Consulting room
- Crematorium
- Dairy
- Dwelling
- Farming
- Horse keeping
- Hospital
- Hotel
- Indoor recreation centre
- Intensive animal keeping
- Junk yard
- Motor repair station
- Prescribed mining operations
- Restaurant
- Road transport terminal
- Shop or group of shops
- Stadium
- Stock sales yard
- Stock slaughter works
- Telecommunications towers, masts and monopoles
- Used car lot
- Wrecking yard.

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

- 17** **Category 1** forms of development are:

- Boat berthing facilities
- Boat lift, slipping and related facilities
- Boat ramp
- Dry storage and facilities for vessels and associated equipment
- Infrastructure to support boat mooring
- Loading and unloading facility
- Marina
- Marina structures
- Parking for vehicles and boats
- Public boat ramp and associated facilities
- Public amenities
- Recreation area and ancillary structures
- Storage and facilities for vessels and associated equipment.

- 18** **Category 2** forms of development are:

- Boat repair and maintenance area
- Boat servicing facility (including fuel supply, power, water, effluent pump, toilets and showers)
- Clubroom in association with a marina
- Wastewater collection, storage and transfer facility.

## Mannum Marina Zone - Policy Area 26 (Centre)

### Introduction

The objectives and principles of development control that follow apply to the Policy Area 26 (Centre) shown on [Map MiMu/131](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

**Objective 1:** A compact centre accommodating a limited range of retail and commercial facilities to meet the day to day needs of marina users and residents of the Residential Marina Zone together with complementary tourist, recreation and berthing facilities.

**Objective 2:** Development of a visually and functionally cohesive and integrated centre.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Land Use

- 1 The following forms of development are envisaged in Policy Area 26:
  - advertisement
  - boat chandlery
  - boat hire
  - café
  - car parking
  - conference facilities
  - general store
  - hotel/tavern and bottle shop
  - motel
  - offices
  - playground
  - public amenities
  - public art
  - public berthing facilities
  - public facilities
  - recreation area
  - restaurant
  - retail facilities to serve the day-to-day needs of the local community
  - temporary boat berth
  - tourist accommodation
  - tourist or visitor centre.
- 2 Retail, recreation and tourist facilities should be of scale and function that will serve the day-to-day needs of the local marina community, marina berth owners and users, visitors and tourists.
- 3 The main retail, restaurant, entertainment, hotel and commercial uses for the district should not be located in this policy area.
- 4 Facilities or premises for the construction or assembly of new boats or boat parts are not appropriate in Policy Area 26.
- 5 Marina development undertaken in the policy area may include facilities for the sale of motor fuel for use by boats usually moored in the marina, and for the sale of chandlery, bait, tackle, ice and other similar goods.

#### Form of Development

- 6 A uniform architectural theme should be established within the centre.

- 7 Development should be sited and designed to promote linkages between the various uses within the centre and the adjoining marina and residential area.
- 8 Development should be sited and designed to take advantage where possible of the marina frontage, amenity and views over the River Murray.
- 9 The design, scale and appearance of development should contribute to the creation of a cohesive character that reflects the riverine location, views and waterfront opportunities unique to Policy Area 26.
- 10 Buildings and associated structures should be of a high standard of design with regard to the external appearance of building materials and colours and be of a comparable scale to other buildings within Policy Area 26.
- 11 External building materials and finishes should be low reflective and be of natural colours so as to be unobtrusive and blend with the natural landscape colours of the locality.
- 12 Any development over the marina waters should consist of decked platform facilities for public access and enjoyment of water views, and be linked to or form part of any wider public walkway.
- 13 Development of the Marina Centre should provide:
  - (a) public space;
  - (b) street furniture, including lighting, signs, litter bins and seats;
  - (c) unobtrusive facilities for the storage and removal of waste materials;
  - (d) public facilities including toilets, infant changing facilities for parents, seating, litter bins, telephones and community information boards;
  - (e) a single landscaping theme;
  - (f) safe and secure bicycle parking; and
  - (g) a consistent signage theme.
- 14 Buildings should be designed so that they address all street frontages and public spaces.

#### **Vehicle Movement and Carparking**

- 15 Centre development should encourage the use of shared car parking facilities.
- 16 Carparking areas, service areas and areas for the storage of goods and materials should be sited and suitably screened by landscaping in order to enhance the amenity of the area.
- 17 The design of undercroft car parking areas should not detract from the visual quality and amenity of adjacent pedestrian paths, streets or public spaces.

#### **Interface with Adjoining Land Uses**

- 18 Development within Policy Area 26 should be designed, sited and operated to minimise potential impacts on the amenity of adjoining residential areas.
- 19 Adequate landscaped buffers of not less than 3.0 metres in width should be provided to screen building and structures from adjoining residential areas.
- 20 Noise generating activities, (such as tavern/hotel) should be located towards the centre of Policy Area 26 and designed to minimise potential for disturbance to adjoining residential areas.



- 21 Operating hours of licensed premises, together with associated activities of such premises, established and operated so as to reinforce the desired character of the locality and adjoining residential areas.
- 22 Licensed premises or similar should operate with operating hours to reinforce the desired character of the locality.

### Land Division

- 23 Land division in Policy Area 26 is appropriate provided new allotments are of a size and configuration to ensure the objectives of the policy area can be achieved and are not compromised.

## PROCEDURAL MATTERS

### Complying Development

- 24 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

- 25 Development (including building work, a change in the use of land, or division of an allotment) for the following is **non-complying**:

- Agistment and holding of stock
- Amusement park
- Crematorium
- Dairy
- Dwelling
- Farming
- Horse keeping
- Hospital
- Intensive animal keeping
- Junk yard
- Motor repair station
- Prescribed mining operations
- Road transport terminal
- Stadium
- Stock sales yard
- Stock slaughter works
- Telecommunications towers, masts and monopoles
- Used car lot
- Wrecking yard

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

- 26 **Category 1** forms of development are:

- Boat berthing facilities
- Boat hire
- Car parking
- Infrastructure to support boat mooring
- Marina structures
- Playground
- Public amenities
- Public art
- Recreation area
- Small scale retail facilities
- Tourist or visitor centre.

**27 Category 2** forms of development are:

Café  
 Conference facilities  
 General store  
 Hotel/tavern and bottle shop  
 Motel  
 Offices  
 Restaurant  
 Tourist accommodation.

## **Mannum Marina Zone - Policy Area 27 (Conservation)**

### **Introduction**

The objectives and principles of development control that follow apply to the Policy Area 27 (Conservation) shown on [Map MiMu/131](#). They are additional to those expressed for the whole of the Council area.

### **OBJECTIVES**

- Objective 1:** The conservation and enhancement of the natural environment and natural ecological processes for their historic, scientific, landscape, faunal habitat, biodiversity and cultural values.
- Objective 2:** Provision of opportunities for the public to experience and appreciate the significance of the native vegetation and riparian habitat of the area through low impact recreational activities and interpretive facilities.
- Objective 3:** Development that contributes to the desired character of the Policy Area.

### **DESIRED CHARACTER**

This Policy Area applies to the riparian land located along the River Murray and the artificial wetland system, including its inlet and outlet structures.

The Policy Area is intended to establish and maintain a character which emphasises the following:

- (a) a diversity of local native flora and fauna;
- (b) periodic fluctuations in water levels within the artificial wetlands system;
- (c) the interpretation and appreciation of the natural and cultural heritage;
- (d) the natural beauty of the River Murray; and
- (e) the preservation of Aboriginal heritage sites.

### **PRINCIPLES OF DEVELOPMENT CONTROL**

#### **Land Use**

**1** The following forms of development are envisaged in Policy Area 27:

- directional, identification and/or interpretative signs for conservation management and tourist information purposes
- holding ponds
- infrastructure for wetland control and maintenance
- pedestrian and cycling paths, including bridges
- scientific monitoring structures or facilities

- small scale facilities associated with the interpretation and appreciation of natural and cultural heritage, such as shelters and bird hides
- structures for conservation management purposes.

### Form and Character

- 2 Development should be undertaken in a manner which minimises the effect on natural landscape features, flora and fauna and their habitat corridors, land adjoining water and scenically attractive areas.
- 3 Important sites of Aboriginal and European heritage should be preserved.
- 4 Development should be designed to prevent pedestrian, vehicular or boating traffic having an adverse effect on important flora and fauna of the area.
- 5 Signage should only be installed where it is relevant to the conservation values and promotion of the objectives of the policy area, and should be:
  - (a) restricted to those needed for direction, identification and interpretation; and
  - (b) discrete in design, colour and of a size no more than 2 square metres.
- 6 Holding ponds and wetlands should ensure stormwater is managed in accordance with the Operational and Environmental Management Monitoring Plan.

### Land Division

- 7 Land division should not result in an additional number of allotments partly or wholly within the zone.

## PROCEDURAL MATTERS

### Complying Development

- 8 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

- 9 All Development (including building work, a change in the use of land, or division of an allotment) with the exception of the following is **non-complying**:

Advertisement and/or advertising hoarding where in association with conservation works,  
 directional or tourist information purposes  
 Conservation and landscaping works  
 Facilities and structures associated with the interpretation and appreciation of natural and cultural heritage  
 Infrastructure for wetland control and maintenance  
 Land division where no additional allotments are created wholly within the policy area.  
 Pedestrian and cycling trails and/or paths and associated infrastructure  
 Passive recreation  
 Scientific monitoring structures or facilities  
 Structures for conservation management purposes.

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

**10 Category 1** forms of development are:

Advertisement and/or advertising hoarding where in association with conservation works,  
directional or tourist information purposes  
Conservation and landscaping works  
Facilities and structures associated with the interpretation and appreciation of natural and cultural  
heritage  
Infrastructure for wetland control and maintenance  
Pedestrian and cycling trails and/or paths and associated infrastructure  
Passive recreation  
Scientific monitoring structures or facilities  
Structures for conservation management purposes.

## TOWN CENTRE ZONE

### Introduction

The objectives and principles of development control that follow apply to the Town Centre Zone shown on [Map MiMu/61](#) and [Map MiMu/1 \(Overlay 1\) Enlargement B](#) and Policy Area 6 – Town Centre Floodplain shown on [Map MiMu/125](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** A zone primarily accommodating a wide range of retail, office, administrative, community, cultural and entertainment facilities appropriate to the needs of the community.
- Objective 2:** Protection and enhancement of the character of Randell Street.
- Objective 3:** Conservation and adaptive reuse of heritage places and development compatible with the historic character and mixed use activities in the historic town centre.
- Objective 4:** Development of craft shops and entertainment, boat hiring and other tourist-related facilities, between the eastern side of Randell Street and the waterfront.
- Objective 5:** Land and buildings enhanced by landscaping.
- Objective 6:** Buildings, or structures, or levee banks, or earth mounds which are not subject to damage or would impede flood waters.
- Objective 7:** Development of commercial moorings for vessels with overnight accommodation.

### DESIRED CHARACTER

Land within this zone comprises the Mannum town centre.

Randell Street, the focus of retailing and business activities for the district, contains a number of historic buildings of interest, and also has potential for tourist-oriented development adjacent to the waterfront, such as outdoor restaurants and boat hiring facilities. A large number of buildings, particularly at the northern end and eastern side of Randell Street, are sited on land inundated by the 1956 and 1973 floods. Investigations and implementation of measures to protect existing and proposed development along Randell Street from further flooding are required.

Landscaping programs for enhancement of: Randell Street; Arnold Park; Cliff Street; Lutheran Church car park; old council depot site; old Shearer's Share Shop parking area; and Randell property on the corner of Cliff and McLaren Streets and along the waterfront is desirable.

The visual appearance of the valley escarpment will be enhanced by the progressive removal of obsolete and unsightly buildings, and landscaping of areas which are subject to erosion or which contain unattractive prominent buildings. Development of vacant land should provide and maintain pedestrian access from the main street to the waterfront and along the waterfront. New buildings should be of a high standard of design, complement the character of adjoining buildings and where possible be designed to provide opportunities for vistas of the River.

There are many buildings of historic significance in the zone and others that complement or reflect the historic character of Mannum's principal commercial centre. The main street is established between the notable geographical feature of the escarpment and the River Murray and there are many vantage points that capture views of many character buildings and heritage places. The adaptive reuse of heritage places and buildings of complementary heritage character is envisaged and will take precedence over demolition and replacement of buildings.

Where buildings have a frontage to two roads or a road and a public reserve, attention to the pedestrian environment (such as verandas over the footpath) and activation of all facades (such as window openings) is encouraged where it is lacking. If this is not able to be achieved due to the potential impact on elements of heritage value of a heritage place (or adjacent heritage place), development will otherwise improve the visual interest in the building or facade facing the public realm in a manner visually compatible with heritage places in the locality.

Where adaptive re-use of heritage places and alterations and additions to character buildings is proposed, conservation of built elements of historic significance or visual prominence will take precedence over achieving minimum on-site parking demand and landscaping requirements associated with the change in use.

The scale and height of infill development, the extent of / volume of cut and fill or other alteration to land form on sites adjacent heritage places, building additions and any advertising (whether free-standing or attached to buildings) should not overly impact on vistas to existing prominent buildings of State and local heritage significance, that provide a backdrop to or otherwise frame the escarpment to the north of the zone. Where pedestrian linkages or visual corridors exist (such as through buildings or between sites or buildings) from public roads or public reserves (in the zone or an adjoining zone) through to waterfront land to the south, those links will be preserved and enhanced.

Where possible, high solid fencing and new vehicular crossovers to individual sites will be avoided.

The following forms of development are **acceptable** uses in the Town Centre Zone:

- bank
- consulting room
- hotel
- motel
- office
- recreation area
- shop
- tourist accommodation
- commercial moorings for vessels with overnight accommodation.

The following forms of development are **unacceptable** in the Town Centre Zone:

- builder's yard or timber yard
- detached dwelling
- educational establishment
- fuel depot
- group dwelling
- hospital
- industry
- intensive animal keeping
- junk yard
- land division creating an additional allotment(s) or new allotments with a frontage to Floodplain Policy Area 8 unless the new allotment or additional allotment is for a recreation area or an essential public or community facility under the care, control and management of the Crown or the council
- multiple dwelling
- place of worship
- residential flat building
- retail showroom
- road transport terminal
- row dwelling
- semi-detached dwelling
- service trade premises
- stadium
- store
- warehouse.

## PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.
- 2 Development other than for retail, office, administrative, entertainment, community, tourism or cultural purposes, should not be undertaken.
- 3 Development on land south-east of Randell Street along the waterfront should not be undertaken unless it is designed to avoid damage by, and not impede or restrict, the flow of floodwaters, or cause flooding of adjacent land or buildings, and is associated with Acceptable Uses for the zone
- 4 Development having vehicular access points likely to create a hazard to traffic in Randell Street should not be undertaken.
- 5 Development on land south-east of Randell Street along the waterfront should not be undertaken unless it is designed and sited taking into account the waterfront and providing public access along the waterfront.
- 6 Development likely to detract from the attractiveness of Randell Street, or the appearance of buildings of historic significance, should not be undertaken.
- 7 Advertising signs and hoardings should not be erected in Randell Street unless their size, design and lettering is in sympathy with the historic character of development in the locality.
- 8 Where development has a shortfall in off street car parking as referred to in [TableMiMu/1](#) On-Site Car Parking, a contribution of a commensurate amount should be made to the Off Street Car Parking Development Fund.
- 9 Where a shortfall in car parking occurs, and suitable arrangements have been made with the Council for contribution into the Off Street Car Parking Development Fund, the contribution will be put towards the development of a common car parking area within the Town Centre Zone.
- 10 Car parking between developments should be shared so as to reduce the total extent of car parking areas where appropriate.

### Non-complying Development

- 11 The following forms of development are **unacceptable** and **non-complying** in the Town Centre Zone and Policy Area 6:

Builder's yard  
 Detached dwelling, except where it involves the adaptive reuse of a State or Local heritage place  
 Educational establishment  
 Fuel depot  
 Group dwelling  
 Hospital  
 Industry  
 Intensive animal keeping  
 Junk yard

Land division in the 1956 floodplain, except for the purpose of any of the following:

- (a) creating a public road or a public reserve
- (b) a minor adjustment of allotment boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures, provided there is no increase in the number of allotments with a frontage to Floodplain Policy Area 8

Multiple dwelling  
 Place of worship  
 Residential flat building  
 Retail showroom

Road transport terminal  
 Row dwelling  
 Semi-detached dwelling  
 Service trade premises  
 Stadium  
 Store  
 Warehouse

### Categories of Public Notification

#### 12 Category 1 forms of development are designated (except where non-complying):

Advertisement and or advertisement hoarding (except where assigned Category 2)  
 Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary  
 Recreation Area

#### 13 Category 2 forms of development are designated (except where non-complying):

Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Amusement machine centre  
 External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places  
 Hotel  
 Indoor recreation centre  
 Moorings for vessels with overnight accommodation  
 Motel  
 Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places  
 Public service depot

## Town Centre Zone – Policy Area 6 (Floodplain)

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development including land division where relevant, should:
  - (a) be visually compatible with the area in which it is located;
  - (b) not adversely impact upon the ability to maintain the river frontage in a stable condition;
  - (c) avoid adverse impact on the environment by the appropriate location of vehicle access to the river;
  - (d) maximise waterfront reserve between buildings and the water;
  - (e) maintain existing public access routes to the waterfront reserves;



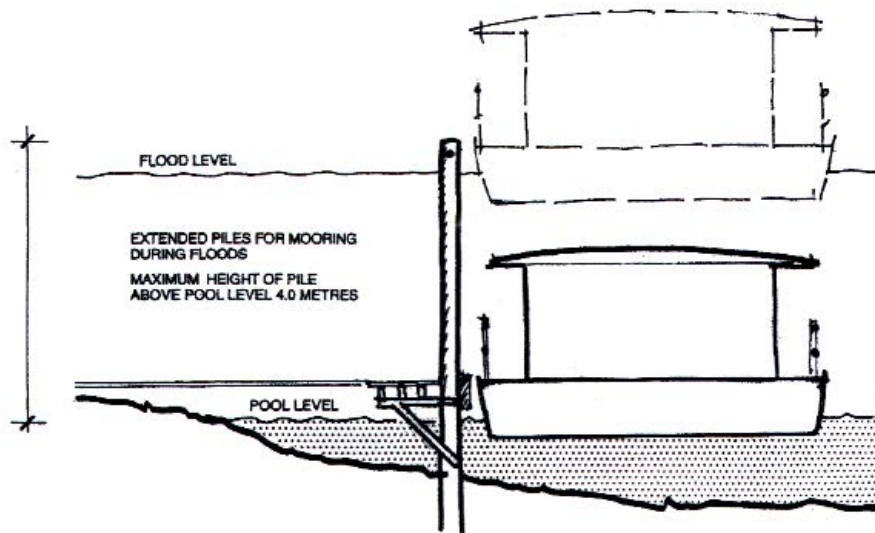
- (f) be landscaped with local indigenous species which complement the residential and public function of the zone; and
  - (g) use new materials for external cladding of buildings or second-hand or re-used materials only when materials are of sound condition, good quality and painted an appropriate colour to harmonise with the surrounding built form and riverine character of the zone.
- 2 All river structures constructed to withstand floodwaters, increased river flow rates and collision impact through day-to day use and located where they do not cause a hazard to safe navigation or create unsafe conditions.

### Moorings for vessels with overnight accommodation

- 3 All moorings for vessels should be provided with a connection point to the main sewer and moored vessels should be connected to the mains sewer system.
- 4 Adequate provision should be made for securing moored vessels during periods of high flood waters.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

#### 4.1 Method for securing moored vessels.



- 5 Adequate on-site car parking provisions for commercial moorings in accordance with Standards in [Table MiMu/1](#).

### River Structures

- 6 All River Structures should be consequential on authorised use of land.

### Built Form and Design

- 7 Fencing should be of post and wire construction.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

#### 7.1 Fences

*Fences, where necessary, should be of post and wire and should not be more than 1.0 metres high.*

## Buildings and Structures

- 8 Dwellings should not exceed one storey in height (3.0 metres), excluding the elevation to minimise the potential for personal or property damage as a result of a flood.
- 9 Development should display a built form consistent with the Desired Character so to provide visual interest through building elements which include wide verandahs, balconies, integrated roof designs and pitches and building materials and finishes which complement each other and the riverine character of the locality.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

### 9.1 Scale

- *Articulation of plan and roof forms should be used to ensure that buildings are not bulky and massive;*
- *There is no upper limit to the size of a dwelling but modules should be around 100 square metres in size.*

## Flood Protection and Health

- 10 Replacement or new dwellings requires:

- (a) waste water disposal to the mains sewer;
- (b) elevation of the dwelling's living areas above the 1956 flood level, but to a maximum underfloor clearance of no greater than 3.0 metres above existing ground level.

*Advisory Note: Maximum underfloor clearance above existing ground level measured at the lowest height of the clearance between ground level and the underside of the floor. Ground level is natural level prior to any site cut and fill.*

- 11 Underneath areas of elevated dwellings:

- (a) should not be used for living purposes;
- (b) may be used for storage purposes, or for a toilet, or a shower, or laundry facilities; and
- (c) may be enclosed using roller doors, removable panels, or other material which can easily be removed during times of flood.

## Land Division

- 12 Land division should not result in additional allotments or new allotments with a frontage to Floodplain Policy Area 8 unless the new allotment or additional allotment is for a recreation area or essential public or community facility under the care, control and management of the Crown or the council.

## MANNUM NEIGHBOURHOOD CENTRE ZONE

The objectives and principles of development control that follow apply to the Neighbourhood Centre Zone shown on [Maps MiMu/60](#) and [Map MiMu/1 \(Overlay 1\) Enlargement B](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** A centre providing a range of facilities to meet the shopping, community, business, and recreational needs of the surrounding area.
- Objective 2:** A centre that provides the main focus of business and community life outside the Mannum main street (Town Centre Zone) and provides for the more frequent and regularly recurring needs of a community.
- Objective 3:** A centre with a total gross leasable retail area between 3500 and 5000 square metres.
- Objective 4:** A zone that is developed in a manner to minimise the impact on the adjoining residential zone in terms of appearance, traffic generation, noise, lighting and waste generation.
- Objective 5:** Development that contributes to the desired character of the zone.

### DESIRED CHARACTER

The Mannum Neighbourhood Centre Zone incorporates Mannum's community complex, including a kindergarten, a high school, council offices and emergency service facility.

The zone will act as the major focus for community, educational, cultural, civic and public administration activities within Mannum and the surrounding district. The zone will also provide a complementary role to the Mannum town centre (Town Centre Zone) by providing convenient access to retail facilities that can not be readily accommodated in the main street due to car parking and site constraints.

New development will address the Adelaide-Mannum Road as its primary frontage and be of a scale and design which complements the existing buildings and facilities within the zone and the adjacent residential area. Articulation of buildings, architectural detailing and incorporation of landscaping will be used to break-up the mass and dominance of buildings and to create attractive street frontages to the Adelaide-Mannum Road and Male Road.

The design and layout of buildings and facilities will promote walking and cycling within the zone and connect to existing pedestrian and cycling networks. Strong pedestrian and visual linkages will be developed between Policy Area 1 (Retail Core Area) and Policy Area 2 (Community Area).

Landscaping will create an attractive setting and incorporate seating, parking and visitor information consistent with the zone's community use and public function.

Tree planting will occur along the Adelaide-Mannum Road and adjacent to the Residential Zone to enhance the visual appearance of the zone.

### Land Use

The following forms of development are **acceptable** in the Mannum Neighbourhood Centre Zone:

- child care facility
- children's playground
- civic and public administration facilities
- community centre
- consulting room
- educational establishment
- emergency services facility
- library

- health centre
- indoor recreation centre
- office
- place of worship
- playing field
- pre-school
- primary school
- recreation area
- restaurant
- shop
- supermarket

## PRINCIPLES OF DEVELOPMENT CONTROL

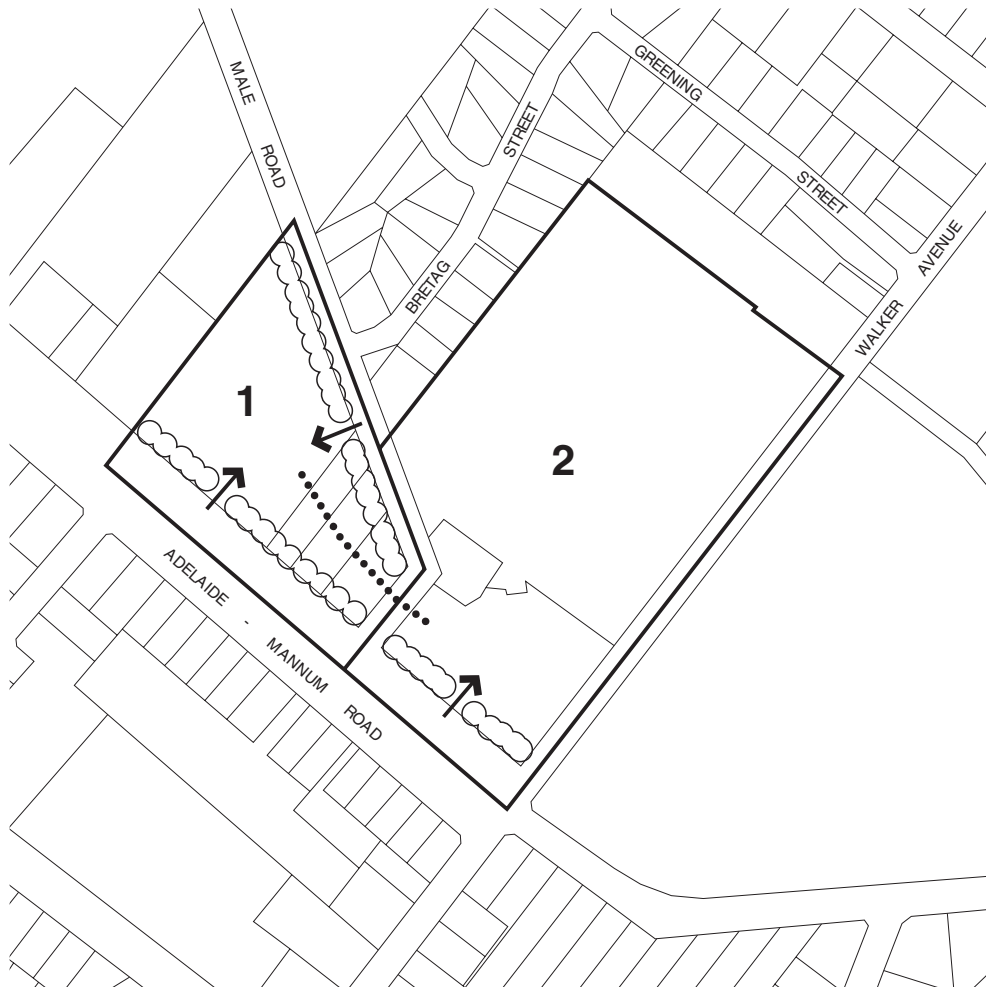
- 1 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.

### Form and Character

- 2 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.
- 3 Development should be undertaken in accordance with [Fig MNCe/1](#).
- 4 Development in Policy Area 1 (Retail Core Area) identified in [Fig MNCe/1](#) should:
  - (a) accommodate a supermarket;
  - (b) accommodate a variety store;
  - (c) ensure that small scale service and convenience retailing<sup>17</sup> will provide no more than 20 percent of the total floor space of any retail development; and
  - (d) accommodate small scale offices and consulting rooms.
- 5 The development of a supermarket should be located towards the western point of the Policy Area 1 (Retail Core Area) to ensure alignment with the most appropriate location for major access points, with lower traffic generating retail, such as retail showrooms or bulky goods being located towards the eastern portion of Policy Area 1 (Retail Core Area.)
- 6 Development in Policy Area 2 (Community Area) identified in [Fig MNCe/1](#) should accommodate educational, community, recreational and civic facilities.
- 7 Shops in the zone should be located within Policy Area 1 (Retail Core Area) identified in [Fig MNCe/1](#) and provide mainly convenience goods to service the day-to day needs of the neighbourhood, but may include a limited range of more frequently required comparison goods.
- 8 Development should be of a high standard of design with regard to form, scale, external materials, colours, siting, landscaping and layout, with emphasis on the creation of safe pedestrian areas.
- 9 Development should be sited and designed so as to not unreasonably impact upon sensitive uses<sup>18</sup> in the adjoining Residential Zone and within the Neighbourhood Centre Zone itself. In particular, entertainment venues, air conditioners and other plant, loading bays and waste storage/collection areas should be sited and/or designed to avoid any unreasonable impacts on residents from noise, light spill or odour.

<sup>17</sup> Small scale service and convenience retailing being shops of a gross leaseable area of less than 250 square metres per shop.

<sup>18</sup> Sensitive uses include dwellings, child care centre, community centre, consulting room, educational establishment, health centre, office, pre-school and primary school.



- Boundary of areas affected by the concept plan
- 1** Retail Core Area
- 2** Community Area
- ← Primary Vehicle access
- ..... Pedestrian Access
- ☁ Landscaping



Scale 1:5000  
 0 metres 50 100 150 200 250

**THE MID MURRAY COUNCIL  
 MANNUM  
 NEIGHBOURHOOD CENTRE  
 CONCEPT PLAN  
 FIGURE MNCe/1  
 Consolidated - 25 February 2021**

- 10 Access to the Adelaide-Mannum Road and Male Road should be limited and consistent with [Fig MNCe/1](#). Additional access points onto Male Road will be considered where there is a need to separate service vehicle access points and movements.

### Car parking

- 11 Wherever possible, development should be designed and located so as to make use of shared car parking areas and access points, and incorporate walkways to ensure pedestrian safety.
- 12 Car parking layout and design should restrict opportunities for a direct through route between Adelaide-Mannum Road and Male Road.
- 13 Car parking provision should be undertaken in accordance with [Table MiMu/1](#). The car parking requirement may be reduced where there is an opportunity for shared use of car parks. The potential for shared use of car parks should be determined on the basis of likely hours of operation.

### Land Division

- 14 Land division in the Mannum Neighbourhood Centre Zone should not occur unless new allotments are of a size and configuration to ensure the objectives of the zone can be achieved.

### Landscaping

- 15 Development should incorporate open space and landscaping in order to:
- (a) complement built form and reduce the visual impact of larger buildings (eg taller and broader plantings against taller and bulkier building components);
  - (b) enhance the appearance of road frontages;
  - (c) screen service yards, loading areas and outdoor storage areas;
  - (d) minimise maintenance and watering requirements;
  - (e) enhance and define outdoor spaces, including car parking areas;
  - (f) provide shade and shelter;
  - (g) assist in climate control within buildings;
  - (h) maintain privacy;
  - (i) maximise stormwater re-use;
  - (j) complement existing native vegetation;
  - (k) contribute to the viability of ecosystems and species; and
  - (l) promote water and biodiversity conservation.
- 16 Landscaping and revegetation activities should give preference to the use of locally indigenous species.

### Water

- 17 Development and associated car parking areas should incorporate stormwater management techniques to prevent or minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria and litter to the stormwater system, and encourage the on-site detention and utilisation of stormwater.

- 18 Development should incorporate water sensitive design techniques to assist in the sustainable use of water.
- 19 Development, including land division, should not occur on Allotment 887 Filed Plan 209263 in the Area named Mannum, Hundred of Finniss unless:
- (a) remediation of the site is undertaken to a standard that makes it suitable and safe for the proposed use; or
  - (b) the site will be maintained in a condition or the development will be undertaken in a manner that will not pose a threat to the health and safety of the environment or to occupiers of the site or land in the locality.

### **Non-complying Development**

- 20 The following forms of development are **non-complying** in the Mannum Neighbourhood Centre Zone:

Dwelling  
Fuel depot  
Horticulture  
Hotel  
Industry  
Intensive animal keeping  
Major public service depot  
Motel  
Motor repair station, except an addition to an existing use  
Multiple dwelling  
Nursing home  
Prescribed mining operations  
Residential flat building  
Road transport terminal  
Row dwelling  
Service trade premises  
Stock sales yard  
Stock slaughter works  
Store  
Timber yard  
Warehouse  
Waste reception, storage, treatment or disposal  
Wrecking yard

## COMMERCIAL ZONE

### Introduction

The objectives and principles of development control that follow apply to the Commercial Zone shown on [Maps MiMu/60 and 61](#) and [Map MiMu/1 \(Overlay 1\) Enlargement B](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** A zone primarily accommodating wholesaling, storage, warehouse, public, and commercial depot activities.
- Objective 2:** Land within the zone enhanced and screened from public view by landscaping.
- Objective 3:** Development that minimises any adverse impacts upon the amenity of the locality within the zone.
- Objective 4:** Development that contributes to the desired character of the zone.

### DESIRED CHARACTER

Land designated for commercial use in proximity to the centre of Mannum is partially developed with various commercial activities, such as petrol filling stations, storage sheds, motor repair stations, water filtration plant and machinery yards. The secondary arterial road from Adelaide intersects the major area of the zone, emphasising the importance of upgrading the appearance of commercial development open to view from that road.

The zone is the focus for commercial activity and uses which support economic development. It constitutes one of the prime traffic and visitor entrances to Mannum and thus, while development will be strongly encouraged, it should be designed to create attractive edges to Adelaide Road and Male Road. This will be achieved essentially through the use of on-site edge landscaping and, where appropriate, fencing, using new materials, particularly to conceal or break up the visual appearance of areas of hard surfaces, vehicle parking and open storage of equipment. This should be complemented by a program of tree planting along Adelaide Road.

The articulation of buildings and use of architectural detailing is important along street edges. Such techniques should be used to break-up the mass and dominance of buildings. A variety of advertising is anticipated in the zone, but the extent, style and amount of advertising and signage should not dominate the visual appearance of the zone.

Where practicable new development adjacent Adelaide Road and Male Road should be accessed by a service road which should be designed to provide access to adjacent commercial properties.

Landscaped buffers should be provided to adjacent residential areas, particularly along Male Road and Adelaide Road, and to the residential areas located along Elizabeth Street, Wanke Road, Walker Avenue and Berryman Avenue.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Land Use

- 1 The following forms of development are acceptable in the Commercial Zone:

- Builder's yard
- Motor repair station
- Motor vehicle related business other than wrecking yard or a crash repair business
- Office
- Petrol filling station
- Public service depot
- Retail showroom



Service industry  
 Service trade premises  
 Store  
 Warehouse

- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Retail development in the zone should not hinder the development or function of any centre zone.

#### **Form and Character**

- 4 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.
- 5 Development that adjoins, or is separated by a road from residential areas should be screened by a landscape buffer and or fencing.
- 6 Buildings should be set back in accordance with the following criteria (subject to adequate provision of car parking spaces and minimum 3 metres landscaping between buildings and the road):
  - (a) buildings up to a height of 6 metres should be sited at least 8 metres from the primary street alignment;
  - (b) buildings exceeding a height of 6 metres should be sited at least 10 metres from the primary street alignment; and
  - (c) where an allotment has two street frontages, no building should be erected within 3 metres of the secondary street alignment.
- 7 Buildings should:
  - (a) not occupy more than 50 percent of the total area of the site upon which they are located; and
  - (b) be located to allow vehicular access to the rear of the site adjacent to one side boundary of the site.
- 8 Development should provide:
  - (a) on-site car parking in accordance with [Table MiMu/1](#), that is surfaced with suitable impervious hard pavement;
  - (b) loading and unloading areas and on-site manoeuvring areas that enable commercial vehicles to enter and exit the site in a forward direction;
  - (c) on-site car parking for commercial vehicles that meets the requirements of AS2890.2 – 2002; and
  - (d) storage areas that are located at the rear of sites and screened from public view.
- 9 Development causing unreasonable spill-over of light and generations of noise into adjacent living areas or tourist accommodation should be avoided.
- 10 Access to off-street car parking areas should, where possible, be shared by adjoining development.
- 11 The erection of advertising signs and hoardings should not be undertaken unless they are associated with the business being carried on the allotment on which they are placed.

## Land Division

- 12** Land division should create allotments that vary in size and are suitable for a variety of commercial activities and should have:
- (a) an area of not less than 1500 square metres;
  - (b) an average width of at least 20 metres; and
  - (c) a minimum frontage of 25 metres.
- 13** Allotments created through community title land division may have lesser areas than specified in Principle of Development Control 12, where common allotments provide adequate area for landscaping, access, manoeuvring and car parking.

## PROCEDURAL MATTERS

### Complying Development

- 14** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

- 15** The following forms of development (including building work, a change in the use of land, or division of an allotment) are **non-complying** in the Commercial Zone:

Commercial forestry  
 Community centre  
 Dairy  
 Dwelling  
 Educational establishment  
 Farm building  
 Farming  
 General industry  
 Horse keeping  
 Horticulture  
 Hostel  
 Intensive animal keeping  
 Nursing home  
 Prescribed mining operations

Shop, except:

- (a) where it is ancillary to a commercial use and involves a gross leasable floor area of 50 square metres or less; and
- (b) a retail showroom

Special industry  
 Stadium  
 Stock sales yard  
 Stock slaughter works  
 Waste reception, storage, treatment, or disposal  
 Winery  
 Wrecking yard

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

**16** Category 1 forms of development are:

Advertisement and or advertisement hoarding (except where assigned Category 2)  
 Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary  
 Store  
 Warehouse

**17** Category 2 forms of development are:

Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Builder's yard  
 External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places  
 Indoor recreation centre  
 Light industry  
 Motor repair station  
 Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places  
 Petrol filling station  
 Public service depot  
 Retail showroom  
 Service industry

## LIGHT INDUSTRY ZONE

### Introduction

The objectives and principles of development control that follow apply to the Light Industry Zone shown on [Maps MiMu/60 and MiMu/1 \(Overlay 1\) Enlargement B](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

**Objective 1:** A zone accommodating a range of light industrial, storage and warehouse land uses.

**Objective 2:** Development that contributes to the desired character of the zone.

### DESIRED CHARACTER

The zone is located within the Mannum township and includes the land fronting Male Road.

Future development of the land should incorporate landscape buffers to the adjoining Residential Zones. Development should be limited to uses which will have minimal impact on adjoining residential and community land uses.

The vacant land located along Male Road is suitable for light and service industries, warehousing and stores. Industries which are likely to generate appreciable noise or other impacts should be located as far as possible from the Residential Zone, preferably in the south-western portion of the zone adjacent the commercial zone. Future development of this land should incorporate a dense landscaped buffer of native trees and shrubs along the Male Road frontage to provide a buffer to the residential area located to the east.

Development in the zone should not create conditions whereby traffic associated with the use including commercial vehicles, would be directed to residential streets.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Land Use

- 1 The following forms of development are envisaged in the Light Industry Zone:
  - light industry
  - service industry
  - store
  - warehouse.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Junk Yards and development either used for the storage of obsolete farm equipment, motor car bodies and other types of obsolete plant and materials should not be undertaken unless such developments are wholly contained within a building.
- 4 No residential development should occur in this zone.

#### Form and Character

- 5 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 6 Buildings should be set back in accordance with the following criteria (subject to adequate provision of car parking spaces and minimum 3 metres landscaping between buildings and the road):

- (a) buildings up to a height of 6 metres should be sited at least 8 metres from the primary street alignment;
- (b) buildings exceeding a height of 6 metres should be sited at least 10 metres from the primary street alignment; and
- (c) where an allotment has two street frontages, no building should be erected within 3 metres of the secondary street alignment.

**7 Buildings should:**

- (a) not occupy more than 50 percent of the total area of the site upon which they are located; and
- (b) be located to allow vehicular access to the rear of the site adjacent to one side boundary of the site.

**8 The number of access points to Male Road should be minimised with internal access achieved through an integrated internal road system.**

**9 Development should provide:**

- (a) on-site car parking in accordance with [Table MiMu/1](#), that is surfaced with suitable impervious hard pavement;
- (b) loading and unloading areas and on-site manoeuvring areas that enable commercial vehicles to enter and exit the site in a forward direction;
- (c) on-site car parking for commercial vehicles that meets the requirements of AS2890.2 – 2002; and
- (d) storage areas that are located at the rear of sites and screened from public view.

**Interface with Adjoining Zones**

**10 The design, siting and operation of industrial development should be cognisant of the adjoining residential areas and be designed and sited to reduce potential impacts on the amenity of adjoining areas.**

**11 Development should not be undertaken unless the visual impact of any buildings and areas of external storage, is screened from adjoining residential areas and public roads by extensive landscaping.**

**12 Where development abuts a Residential Zone, the design and siting of such development should protect or enhance residential amenity. This may be achieved by measures such as careful location of access points and the siting of outdoor activities, and appropriate buffer treatments such as landscaping, walls or other noise-shielding techniques.**

**13 Development along Male Road should incorporate an 8 metre wide landscape buffer along the Male Road frontage to provide a buffer to the Residential Zone to the north-east.**

**14 Development should be located where traffic generated by such development does not intrude into adjacent residential streets.**

**15 Building facades facing land zoned for residential purposes should not contain openings or entrance ways that would result in the transmission of noise that would adversely affect the residential amenity.**

**16 Development likely to create significant impacts on adjoining residential areas due to creation of smoke, smell, fumes, gases, noise, waste water or other emissions should not be undertaken.**

**17 External finishes of buildings and structures should be uniform in colour and detail, and of a high architectural standard.**

- 18** Security fences should be set-back from the street alignment to provide a buffer area for the establishment of dense landscaping along the road frontage.
- 19** Any external plant and equipment (including a chimney stack or air-conditioning plant) should be sited as far as possible from adjoining non-industrially zoned allotments, and should be designed to minimise its effect on the amenity of the locality.
- 20** Advertisements and advertising hoardings should not include any of the following:
- (a) flashing or animated signs;
  - (b) bunting, streamers, flags, or wind vanes;
  - (c) roof-mounted advertisements projected above the roofline; or
  - (d) parapet-mounted advertisements projecting above the top of the parapet.

### Land Division

- 21** Land division likely to prejudice development for industrial purposes should not be undertaken.
- 22** Land division should ensure that sufficient land is reserved for the satisfactory disposal of stormwater.
- 23** Land division should create allotments that:
- (a) are of a size and shape suitable for the intended use;
  - (b) have an area of not less than 1200 square metres, unless intended for a specific purpose consistent with the zone provisions and for which a lesser site area requirement can be demonstrated; and
  - (c) have a frontage to a public road of at least 25 metres.

### PROCEDURAL MATTERS

#### Complying Development

- 24** Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

#### Non-complying Development

- 25** Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

Amusement machine centre  
 Commercial forestry  
 Community centre  
 Consulting room  
 Dairy  
 Dwelling  
 Educational establishment, except where it is ancillary to and in association with a use envisaged in PDC1 and located on the same allotment.  
 General Industry  
 Horticulture  
 Hospital  
 Hotel  
 Intensive animal keeping  
 Motel  
 Nursing home  
 Office, except where it is ancillary to and in association with industrial development and located on the same allotment.

Pre-school  
Place of worship  
Restaurant  
Shop or group of shops, except where the gross leasable area is less than 50 square metres and ancillary to an industrial development located on the same allotment.  
Special industry  
Stock sales yard  
Stock slaughter works  
Stadium  
Tourist accommodation  
Waste reception, storage, treatment or disposal (other than in the form of a recycling collection depot) except a waste transfer station.  
Wrecking yard

### **Categories of Public Notification**

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

**26** Category 1 forms of development are:

Light industry  
Motor repair station  
Service industry  
Store  
Warehouse

**27** Category 2 forms of development are:

Builder's yard  
Petrol filling station  
Public service depot  
Service trade premises

## INDUSTRY ZONE

### Introduction

The objectives and principles of development control that follow apply to the Industry Zone shown on [Maps MiMu/14, 36, 37, 43, 53, 55 and 60](#) and [Map MiMu/1 \(Overlay 1\) Enlargements B, E, G, H and L](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** A zone primarily accommodating a wide range of light industrial, warehouse, storage and transport land uses, together with a restricted range of commercial uses.
- Objective 2:** Development that contributes to the desired character of the zone.
- Objective 3:** Industries within the zone should be located in a manner that ensures compatibility between uses with smaller, less impacting activities located adjacent to residential areas.

### DESIRED CHARACTER

The zone is located within the Mannum township and adjacent to Morgan, Truro and Blanchetown townships.

Within Mannum township the zone includes the land containing the Horwood Bagshaw factory adjacent to Adelaide Road, and vacant land located between Ramm Road and the Mannum to Adelaide pipeline.

Future development of the Horwood Bagshaw land (located along the Adelaide- Mannum Road and east of Walker Avenue) should incorporate landscape buffers to the adjoining Residential Zone and Policy Area 29 and Mannum Neighbourhood Centre Zone. Development should have minimal impact on adjoining residential and community land uses.

The vacant land located between Ramm Road and Adelaide Road is suitable for light and service industries, builder's yards, warehousing and stores. Industries which are likely to generate appreciable noise or other impacts should be located as far as possible from the Residential Zone, preferably in the north of that portion of the zone adjacent the north-west boundary of the township between Ramm Road and the pipeline. Future development of this land should incorporate a dense landscaped buffer of native trees and shrubs to the residential area located to the south and along the Ramm Road frontage.

The zone at Morgan incorporates an area of approximately 22 hectares and 12 allotments. The area contains limited development, however existing development includes the Council depot, an industry and two dwellings. The land provides an opportunity to consolidate industry, storage, warehousing and associated uses into one defined locality; and provide appropriate infrastructure. The majority of the existing allotments are greater than 2 hectares in area, providing scope for the orderly and economic development of an attractive industrial park in stages over time in response to demand. This zone is the only area specifically allocated for industrial and associated uses in the northern portion of the Council area.

The zone at Truro incorporates an area of approximately 10 hectares. Development within this area is limited to the Council depot, CFS station and a dwelling. The land provides an opportunity to consolidate industry, storage, warehousing and associated uses into one defined locality; and provide appropriate infrastructure. The zone provides for the development of an attractive industrial park integrating development with the appropriate treatment of the watercourse. This zone is the only area specifically allocated for industrial and associated uses in the western portion of the Council area.



The zone at Blanchetown is approximately 8 hectares in area. Development within this area is limited to a police station and CFS/SES facilities. The land provides an opportunity to establish industrial, transport, storage and warehousing uses with convenient access to the Sturt Highway via existing road infrastructure. Vehicle access to the zone should be limited to the Morgan – Blanchetown Road. This zone is the only area specifically allocated for industrial, transport and associated uses in the central eastern portion of the Council area.

Development in the zone should not create conditions whereby traffic associated with the use including commercial vehicles, would be directed to residential streets. Residential development is not appropriate in this zone.

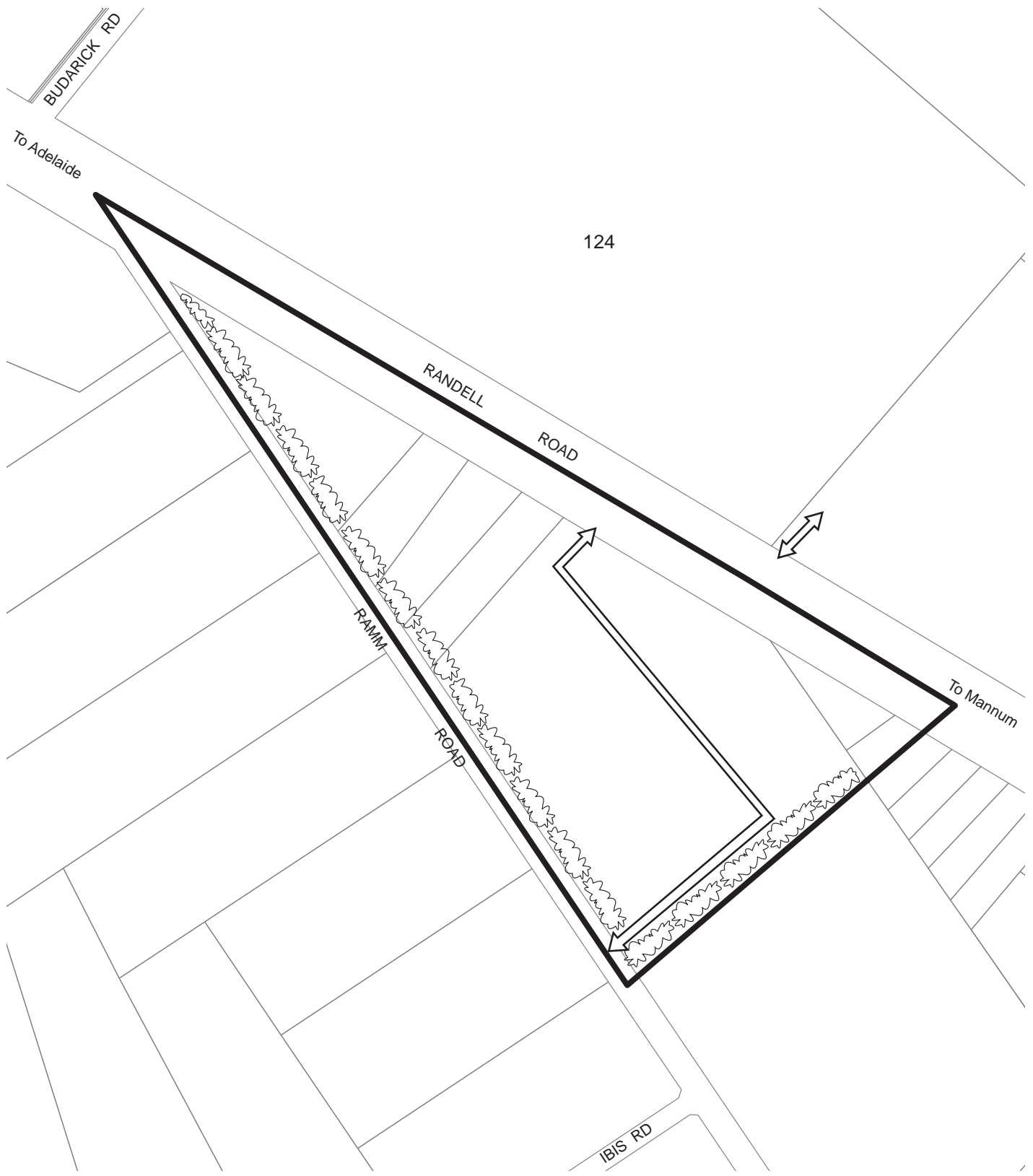
## PRINCIPLES OF DEVELOPMENT CONTROL




### Land Use

- 1 The following forms of development are envisaged in the Industry Zone:
  - builder's yard
  - fuel depot
  - light industry
  - motor repair station
  - petrol filling station
  - public service depot
  - service industry
  - service trade premises
  - store
  - transport distribution
  - warehouse.
- 2 Development listed as non-complying is generally inappropriate.
- 3 Junk Yards and development either used for the storage of obsolete farm equipment, motor car bodies and other types of obsolete plant and materials should not be undertaken unless such developments are wholly contained within a building.
- 4 No residential development should occur in this zone.
- 5 Development within the Zone:
  - (a) at Mannum should be consistent with [Figure In/1](#);
  - (b) at Blanchetown should be consistent with [Figure In/2](#);
  - (c) at Morgan should be consistent with [Figure In/3](#); and
  - (d) at Truro should be consistent with [Fig In/4](#).

### Form and Character

- 6 Development should not be undertaken unless it is consistent with the Desired Character for the zone.
- 7 Buildings should be set back in accordance with the following criteria (subject to adequate provision of car parking spaces and minimum 3 metres landscaping between buildings and the road):
  - (a) buildings up to a height of 6 metres should be sited at least 8 metres from the primary street alignment
  - (b) buildings exceeding a height of 6 metres should be sited at least 10 metres from the primary street alignment

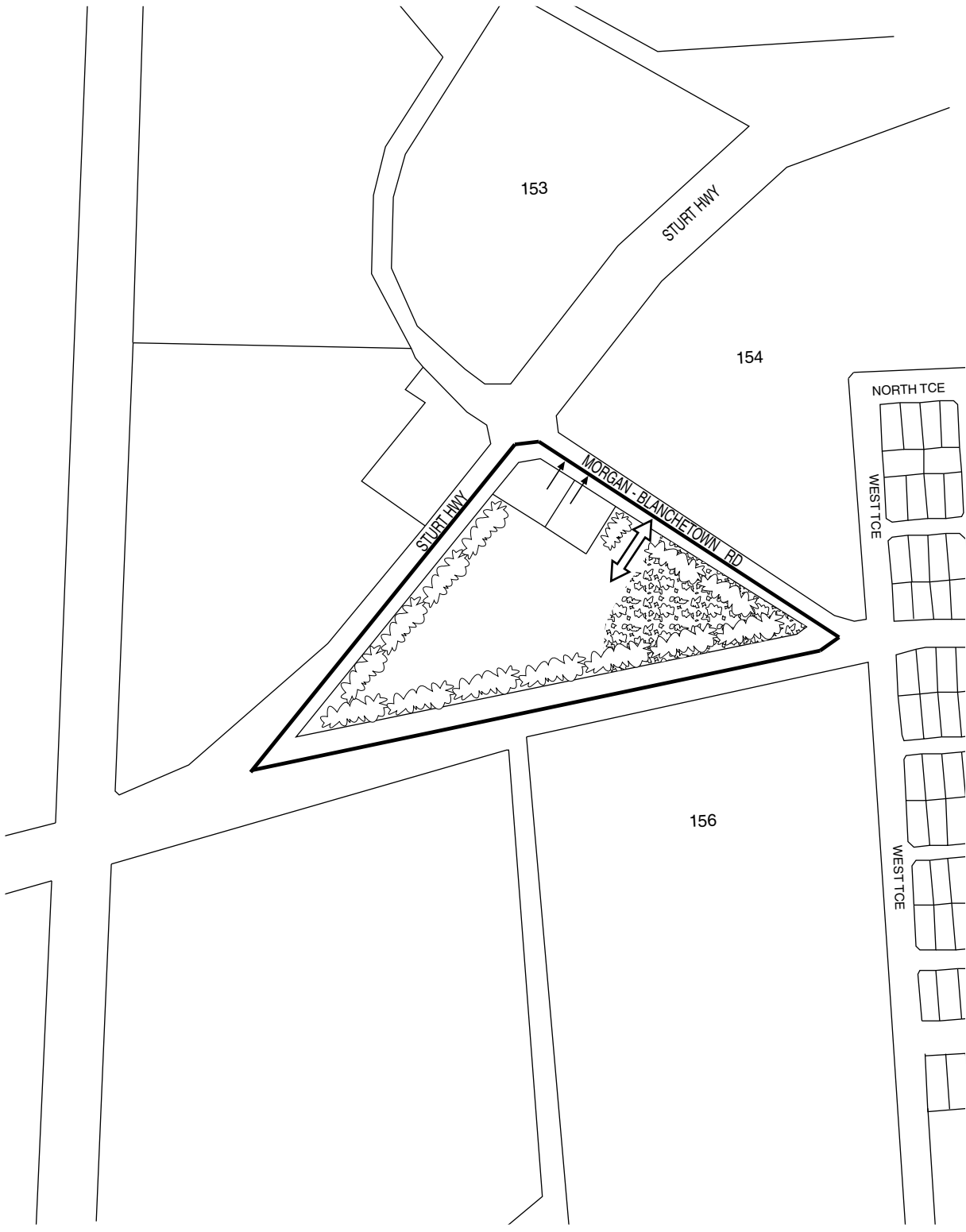







-  Proposed Access
-  Landscape Buffer
-  Concept Plan Boundary

**THE MID MURRAY COUNCIL  
INDUSTRY ZONE  
CONCEPT PLAN**

**Fig In/1**

Consolidated - 25 February 2021







-  Vegetation
-  Proposed access
-  Landscape buffer
-  Zone boundary
-  Existing access



**THE MID MURRAY COUNCIL  
INDUSTRY ZONE  
CONCEPT PLAN**

**Fig In/2**



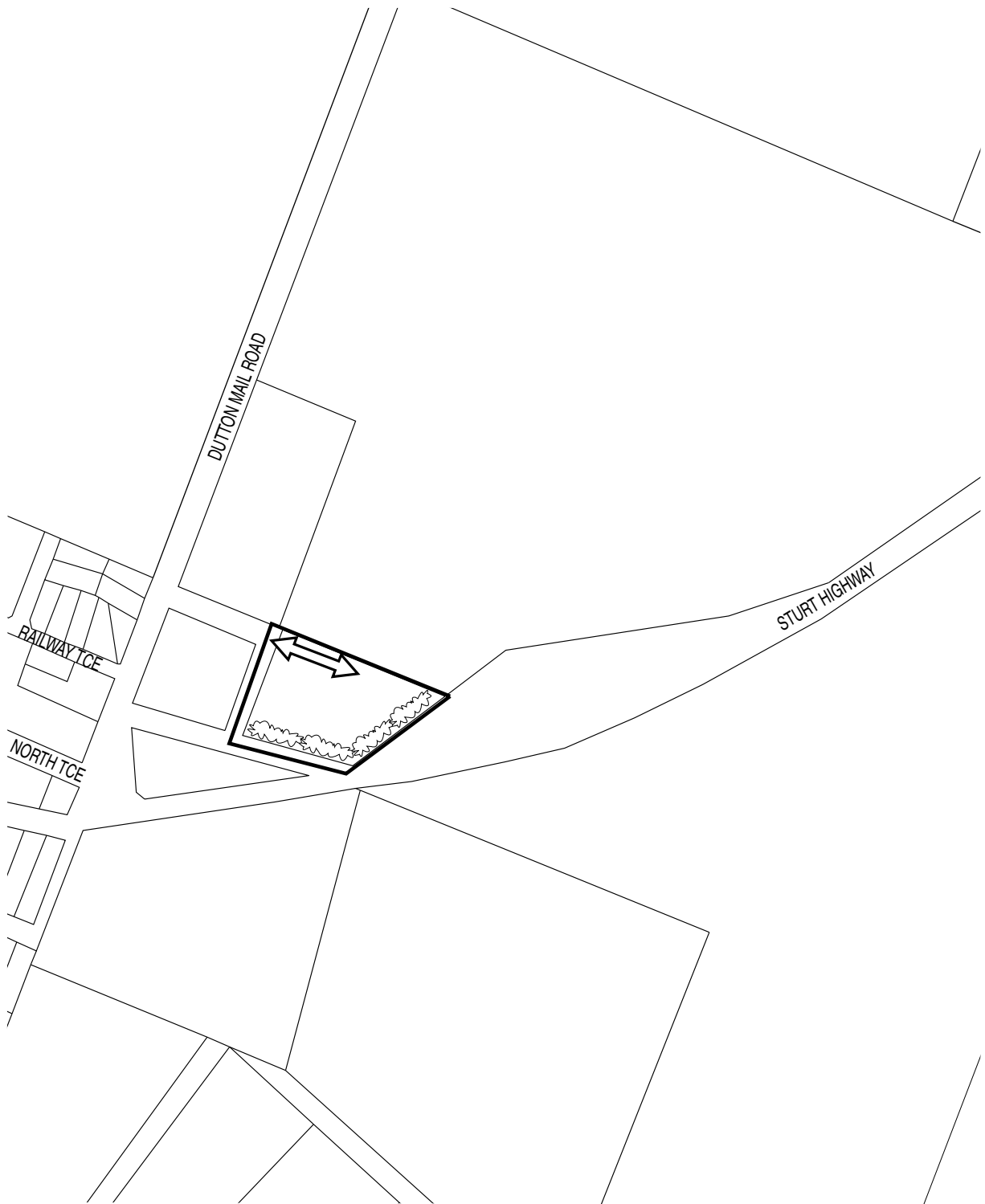
-  Proposed access
-  Landscape buffer
-  Zone boundary
-  Existing access






**THE MID MURRAY COUNCIL  
INDUSTRY ZONE  
CONCEPT PLAN**

**Fig In/3**

Consolidated - 23 February 2021



-  Proposed access
-  Landscape buffer
-  Zone boundary



**THE MID MURRAY COUNCIL  
INDUSTRY ZONE  
CONCEPT PLAN  
Fig In/4**  
Consolidated - 25 February 2021

- (c) where an allotment has two street frontages, no building should be erected within 3 metres of the secondary street alignment.
- 8** Buildings should:
- (a) not occupy more than 50 percent of the total area of the site upon which they are located.
  - (b) be located to allow vehicular access to the rear of the site adjacent to one side boundary of the site.
- 9** The number of access points to Adelaide Road should be limited to that shown on [Fig In/1](#) with internal access achieved through an integrated internal road system.
- 10** There should be no direct access to the Sturt Highway from allotments or new roads at Truro or Blanchetown.
- 11** There should be no direct access to the Burra-Morgan Road from allotments or new roads at Morgan.
- 12** Development should provide:
- (a) on-site car parking in accordance with [Table MiMu/1](#), that is surfaced with suitable impervious hard pavement.
  - (b) loading and unloading areas and on-site manoeuvring areas that enable commercial vehicles to enter and exit the site in a forward direction.
  - (c) on-site car parking for commercial vehicles that meets the requirements of AS2890.2 – 2002.
  - (d) storage areas that are located at the rear of sites and screened from public view.

### **Interface with Adjoining Zones**

- 13** The design, siting and operation of industrial development should be cognisant of the adjoining residential and rural living areas and be designed and sited to reduce potential impacts on the amenity of adjoining areas.
- 14** Development should not be undertaken unless the visual impact of any buildings and areas of external storage, is screened from adjoining residential areas and public roads by extensive landscaping.
- 15** Development of the industrial land along Ramm Road, Mannum should incorporate a 15 metre wide landscape buffer, adjacent to the adjoining Residential Zone to the south.
- 16** Development of the industrial land along Ramm Road should incorporate an 8 metre wide landscape buffer along the Ramm Road frontage to provide a buffer to the Rural Living Zone on the opposite side of Ramm Road.
- 17** Development of the industrial land at Blanchetown should incorporate an 8 metre wide landscape buffer along all external perimeter boundaries.
- 18** Development should be located where traffic generated by such development does not intrude into adjacent residential streets.
- 19** Building facades facing land zoned for residential purposes should not contain openings or entrance ways that would result in the transmission of noise that would adversely affect the residential amenity.
- 20** Development likely to create significant impacts on adjoining residential areas due to creation of smoke, smell, fumes, gases, noise, waste water or other emissions should not be undertaken.

- 21 External finishes of buildings and structures should be uniform in colour and detail, and of a high architectural standard.
- 22 Security fences should be set-back from the street alignment to provide a buffer area for the establishment of dense landscaping along the road frontage.
- 23 Any external plant and equipment (including a chimney stack or air-conditioning plant) should be sited as far as possible from adjoining non-industrially zoned allotments, and should be designed to minimise its effect on the amenity of the locality.
- 24 Advertisements and advertising hoardings should not include any of the following:
  - (a) flashing or animated signs
  - (b) bunting, streamers, flags, or wind vanes
  - (c) roof-mounted advertisements projected above the roofline
  - (d) parapet-mounted advertisements projecting above the top of the parapet.

### Land Division

- 25 Land division likely to prejudice development for industrial, transport, storage and warehouse purposes should not be undertaken.
- 26 Land division should ensure that sufficient land is reserved for the satisfactory disposal of stormwater.
- 27 In Mannum, land division should create allotments that:
  - (a) are of a size and shape suitable for the intended use;
  - (b) have an area of not less than 1200 square metres, unless intended for a specific purpose consistent with the zone provisions and for which a lesser site area requirement can be demonstrated; and
  - (c) have a frontage to a public road of at least 25 metres.
- 28 In Morgan and Truro, unless reticulated water and a common wastewater disposal scheme can be provided land division should create allotments that:
  - (a) have an area not less than one hectare; and
  - (b) do not prejudice future land division when suitable infrastructure is available.
- 29 In Blanchetown, unless reticulated water and a common wastewater disposal scheme can be provided land division should create allotments that:
  - (a) have an area not less than 5000 square metres; and
  - (b) do not prejudice future land division when suitable infrastructure is available.
- 30 In Morgan, Truro and Blanchetown, if reticulated water supply and a common wastewater disposal scheme are available to service each allotment, land division should create allotments that:
  - (a) are of a size and shape suitable for the intended use;
  - (b) have an area of not less than 1500 square metres, unless intended for a specific purpose consistent with the zone provisions and for which a lesser site area requirement can be demonstrated; and
  - (c) have a frontage to a public road of at least 30 metres.

## PROCEDURAL MATTERS

### Complying Development

31 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

32 Development (including building work, a change in the use of land, or division of an allotment) for the following is **non-complying**:

- Amusement machine centre
- Commercial forestry
- Community centre
- Consulting room
- Dwelling
- Educational establishment, except where it is ancillary to and in association with a use envisaged in PDC1 and located on the same allotment
- Horticulture
- Hospital
- Hotel
- Intensive animal keeping
- Motel
- Nursing home
- Office, except where it is ancillary to and in association with industrial development and located on the same allotment
- Pre-school
- Place of worship
- Shop, except where the gross leasable area is less than 50 square metres and ancillary to an industrial development located on the same allotment
- Stadium
- Tourist accommodation

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

33 Category 1 forms of development are:

- Builder's yard
- Light industry
- Motor repair station
- Public service depot
- Service industry
- Store
- Warehouse

34 Category 2 forms of development are:

- Fuel depot
- General industry in Morgan and Blanchetown
- Petrol filling station
- Road transport depot at Blanchetown
- Service trade premises
- Transport distribution



## TRANSPORT INDUSTRY ZONE

### Introduction

The objectives and principles of development control that follow apply to the Transport Industry Zone shown on [Map MiMu/36 and Map MiMu \(Overlay 1\) Enlargement B](#). They are additional to those expressed for the whole of the council area.

### OBJECTIVES

- Objective 1:** A zone accommodating a mix of transport related services and industry and larger scale industry.
- Objective 2:** Development that minimises any adverse impacts upon the amenity of the locality.
- Objective 3:** Development that contributes to the desired character of the zone.

### DESIRED CHARACTER

A zone providing for attractive service facilities for persons travelling through the area (particularly drivers of heavy vehicle transport); road transport terminals; and larger scale industry that cannot be located within the Industry Zone within the Mannum Township.

The zone is located at the periphery of the Mannum Township, and is surrounded by rural and rural living zones. Future development should incorporate landscape buffers to the adjoining Rural and Rural Living Zones.

Activities associated with servicing transport should be located adjacent to the Murray Bridge – Mannum Road.

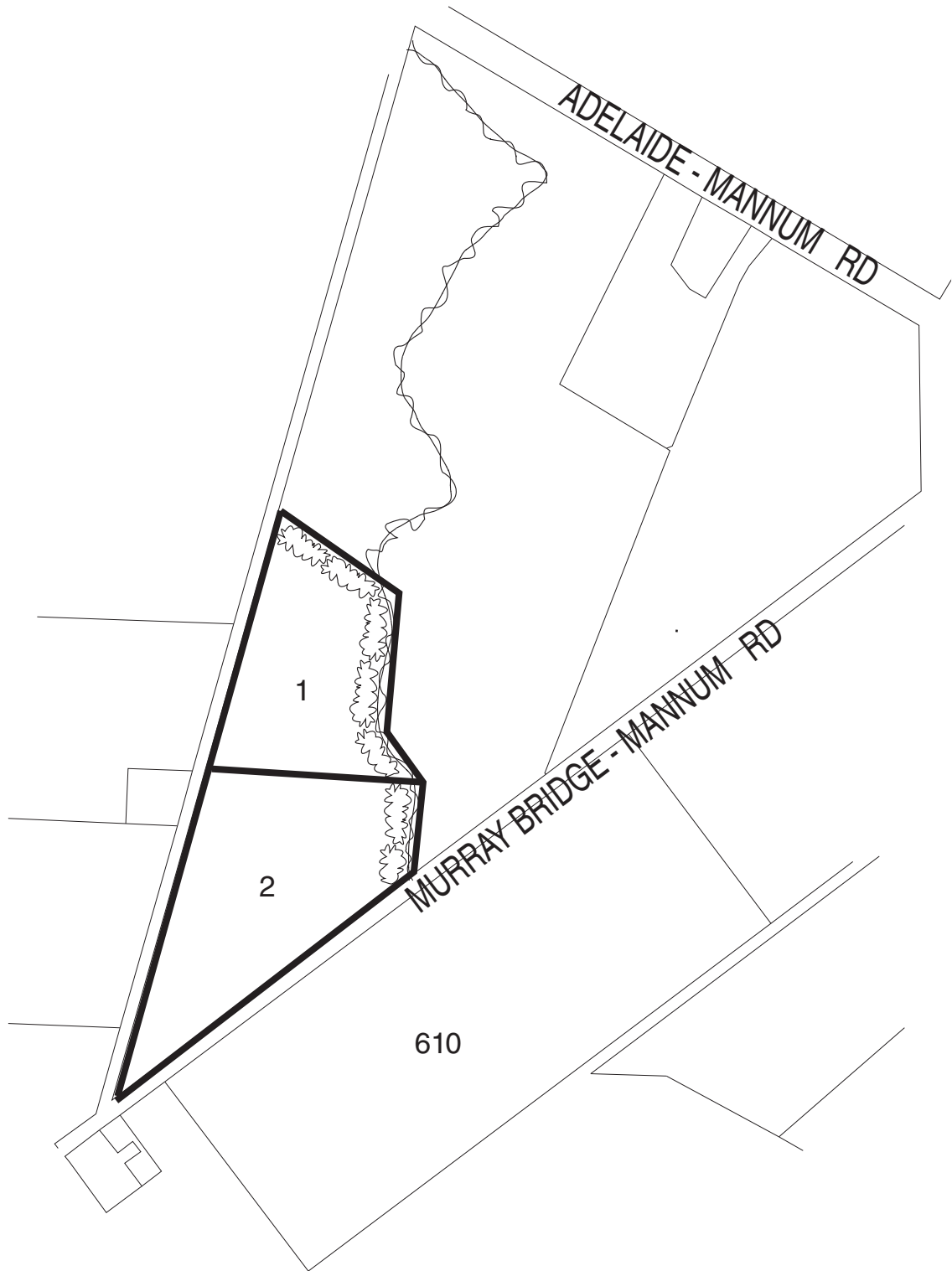
### PRINCIPLES OF DEVELOPMENT CONTROL

#### Land Use

- 1 The following forms of development are envisaged in the Transport Industry Zone:
  - petrol filling station including specific truck services such as large vehicle manoeuvring space and parking/rest areas, overnight accommodation and roadhouse
  - road transport terminal
  - industry (except special industry).
- 2 Development within the Zone should be consistent with [Figure TIn/1](#).
- 3 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 4 Junk Yards and development either used for the storage of obsolete farm equipment, motor car bodies and other types of obsolete plant and materials should not be undertaken unless such developments are adequately screened from public view.
- 5 No residential development should occur in this zone.

#### Form and Character

- 6 Development should not be undertaken unless it is consistent with the desired character of the zone.
- 7 Buildings should be set back in accordance with the following criteria (subject to adequate provision of car parking spaces and a minimum of a 4 metres wide landscaping area between the buildings and the road):



- 1 Primarily industrial activities
- 2 Primarily transport activities
-  Landscape Buffer
-  Watercourse

 Zone Boundary

# THE MID MURRAY COUNCIL TRANSPORT INDUSTRY ZONE CONCEPT PLAN Fig TIn/1

- (a) buildings up to a height of 6 metres should be sited at least 10 metres from the primary street alignment;
- (b) buildings exceeding a height of 6 metres should be sited at least 10 metres plus one metre for every metre above 6 metres from the primary street alignment; and
- (c) where an allotment has two street frontages, no building should be erected within 5 metres of the secondary street alignment.

**8 Buildings should:**

- (a) not occupy more than 50 percent of the total area of the site upon which they are located; and
- (b) be located to allow vehicular access to the rear of the site adjacent to one side boundary of the site.

**9 Access to the Murray Bridge – Mannum Road should be provided via Patrick Road with internal access achieved through an integrated internal road system.**

**10 Development should provide:**

- (a) on-site car parking in accordance with [Table MiMu/1](#), that is surfaced with suitable impervious hard pavement;
- (b) loading and unloading areas, that are surfaced with suitable impervious hard pavement and on-site manoeuvring areas that enable commercial vehicles to enter and exit the site in a forward direction;
- (c) on-site car parking for commercial vehicles that meets the requirements of AS2890.2 – 2002; and
- (d) storage areas that are located such that they are adequately screened from public view.

**11 Advertisements and advertising hoardings should not include any of the following:**

- (a) flashing or animated signs;
- (b) bunting, streamers, flags, or wind vanes;
- (c) roof-mounted advertisements projected above the roofline; and
- (d) parapet-mounted advertisements projecting above the top of the parapet.

**Interface with Adjoining Zones**

- 12** The design, siting and operation of development should be cognisant of the adjoining rural living areas and be designed to reduce potential impacts on the amenity of adjoining areas.
- 13** Development likely to create significant impacts on adjoining rural living areas due to creation of smoke, smell, fumes, gases, noise, waste water or other emissions should not be undertaken.
- 14** Industrial development should be setback a minimum of 50 metres to the 40 metre landscape buffer identified in [Figure Tln/1](#).

**Land Division**

- 15** Land division should create allotments that vary in size and are suitable for transport and industry related uses and should have:
  - (a) an area of not less than 3000 square metres; and
  - (b) an average width of at least 40 metres.

- 16 Land division should ensure that sufficient land is reserved for the satisfactory disposal of stormwater.

## PROCEDURAL MATTERS

### Complying Development

- 17 Complying developments are prescribed in Schedule 4 of the *Development Regulations 2008*.

### Non-complying Development

- 18 Development (including building work, a change in the use of land, or division of an allotment) for the following is non-complying:

- Community centre
- Consulting room
- Dwelling
- Educational establishment
- Health centre
- Horse keeping
- Horticulture
- Hospital
- Intensive animal keeping
- Land division except in accordance with PDC 15
- Nursing home
- Office, except where it is ancillary to and in association with industrial or transport related development and located on the same allotment
- Place of worship
- Pre-school
- Prescribed mining operations
- Primary school
- Residential flat building
- Shop or group of shops, except where the gross leasable area is less than 250 square metres
- Special industry
- Stock sales yard
- Stock slaughter works
- Welfare institution

### Categories of Public Notification

Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. Further, the following forms of development are designated:

- 19 Category 1 forms of development are:

- Builder's yard
- General industry
- Light industry
- Petrol filling station
- Public service depot
- Road transport depot
- Store
- Warehouse

- 20 Category 2 forms of development are:

- Fuel depot
- Motel
- Service industry
- Service trade premises
- Shop with gross floor area less than 250 square metres

## PUBLIC PURPOSES ZONE

### Introduction

The objectives and principles of development control that follow apply to the Public Purposes Zone shown on [Maps MiMu/60 and 62](#) and [Map MiMu/1 \(Overlay 1\) Enlargement B](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

**Objective 1:** Development of community, cultural, civic and public administration activities.

**Objective 2:** A high standard of design and landscaping and creation of interesting areas for pedestrian movement.

### DESIRED CHARACTER

This zone incorporates the kindergarten, high school, primary school, council offices, fire station and ambulance station, hospital and homes for the aged.

Buildings should be of a high architectural standard and of a scale and design which compliments the existing buildings and facilities.

Landscaping should create an attractive setting and incorporate seating, parking and visitor information consistent with the zone's community use and public function.

The following forms of development are **acceptable** in the Public Purposes Zone:

- car parking (shared where appropriate);
- children's playground;
- civic and public administration offices;
- community centre;
- education establishment;
- emergency services;
- indoor recreation and sporting facility;
- landscaping;
- library;
- passive recreation;
- pedestrian crossing;
- medical services;
- aged accommodation.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.
- 2 Wherever possible, development should be designed and located so as to make use of shared car parking areas and access points, and incorporate walkways to ensure pedestrian safety.
- 3 Development should be of a high standard of design with regard to form, scale, external materials, colours, siting, landscaping and layout, with emphasis on the creation of pedestrian areas.
- 4 Development should not be undertaken if it would inhibit or prejudice the integrated development of land within the zone for further community, institutional and recreation uses.

### Non-complying Development

- 5 The following forms of development are **unacceptable** and **non-complying** in the Public Purposes Zone:

Builder's yard  
 Dwelling unless associated with an educational institution or the adaptive re-use of a State or local heritage place  
 Fuel depot  
 Hotel  
 Industry  
 Intensive animal keeping  
 Motel  
 Motor repair station  
 Office (excluding one associated with a desired use)  
 Petrol filling station  
 Road transport terminal  
 Service trade premises  
 Shop  
 Store  
 Timber yard  
 Warehouse

### Categories of Public Notification

- 6 Forms of development which are **acceptable** for the Zone are assigned **Category 1** (except where non-complying) and further the following is designated **Category 1**

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary.

- 7 Forms of development which are neither **acceptable** or **non-complying** for the Zone are assigned **Category 2** and further the following is designated **Category 2**

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place that is described in [Table MiMu/7](#)  
 Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places  
 Public service depot.

## RECREATION ZONE

### Introduction

The objectives and principles of development control that follow apply to the Recreation Zone shown on [Map MiMu/62 and 130](#), and [Map MiMu/1 \(Overlay 1\) Enlargement B](#). They are additional to those expressed for the whole of the council area.

### OBJECTIVES

**Objective 1:** Land developed for active outdoor recreation use.

**Objective 2:** Buildings designed, constructed and sited to blend with the landscape.

### DESIRED CHARACTER

This zone, which incorporates the oval, showgrounds, cemetery and golf course, is intended to continue to be the major focus of outdoor recreation for Mannum and the surrounding district.

Extensive landscaping of the zone will serve to provide additional shade, define distinct activity areas and heighten visual interest. Landscaping should complement existing vegetation and be incorporated into car parking areas to provide shade. Tree planting should continue around the oval and showground buildings to screen them from view from public roads and enhance the visual appearance of the zone.

The following forms of development are **acceptable** in the Recreation Zone:

- car parking (shared when possible);
- cemetery;
- clubrooms associated with existing sport facilities;
- golf course;
- open space;
- outdoor sport and recreation;
- parklands;
- showgrounds.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.
- 2 The erection of buildings, and the establishment of car parking areas, should not be undertaken unless they are located adjacent to Douglas Street, west of the Hamilton Street intersection.
- 3 Development should be integrated with adjoining development to enable provision of shared car parking and access points.
- 4 Development should not require the removal of existing vegetation.

### Complying Development

- 5 Complying forms of development are:

Recreation Area

### Non-complying Development

- 6 The following forms of development are **unacceptable** and **non-complying** in the Recreation Zone:

Consulting room  
 Dwelling (excluding caretakers/managers residence)  
 Farm building  
 Horse keeping  
 Horticulture  
 Industry  
 Intensive animal keeping  
 Motor repair station  
 Office (excluding one associated with a Desired Use)  
 Petrol filling station  
 Retail showroom  
 Road transport terminal  
 Service trade premises  
 Shop or group of shops with a gross leasable area of greater than 150 square metres  
 Store (excluding one associated with a desired use)  
 Warehouse

### Categories of Public Notification

- 7 Forms of development which are **acceptable** for the Zone are assigned **Category 1** (except where non-complying) and further the following is designated **Category 1**

Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places

Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary.

- 8 Forms of development which are neither **acceptable** or **non-complying** for the Zone are assigned **Category 2** and further the following is designated **Category 2**

External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place that is described in [Table MiMu/7](#)

Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places.



## URBAN WATERFRONT (FLOODPLAIN) ZONE

### Introduction

The objectives and principles of development control that follow apply to the Urban Waterfront (Floodplain) Zone as shown on [Maps MiMu/61, 62 and 130](#), and [Map MiMu/1 \(Overlay 1\) Enlargement B](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** Development should be designed and sited in accordance with the level of hazard risk and complement the desirable characteristics of residential and community uses of land.
- Objective 2:** A zone which encourages public use and preserves the quality of the urban waterfront and river water.
- Objective 3:** Alteration of or addition to or replacement of buildings which improve the amenity of the area and assist environmental improvements.
- Objective 4:** River Structures limited in number to maximise the use of the water's edge for recreation activities and avoid conflict with river traffic.
- Objective 5:** Development of commercial moorings for vessels with overnight accommodation.
- Objective 6:** Buildings, or structures, or levee banks, or earth mounds which are not subject to damage or would impede flood waters.

### DESIRED CHARACTER

The zone comprises land which was affected by the 1956 flood, however all land in the zone is connected or able to be connected to mains sewer. The potential for pollution of the River Murray is therefore significantly reduced. However buildings will be subject to re-occurring flooding from time to time and buildings will need to be elevated. The zone has visitor appeal and the built form should reinforce the area's recreational and aesthetic value. For this reason, and due to the need to minimise the restriction of floodwaters, there should be not solid fencing established.

The zone is characterised by commercial marinas and public open space and community recreation and sport uses and in some cases residential development associated with commercial uses such as marinas and houseboat hire operations in the southern parts of the zone.

Land available for residential development is largely fully developed although replacement dwellings are anticipated from time to time. Land used for public purposes should be retained for this purpose.

The following forms of development are **acceptable** in the Urban Waterfront Zone:

- recreation uses such as a playground, bbq area, picnic shelter;
- public car park;
- essential public infrastructure including roads and residential infrastructure;
- river structures for boat mooring/boat ramp/swimming/pump stands;
- commercial moorings for vessels with overnight accommodation;
- caravan park, camp sites, bank house, hostel and guest house;
- water-based recreation;
- information for water traffic;
- ferry.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should not be undertaken unless it is consistent with the desired character and acceptable forms of development for the zone.

- 2 Development including land division where relevant, should:
- (a) be visually compatible with the area in which it is located;
  - (b) not adversely impact upon the ability to maintain the river frontage in a stable condition;
  - (c) avoid adverse impact on the environment by the appropriate location of vehicle access to the river;
  - (d) maximise waterfront reserve between buildings and the water;
  - (e) maintain existing public access routes to the waterfront reserves;
  - (f) be landscaped with local indigenous species which complement the residential and public function of the zone; and
  - (g) use new materials for external cladding of buildings or second-hand or re-used materials only when materials are of sound condition, good quality and painted an appropriate colour to harmonise with the surrounding built form and riverine character of the zone.
- 3 No new allotments should be created for residential purposes.
- 4 All development including river structures constructed to withstand floodwaters, increased river flow rates and collision impact through day-to-day use and located where they do not cause a hazard to safe navigation or create unsafe conditions.
- 5 All waste water should be disposed into the mains sewer.
- 6 Dwelling should be limited to those required as managers/caretakers residences and should be designed to take account of occasional flooding.
- 7 Residential outbuildings (garages or sheds) should:
- (a) not exceed 50 square metres in total floor area; and
  - (b) be fitted with roller doors, removable panels or similar on two ends or sides (whichever elevations face the direction of the river flow).

***Design Techniques*** (*Design Techniques illustrate ONE WAY of satisfying the associated principle of development control*)

#### *7.1 Garages, Sheds, Carports*

- *Carports may be attached to the side or rear of the dwelling*
  - *Carport roofs should be separate from the main roof to minimise building bulk*
  - *Outbuildings should be substantially smaller in plan, form height and scale than the dwelling*
  - *The maximum size of individual sheds or outbuildings is 50 square metres*
  - *Garages should have a pitch between 15° to 25°, a maximum roof span of 6 metres and a maximum wall height of 3.0 metres. Larger floor areas are best achieved by joining smaller sheds or by using lean-to additions.*
- 8 Residential outbuildings (garages or sheds) should only be constructed in association with an existing dwelling.

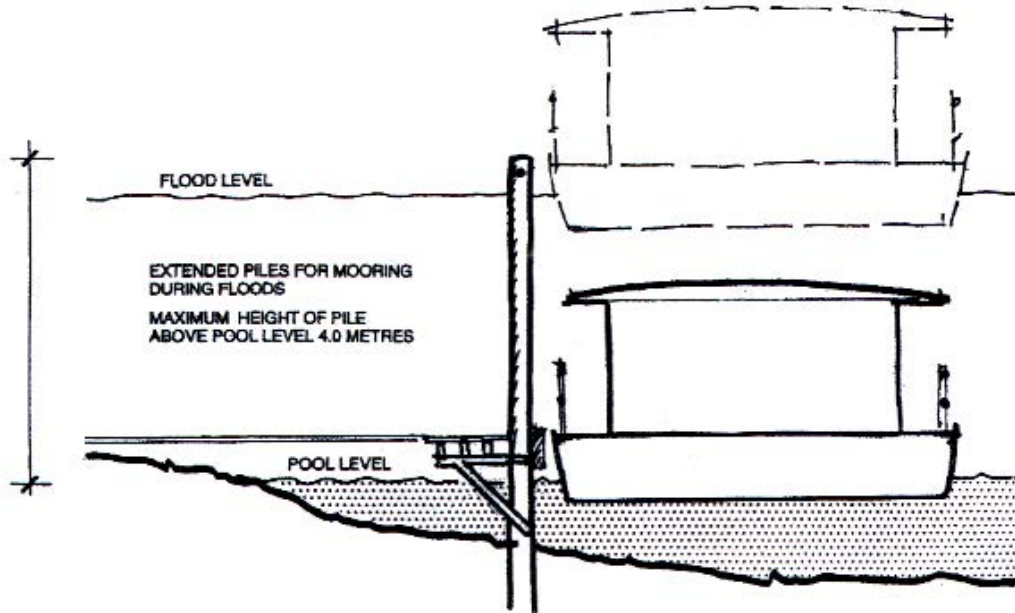
#### **Moorings for vessels with overnight accommodation**

- 9 All moorings for vessels should be provided with a connection point to the main sewer and moored vessels should be connected to the mains sewer system.

- 10 Adequate provision should be made for securing moored vessels during periods of high flood waters.

*Design Techniques (Design Techniques illustrate ONE WAY of satisfying the associated principle of development control)*

10.1 Method for securing moored vessels.



- 11 Moorings for vessels should not be located within 150 metres of the ferry.
- 12 Adequate on-site car parking provisions for commercial moorings in accordance with Standards in [Table MiMu/1](#).

### Land Division

- 13 Land division should not result in additional allotments or new allotments with a frontage to Floodplain Policy Area 8 unless the new allotment or additional allotment is for a recreation area or essential public or community facility under the care, control and management of the Crown or the council.

### Non-complying Development

- 14 The following forms of development are **unacceptable** and **non-complying** in the Urban Waterfront (Floodplain) Zone:

Builder's yard  
 Detached dwelling  
 Educational establishment  
 Fuel depot  
 Group dwelling  
 Hospital  
 Industry  
 Intensive animal keeping  
 Junk yard

Land division in the 1956 floodplain except for the purpose of any of the following:

- (a) creating a public road or a public reserve
- (b) a minor adjustment of allotment boundaries to remove an anomaly in the current boundaries with respect to the location of existing buildings or structures, provided there is no increase in the number of allotments with a frontage to Floodplain Policy Area 8

Multiple dwelling  
 Place of worship  
 Residential flat building  
 Retail showroom  
 Road transport terminal  
 Row dwelling  
 Semi-detached dwelling  
 Service trade premises  
 Stadium  
 Store  
 Warehouse

### Categories of Public Notification

#### 15 Category 1 forms of development are:

Advertisement and or advertisement hoarding (except where assigned Category 2)  
 Caravan park, camp sites, bank house, hostel and guest house  
 Demolition of a building or structure on the site of a State or Local Heritage Place which does not form part of the elements of heritage value as described in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Demolition of a building or structure that is not listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 External painting of an unpainted surface of a building or structure that is listed in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 Ferry  
 Information for water traffic  
 Internal works, including painting, internal alterations and minor demolition of internal fabric, within a State Heritage Place listed in [Table MiMu/6](#) other than where affecting a shared party wall, or a wall or structure on a common boundary  
 Public car park  
 Public infrastructure including roads and residential infrastructure  
 Recreation uses such as a playground, BBQ area, picnic shelter  
 River structures for boat mooring/boat ramps/swimming/pump stands  
 Water-based recreation

#### 16 Category 2 forms of development are:

Advertisement and or advertisement hoarding on an allotment adjacent to or abutting an allotment containing a place listed in in [Table MiMu/6](#) - State Heritage Places and [Table MiMu/7](#) - Local Heritage Places  
 External alteration of (excluding repainting a painted surface in the same or similar colours), addition to, or any work that materially affects the heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places  
 Moorings for vessels with overnight accommodation  
 Partial or total demolition of elements of heritage value of a Local Heritage Place as described in [Table MiMu/7](#) - Local Heritage Places

**TABLE MiMu/1****On-Site Car Parking**

<b>FORM OF DEVELOPMENT</b>	<b>MINIMUM RATE</b>
<b>Accommodation:</b>	
Aged Persons' Home	1 per 10 residents plus 1 per 2 staff plus 1 per 7 residents (for visitors)
Guesthouse/Hostel/Boarding House	One per 2 beds
Motel	1 per room or residential unit plus 1 per 10 square metres of total floor area of restaurant (if provided)
Serviced Apartments	1 per room plus 1 per employee
Supported Accommodation	1 per 4 beds
Tourist Accommodation(Bed & Breakfast)/Guest Houses	1 per guest room plus 1 per employee
<b>Commercial:</b>	
Bank	5 per 100 square metres of total floor area
Hardware	4 per 100 square metres of total floor area
Motor Repair Station	Greater of 2 per 100 square metres of total floor area or 4 per service bay
Petrol Filling Station	1 per 2 pumps plus 5 per 100 square metres of retail floor space
Plant Nursery (Retail)	1 per 150 square metres of total display area
Post Office	7 per 100 square metres of total floor area
Retail Showroom	3 per 100 square metres of total floor area
Service Trade Premises: Including Motor Showroom & Used Car Lot/Vehicle Sales Yard	2 per 100 square metres at total floor area and open display area
Shop (excluding restaurant)	6 per 100 square metres of total floor area
Video Store	6 per 100 square metres of total floor area
<b>Community/Civic:</b>	
Child Care Centre	1 per 4 children
Civic Administration Offices	4 per 100 square metres of total floor area
Community Centre	10 per 100 square metres of total floor area
Pre-school, Primary School and Secondary School	1 per full time employee plus 1 space for wheelchair users plus an additional 10% of the total for visitors

<b>FORM OF DEVELOPMENT</b>	<b>MINIMUM RATE</b>
Meeting Hall	1 per 10 square metres of total floor area
Place of Worship	1 per 10 square metres of total floor area
Police Station	4 per 100 square metres of total floor area
<b>Industry, Builders Yard, Warehouse &amp; Store:</b>	
Office component	3.3 per 100 square metres of total floor area
PLUS Non-office component	
200 square metres or less More than 200 square metres and up to 2000 square metres Greater than 2000 square metres	2 per 100 square metres of total floor area 1 per 100 square metres of total floor area 0.5 per 100 square metres of total floor area
<b>Medical:</b>	
Consulting Room	6 per 100 square metres of total floor area
Hospital	1 per bed
Medical Centre/Day Surgery	6 per 100 square metres of total floor area
Nursing Home	1 per 4 beds
<b>Recreation &amp; Entertainment:</b>	
Amusement Machine Centre	7 per 100 square metres of total floor area
Billiard Saloon	1 per 15 square metres of total floor area
Bowling Alley	1 per 10 square metres of total floor area
Bowling Club	10 per bowling green
Cinema Complex & Theatre	1 per 4 seats
Clubrooms	1 per 10 square metres of total floor area
Dance Hall	1 per 10 square metres of total floor area
Gymnasium	1 per 10 square metres of total floor area
Hotel & Taverns Public Bar Lounge or Beer Garden Dining Room Gaming Room	1 per 2 square metres of total floor area 1 per 6 square metres of total floor area 1 per 3 seats 1 per 2 machines
Marina Houseboat hiring facility	One per 2 berths Four per berth
Reception Hall	1 per 4 square metres of floor area devoted to reception area

FORM OF DEVELOPMENT	MINIMUM RATE
Restaurant	1 per 3 seats or 1 per 15 square metres of total floor area, whichever is the greater for indoor areas 1 per 6 seats for outdoor eating areas
Stadium	1 per 10 square metres of total floor area
Squash/Tennis Courts	3 per court
TAB	8 per 100 square metres of total floor area
<b>Residential &amp; Group Dwelling:</b>	
Multiple Dwelling, Residential Flat Building	1 roofed parking space per dwelling unit plus 1 per 2 dwelling units for visitor parking
Detached Dwelling, Semi Detached Dwelling and Row Dwelling	2 parking spaces per dwelling including one undercover plus 1 additional parking space for a dwelling containing 4 bedrooms or more
<b>Other:</b>	
Funeral Parlour	4 per 100 square metres of total floor area plus 1 per 4 seats (chapel)

Note: 'Seats' means the number of seats provided or able to be provided.

TABLE MiMu/2

## Separation Distances Between Industrial Activities And Residential Land Uses

Activity	Separation distance/ threshold (metres)
<b>Petroleum Chemical</b>	
Chemical Fertilisers	1000
Coke Production	1000
Polyester Resins	1000
Synthetic Resins/Rubber	1000
Explosives	1000
Formaldehyde Production	300
Paint/Ink Manufacture	1000
Pain Mix/Blending	
(a) solvent based	300
(b) water based	200
Pharmaceutical/Veterinary Products	1000
Biocides	1000
Soaps/Detergents	300
Cosmetics	100
Inks	200
Petroleum Refinery	2000
Other Petroleum/Coal	500
Organic Industrial Chemicals	1000
Inorganic Industrial Chemicals	1000
Other Chemical Products - non industrial	300
Refractories (large) 10 000 tonnes/year	500
Cement Manufacture (large) >150Kt/year	1000
Cement Manufacture > 5Kt but < or = 150Kt/year	500
Cement Manufacture > or = Kt/year	300
Concrete Batch Plants	100
Bitumen Batch Plants	500
Concrete/Stone Products	100
Plaster Products	100
Iron Ore Smelting	1000
Ferrous Foundries (Large)	500
Ferrous Foundries (Medium)	500
Ferrous Foundries (Small)	200
Aluminium by Electrolysis	2000
Rubber Production/Mixing	300



<b>Activity</b>	<b>Separation distance/ threshold (metres)</b>
Artificial Textiles and Synthetic Fibres	500
Wood Preservation Plant	100
Industrial Gases (productions)	1000
<b>Manufacturing and Mineral Processing</b>	
Sawmills	500
Wood Fibre/Chip Production	300
Joineries	50
<b>Pulp or Papers Works</b>	
Paper Products or Pulp involving combustion of sulphur or sulphur containing materials	5000
Paper Products or Pulp from prepared Cellulose and Rag	200
Paper Products or Pulp from Semi Processed Mat	100
Hot Mix Asphalt	300
Electroplating	100
Glass/Glass Production/Wool (glass fibre)	500
Rock Wool Manufacture	500
Structural/Sheet Producers (Large)	2000
Structural/Sheet Producers (Medium)	1000
Printing and coating works with heat curing ovens	100
<b>Food Production</b>	
Smokehouses – Curing and drying works	100
Processing and Rendering Works	1000
Smallgoods Products	100
Milk Products	100
Wool Scouring	300
Rendering/Casing Works	1000
Tanning/Leather Dressing	300
Vegetable Oil/Fats processing using solvents	300

**TABLE MiMu/3****Standards For Horse Stables**

Stables and horse shelters should be a three or four sided, roofed structure with direct connecting access to a holding yard.

Development of stables, horse shelters and their associated yard areas, per horse, should have dimensions and areas of:

- (a) at least 3.7 metres by 3.7 metres per stable or horse shelter; and
- (b) 50 - 100 square metres per horse per holding yard which is directly adjoining and accessible from the stable and horse shelter.

The roof of stables and horse shelters should have a minimum height of 2.75 metres and a maximum height of 3.0 metres.

Stables and horse shelters and any associated holding yards should be:

- more than 30 metres from a dwelling including adjoining/adjacent dwellings;
- more than 3 metres from any side allotment boundaries;
- constructed on a site with a fall no greater than 1 in 10;
- protected from stormwater intrusion by way of a gravel drain located around the perimeter of the stable, horse shelter and associated holding yard (the gravel drain being shielded from blockage by use of an acceptable fabric membrane which allows the flow of water but prevents the drain being blocked by soil);
- internally constructed of concrete or hardwood timber lined to a minimum height of 1.3 metres, (timber or metal construction up to the roof is permitted above that height);
- constructed with one square metre of ventilation area for each 13 square metres of stable or horse shelter floor area, the vents should be located 2.1 metres above the stable or horse shelter floor;
- constructed with floors 100mm thick concrete and has a minimum gradient of 1 in 100 (1 percent) to ensure that no urine can pool;
- provided with a compact rubble base with a minimum gradient of 1 in 100, with a suitable loose surface such as sand, shell-grit or pine bark;
- provided with feed stored in vermin proof metal or plastic containers, provided with the close fitting lids;
- provided with manure stored in corrosion resistant bin(s) with flanged fitting corrosion resistant lid(s), used for the daily reception of all dung/manure, refuse, including damp stable bedding and feed wastes.

**TABLE MiMu/4**

**Design Guidelines for Buildings in the Flood Plain of the River Murray**

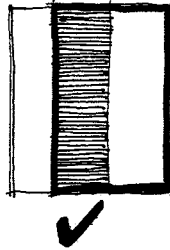
**(Shack Settlement Policy Area and Floodplain Policy Area)**

Component/Aspect/Issue	Guidelines and Design Techniques
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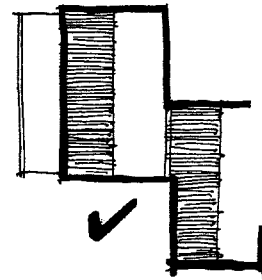
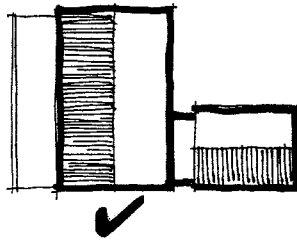
**1. Articulation of Plan and Roof Forms**

The floor plan and roof form of buildings over 100 square metres should be articulated to reduce the scale and bulk of the building in accordance with Figure 1.1.

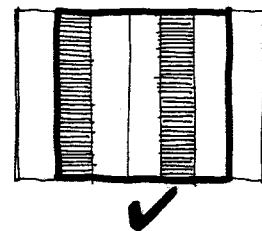
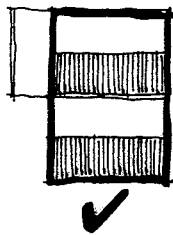
Figure 1.1



MAXIMUM SINGLE RECTANGLE 100m<sup>2</sup>

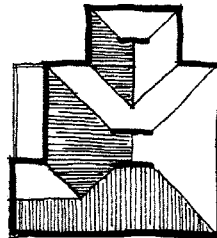


ARTICULATION OF PLAN FORM

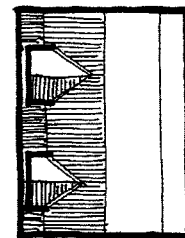


Plan and roof forms that are not desired include A Frame, Cape Cod structures and others illustrated in Figure 1.2.

Figure 1.2 – Examples of Inappropriate Plan Form and Roof Style



FEDERATION ✘



MANSARD/ATTIC ✘

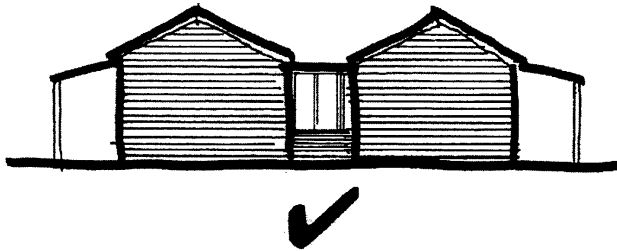
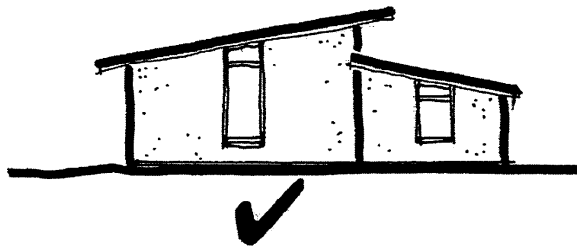
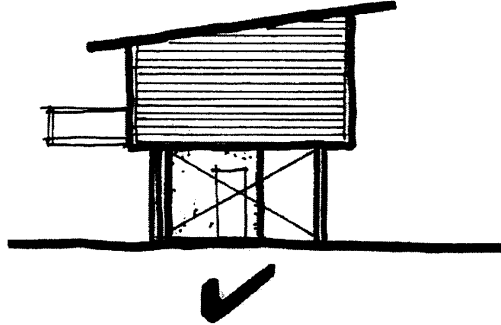
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**Component/Aspect/Issue****Guidelines and Design Techniques**

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Simple articulation of buildings and roofs are desired such as those illustrated in Figure 1.3.

*Figure 1.3 Appropriate articulation of buildings and roofs*



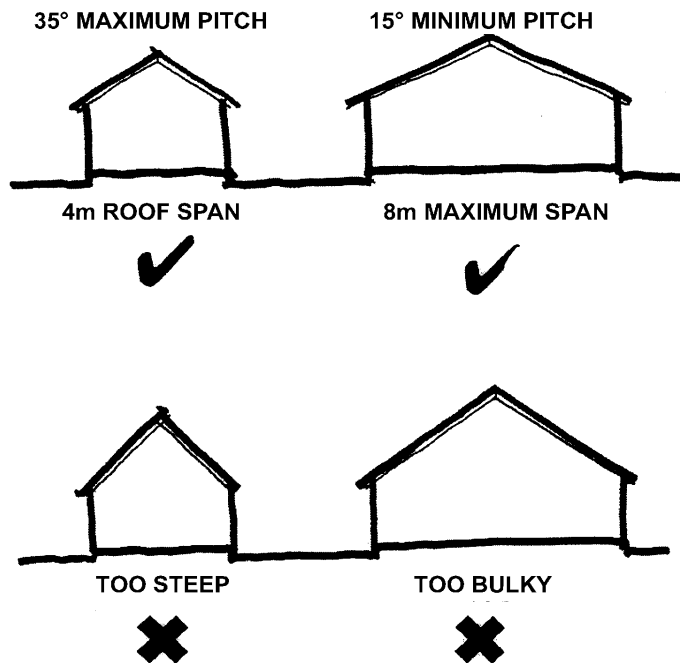
## Component/Aspect/Issue

## Guidelines and Design Techniques

## 2. Roof Pitch and Span

- (a) Where pitched roofs are used they should have a pitch of 15°-35°. Small span roofs should have a steeper pitch. Large span roofs should have a lesser pitch.
- (b) Roofs other than pitched roofs are acceptable providing they are articulated.
- (c) Roof spans should be not greater than 8.0 metres.
- (d) Roof styles which should be avoided include half hipped, Dutch Gable, flat and Mansard or Cape Cod roofs.

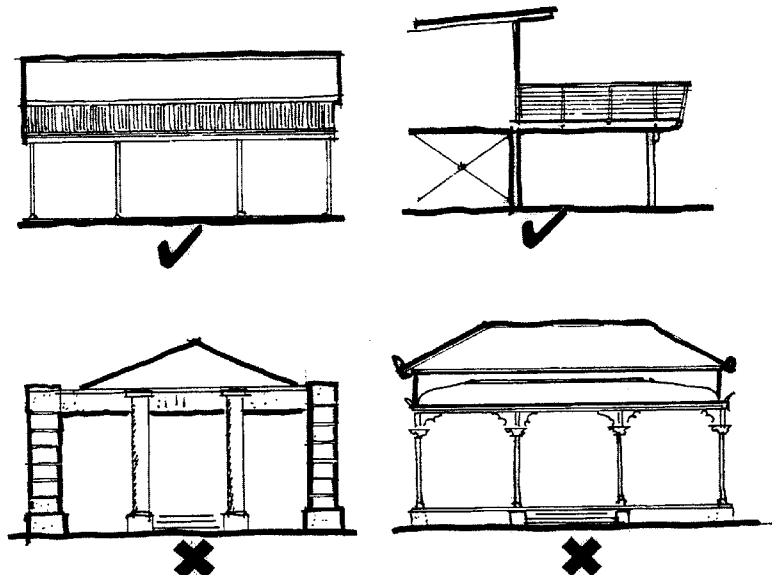
Figure 2.1 Roof pitch and span



## 3. Verandahs and Decks

- (a) New dwellings should incorporate verandahs or pergolas facing the river.
- (b) Decks, verandahs or pergolas should be simple lightweight structures or steel or timber framing.
- (c) Solid or masonry walls, piers, columns or beams should not be used.
- (d) Verandahs should remain as outdoor spaces and should not be enclosed or glassed in.
- (e) Where balustrades, railings or wind protection are needed, open railings or lattice should be used.

Figure 3.1 Simple lightweight verandahs and decks



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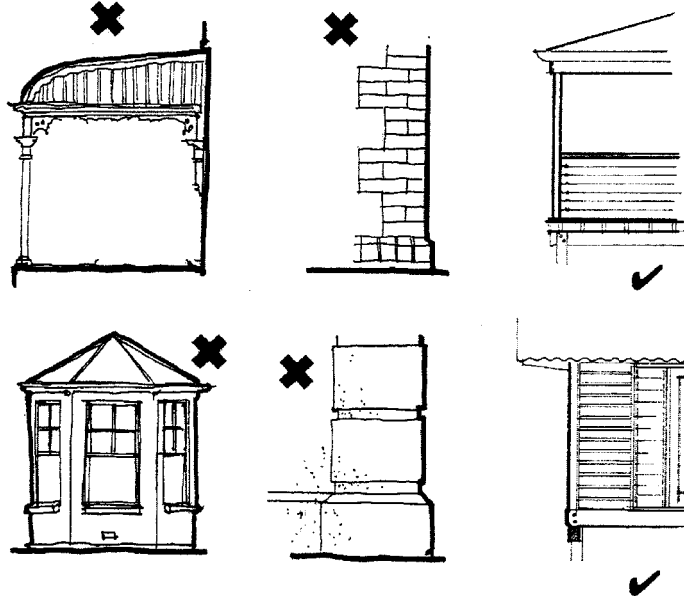
**Component/Aspect/Issue**
**Guidelines and Design Techniques**


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**4. Architectural Detailing**

- (a) Detailing should be simple and in accordance with desired forms of detailing in Figure 4.1.

Figure 4.1



- (b) Lacework, finials, heritage/ federation detailing, quoining etc including those illustrated as not desired in Figure 4.1 are inappropriate.

---

**5. Roof and Wall Materials**

- (a) Use of lightweight wall cladding and roof materials will assist in maintaining the riverine character of shack areas.
- (b) Unpainted corrugated galvanised iron may be used for roof or wall cladding. Galvanised iron is very different from unpainted zincalume, which should not be used.

*Advisory Note: Galvanised iron weathers to a dull grey colour which blends with the natural environment, has a good life expectancy and requires no maintenance.*

- (c) Wall cladding may be either vertical or horizontal.

*Advisory Note: The life of galvanised steel roofing can be extended by pre-painting the under-surfaces prior to installation. Heavier grades of zinc coating can also be used (Z550600 grams per square metre) rather than the normal Z450 to extend the life of the product.*

- (d) Pre-coated steel may be used for roof or wall cladding.

*Advisory Note: Pre-coated steel has a factory applied paint which requires regular repainting to maintain its appearance over time.*

- (e) Flat Cement Sheet with cover battens and corner stops may be used. Avoid the use of PVC joining strips and aluminium corner trims.
- (f) Weatherboards of timber, steel, cement sheet or compressed hardboard with timber corner stops are appropriate.

*Advisory Note: Weatherboards should be not more than 200mm wide in order to complement the small scale of the shacks. Wide planks look over scale on small buildings.*

- (g) Masonry walling is not desired under any circumstances but where existing and affected by alterations to a dwelling, it should be bagged or rendered.
- (h) Roofs should not be white in colour or any variation of it.
- (i) Timber corner stops and architraves to windows and doors provide a traditional finish to weatherboards.
-

Component/Aspect/Issue	Guidelines and Design Techniques
<b>6. Unsuitable Materials</b>	<p>(a) Face brick, block or masonry external walls should not be used for external finishes. An exception is only applicable to ground level bathrooms under elevated dwellings or where development is not within the 1956 flood plain of the River Murray.</p> <p><i>Advisory Note: Face brick has a suburban character that is not consistent with the desired built character in the shack areas. Blockwork has an inappropriate urban character.</i></p> <p>(b) V-crimp or other square steel or aluminium profiles; unpainted zincalume should not be used.</p> <p><i>Advisory Note: Zincalume is an aluminium finish that retains a bright and reflective surface. Painted zincalume is acceptable but good paint adhesion is difficult to achieve.</i></p> <p>(c) Tiled or shingled roofing should not be used.</p> <p><i>Advisory Notes: These materials reinforce a suburban character that is not appropriate.</i></p>
<b>7. Windows and Doors</b>	<p>Windows and Doors</p> <p>(a) Windows may be of painted timber, powder coated or natural anodised aluminium.</p> <p>(b) Reflective glass and films should not be used. Glass should not be used in relation to any underfloor enclosure.</p> <p><i>Advisory Note: Reflective windows are intrusive in a natural environment.</i></p> <p>(c) Shed doors, boatshed doors and shutters over doors or windows may be hinged or tilting types or roller doors with materials to match or complement the walls.</p> <p>(d) Shed doors and walls should be openable to facilitate movement of floodwaters.</p>
<b>8. Other Materials</b>	<p>Other Materials</p> <p>(a) Unpainted durable hardwood may be used for external structures.</p> <p><i>Advisory Note: Durability Class 1 hardwood is an exceptionally long lasting material in riverine environments, eg Jarrah or Karpur. Cypress Pine is also durable.</i></p> <p>(b) Hardwood can be used in building for verandah posts, decks, handrails and steps. It can be used as a landscape material for fencing, board walks and retaining walls.</p> <p>(c) CCA treated pine (permapine) may be used for building or landscaping.</p> <p><i>Advisory Note: Unprotected permapine is subject to mechanical breakdown but its useful life can be extended by staining or painting.</i></p> <p>(d) Unpainted or painted galvanised steel (not zincalume) may be used for external structures.</p> <p>(e) Fastenings used externally should be hot dipped galvanised or be of other non-corrosive materials.</p>

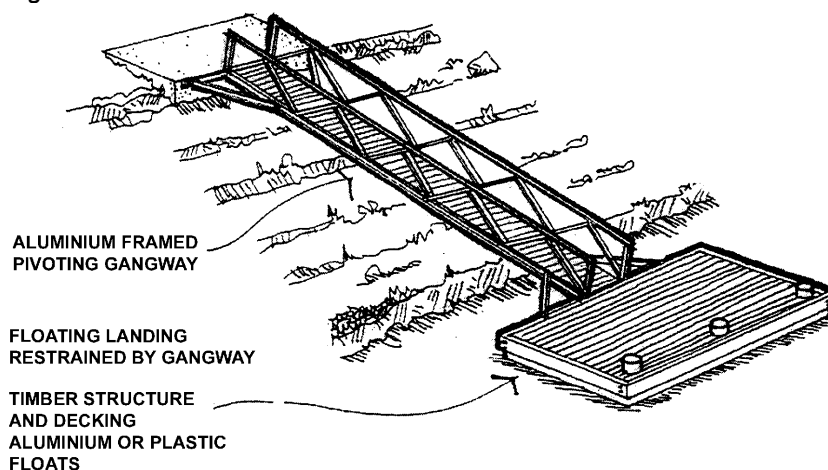
## TABLE MiMu/5

### Design Standards for River Structures in the form of a Floating Pontoon, Jetty and Water Extraction Infrastructure (Irrigation or Water Supply Pump)

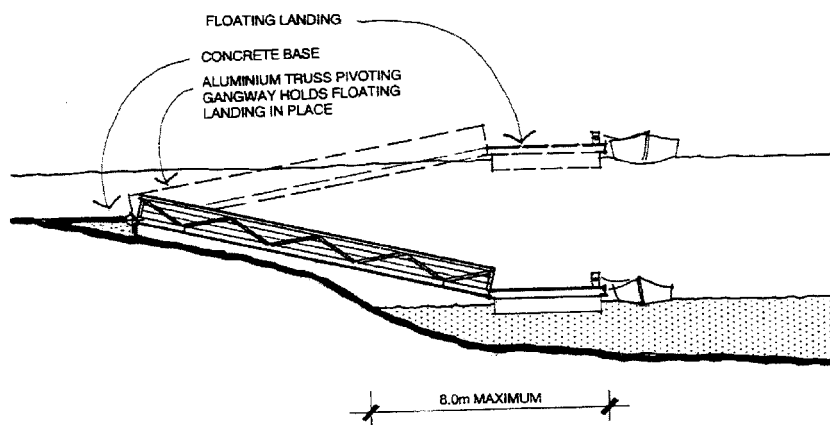
#### Design and Construction Standards

1. A river structure in the form of a jetty or floating pontoon should not exceed the following:
  - (a) a length of 8.0 metres measured from the riverbank at normal pool level
  - (b) a width of 1.4 metres in the case of a jetty (or gangway width in the case of a floating pontoon)
  - (c) the dimensions 3 metres by 6 metres, in the case of a floating pontoon (note that designing to the upper limit of the stated dimensions may not be appropriate in all circumstances, depending on the proximity of other river structures)

2. Floating Pontoon *Figure 2.1*



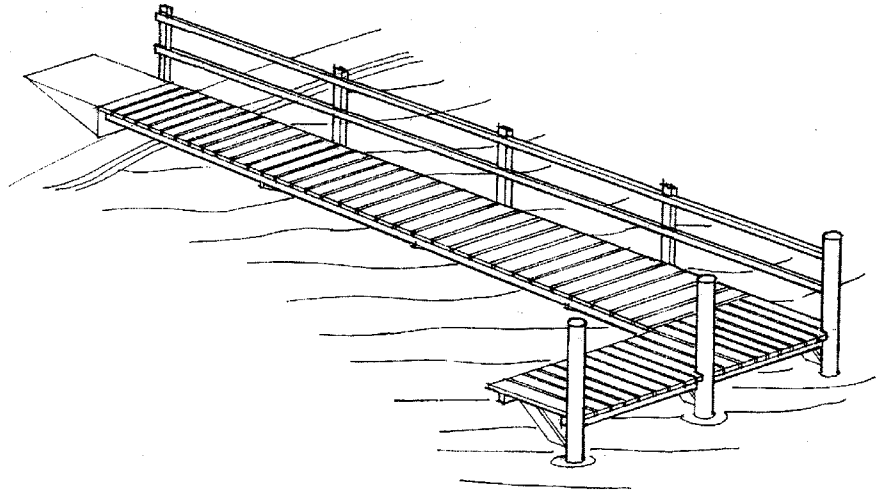
3. Floating Pontoon (Cross Section) *Figure 3.1*





4. Jetty

Figure 4.1



5. Jetty – Construction Details

Figure 5.1

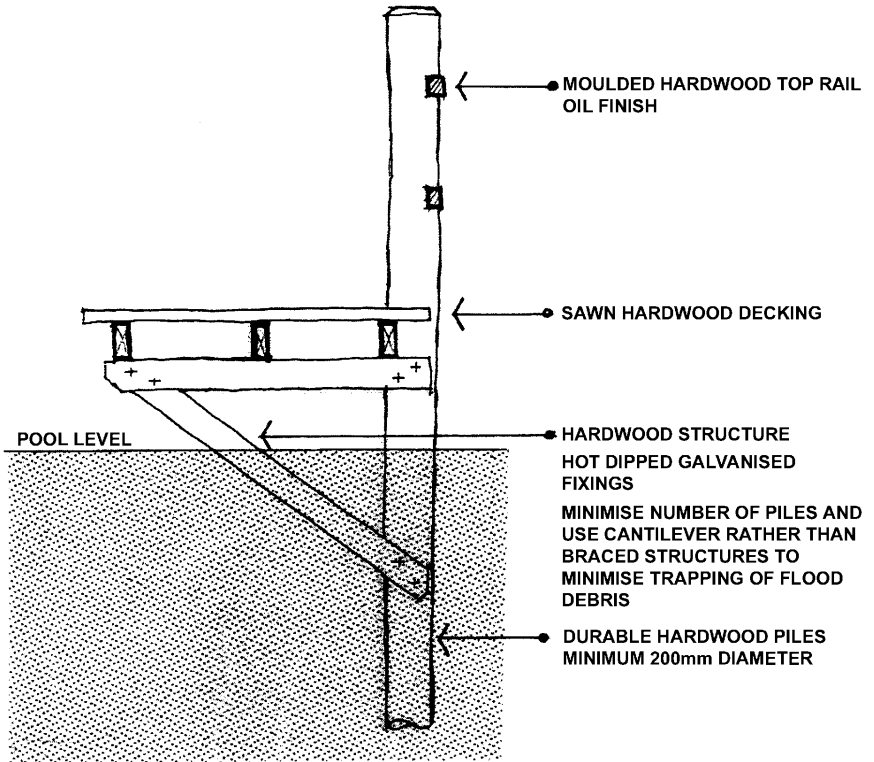
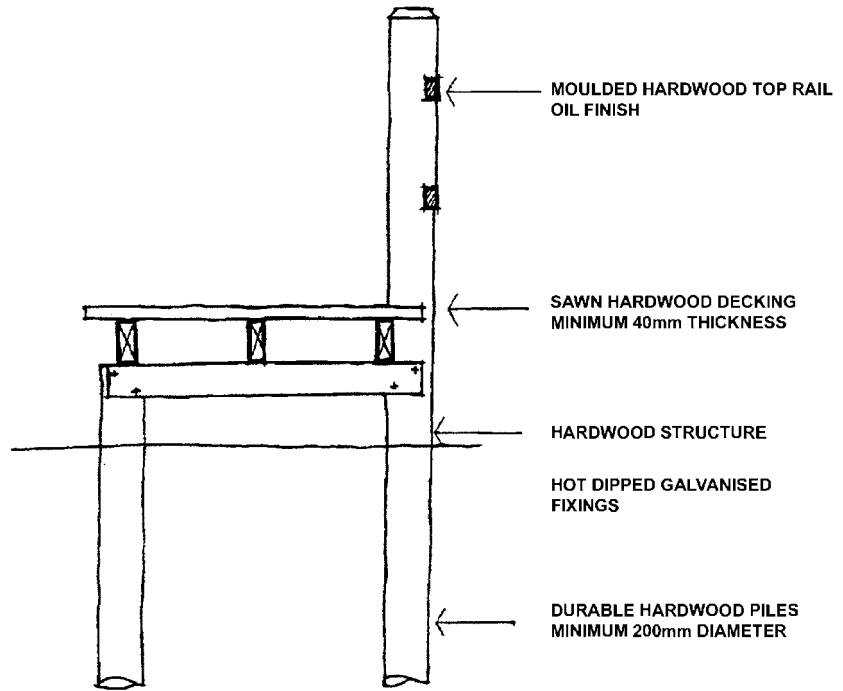
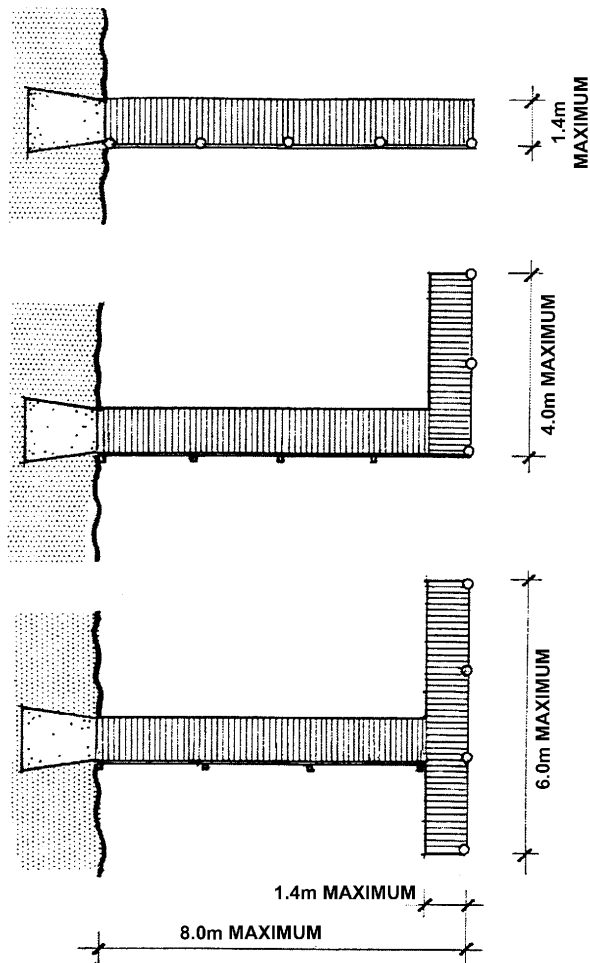


Figure 5.2



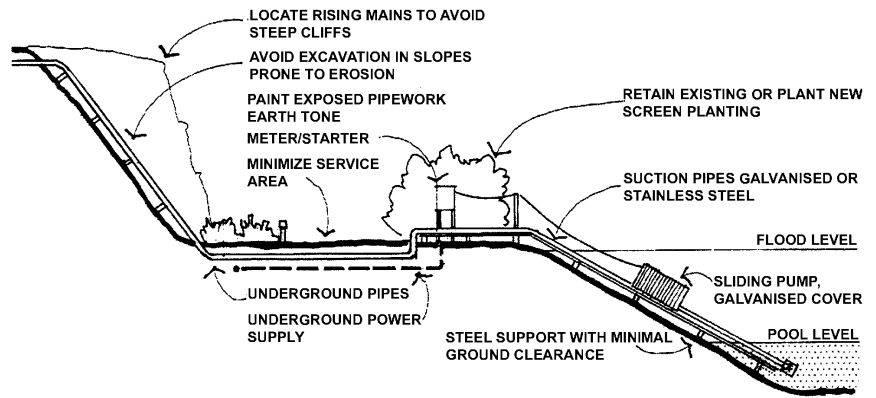
6. Jetty Layout

Figure 6.1



7. Water Extraction infrastructure – Irrigation or Water Supply Pump

Figure 7.1



## TABLE MiMu/6

## State Heritage Places

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Sec 16 Criteria	Heritage Branch ID
Adams Street BLANCHETOWN	Blanchetown Hotel	A25, 39	T121301	CT 6125/93		10106
28-30 Egerton Street BLANCHETOWN	Blanchetown Post Office	A10	D75477	CT 6000/990		10084
Off Swan Reach- Blanchetown Road near BLANCHETOWN	Moorundie (officially Sturt) Settlement Ruins, Portee Station	AD S33 & 34 A56	R4243 H121300 D86185	CT 5482/779 N/A CT 6076/101		10096
BLANCHETOWN	William R Randell Lock (Lock 1) & Weir, Blanchetown	S148 RIVER MURRAY RIVER MURRAY A51 A102 Q103, 104 A105 A106 Q18, 19 A20 A101 A111	H121300 H121300 H701200 D52385 D80849 D80849 D80849 D80849 D80849 D52173 D52173 D80849 D71147	CR 5757/838 N/A N/A CT 6113/706 CT 6113/707 CT 6113/708 CT 6113/709 CT 6113/710 CT 6113/711 CT 6113/712 CT 6113/713 CT 6113/716		10095
Bower Boundary Road BOWER	Lime Kiln Ruins	S29	H120300	CT 5721/67	a b	11024
CADELL	Nor'West Bend Station Complex (including Homestead, Cottage, Underground Tank, Woolshed, Paved Wool Scouring Area, Shearing Shed and Stables)	S9	H760400	CT 5747/340		10174
1 Rice Street DUTTON VIA TRURO	Former Blacksmith Shop & Dwelling	A42	D24259	CT 5197/630		11027
Rice Street DUTTON VIA TRURO	Former St John's Lutheran Manse	A4	D184	CT 5473/184		11028
Angaston - Swan Reach Road KEYNETON	Bridge over the River Somme [Under-strutted Timber]	ROAD RESERVE	H12110	N/A		12718
Pine Hut Road KEYNETON	Engine House for Direct Acting ('Bull') Pumping Engine, North Rhine Mine	A307	F216520	CT 5638/51		12846

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Sec 16 Criteria	Heritage Branch ID
Anna Street MANNUM	Dwelling - David Shearer's former Dwelling & Observatory	A475	F208851	CT 5562/897		12696
Cliff Street MANNUM	Dwelling ('Bleak House', former home of W R Randell)	A4	D21080	CT 5395/872		14305
East Front Road MANNUM	Dwelling ('Wilhaven')	A72	D49053	CT 5527/720		13790
Noa No Road near MANNUM	Noa No Landing (Site of the launching of the PS 'Mary Ann')	S838	H170300	CR 5761/301		13782
51 - 53 Randell Street MANNUM	Shearer's Agricultural Implement Factory Site and Stamp Press Relics	A33 A435 A34	D1091 F208811 D1091	CT 5456/548 CT 5524/920 CT 5440/549		13788
Randell Street MANNUM	William Randell's Dry Dock	A91 92	F213066	CT 5570/664		10282
Off Milendella Road MILENDELLA VIA PALMER	Milendella Creek Railway Bridge [Concrete Girder]	A169	F208545	CT 5784/930		14604
11 Railway Terrace MORGAN	Post Office Row (Five attached shops and dwellings at rear)	A212	T120701	CT 5211/767		12341
25 Railway Terrace MORGAN	Landseer's Store	A2	T120701	CT 5423/73		12347
Railway Terrace MORGAN	Morgan Railway Station & Station Master's House	S432	H120700	CR 5340/648		12320
MORGAN	Morgan Wharf	S429	H120700	CR 5852/336		10173
Walker Flat - Mount Pleasant Road MOUNT PLEASANT	Rosebank Shearing Shed	S430	H170500	CT 5425/654		14482
Adelaide-Mannum Road, near PALMER	Granite Boulders Area Geological Site	A100	F169859	CT 5705/899		13197
Mannum Road PALMER	Palmer Police Station & Cells	A12	H171000	CT 5233/489		13194
Off Mine Road PALMER	Kitticoola Mine	Q14	F128692	CT 5230/506		10835
Palmer Road PALMER	Homestead Complex, including main house, two cottages, shearing shed, stable and piggery.	Q10	D78103	CT 6029/301		14486

Property Address	Description and/or Extent of Listed Place	Lot No. or Part Sec	Plan No.	Certificate of Title	Sec 16 Criteria	Heritage Branch ID
Off Western Boundary Road PALMER	Reedy Creek Railway Bridge [Concrete Arch]	S518	H171000	CT 5895/745		14603
Billabong Road POMPOOTA VIA MANNUM	Former Pompoota Post Office, General Store & Butcher	S363 & 554	H750200	CT 6022/948		14306
Billabong Road POMPOOTA VIA MANNUM	Pompoota Hall	S359	H750200	CT 5928/428	a	14307
Thiele Road POMPOOTA VIA MANNUM	Implement Shed, Former Training Farm	S362	H750200	CT 6057/271		14308
Loxton Road ROCKLEIGH VIA CALLINGTON	Grain Threshing Floor	S329	H171000	CT 5397/739		10841
Baldon Road TRURO	Baldon Homestead Complex (including Homestead, Chaff Shed, Workmens Quarters, Stables, Shearing Shed and Quarters and room built into the creek bank)	A50	D47057	CT 5603/914		11032
37 Moorundie Street TRURO	Former Truro Police Station and Cells	A41	D49	CT 5579/879		12314
Off Sturt Highway TRURO	Stone Wall	A115-120 A109, 112, 113	F204117 F174416	CT 5683/2 CT 6135/200		11030
Off Sturt Highway TRURO	Accommodation Hill Spring & Pipeline Relics, site of former stock yard for overlanders	S582	H121100	CR 5325/692		11031
Hoads Woolshed Road TUNGKILLO	Shearing Shed, former Terlinga Station	A36	F157571	CT 5855/543		14484

Note: This table is an extract from the South Australian Heritage Register established under Section 13 (1) of the *Heritage Places Act 1993*. In the event of a discrepancy between this extract and the South Australian Heritage Register, the South Australian Heritage Register shall prevail.

## TABLE MiMu/7

## Local Heritage Places

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
7 Abraham Rd CALOOTE	<b>Reedy Creek Homestead;</b> External form, materials and detailing of homestead including: original stone masonry house, stone outbuildings and early shearing shed. Excluding later alterations and accretions.	A1	D76958	CT 6015/923	a d	27318
32 Murray St CALOOTE	<b>Former General Store and Post Office;</b> Original external form, materials and detailing of stone masonry former general store and port office. Excluding later alterations and additions.	A4	D74162	CT 5998/573	a c d	27319
Lot 25 Deane St CAMBRAI	<b>Stone Shed &amp; Ruin;</b> External form, materials and detailing of stone masonry industrial shed, loft section and remnant shed wall ruin. Excluding later alterations and additions.	A25	D1133	CT 5699/320	a b d	27320
28 Kings Rd CAMBRAI	<b>Former Lutheran Church;</b> External form, materials and detailing of original stone masonry former church, porch and attached cottage. Excluding later alterations and additions.	A246	F169995	CT 5794/145	a b c	27321
Lot 1 Ridley Rd CAMBRAI	<b>Former General Store &amp; House;</b> External form, materials and detailing of original stone masonry general store, house and butter factory outbuilding. Excluding later alterations and additions.	A1	D1133	CT 5600/632	a c d	27322

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
Lot 17 Skinner St CAMBRAI	<b>Former Tank Manufacturing Workshop;</b> Original external form, materials and detailing of former tank manufacturing workshop building. Excluding later alterations and additions, the residence to the east and former Bank of Adelaide building in rear yard.	A17	D1133	CT 6025/641	a	27328
Lot 41 Skinner St CAMBRAI	<b>Cambrai Institute;</b> External form, materials and detailing of two-sectioned stone masonry institute and hall (1891 front, 1912 rear) and water tank plinth. Excluding other later alterations and additions.	A41	D16441	CT 5757/489	a c d	27330
Lot 546 Skinner St CAMBRAI	<b>House;</b> External form, materials and detailing of c.1890 stone residence and detached outbuilding. Excluding later alterations and additions.	A546	F208922	CT 5558/223	a d	27331
Lot 91 Sportsground Rd CAMBRAI	<b>Cambrai Hotel;</b> Original external form, materials and detailing of stone masonry hotel (two stages) and stone outbuildings. Excluding other later alterations and additions.	A91	F208425	CT 6144/292	a c d	27332
1471 Claypans Rd CLAYPANS	<b>Former Claypans Methodist Church;</b> Original external form, materials and detailing of stone masonry church, lean to and tank stand. Excluding later alterations and additions.	S44C	H700500	CT 5580/629	a c d	27334
15 Woolford Rd EDEN VALLEY	<b>House &amp; Cottage;</b> Original external form, materials and detailing of stone masonry house and small cottage. Excluding later alterations and additions.	S455	H170500	CT 5227/934	a d	27335
Lot 4 Angaston - Swan Reach Rd KEYNETON	<b>House;</b> External form, materials and detailing of stone masonry c1910 house. Excluding later alterations and additions.	A4	D826	CT 5307/381	a d	27337



Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
Lot 96 Angaston - Swan Reach Rd KEYNETON	<b>House (Former Temperance Hotel);</b> Original external form, materials and detailing of former stone masonry Temperance Hotel and two outbuildings. Excluding later alterations and additions.	A96 A97 A98	F171282	CT 5335/905	a c d e	27338
Lot 119 Angaston - Swan Reach Rd KEYNETON	<b>Keyneton Primary School;</b> External form, materials and detailing of 1924 stone masonry school building and former residence. Excluding later alterations and additions.	A119	F214476	CT 5633/473	a c d	27339
Lot 9 Cork Hill Rd KEYNETON	<b>Former North Rhine Council Chambers;</b> Original form, materials and detailing of the stone masonry former council chamber.	A9	F217819	CT 5750/985	a c e	27340
Lot 47 Eden Valley Rd KEYNETON	<b>Former Congregational Church Manse;</b> External form, materials and detailing of the original two stages of the stone masonry former manse. Excluding other later alterations and additions.	A47	F10532	CT 5472/404	a d e	27341
Lot 457 Henschke Rd KEYNETON	<b>Former Blacksmith Shop;</b> Original external form, materials and detailing of stone masonry industrial structure. Excluding later alterations and additions.	A457	F173548	CT 5814/737	a c d	27342
801 Keyneton Rd KEYNETON	<b>North Rhine Lutheran Church Complex;</b> External form, materials and detailing of complex including: 1866 church, 1857 & 1890 school rooms and bell with stand. Excluding later alterations and additions. The extent of the cemetery reserve and all remaining headstones and monuments.	A831	F169770	CT 5835/725	a b c d e	27343

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
903 Keyneton Rd KEYNETON	<b>Keyneton Institute;</b> External form, materials and detailing of 1872 stone masonry institute building, later front porch and rear section. Excluding other later alterations and additions.	A501	D27852	CT 5782/637	a c d e	27344
905 Keyneton Rd KEYNETON	<b>Independent Chapel;</b> External form, materials and detailing of 1863 stone masonry church, later memorial porch and windows, and rear section. Excluding other later alterations and additions.	A101	D74386	CT 6008/227	a c d e	27345
915 Keyneton Rd KEYNETON	<b>Evandale Complex;</b> Original external form, materials and detailing of the Victorian era homestead and three associated early stone buildings, including: original chapel (now dovecote), stable and hay shed.	A335	D74385	CT 6008/225	a c d e	27346
924 Keyneton Rd KEYNETON	<b>Early Cottage;</b> Original external form, materials and detailing of small stone masonry cottage. Excluding later alterations and additions.	A1	D34944	CT 5787/97	a d	27347
4 Adelaide Rd MANNUM	<b>St Andrew's Anglican Church;</b> External form, materials and detailing of stone masonry 1910 church. Excluding later alterations and additions.	A170	F209356	CT 5788/864	a c d	27350
2 Anna St MANNUM	<b>House (John Shearer);</b> External form, materials and detailing of c1880 stone masonry house. Excluding later alterations and additions.	A40	D1091	CT 6086/821	a d e	27357
2-14 Arnold St MANNUM	<b>Arnold's Row Cottages;</b> External form, materials and detailing of original row of seven iron-clad c.1910 cottages. Excluding later alterations and additions.	A91 A94 A93 A250 A81 A301 A1	F207454 F214677 F217013 D61856 C22062 D66030 C25893	CT 5455/643 CT 5755/248 CT 5879/68 CT 5896/247 CT 5914/154 CT 5932/223 CT 6077/868	a d e	27358

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
2 Asmus St MANNUM	<b>Cottage</b> ; External form, materials and detailing of original stone masonry cottage. Excluding later alterations and additions.	A458	F208834	CT 5811/374	a d	27365
Chandler Ave MANNUM	<b>E&amp;WS Pumping Station</b> ; External form, materials and detailing of 1954 masonry pumping station. Excluding later alterations and additions.	Q105	D69409	CT 5956/650	a d	27372
79A Cliff St MANNUM	<b>Lutheran Manse</b> ; External form, materials and detailing of stone masonry manse including 1896 and 1923 stages. Excluding later alterations and additions.	A50	D86316	CT 6076/6	a c d	27375
80 Cliff St MANNUM	<b>House</b> ; External form, materials and detailing of original stone masonry house. Excluding later alterations and additions.	A2	F16462	CT 6174/411	a d	27376
83 Cliff St MANNUM	<b>Thomas Randell's House</b> ; External form, materials and detailing of small stone masonry building including all nineteenth century wings. Excluding contemporary alterations and additions.	A83	D35643	CT 5111/170	a d e	27377
82 Cliff St MANNUM	<b>St Martin's Lutheran Church</b> ; External form, materials and detailing of 1930s stone masonry church and front access steps. Excluding other later alterations and additions.	A3	F16462	CT 5617/795	a c d	27378
97 Cliff St MANNUM	<b>House (Former School &amp; Lodge)</b> ; External form, materials and detailing of stone masonry school buildings, including all nineteenth century components. Excluding later alterations and additions.	A50	D68687	CT 5956/784	a c d	27379

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
99 Cliff St MANNUM	<b>House (Former Teacher's Residence);</b> External form, materials and detailing of Federation-era stone masonry house. Excluding later alterations and additions.	A51	D68687	CT 5956/785	a d	27380
27 Diercks Rd MANNUM	<b>Two Storey House;</b> External form, materials and detailing of the original two-storey stone masonry house. Excluding later alterations and additions.	A12	D1775	CT 5220/877	a d	27384
19 Esplanade MANNUM	<b>Stone Water Tank;</b> Original form, materials and detailing of above ground stone masonry circular water tank.	A204	D19916	CT 5446/926	a	27389
23 King George St MANNUM	<b>House and Fence;</b> External form, materials and detailing of original stone masonry house and fence. Excluding later alterations and additions.	A1	F108118	CT 5190/747	a d	27394
Lot 476 Little Victoria St MANNUM	<b>House;</b> External form, materials and detailing of stone masonry house including late-Victorian and Federation-era stages. Excluding contemporary alterations and additions.	A476	F208852	CT 5673/169	a d	27396
1 McLaren St MANNUM	<b>Two Storey House;</b> External form, materials and detailing of c.1869 substantial two storey stone masonry house. Excluding later alterations and additions.	A102	D20292	CT 5395/421	a d e	27399
6 Purnong Rd MANNUM	<b>House;</b> External form, materials and detailing of Federation-era stone masonry house. Excluding later alterations and additions.	A13	D27938	CT 5092/887	a d	27400
965 Purnong Rd MANNUM	<b>Pellaring Flat School;</b> External form, materials and detailing of c.1895 small stone masonry school. Excluding later alterations and additions.	S747	H170300	CT 6029/461	a c d	27448

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
12 Queen Mary St MANNUM	<b>House;</b> External form, materials and detailing of original Federation-era large stone masonry house. Excluding later alterations and additions.	A301	D24521	CT 5231/616	a d	27412
Randell St MANNUM	<b>War Memorial;</b> Original form, materials and detailing of all war memorial structures and features including statue, wall, field gun and plaques. Excluding later alterations and additions, 1995 plaque.			RR	a c d	27414
3 Randell St MANNUM	<b>Former Randell's Store;</b> External form, materials and detailing of 1850s-1868 stone masonry former Woolshed. Excluding later alterations and additions	A96	F203798	CT 5370/698	a d e	27417
7-9 Randell St MANNUM	<b>Shop;</b> External form, materials and detailing of original stone and brick commercial building. Excluding later alterations and additions	A430	F208806	CT 5523/870	a e	27419
7-9 Randell St MANNUM	<b>Shop;</b> Original external form, materials and detailing of masonry commercial building. Excluding later alterations and additions.	A430	F208806	CT 5523/870	a e	27420
19 Randell St MANNUM	<b>Mannum Hotel;</b> Original external form, materials and detailing of two storey stone masonry hotel, including 1930s additions/alterations. Excluding other later alterations and additions.	A103 A104	D20219	CT 5133/444	a c d	27422
29 Randell St MANNUM	<b>Former Flour Mill;</b> External form, materials and detailing of 1875-76 three storey stone masonry and cgi clad former flour mill. Excluding later alterations and additions.	A1	D15532	CT 5348/228	a c d e	27423

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
33 Randell St MANNUM	<b>Former Butcher's Shop;</b> External form, materials and detailing of 1870s stone masonry commercial building. Excluding later alterations and additions.	A93	F170711	CT 5327/973	a c d e	27424
38-40 Randell St MANNUM	<b>Former Butter Factory;</b> External form, materials and detailing of 1920s and '30s stages of former butter factory. Excluding contemporary alterations and additions.	A50	D54543	CT 5793/584	a d	27427
41 Randell St MANNUM	<b>Former Bank;</b> External form, materials and detailing of 1920s substantial two storey stone masonry former bank, including earlier 1885 sections. Excluding contemporary alterations and additions.	A30	D272	CT 5285/223	a c d	27428
47 Randell St MANNUM	<b>Former Mannum Institute;</b> Original external form, materials and detailing of two storey stone masonry former institute building, including 1911 extensions. Excluding other later alterations and additions.	A1	F108045	CT 5191/697	a c d	27431
49 Randell St MANNUM	<b>Former Commercial Bank &amp; Cottage;</b> External form, materials and detailing of 1909 two storey stone masonry former bank building and 1880s cottage. Excluding later alterations and additions.	A91	F200025	CT 5358/891	a c d	27432
50 Randell St MANNUM	<b>Pretoria Hotel;</b> External form, materials and detailing of 1900 substantial two storey stone masonry hotel building with cast iron filigree. Excluding later alterations and additions.	A11	F21817	CT 6128/451	a c d	27433

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
51 Randell St MANNUM	<b>Former Shearer's Factory Offices;</b> External form, materials and detailing of long narrow row of five attached stone masonry commercial rooms. Excluding later alterations and additions.	A435	F208811	CT 5524/920	a d e	27434
59 Randell St MANNUM	<b>Mannum Barber Shop;</b> External form, materials and detailing of 1912 stone masonry commercial building. Excluding later alterations and additions.	A436	F208812	CT 5827/154	a d	27435
83 Randell St MANNUM	<b>Post Office;</b> External form, materials and detailing of pre 1920s two storey stone masonry post office building. Excluding later alterations and additions.	A440	F208816	CT 5875/193	a c d	27437
96-98 Randell St MANNUM	<b>Row of Shops;</b> External form, materials and detailing of 1880s stone masonry attached shop and former residence. Excluding later alterations and additions.	A6	F38220	CT 5402/712	a c d	27438
69A River Lane MANNUM	<b>Leonville;</b> External form, materials and detailing of 1883 large stone masonry house and circa 1900 corner addition. Excluding later alterations and additions.	Q71	D57265	CT 5865/316	a d e	27441
Lot 3 River Lane MANNUM	<b>Rotunda;</b> Form, materials and detailing of 1913 octagonal rotunda (much original fabric has been replaced). Excluding later alterations.	A3	F7880	CT 5678/751	a e	27443
58 Walker Ave MANNUM	<b>Former Primary School;</b> External form, materials and detailing of 1920s stone masonry school building. Excluding later alterations and additions.	A201	D84382	CT 6062/732	a c d	27457

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
3 William St MANNUM	<b>House;</b> External form, materials and detailing of Federation-era stone masonry house. Excluding later alterations and additions.	A13	D1943	CT 6123/482	a d	27459
32-34 William St MANNUM	<b>Baptist Church;</b> External form, materials and detailing of 1893 stone masonry church building. Excluding later alterations and additions.	A61	D1091	CT 5833/794	a c d	27463
1544 Angas Valley Rd MILENDELLA	<b>Hilton Heath and Royal Heath;</b> External form, materials and detailing of 1880s stone masonry Hilton Heath homestead, attached breezeway, kitchen and outbuildings (CT 5854/170, Section 655) and Royal Heath stone masonry and corrugated iron farm buildings including early pioneering cottage, buggy shed, blacksmith's shop, barn, shearing shed, draft horse stables, implements shed, chaff house and engine room (CT 5604/632, Section 654). Excluding later alterations and additions.	S655 SE654	H170500 H170500	CT 5854/170 5604/632	a d e	27465
37 Church Rd MILENDELLA	<b>Zion Lutheran Church;</b> Original external form, materials and detailing of 1893 small stone masonry church building. Excluding later alterations and additions.	S573	H170300	CT 5793/748	a c d	27466
353 Angas Valley Rd MOUNT PLEASANT	<b>Rosebank;</b> External form, materials and detailing of 1860s substantial two storey stone masonry house and stone masonry outbuildings, including stables, sheds, former staff quarters, and entrance drive stone quadrangle walling and abutments to bridge over creek. Excluding later alterations and additions.	S430	H170500	CT 5425/654	a d e	27468



Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
1070 Angas Valley Rd MOUNT PLEASANT	<b>Bidgeebah</b> ; External form, materials and detailing of 1880s stone masonry house and stone tank. Excluding later alterations and additions.	S1	H170500	CT 5563/912	a d e	27469
95, 115 & 119 Lucas Rd MOUNT PLEASANT	<b>St Magnus</b> ; External form, materials and detailing of stone masonry main house (built in several stages) on CT 6184/852, stone shed on CT 6156/302 and early cottage on CT 6184/851. Excluding later alterations and additions.	A1	F4221	CT 6184/852 CT 6156/302 CT 6184/851	a d e	27470
338 McGormans Rd MOUNT PLEASANT	<b>Farm house</b> ; Original external form, materials and detailing of three levelled stone masonry farm house. Excluding later alterations and additions.	A101	F14677	CT 5054/870	a d e	27471
31 Herrmanns Rd MOUNT TORRENS	<b>Farm House and Outbuildings</b> ; Original external form, materials and detailing of stone masonry main farm house, and stone outbuildings. Excluding later alterations and additions.	S6412	H171000	CT 5436/576	a d e	27473
36 Herrmanns Rd MOUNT TORRENS	<b>Shearing Shed</b> ; Original external form, materials and detailing of stone masonry and iron shearing shed. Excluding later alterations and additions	A2	D57610	CT 5874/119	a d e	27474
110 Herrmanns Rd MOUNT TORRENS	<b>Farm Complex</b> ; External form, materials and detailing of original farm house and stone outbuilding. Excluding later alterations and additions.	A104	F216179	CT 5833/95	a d e	27475
3-5 Adelaide Rd PALMER	<b>Former Police Station Cells &amp; Shop</b> ; Original external form, materials and detailing of former police cells and shop. Excluding later alterations and additions.	A18	D376	CT 5327/80	a c	27478

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
8-10 Adelaide Rd PALMER	<b>Palmer Hotel;</b> Original external form, materials and detailing of stone masonry hotel building, two stone masonry outbuildings and associated buttressed walling. Excluding later alterations and additions.	A3	D376	CT 5157/938	a c d	27479
9 Adelaide Rd PALMER	<b>House, Outbuildings, Fence &amp; Water Tank;</b> Original external form, materials and detailing of stone masonry house (including 1920s alterations), two outbuildings, 1920s fence and water tank stand. Excluding other later alterations and additions.	A16	D376	CT 5786/326	a d	27480
11 Adelaide Rd PALMER	<b>Cottage;</b> Original external form, materials and detailing of stone masonry cottage. Excluding later alterations and additions.	A15	D376	CT 5219/172	a d	27481
13 Adelaide Rd PALMER	<b>House;</b> External form, materials and detailing of 1890s stone masonry house. Excluding later alterations and additions.	A14	D376	CT 5196/993	a d	27482
15 Adelaide Rd PALMER	<b>Former Shop;</b> Original external form, materials and detailing of stone masonry and weatherboard/cgi clad building located at street front. Excluding later alterations and additions.	A13	D376	CT 5719/784	a c d	27483
16-18 Adelaide Rd PALMER	<b>Palmer General Store, Attached Residence &amp; Post Office;</b> Original external form, materials and detailing of stone masonry buildings, including attached residence, general store/post office and warehouse/store. Excluding later alterations and additions.	A7 A2	D376 F103304	CT 5130/528 CT 5131/677	a c d	27485

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
19-21 Adelaide Rd PALMER	<b>Attached Houses</b> ; Original external form, materials and detailing of stone masonry attached houses. Excluding later alterations and additions.	A115 A114	F169864 F169863	CT 5541/218 CT 5541/219	a d	27486
37 Kubenk Rd PALMER	<b>Farm Complex</b> ; Original external form, materials and detailing of farm complex including: main house, early cottage, agricultural outbuildings including piggery, stone animal yards and stone outbuildings. Excluding later alterations and additions.	A97	F204304	CT 5404/716	a d e	27487
Lot Pt 32 Olive Grove Ave PALMER	<b>War Memorial &amp; Park Gates</b> ; Form, materials and detailing of 1936 war memorial: simple broken marble column on plinth, and memorial gates: segmented concrete columns with metal gates and banner. Associated with Collier Park. Notable landmark to eastern entrance to Palmer.	A32	D1648	CT 5824/917	a d f	27488
10 Reedy Creek Rd PALMER	<b>Palmer Lutheran Church (Christ Church)</b> ; External form, materials and detailing of stone masonry 1872 church building, later 1927 square tower entry porch, and freestanding bellcote memorial located to rear of church. Excluding contemporary alterations and additions.	A59	D376	CT 5822/424	a c d	27489
2571 Reedy Creek Rd PALMER	<b>Hillydale</b> ; Original external form, materials and detailing of farm complex including all Federation-era structures: main house, adjacent cottage and outbuilding, stone masonry water tank, freestanding garage, masonry and metal fence to house yard. Excluding later alterations and additions	A307	D16500	CT 5416/67	a d e	27490

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
2571 Reedy Creek Rd PALMER	<b>Reedy Creek Road Bridge;</b> Original external form, materials and detailing of former road bridge. Excluding later alterations and additions.	A307	D16500	CT 5416/67	a d e	27491
119 Tepko School Rd PALMER	<b>Summerfield Lutheran Church Group;</b> Original external form, materials and detailing of stone masonry church, vestry, later square porch and tower, water tank stand, cypress and entrance gates, (Former) St Paul's Lutheran School and Summerfield Lutheran Hall. Excluding later alterations and additions.	A211	F169960	CT 5804/603	a c d	27493
335 Billabong Rd POMPOOTA	<b>House;</b> Original external form, materials and detailing of stone masonry house. Excluding later alterations and additions.	S364	H750200	CT 5977/277	a d	27496
347 Billabong Rd POMPOOTA	<b>Former Irrigation Office;</b> Original external form, materials and detailing of substantial stone masonry house (former irrigation office). Excluding later alterations and additions.	S351	H750200	CT 5425/205	a d	27497
363 Billabong Rd POMPOOTA	<b>House;</b> Original external form, materials and detailing of stone masonry house. Excluding later alterations and additions.	S352	H750200	CT 6022/948	a d	27498
201 Honeymoon Ave POMPOOTA	<b>Former Official Quarters;</b> Original external form, materials and detailing of former official quarters residence. Excluding later alterations and additions.	S358	H750200	CT 5868/392	a d	27500
443 Dabinett Rd PONDE	<b>Former School;</b> Original external form, materials and detailing of small stone masonry building. Excluding later alterations and additions.	S628 S702	H750800 H750800	CT 5929/601 CT 5929/601	a c d	27502

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
3188 Purnong Rd PURNONG	<b>Former Post Office;</b> Original external form, materials and detailing of stone masonry former school building. Excluding later alterations and additions.	S123	H700500	CT 5440/172	a c d	27503
204 Law Rd ROCKLEIGH	<b>Shearing Shed and farm sheds;</b> Original external form, materials and detailing of stone masonry/brick shearing shed and adjacent stone masonry machinery store and shed. Excluding later alterations and additions.	S471	H171000	CT 5408/454	a d	27504
1621 Reedy Creek Rd ROCKLEIGH	<b>Farm Cove Cottage;</b> Original external form, materials and detailing of stone masonry cottage, adjacent water tank, and outbuilding ruins.	S461	H171000	CT 5408/123	a d	27505
1621 Reedy Creek Rd ROCKLEIGH	<b>Farm Cove Homestead;</b> External form, materials and detailing of c.1900 Federation-era stone masonry farm house and associated outbuildings. Excluding later alterations and additions.	S461	H171000	CT 5408/123	a d	27506
1829 Reedy Creek Rd ROCKLEIGH	<b>Farm Complex;</b> Original external form, materials and detailing of farm complex including: main house and early stone outbuildings. Excluding later alterations and additions.	S452	H171000	CT 5675/759	a d	27507

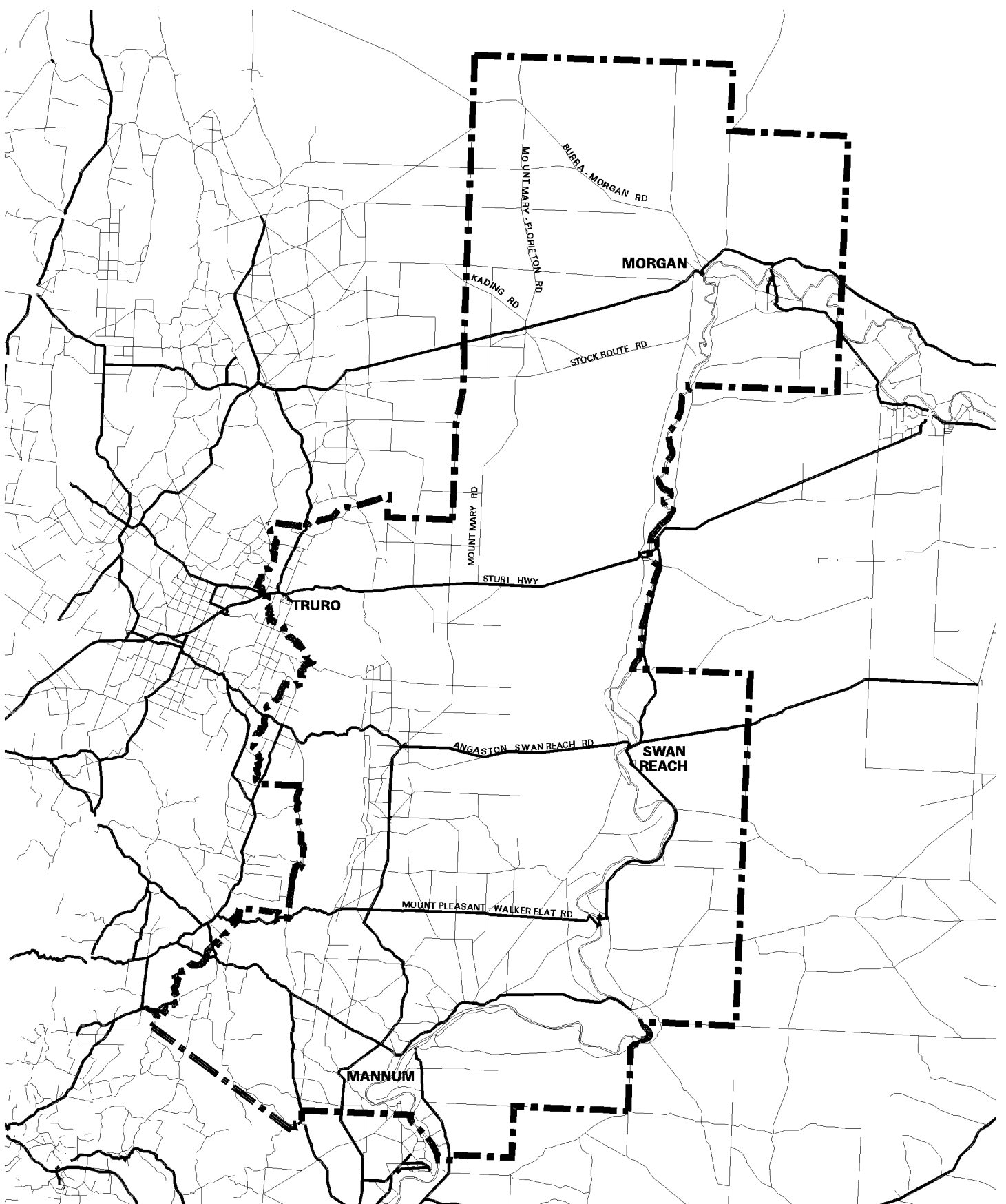
Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
Rocky Point Rd ROCKY POINT	<b>Dry Stone Retaining Wall;</b> Original form, materials and detailing of terraced dry stone walling, supporting both sides of Rocky Point Road, edged with fence consisting of timber posts, top rail and three wires below.			Road Reserve; Crown Reserve CR 5762/31; and on or abutting the common allotment boundaries of CT 6022/955, CT 5394/320, CT 5433/777, CT 5913/199, CT 5433/890 and CT 5893/17	a d	27508
Rons Rd SEDAN	<b>Former Farm Buildings;</b> Original form, materials and detailing of entire abandoned farm complex (including interiors) and associated built structures in the immediate surrounds.	S35	H120200	CT 5354/924	a d	27509
2 Adelaide Rd TUNGKILLO	<b>Cottage;</b> Original external form, materials and detailing of stone masonry cottage. Excluding later alterations and additions.	A13	D67	CT 5389/963	a d	27515
3-5 Adelaide Rd TUNGKILLO	<b>Former Primitive Methodist Church;</b> External form, materials and detailing of 1867 stone masonry former church building and 1936 porch. Excluding later alterations and additions.	A21 A22	D193	CT 5262/380 CT 5262/381	a c d	27516
6 Adelaide Rd TUNGKILLO	<b>Cottage;</b> Original external form, materials and detailing of stone masonry cottage. Excluding later alterations and additions.	A59	F157594	CT 5332/262	a d	27517
12 Adelaide Rd TUNGKILLO	<b>Cottage;</b> Original external form, materials and detailing of simple stone masonry cottage. Excluding later alterations and additions.	A10	D67	CT 5122/179	a d	27518

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
16 Adelaide Rd TUNGKILLO	<b>Cottage</b> ; Original external form, materials and detailing of stone masonry cottage and timber pillars to front gate. Excluding later alterations and additions.	A82	D91122	CT 6110/998	a d	27519
22 Adelaide Rd TUNGKILLO	<b>Cottage</b> ; Original external form, materials and detailing of stone masonry store/residence. Excluding later alterations and additions.	A4	D67	CT 6127/114	a d	27520
28 Adelaide Rd and 2a Brinkworth Rd TUNGKILLO	<b>Former Tungkillo Hotel &amp; Outbuildings</b> ; External form, materials and detailing of 1860s stone masonry former hotel building and stone masonry outbuilding (CT 6175/390) and former stable (CT 6175/389). Excluding later alterations and additions.	A701 A700	D112661	CT 6175/390 CT 6175/389	a c d	27521
43 Adelaide Rd TUNGKILLO	<b>Former General Store, Residence and Outbuildings</b> ; External form, materials and detailing of 1880s stone masonry former general store, residence and two rear stone masonry outbuildings. Excluding later alterations and additions.	A2	F7063	CT 5862/59	a c d	27522
846 Black Heath Rd TUNGKILLO	<b>Farmhouse</b> ; Original external form, materials and detailing of large stone masonry farmhouse. Excluding later alterations and additions.	S230	H171000	CT 5433/422	a d e	27523
183 Buckley Rd TUNGKILLO	<b>Craigielee</b> ; Original external form, materials and detailing of the farm complex including: early stone masonry cottage, later larger stone masonry main house, stone outbuilding and stone wall. Excluding later alterations and additions.	S7082	H171000	CT 5212/520	a	27525

Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
Burtens Rd TUNGKILLO	<b>Reserve and Water Trough;</b> Original form, materials and detailing of remaining elements of red gum frame, galvanised water trough, stone-lined well and timber platform, dry stone boundary wall, all drains and reserve.	Pieces 65 + 66	D110412	CR 6162/400	a c	27526
Lot 29 Terlinga Rd TUNGKILLO	<b>Crowhurst;</b> Original external form, materials and detailing of stone masonry dwelling, outbuildings, underground tank and garden walls. Excluding later alterations and additions	A29	F157564	CT 5739/470	a d	27697
908 Terlinga Rd TUNGKILLO	<b>Shepherd's Hut;</b> Original external form, materials and detailing of stone masonry hut. Excluding later alterations and additions.	A102	D85276	CT 6079/633	a b	27529
1048 Terlinga Rd TUNGKILLO	<b>Pintumba;</b> Original external form, materials and detailing of brick masonry farm house. Excluding later alterations and additions.	A31	F157566	CT 5824/466	a d	27530
1099 Terlinga Rd TUNGKILLO	<b>Terlinga Cottage;</b> Original external form, materials and detailing of stone masonry cottage (main house not included). Excluding later alterations and additions.	A1	D40891	CT 5228/521	a d	27531
1215 Terlinga Rd TUNGKILLO	<b>Former Vincent Primary School;</b> External form, materials and detailing of 1860 stone masonry former school building with attached residence. Excluding later alterations and additions.	S279	H171000	CT 5717/992	a c d	27532
433 Tungkillo Rd TUNGKILLO	<b>Farm Complex;</b> Original external form, materials and detailing of farm complex including: main house, two small cottages, shearing shed and associated outbuildings and cgi iron water tank on stone base. Excluding later alterations and additions.	Q91	F204096	CT 5988/265	a b	27533



Property Address	Description and Extent of Listed Place (Heritage Value)	Lot No. or Part Sec	Plan No.	Certificate of Title	Section 23(4) Criteria	Heritage NR
203 Martin Rd WALL FLAT	<b>Wall Station Homestead;</b> Original external form, materials and detailing of stone masonry homestead and stone masonry outbuilding to rear of homestead. Excluding later alterations and additions.	S734	H170300	CT 5434/327	a b e	27538
11 Starr Rd WALL FLAT	<b>Hall;</b> Original external form, materials and detailing of stone masonry hall, cgi shelter shed and simple stone toilet block to rear of hall. Excluding later alterations and additions.	S682	H170300	CR 5757/386	a c d	27539
356 Chambers Hill Rd YOUNGHUSBAND	<b>Brinkley Farmhouse;</b> Original external form, materials and detailing of farmhouse and associated outbuildings. Excluding later alterations and additions.	A12	D48019	CT 6148/220	a d	27541
Pine Hut Rd, and on or abutting the common allotment boundaries of CT 5638/51, CT 5620/51, CT 555/183, CT 5188/586, and CT 5547/432	<b>Dry Stone Walling;</b> Original form, materials and detailing of stone walling, located on both sides of Pine Hutt Road.			CT 5188/586 CT 5547/432 CT 555/183 CT 5620/51 CT 5638/51	a d	27544

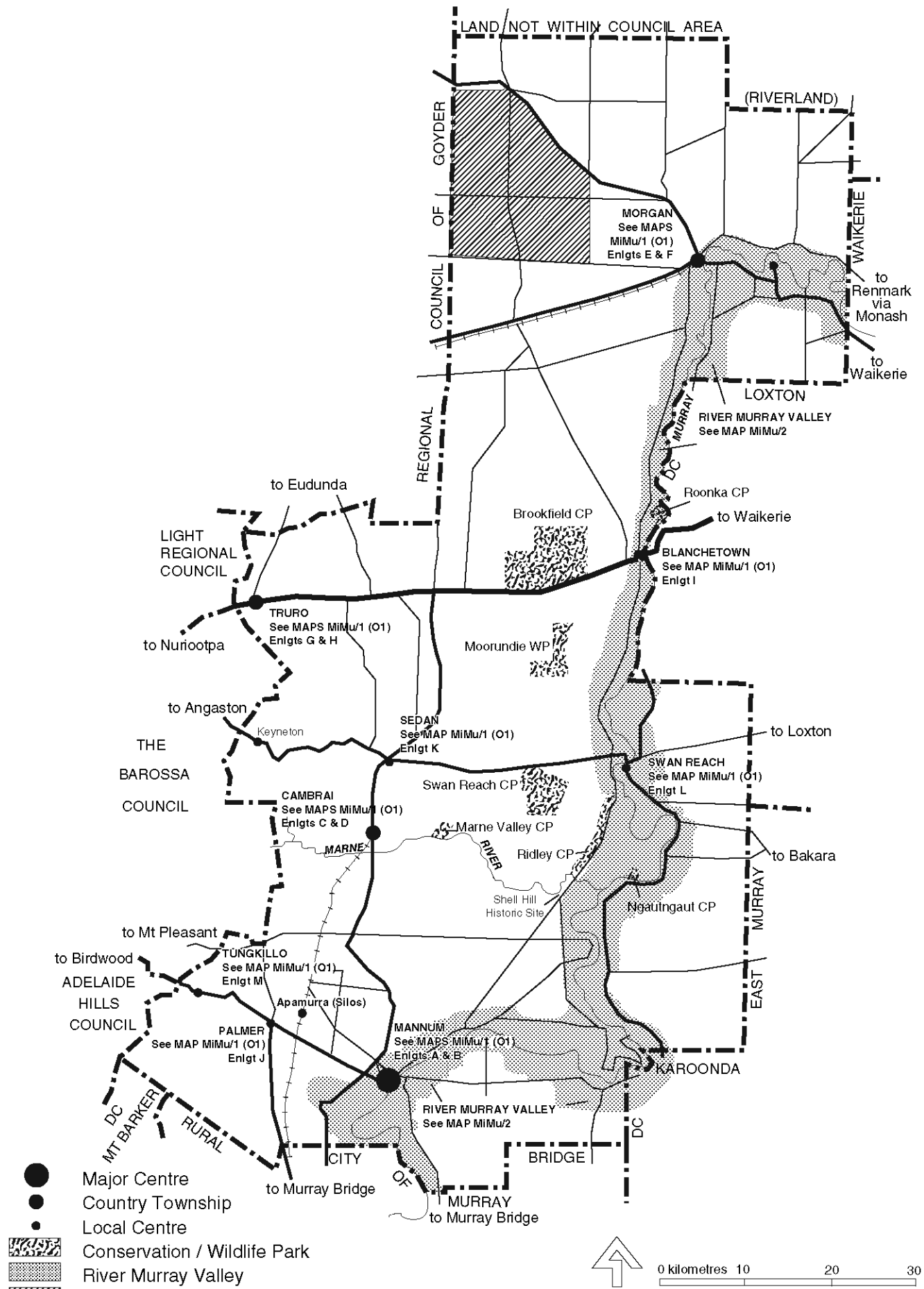


To identify the precise location of the Development Plan boundary refer to Map MiMu/2 then select the relevant Zone Map

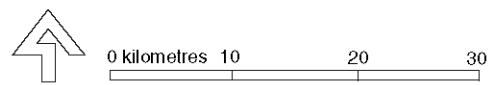


# THE MID MURRAY COUNCIL MAP MiMu/1

**— ■ —** Development Plan Boundary

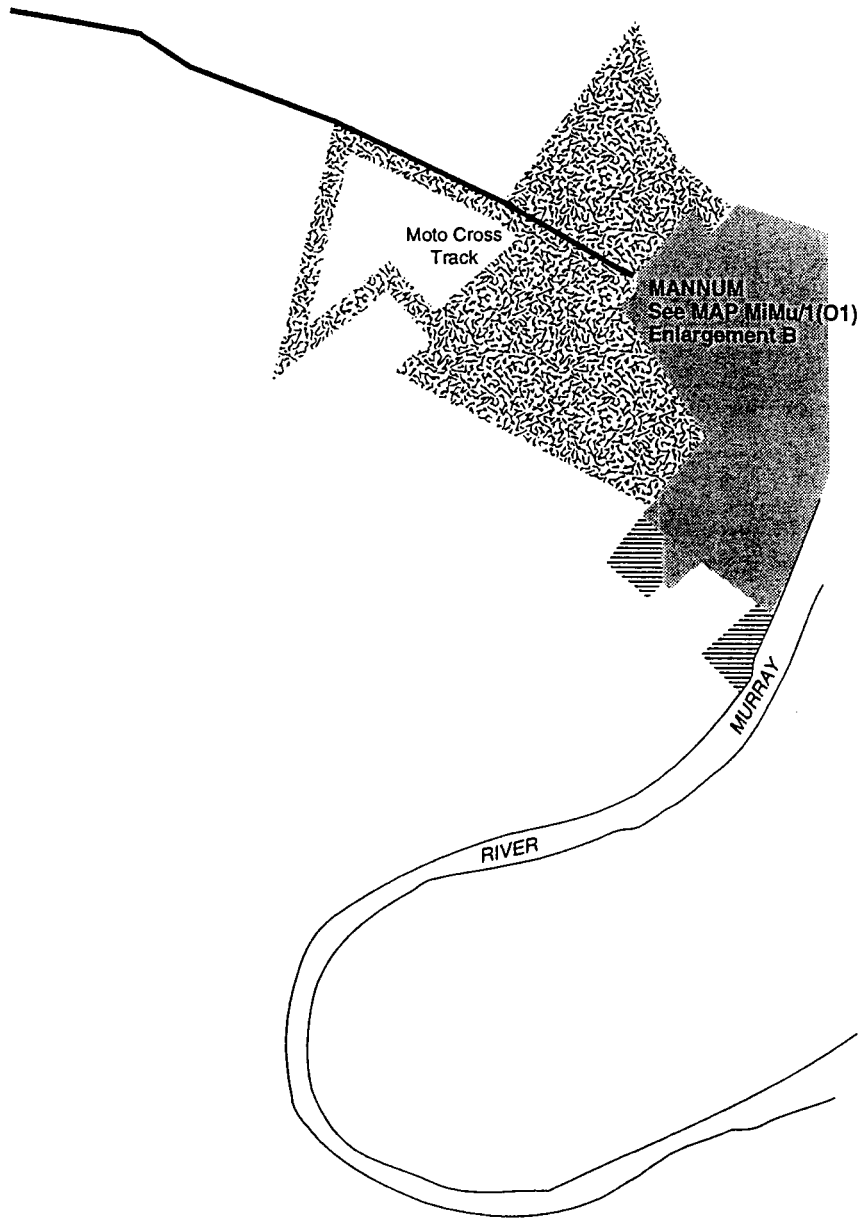


- Major Centre
- Country Township
- Local Centre
- ▨ Conservation / Wildlife Park
- ▨ River Murray Valley
- ▨ Enterprise
- Rural
- Primary Arterial Road
- Secondary Arterial Road
- Major Local Road
- - - Railway
- - - Local Government Area Boundary








# MID MURRAY COUNCIL STRUCTURE PLAN MAP MiMu/1 (Overlay 1)

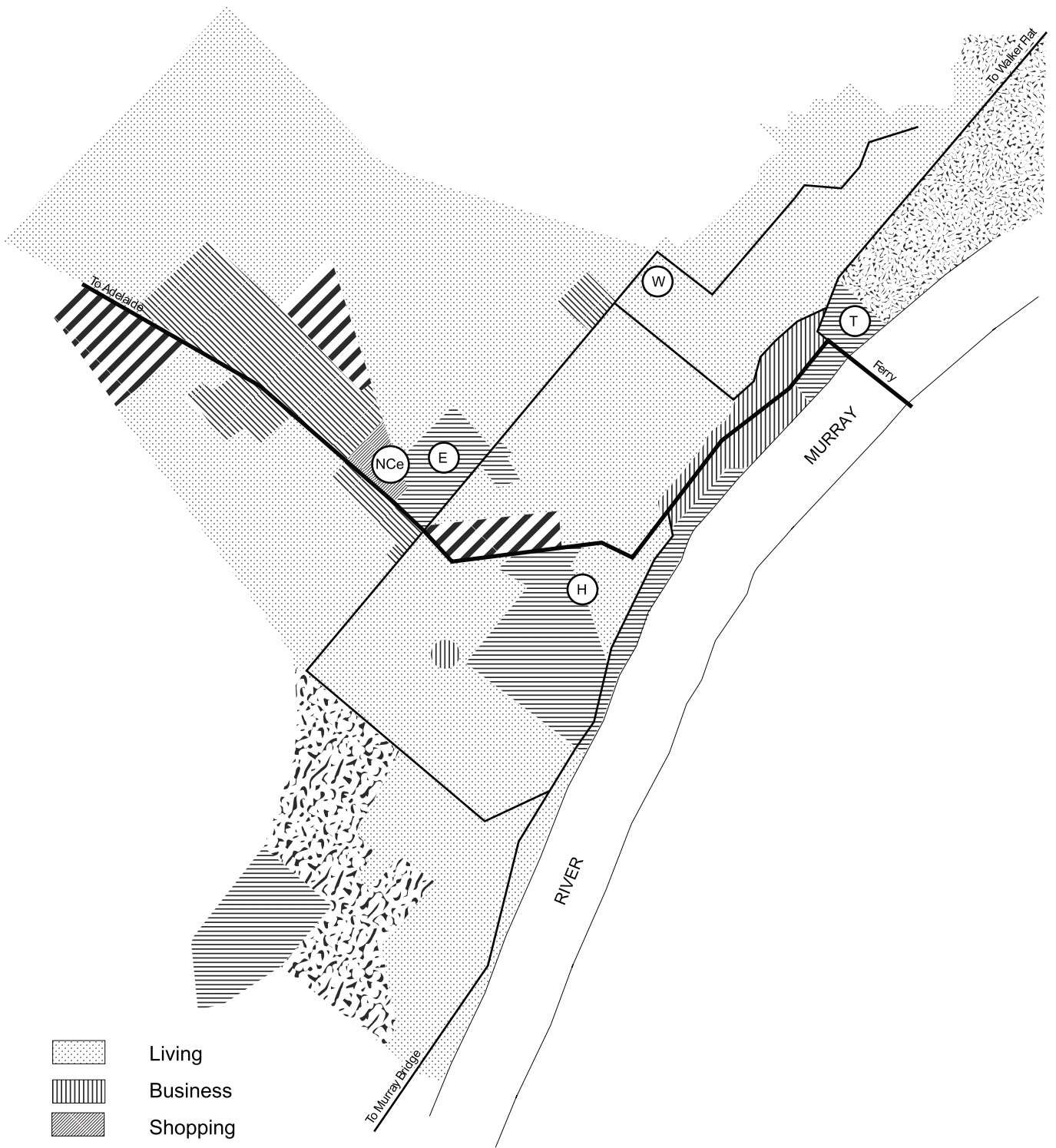
to Palmer


















0 kilometres 1 2

-  Rural Living
-  Deferred Rural Living
-  Public Purpose
-  Conservation
-  Secondary Arterial Road

# MID MURRAY COUNCIL MANNUM ENVIRONS STRUCTURE PLAN MAP MiMu/1 (Overlay 1) Enlargement A

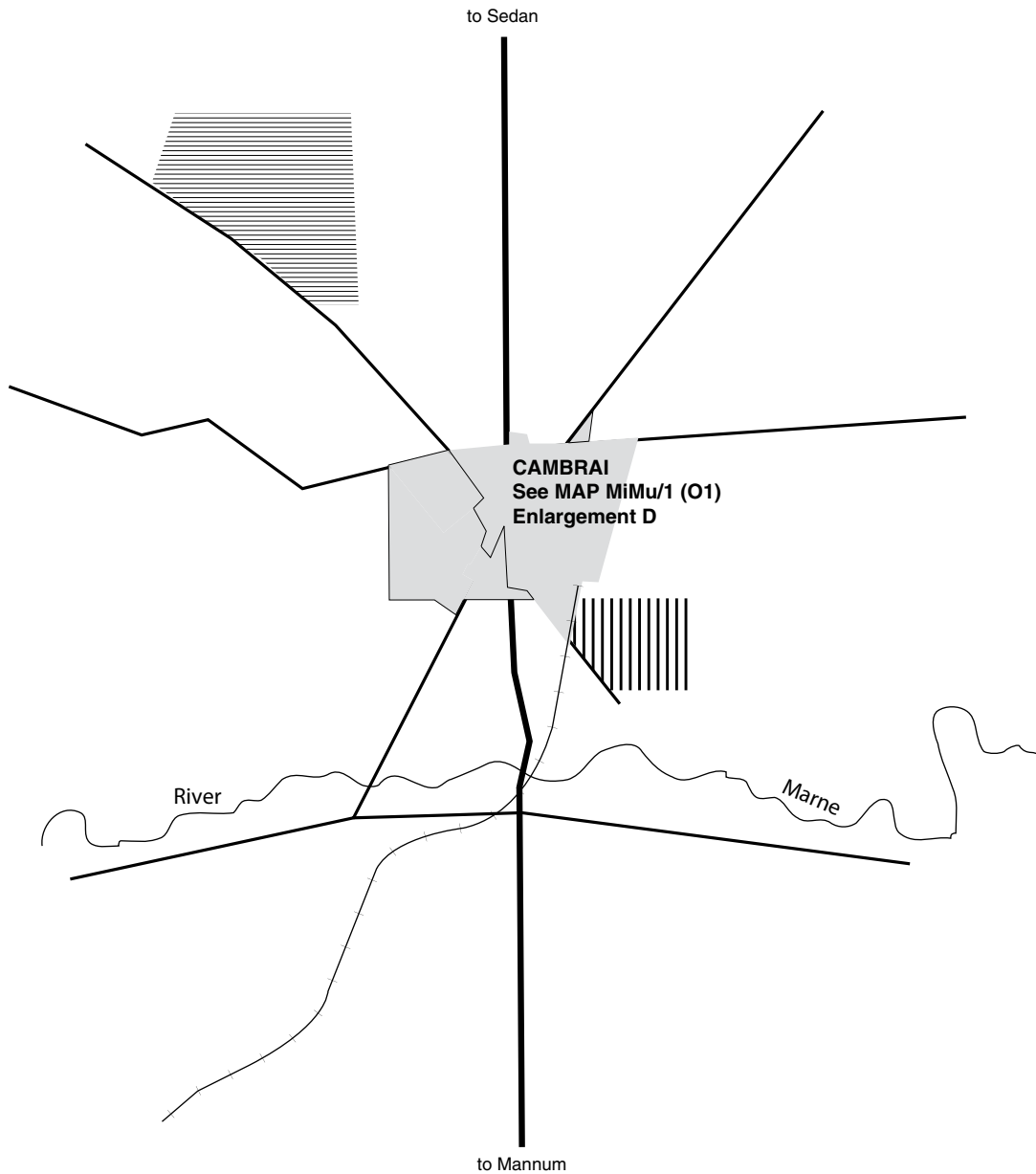







-  Living
-  Business
-  Shopping
-  Commercial
-  Industrial
-  Community and Public Purpose
-  Neighbourhood Centre
-  Education
-  Hospital
-  Waterworks Land
-  Tourist Accommodation
-  Open Space
-  Conservation
-  Major Local Road
-  Secondary Arterial Road



0 metres 200 400 600 800 1000 1200

**THE MID MURRAY COUNCIL  
MANNUM  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement B**

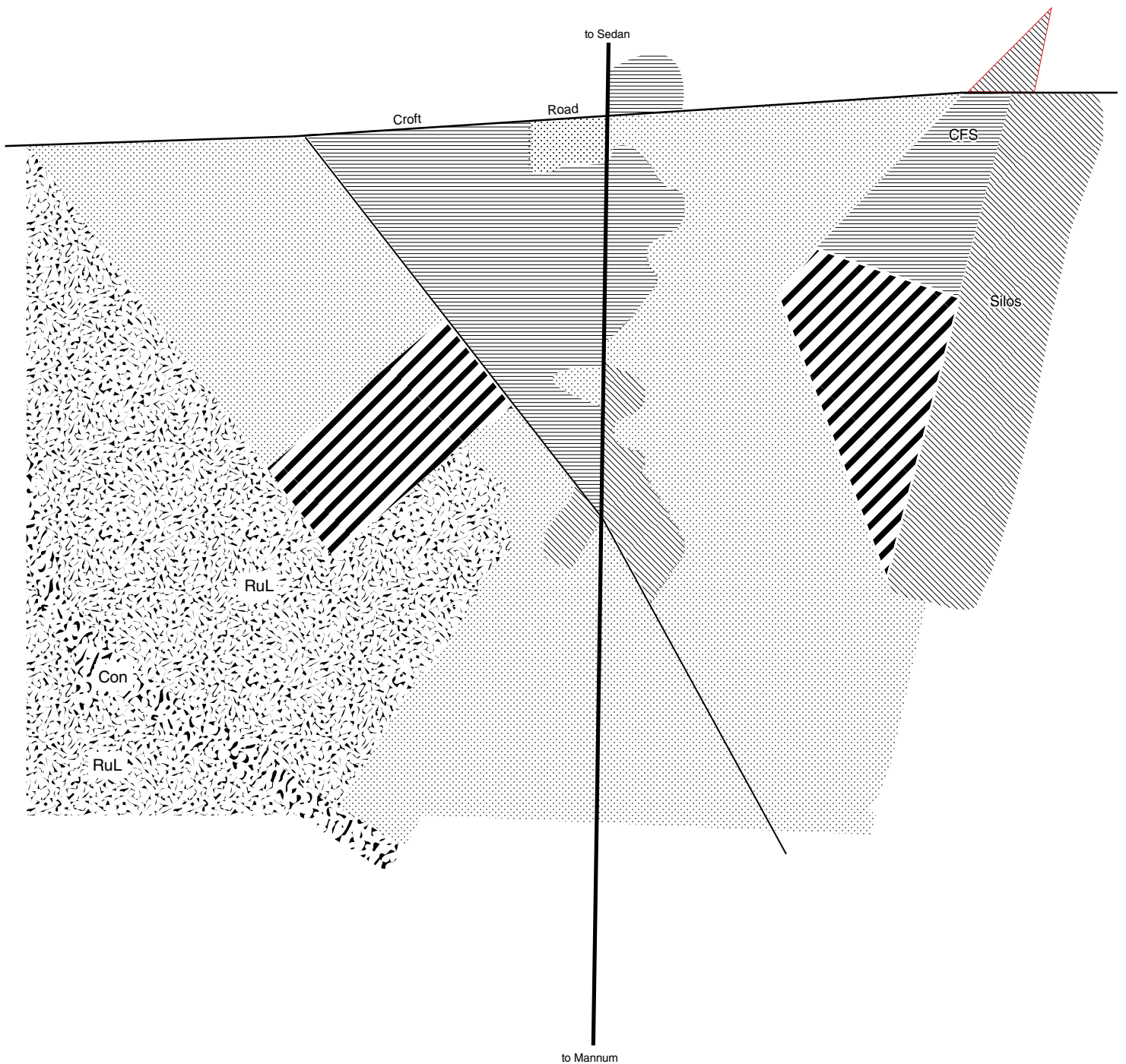


-  Public Purpose / (Waste Depot)
-  Community Recreation
-  Secondary Arterial Road
-  Major Local Road
-  Railway



0kilometres 1 2

**MID MURRAY COUNCIL  
CAMBRAI ENVIRONS  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement C**

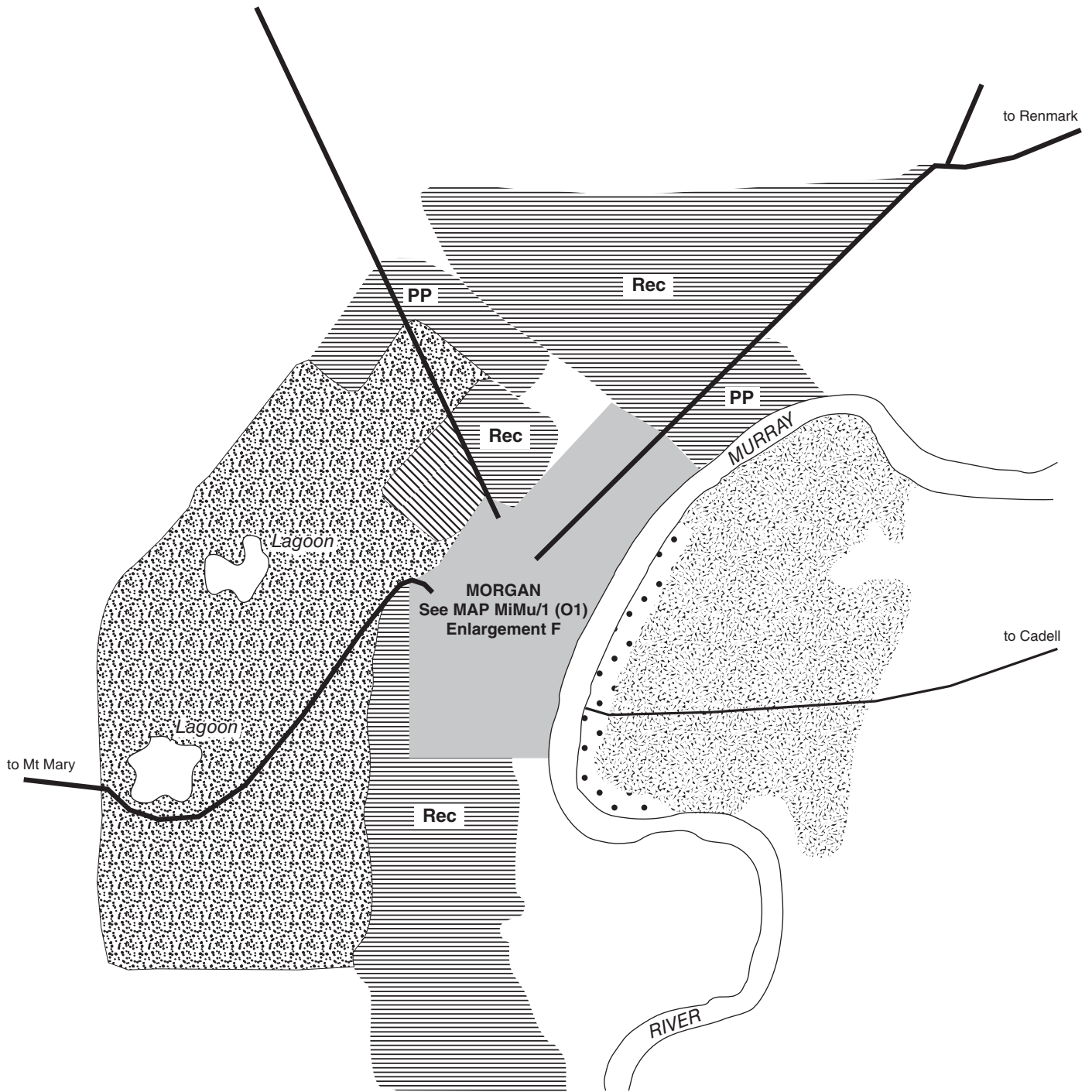


-  Living
-  Industry
-  Commercial
-  Education / Public Purpose
-  Rural Living
-  Conservation
-  Secondary Arterial Road
-  Major Local Road



0kilometres 1 2

**MID MURRAY COUNCIL  
CAMBRAI  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement D**



-  Rural Living
-  Commercial / Light Industrial
-  Public Purpose
-  Recreation and Open Space
-  Conservation
-  Shack Area
-  Secondary Arterial Road
-  Major Local Road



0kilometres 1 2

# MID MURRAY COUNCIL MORGAN ENVIRONS STRUCTURE PLAN MAP MiMu/1 (Overlay 1) Enlargement E



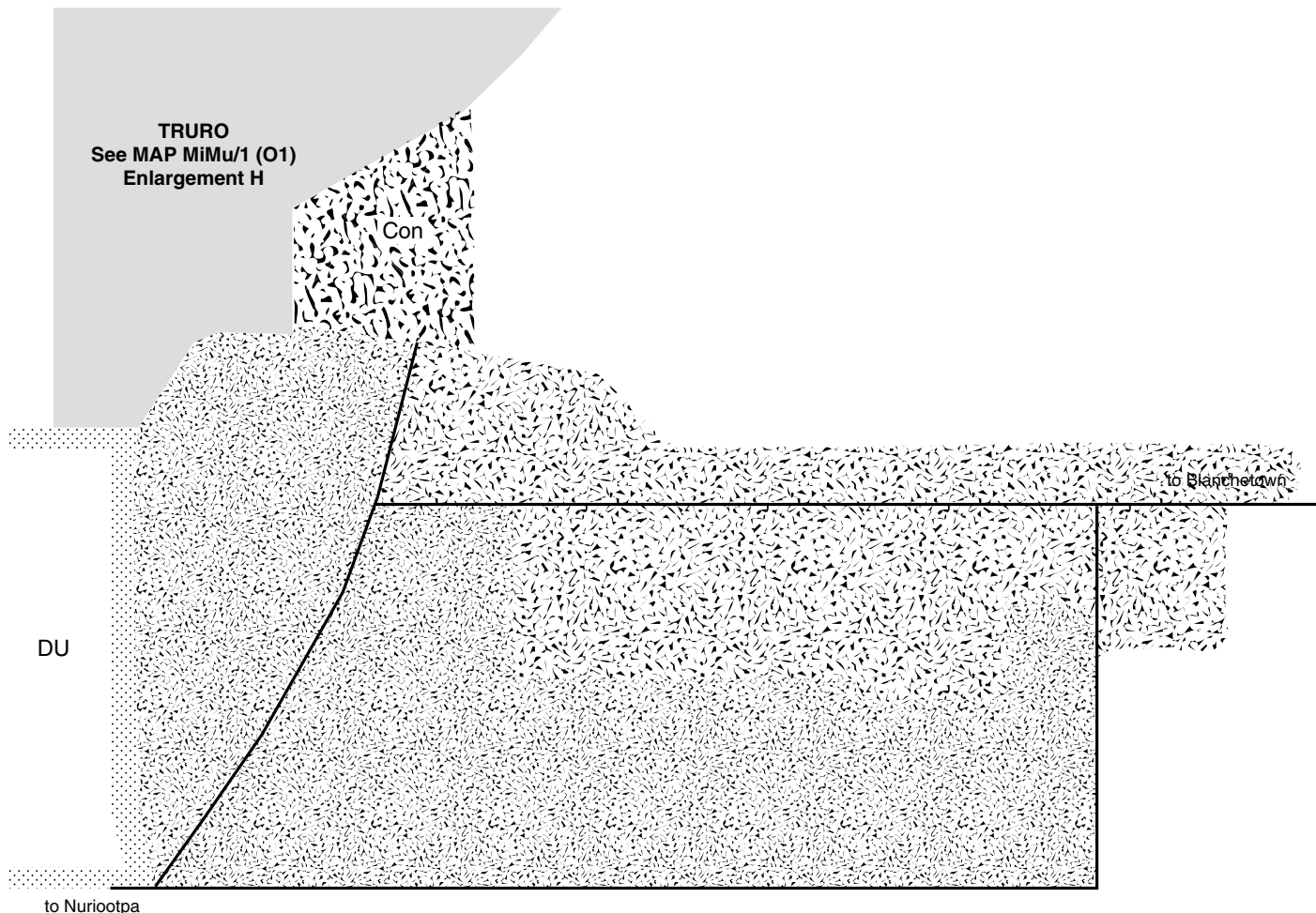







-  Living
-  Commercial
-  Public Recreation / Open Space
-  Conservation
-  Secondary Arterial Road
-  Major Local Road



0metres 250 500

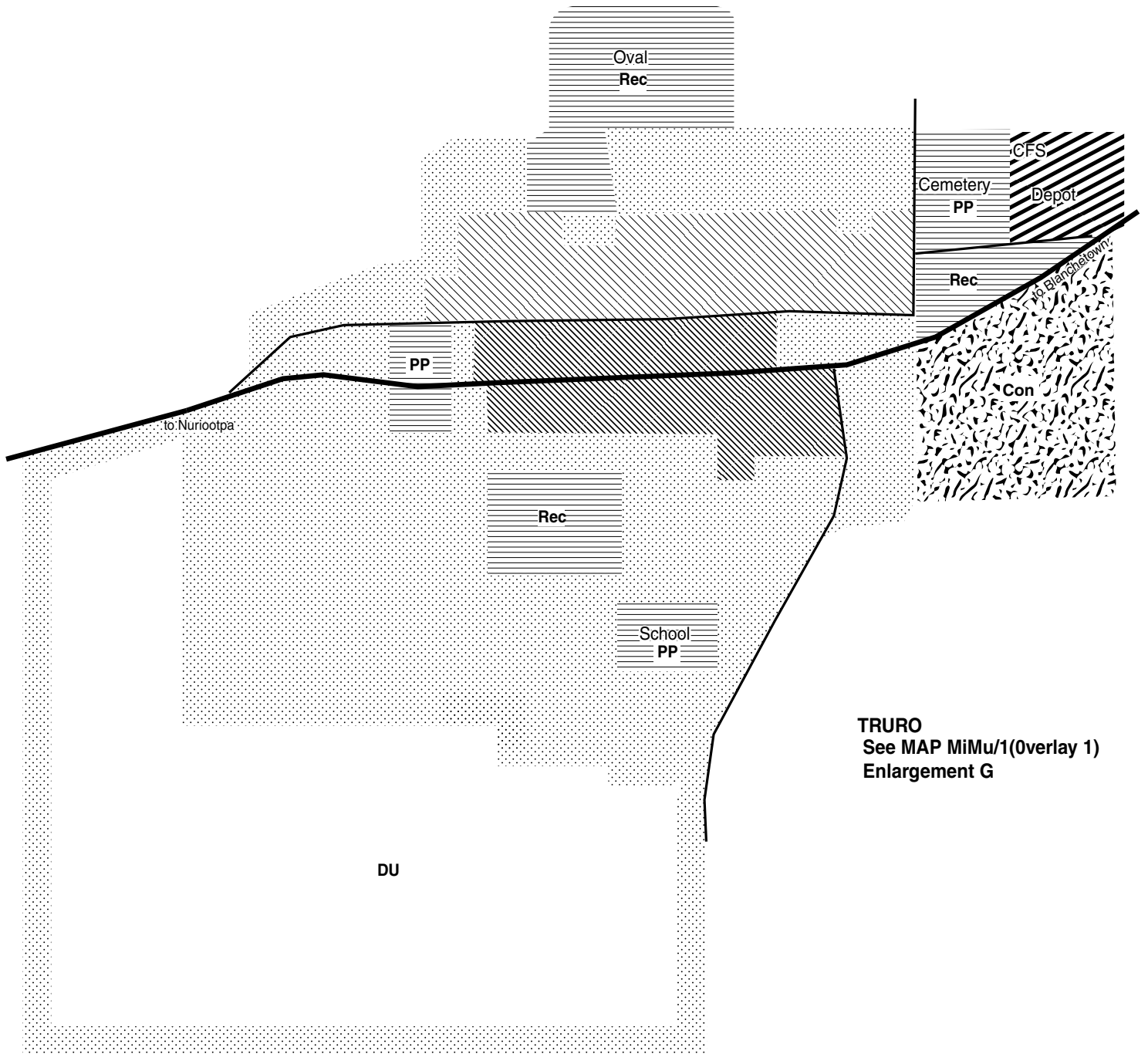
**MID MURRAY COUNCIL  
MORGAN  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement F**




-  DU Deferred Urban
-  Con Conservation
-  Rural Living
-  Special Rural Living
-  Major Local Road



**MID MURRAY COUNCIL  
TRURO ENVIRONS  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement G**



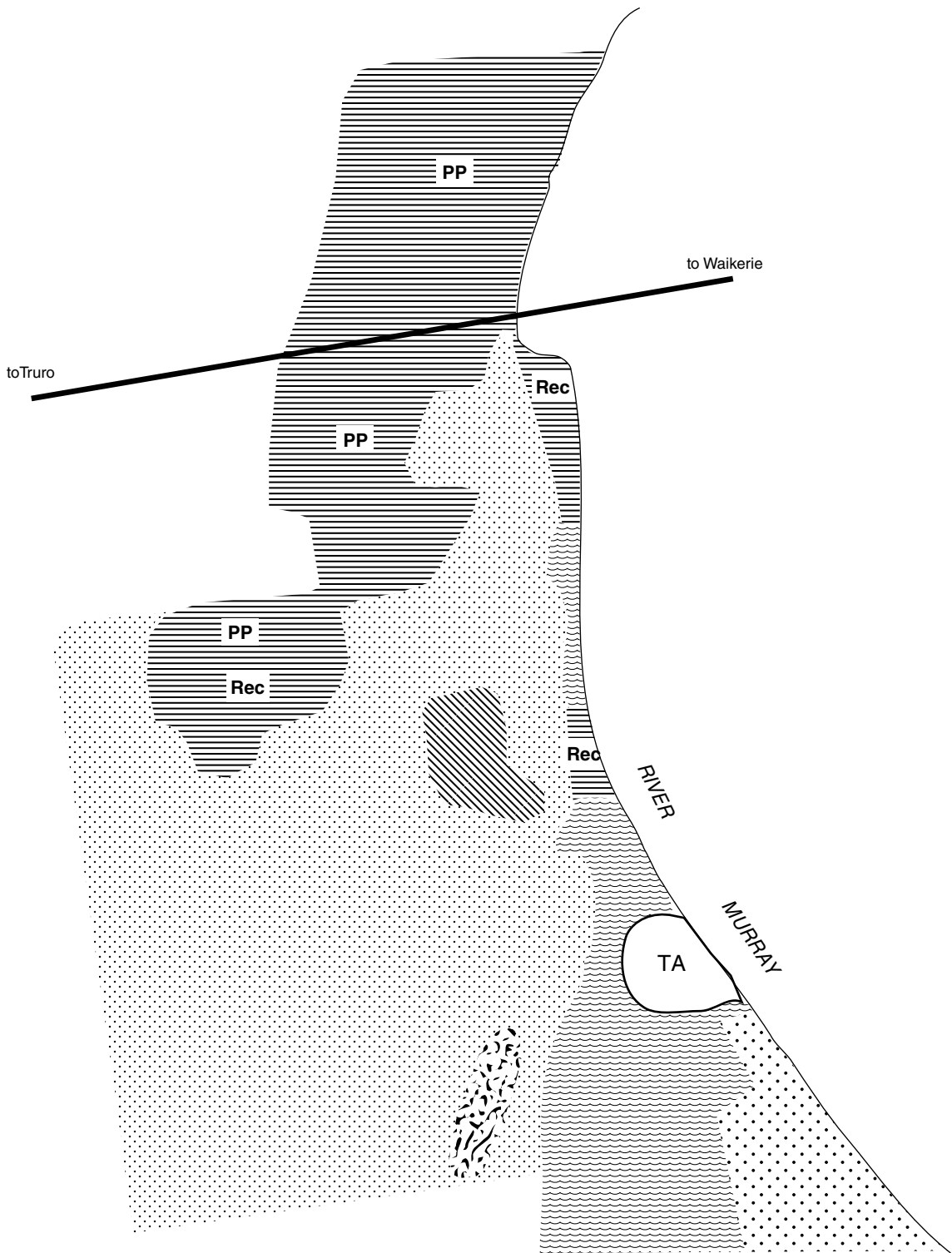
**TRURO**  
See MAP MiMu/1(Overlay 1)  
Enlargement G

-  Living
-  DU Deferred Urban
-  Business / Residential Mix
-  Commercial
-  PP Public Purpose
-  Rec Open Space and Recreation
-  Con Conservation
-  Industry
-  Primary Arterial Road
-  Major Local Road



0 kilometres 1 2

**MID MURRAY COUNCIL  
TRURO  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement H**

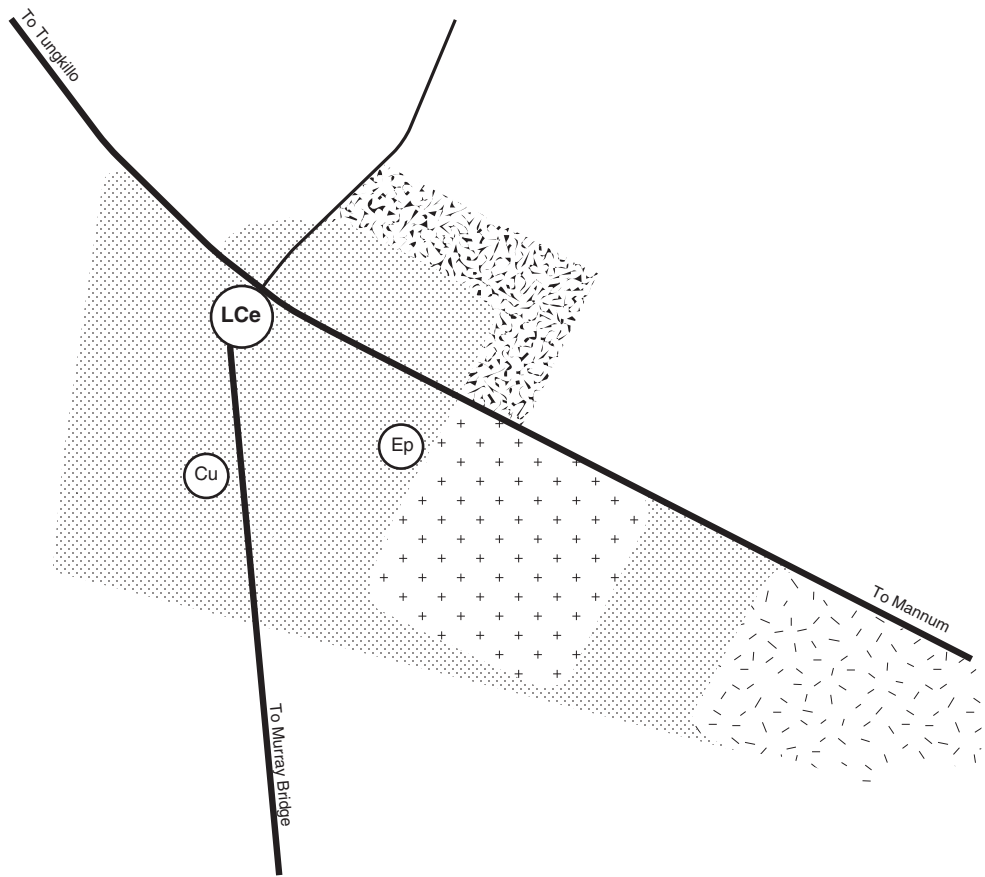




-  Living
-  Commercial
-  Public Purpose
-  Open Space and Recreation
-  Tourist Accommodation
-  Shack Area
-  Flood Zone
-  Conservation
-  Primary Arterial Road



0 kilometres 1 2

**MID MURRAY COUNCIL  
BLANCHETOWN  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement I**

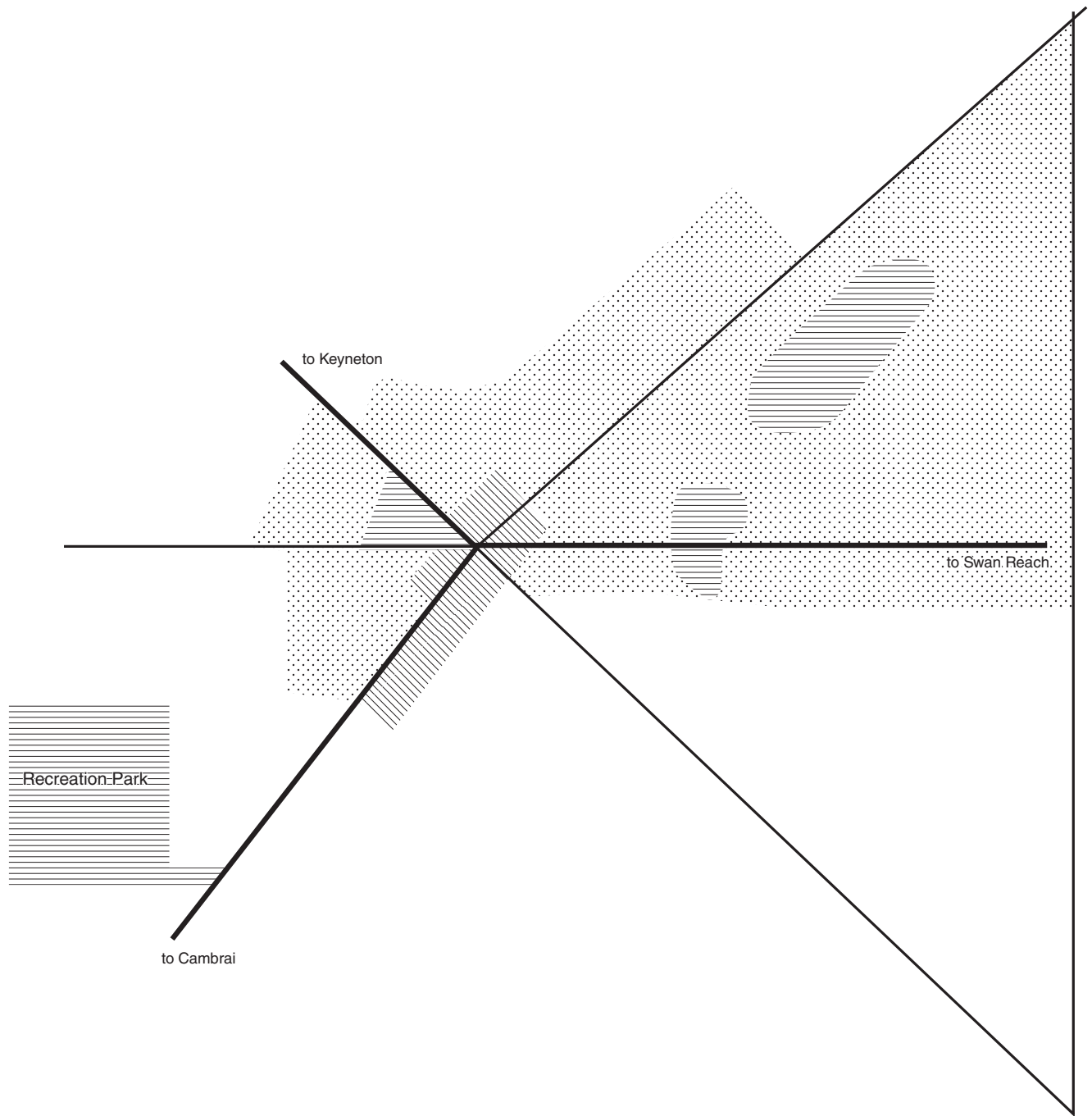







-  Living
-  Local Centre
-  Rural Living
-  Special Use
-  Education - Primary
-  Community Use
-  Open Space
-  Major Local Road
-  Secondary Arterial Road



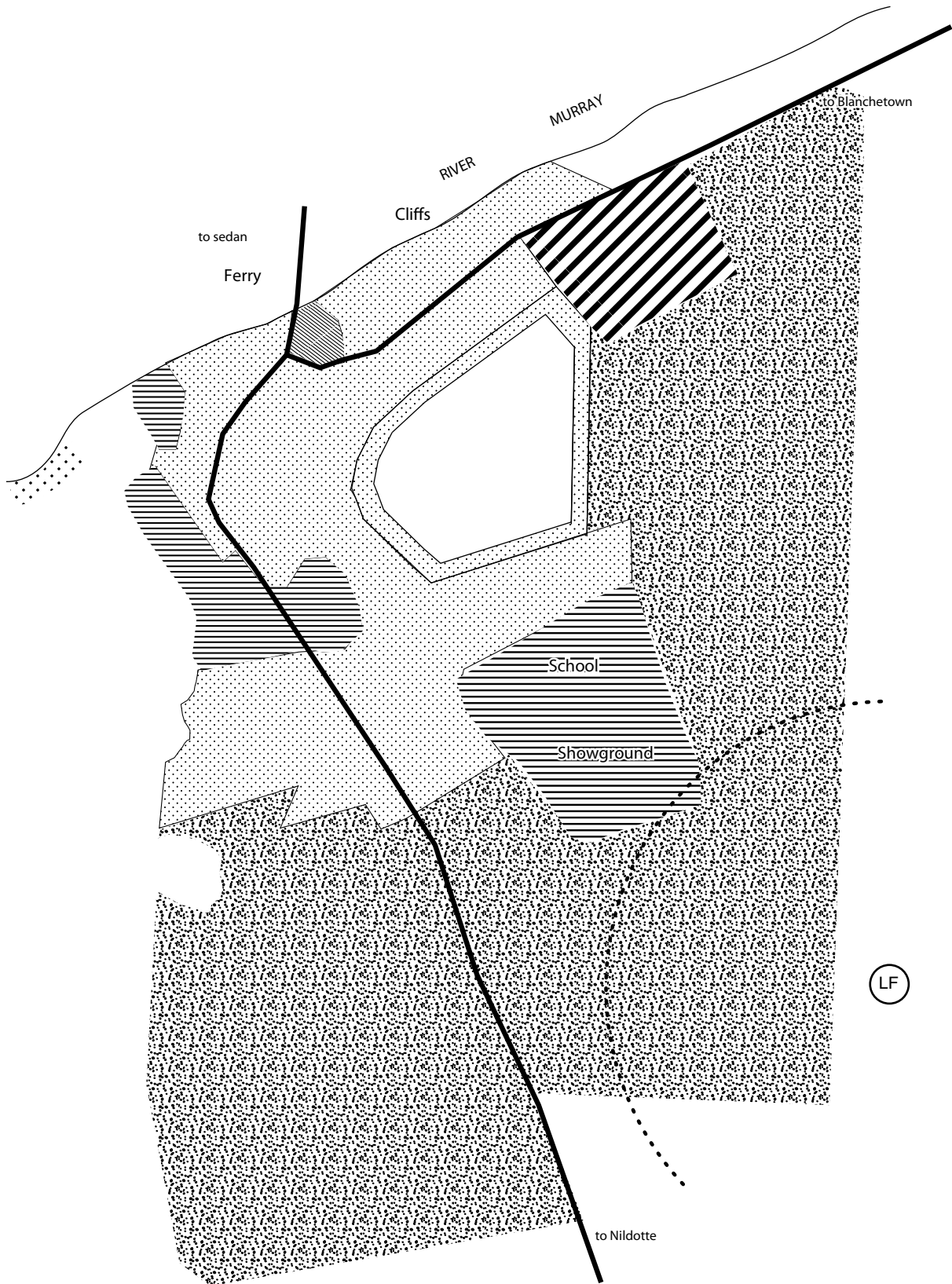
0 metres      200      400      600

**MID MURRAY COUNCIL  
PALMER  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement J**



-  Living
-  Commercial
-  Public Purpose
-  Secondary Arterial Road
-  Major Local Road

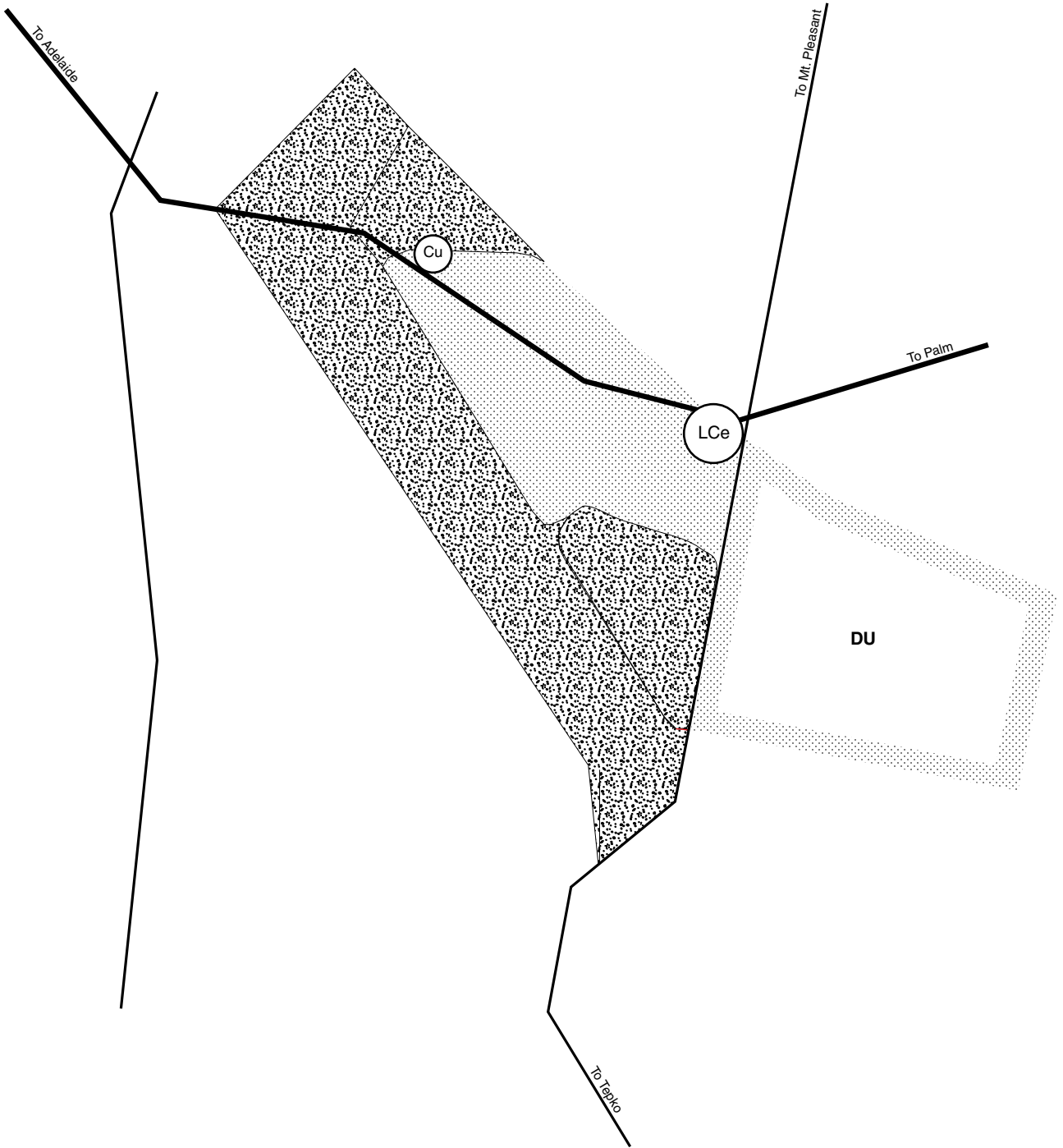
**MID MURRAY COUNCIL  
SEDAN  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement K**  
Consolidated - 25 February 2021











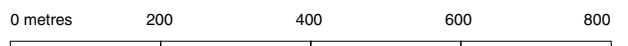
-  Living
-  Deferred Urban
-  Industry
-  Commercial
-  Rural Living
-  Public Purpose / Recreation
-  Shack Area
-  Secondary Arterial Road
-  Landfill - closed
-  500m Landfill Buffer



**MID MURRAY COUNCIL  
SWAN REACH  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement L**

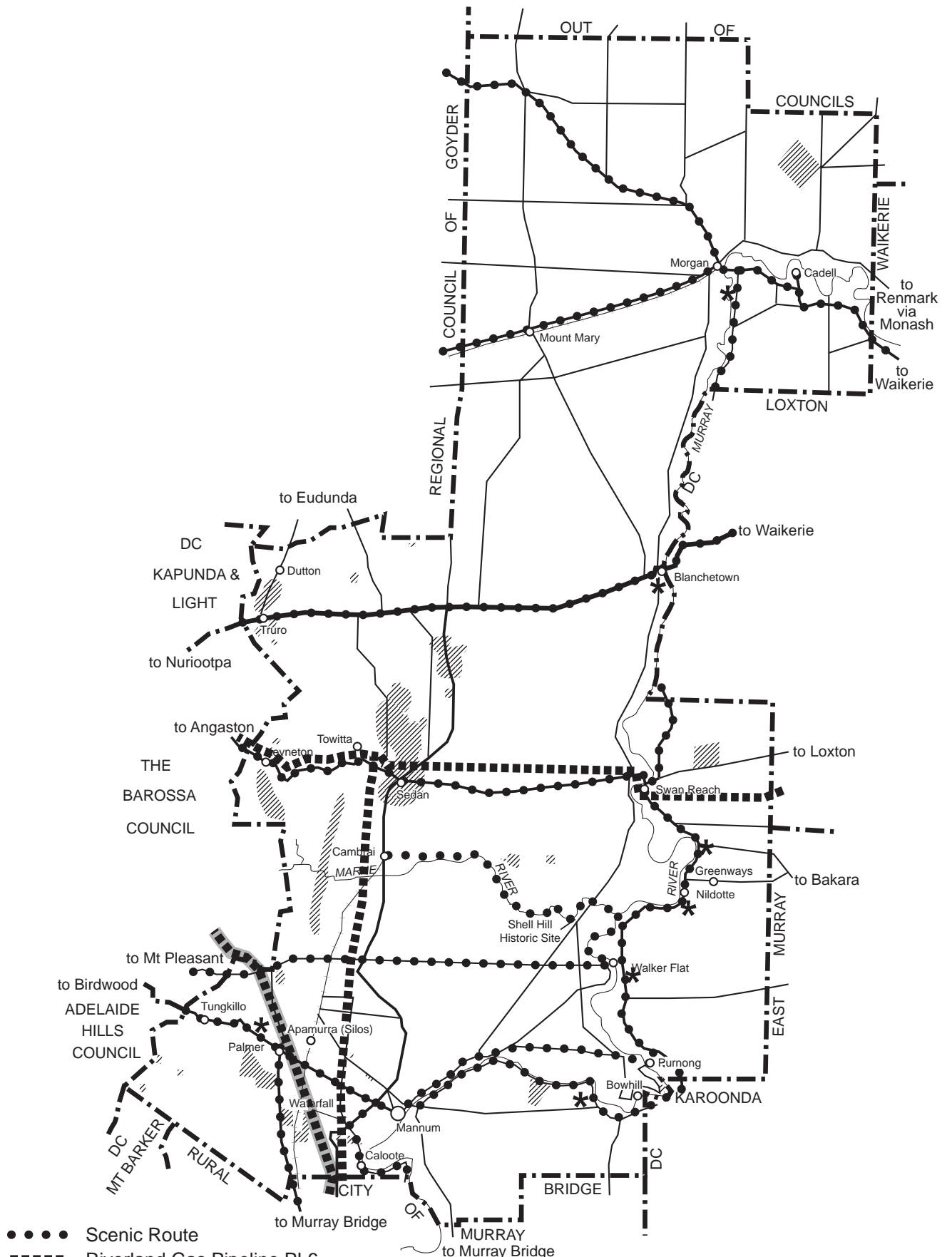


-  Living
-  DU Deferred Living
-  LCe Local Centre
-  Rural
-  Rural Living
-  Cu Community Use
-  Major Local Road
-  Secondary Arterial Road

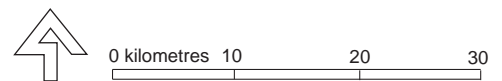


**MID MURRAY COUNCIL  
TUNGKILLO  
STRUCTURE PLAN  
MAP MiMu/1 (Overlay 1)  
Enlargement M**

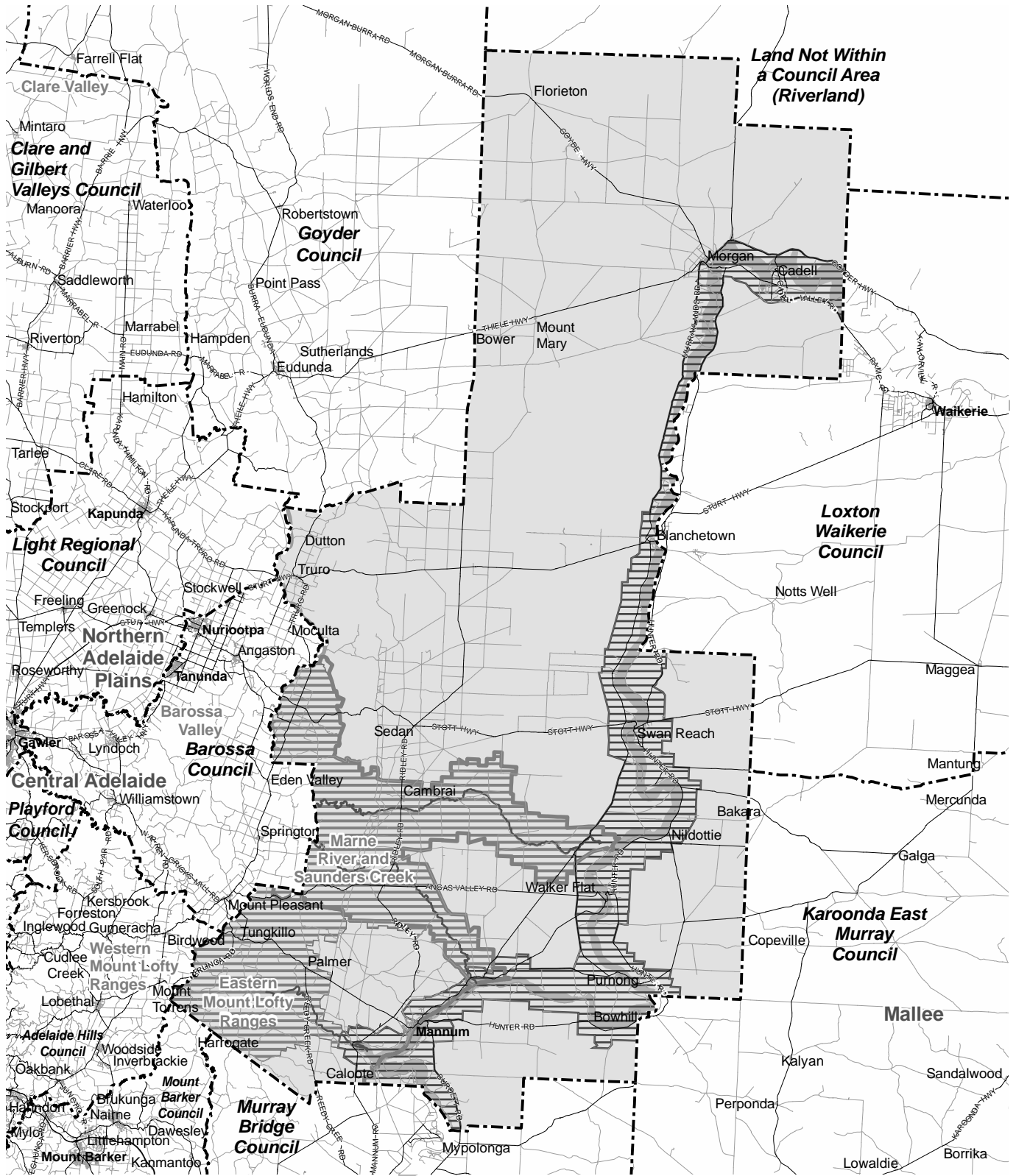




- Scenic Route
- Riverland Gas Pipeline PL6
- Port Campbell to Adelaide Gas Pipeline PL13
- \* Scenic Lookout
- ▨ Mineral Resources
- - - Local Government Area Boundary
- Primary Arterial Road
- Secondary Arterial Road
- Local Road










# MID MURRAY COUNCIL STRUCTURE PLAN MAP MiMu/1 (Overlay 2)



Note: Development in the identified areas may require referral in accordance with Schedule 8 of the Development Regulations 2008.

**Water Management Areas**

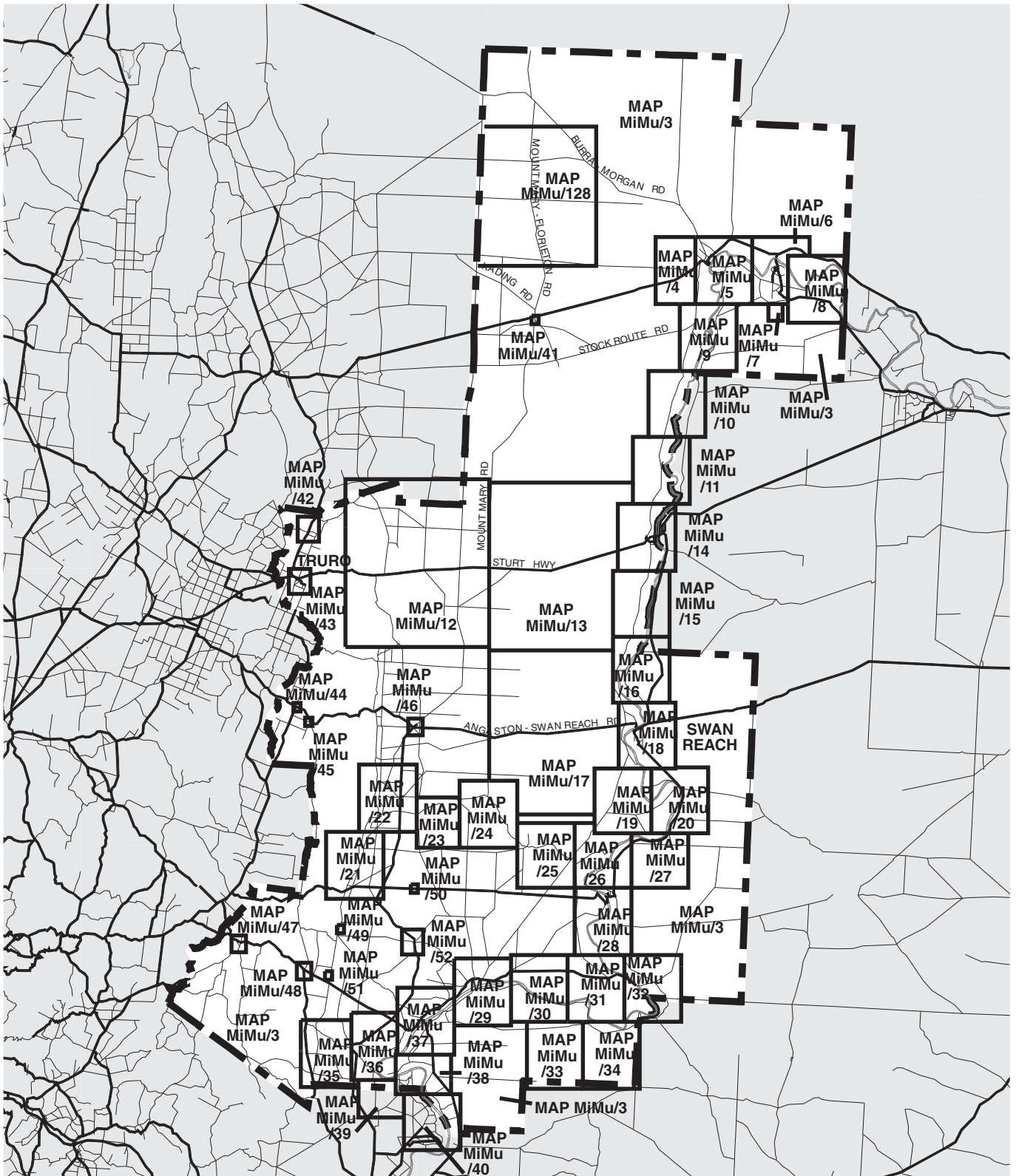
-  Tributaries
-  Prescribed Water Resource Areas
-  River Murray Protection Area - Floodplain Area/  
River Murray Water Protection Area (under the Environment Protection Act 1993)
-  River Murray Protection Area - Tributaries Area
-  River Murray Prescribed Watercourse
-  Murray Darling Basin
-  Development Plan Boundary



# Map MiMu/1(Overlay 3)

## DEVELOPMENT CONSTRAINTS

### Water Management Areas



For the purposes of the Development Plan unless otherwise clearly indicated, the zone/policy area boundaries depicted on or intended to be fixed by Maps MiMu/3 to MiMu/132 inclusive shall be read as conforming in all respects (as the case may require) to the land division boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said zone/policy area boundaries are shown or otherwise as indicated.



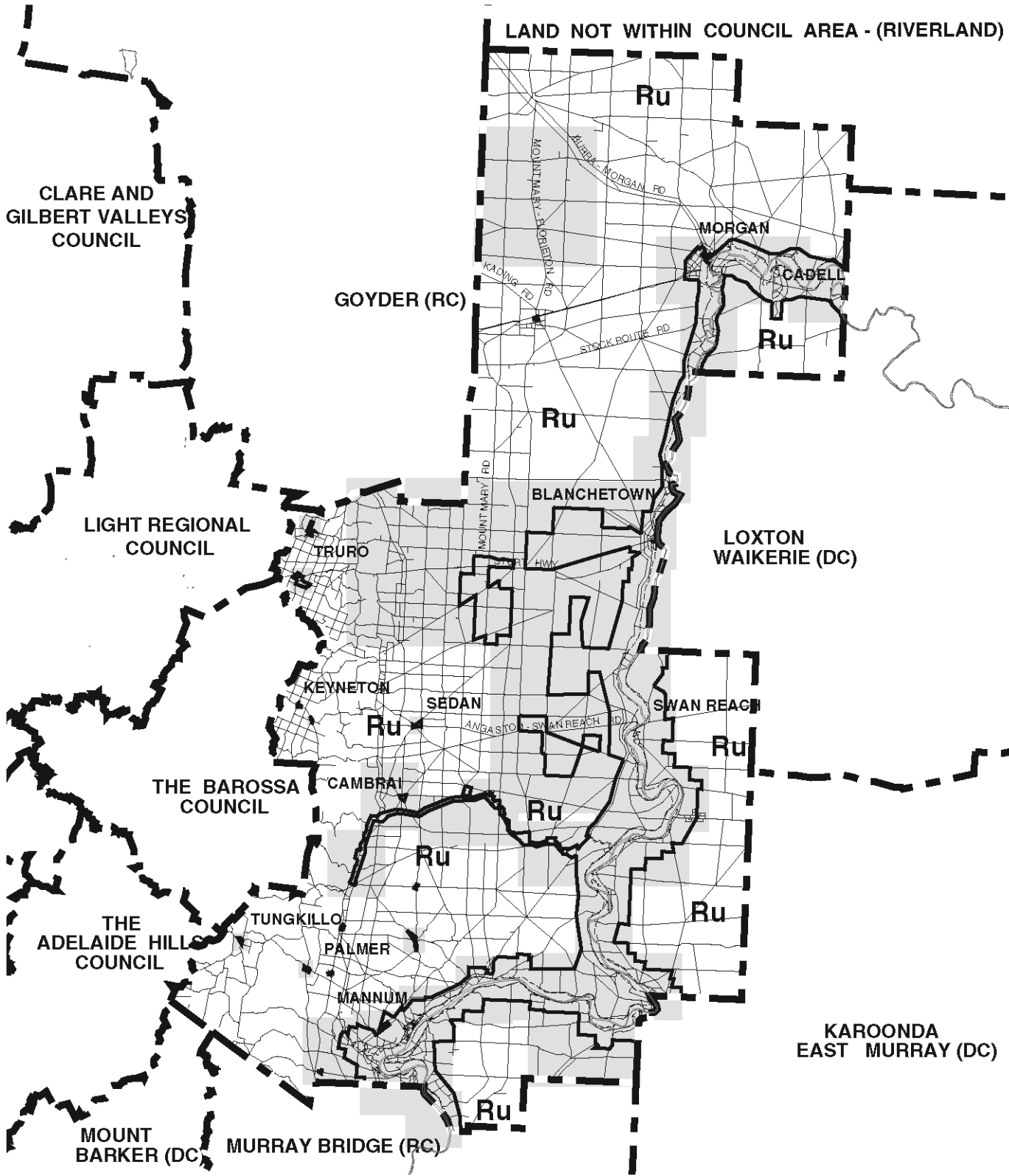
Scale 1:700000



# THE MID MURRAY COUNCIL INDEX TO ZONES MAP MiMu/2

— — — — — Development Plan Boundary

Consolidated - 25 February 2021



NOTE: See Index Map MiMu/2 for shaded areas  
 Ru Rural

Scale 1:700000



50km



# THE MID MURRAY COUNCIL ZONES MAP MiMu/3

— Zone Boundary  
 - - - Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/65**

**Ru** Rural  
**RuL(Mo)** Rural Living (Morgan)

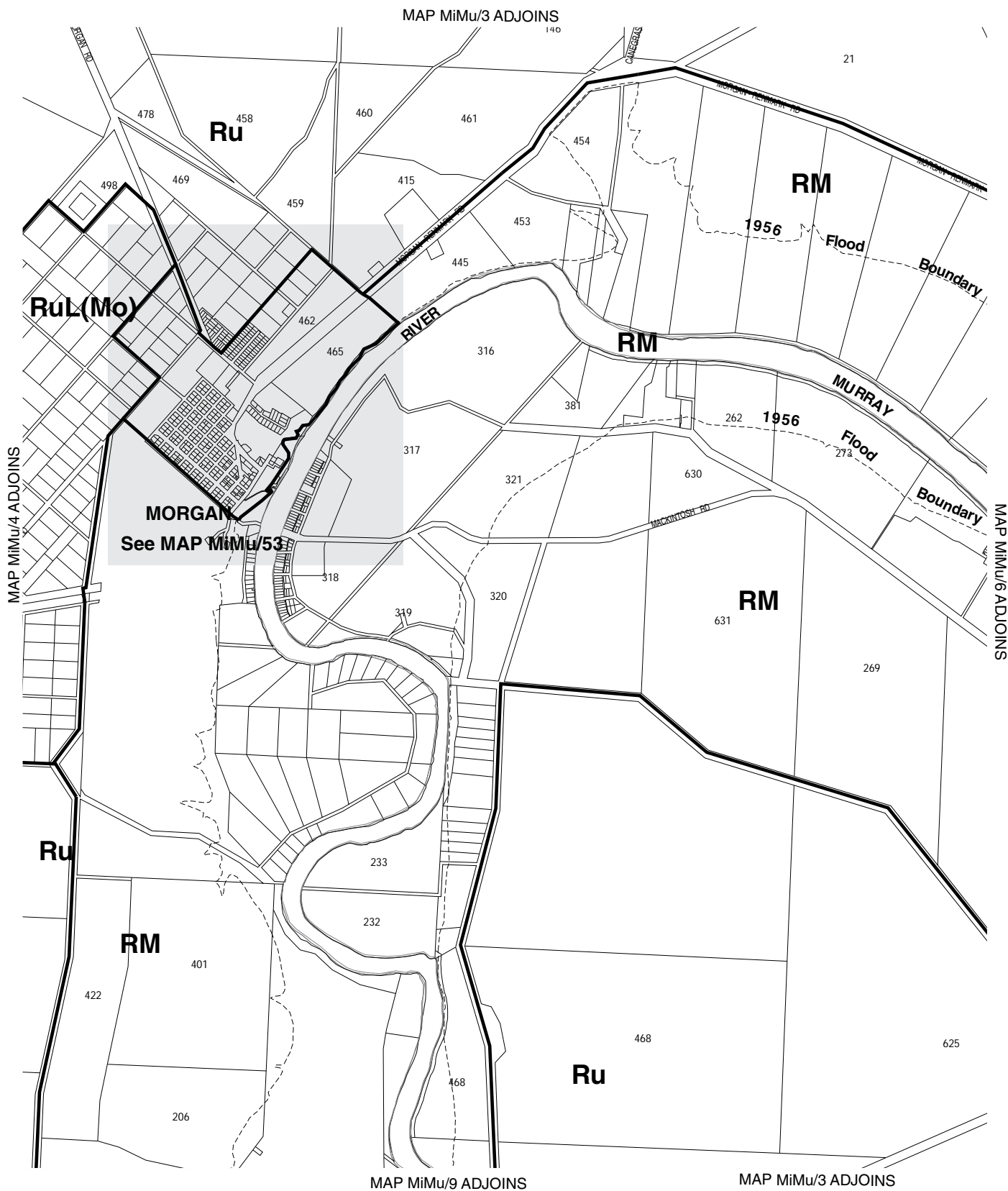


Scale 1:40000



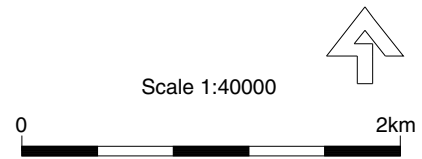
**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/4**

———— Zone Boundary

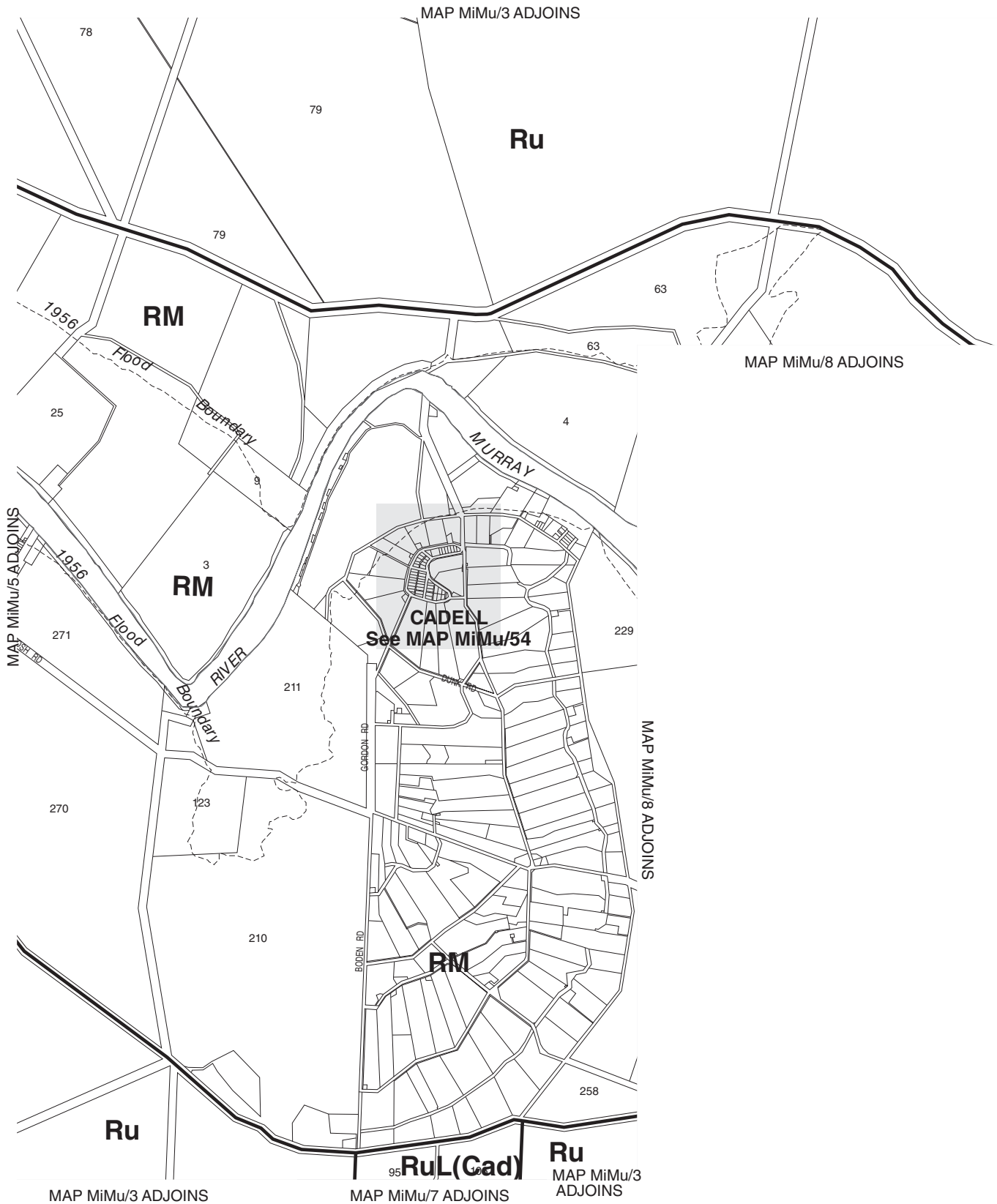


**NOTE: For Policy Areas See MAP MiMu/66**  
 RM River Murray  
 Ru Rural  
 RuL(Mo) Rural Living (Morgan)

— Zone Boundary  
 - - - Development Plan Boundary



# THE MID MURRAY COUNCIL ZONES MAP MiMu/5



**NOTE: For Policy Areas See MAP MiMu/67  
For Precinct Areas See MAP MiMu/132**

**RM** River Murray  
**Ru** Rural  
**RuL(Cad)** Rural Living (Cadell)



Scale 1:40000



# THE MID MURRAY COUNCIL ZONES MAP MiMu/6

— Zone Boundary  
 - - - Development Plan Boundary

MAP MiMu/6 ADJOINS

MAP MiMu/3 ADJOINS

MAP MiMu/3 ADJOINS

Ru

96

105

97

104

98 RuL(Cad)

103

99

102

Ru

100

101

Ru

MAP MiMu/3 ADJOINS

NOTE: For Policy Areas See MAP MiMu/68

Ru	Rural
RuL(Cad)	Rural Living (Cadell)

Scale 1:10000



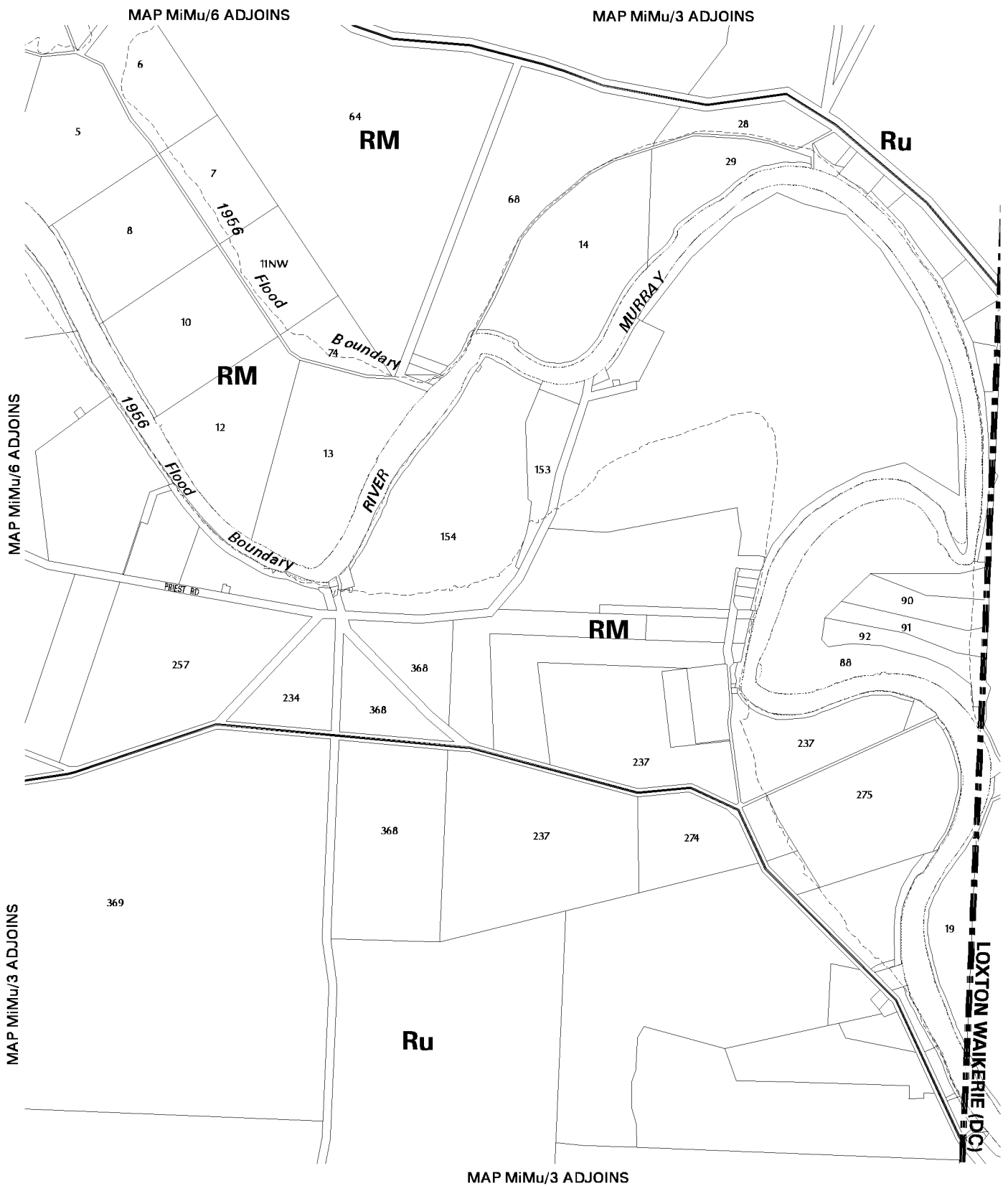
0 500metres



**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/7**

— Zone Boundary





**NOTE: For Policy Areas See MAP MiMu/69**

**RM** River Murray  
**Ru** Rural

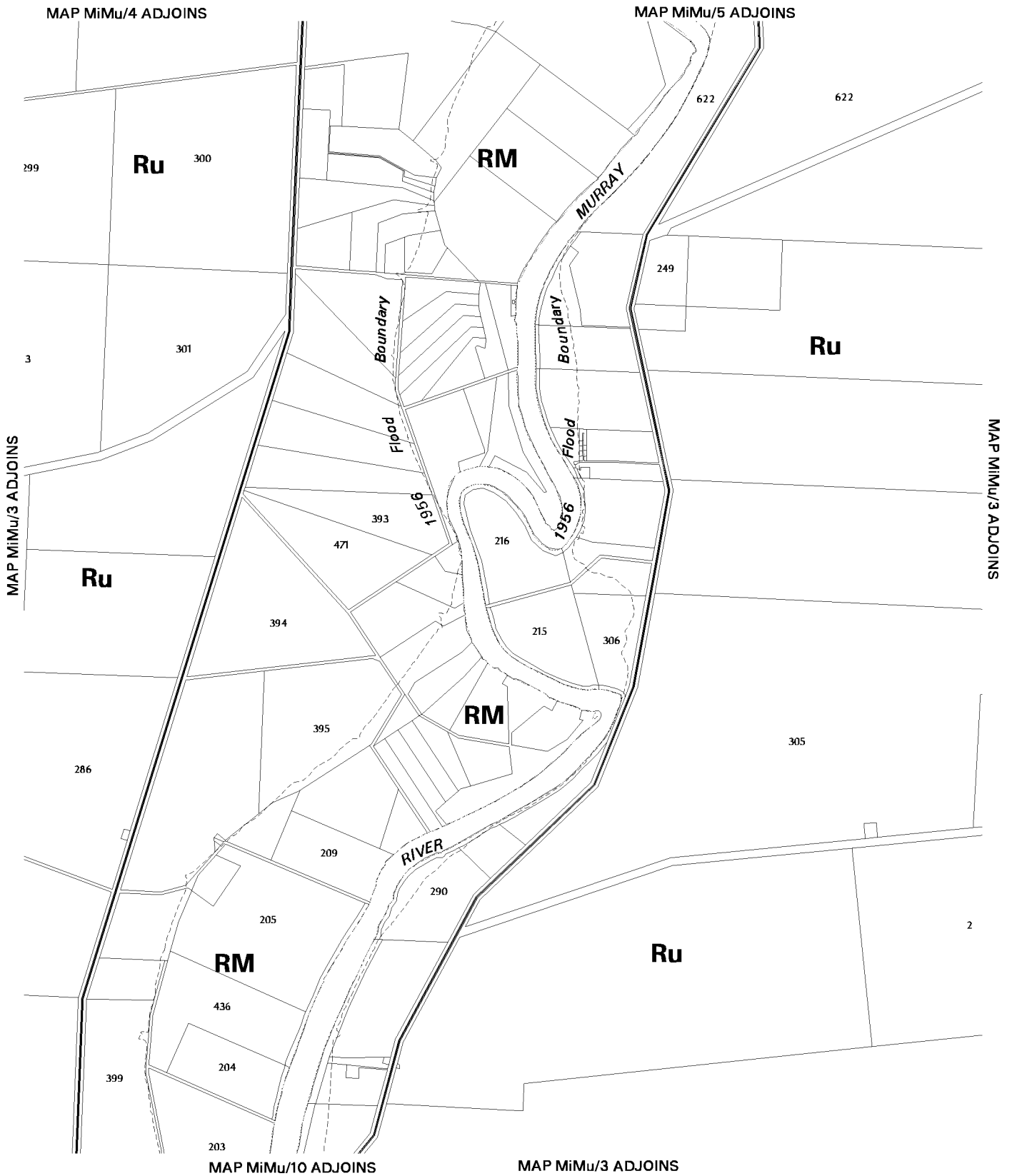


Scale 1:40000



# THE MID MURRAY COUNCIL ZONES MAP MiMu/8

— Zone Boundary  
 - - - - - Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/70**

**RM** River Murray  
**Ru** Rural

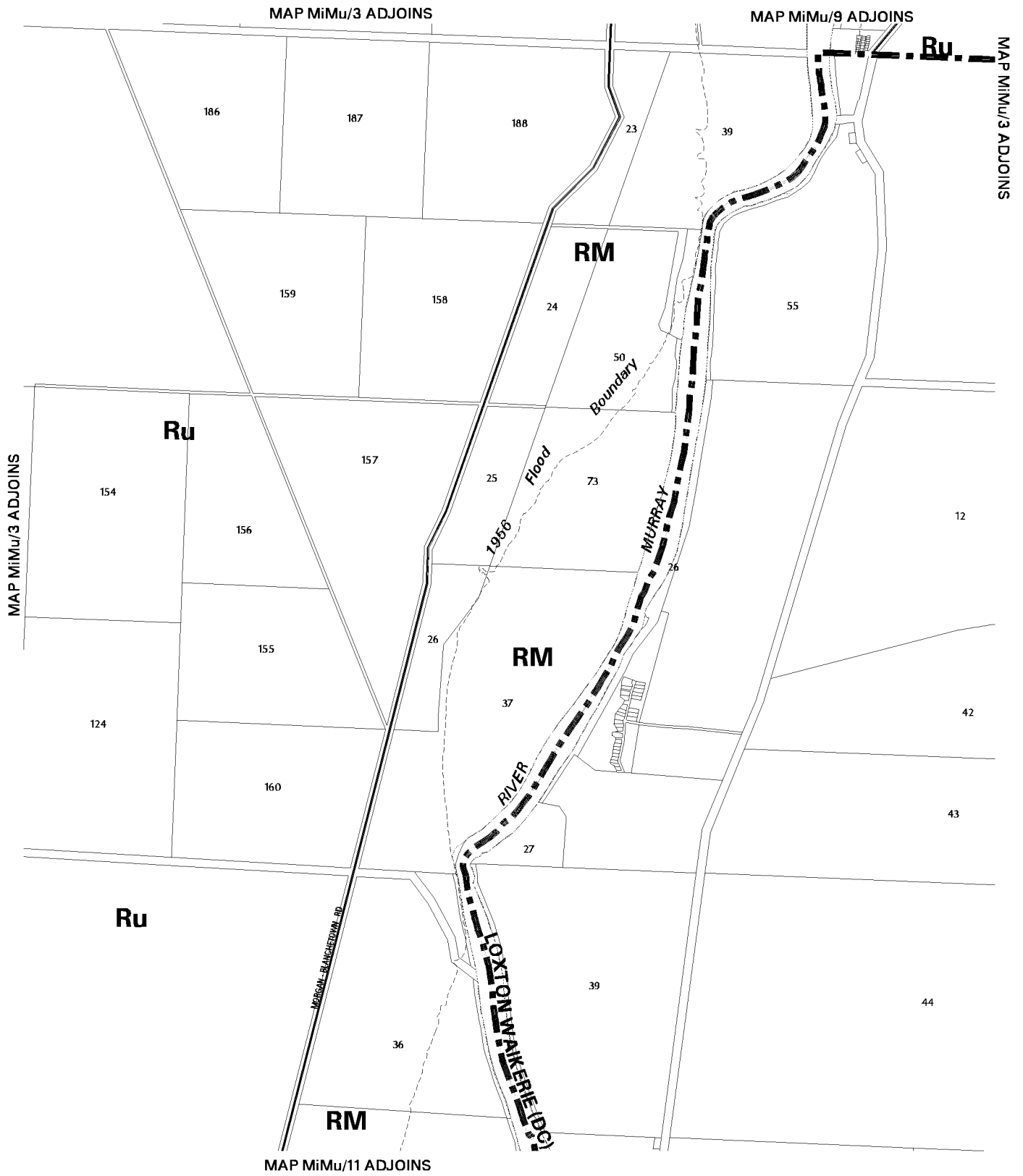


Scale 1:40000



**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/9**

— Zone Boundary



**NOTE: For Policy Areas See MAP MiMu/71**

**RM** River Murray  
**Ru** Rural

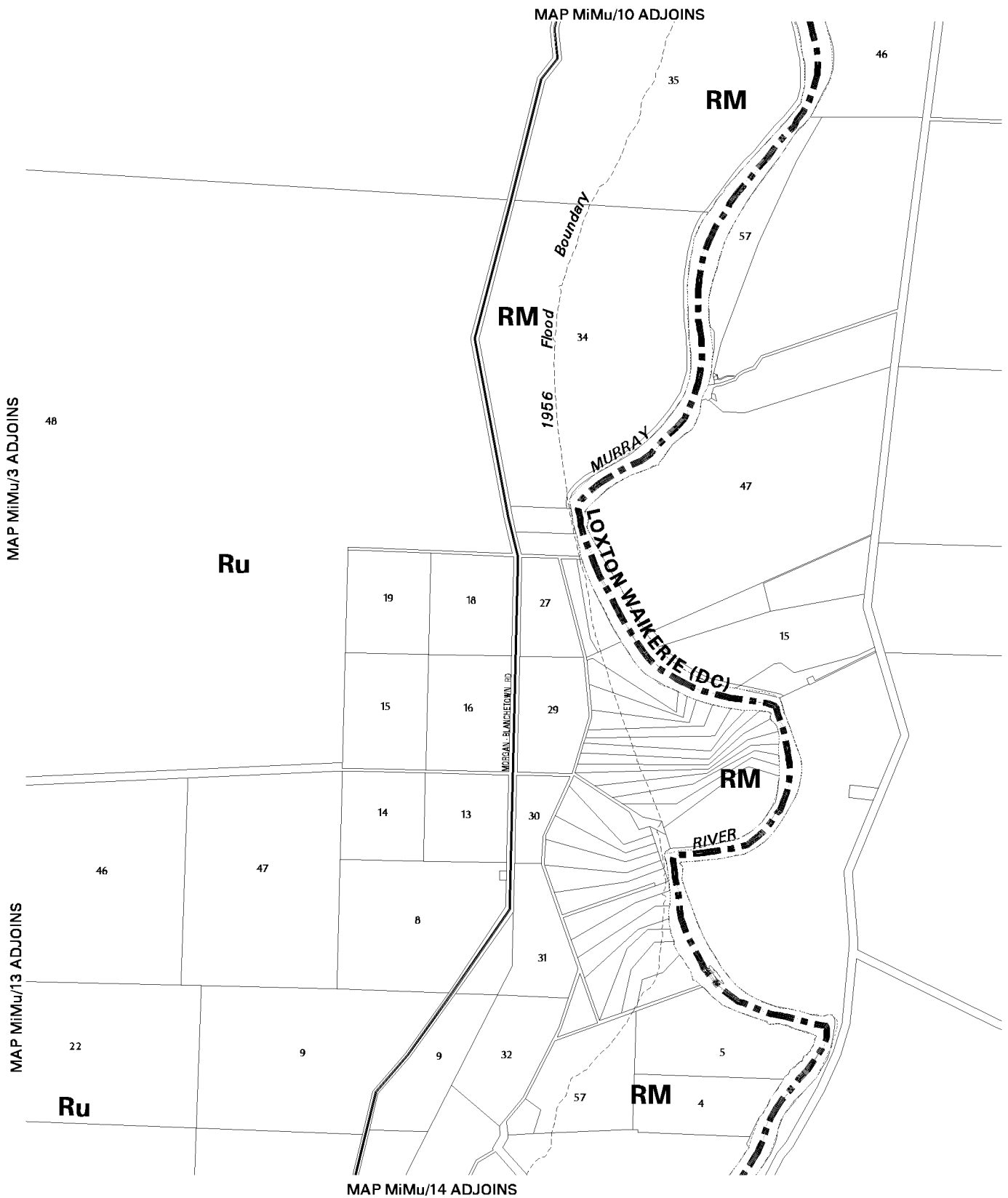


Scale 1:40000



# THE MID MURRAY COUNCIL ZONES MAP MiMu/10

— Zone Boundary  
 - - - Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/72**

**RM** River Murray  
**Ru** Rural

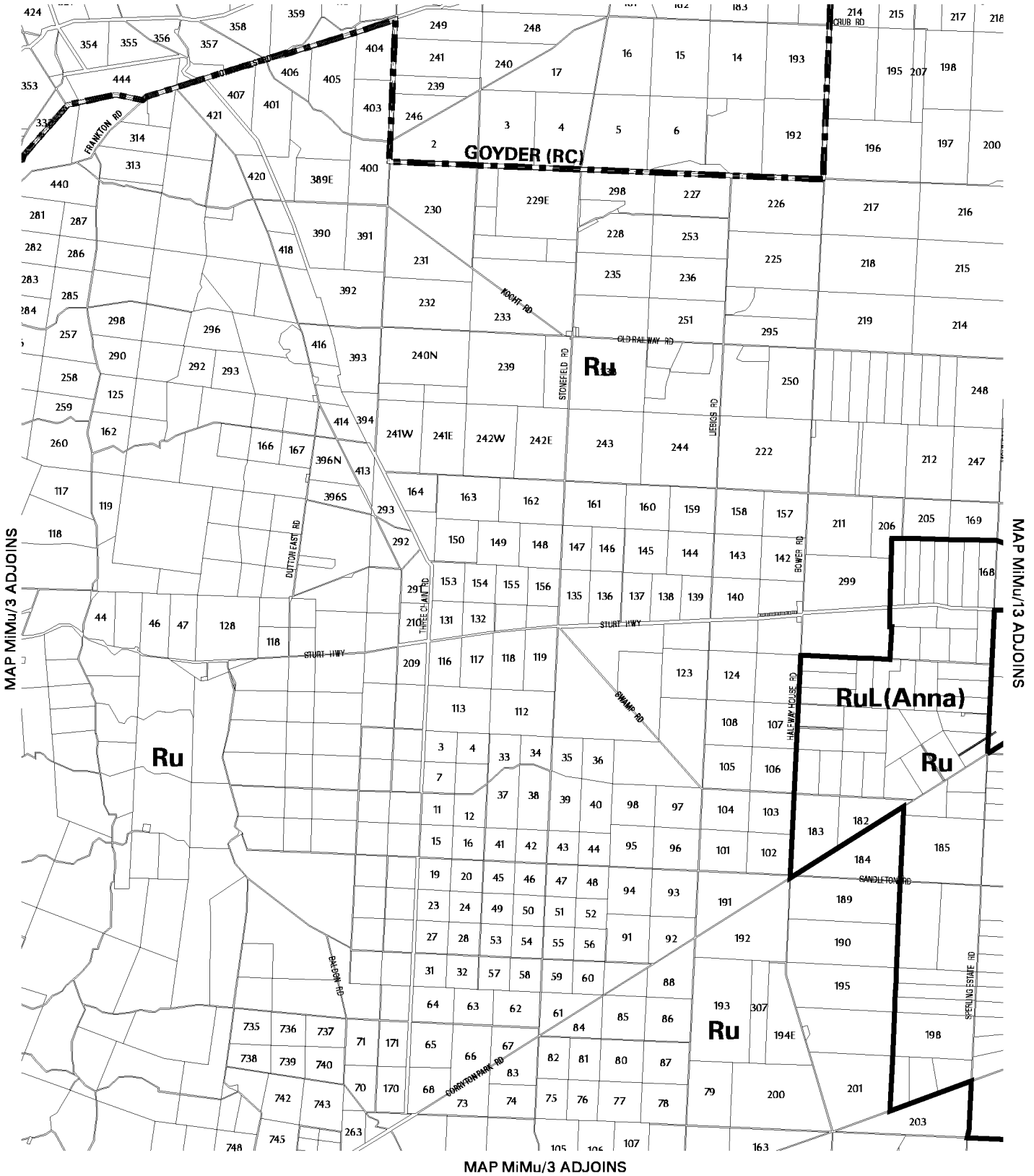


Scale 1:40000



# THE MID MURRAY COUNCIL ZONES MAP MiMu/11

— Zone Boundary  
 - - - - - Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/73**

**Ru** Rural  
**RuL(Anna)** Rural Living (Anna)

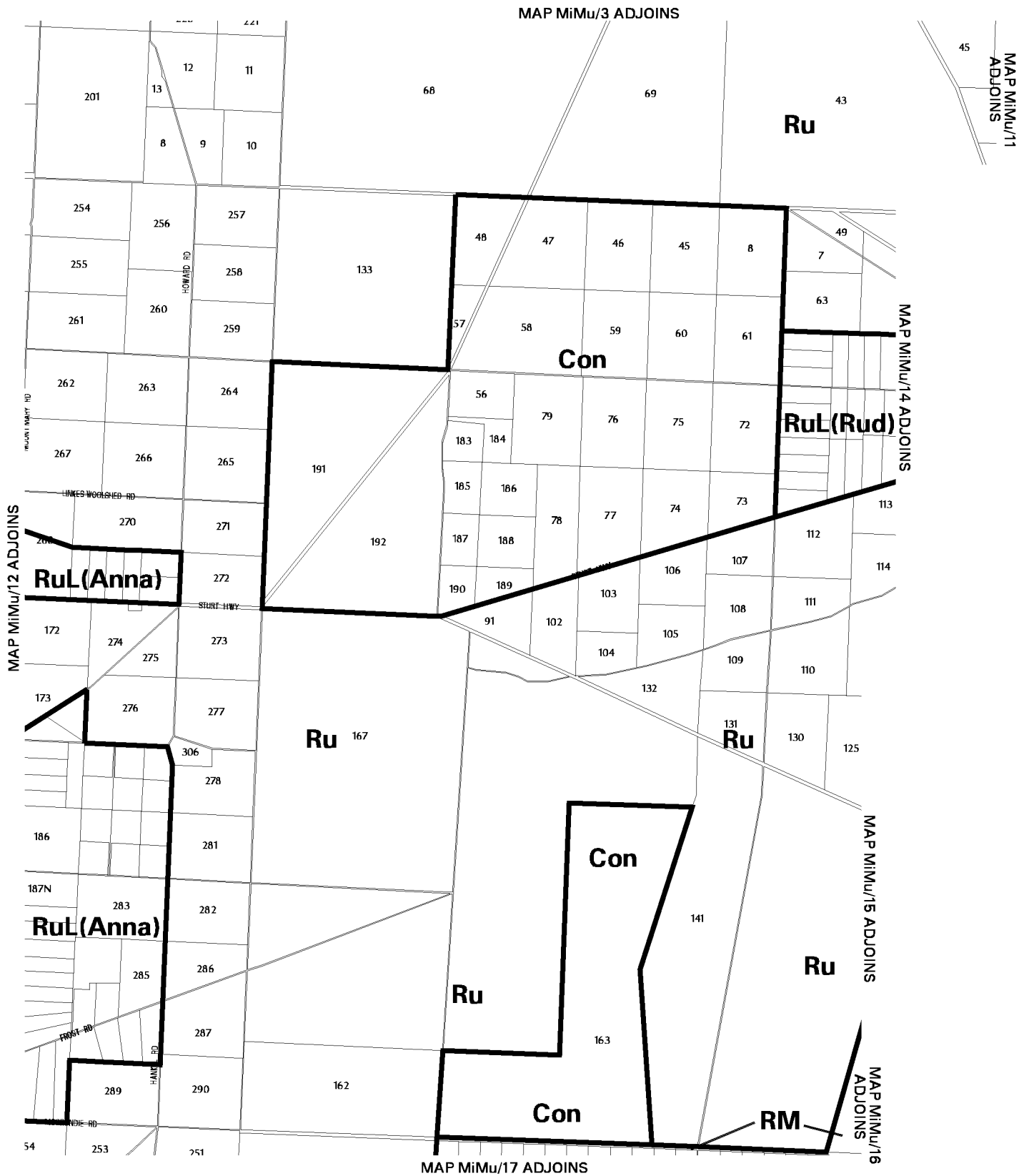


Scale 1:100000



**THE MID MURRAY COUNCIL**  
**ZONES**  
**MAP MiMu/12**

- Zone Boundary
- Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/74**

<b>Con</b>	Conservation
<b>RM</b>	River Murray
<b>Ru</b>	Rural
<b>RuL(Anna)</b>	Rural Living (Anna)
<b>RuL(Rud)</b>	Rural Living (Rudigers)



Scale 1:100000

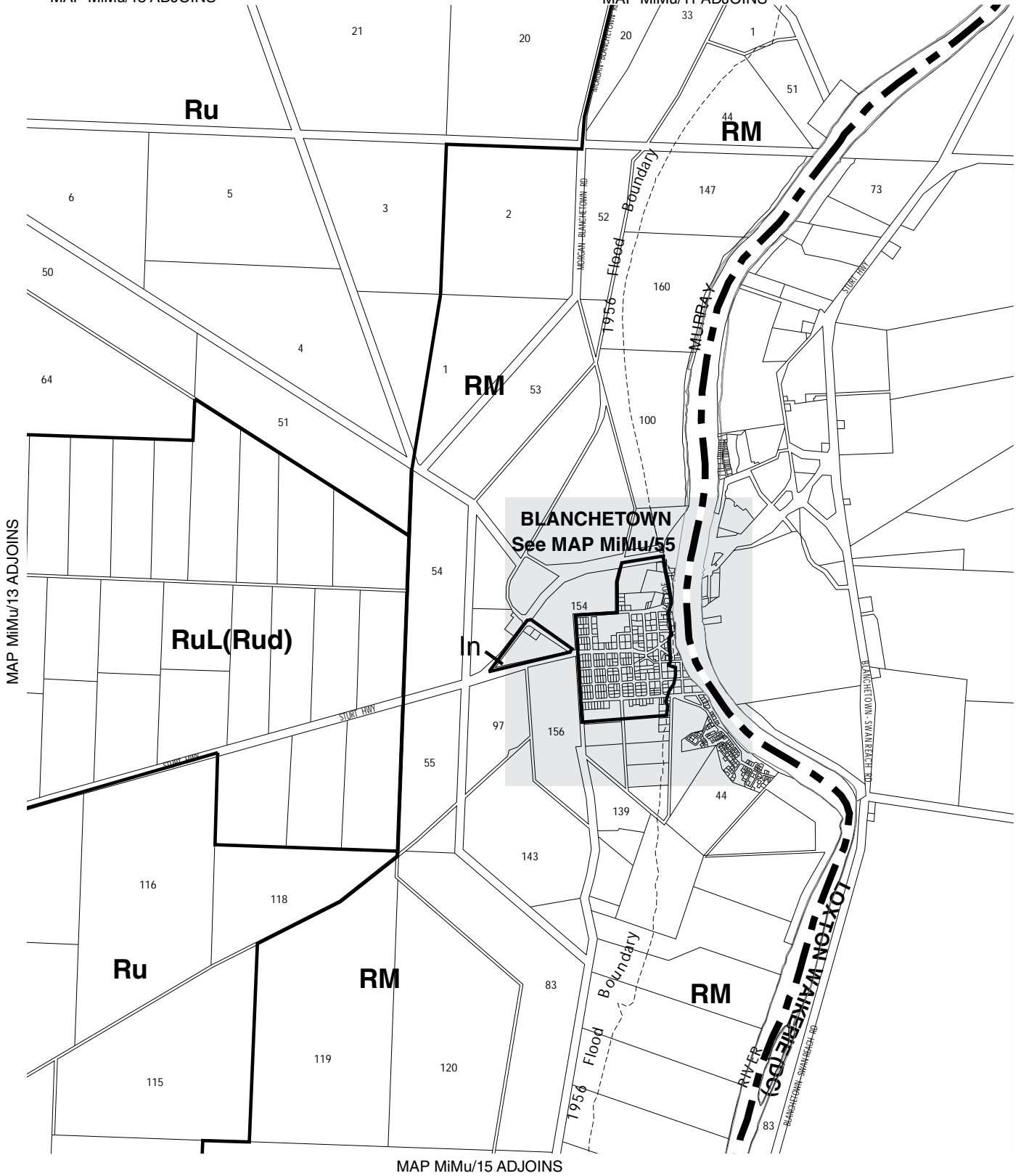


# THE MID MURRAY COUNCIL ZONES MAP MiMu/13

— Zone Boundary

MAP MiMu/13 ADJOINS

MAP MiMu/11 ADJOINS



MAP MiMu/15 ADJOINS

**NOTE: For Policy Areas See MAP MiMu/80**

- RM** River Murray
- Ru** Rural
- RuL(Rud)** Rural Living (Rudigers)
- In** Industry



Scale 1:40000



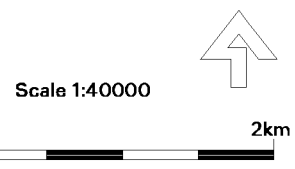
# THE MID MURRAY COUNCIL ZONES MAP MiMu/14

- Zone Boundary
- Development Plan Boundary

Consolidated - 25 February 2021



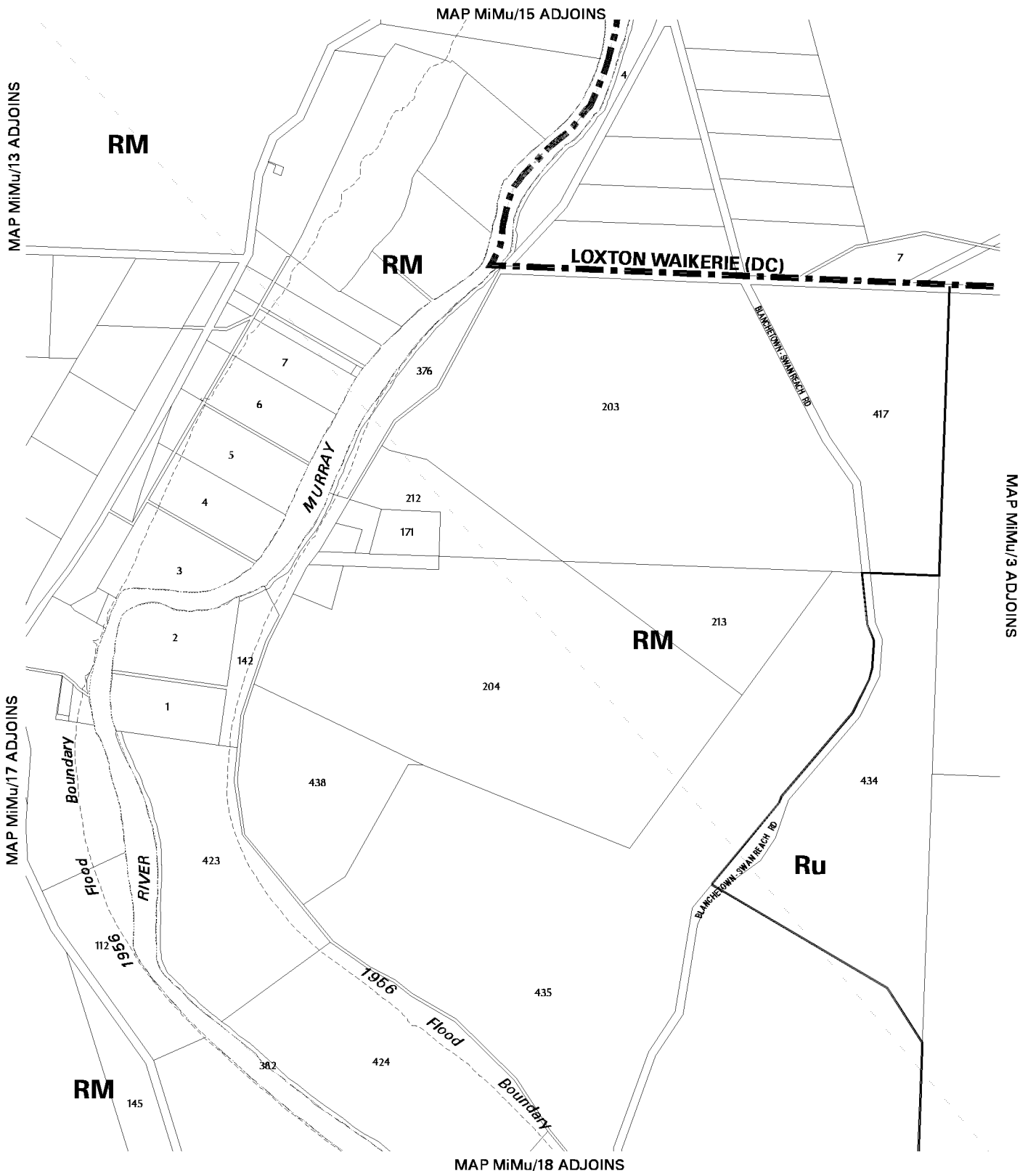
**NOTE: For Policy Areas See MAP MiMu/81**  
**RM** River Murray  
**Ru** Rural



— Zone Boundary  
 - - - - - Development Plan Boundary

**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/15**





**NOTE: For Policy Areas See MAP MiMu/82**

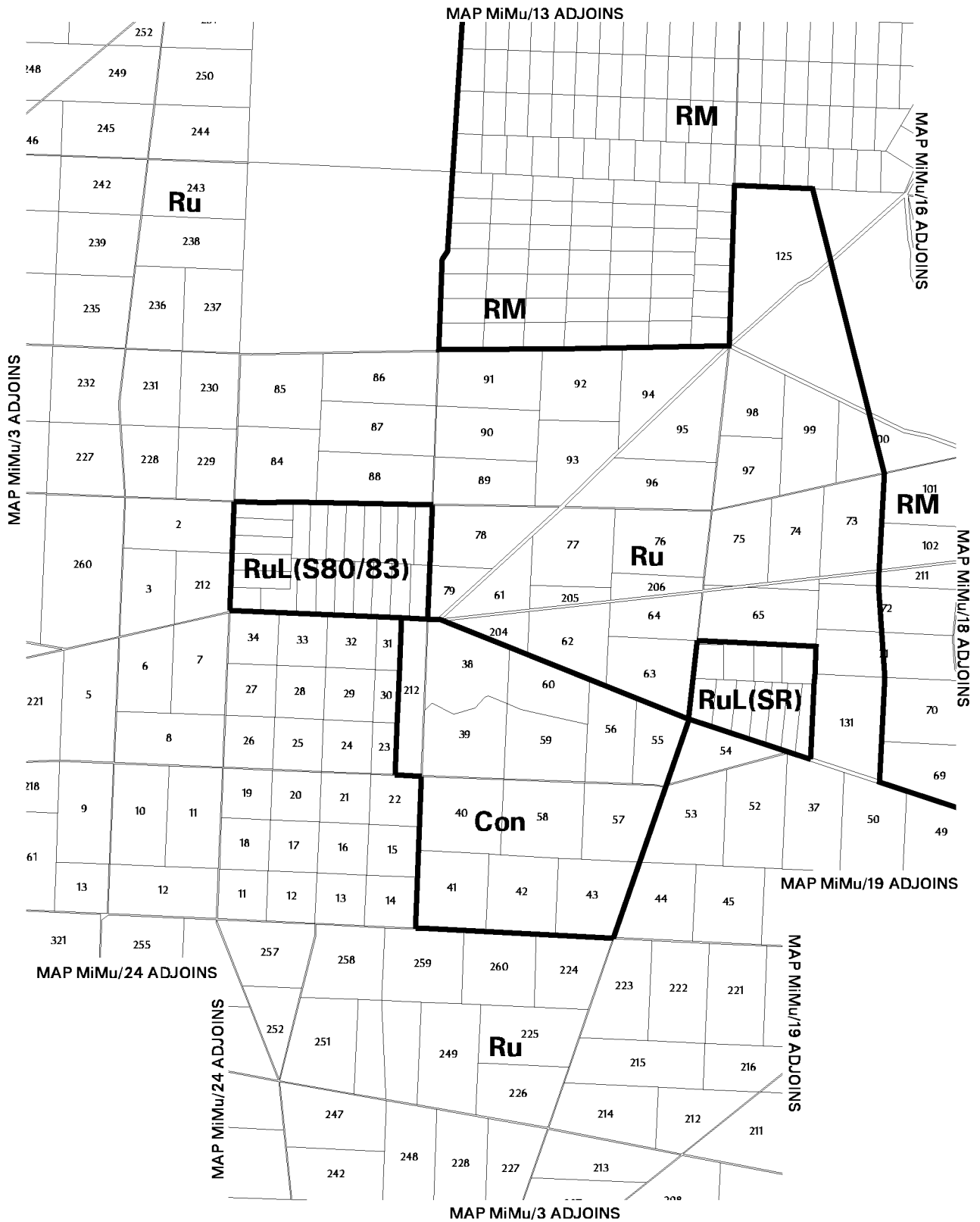
**RM** River Murray  
**Ru** Rural

Scale 1:40000



# THE MID MURRAY COUNCIL ZONES MAP MiMu/16

— Zone Boundary  
 - - - Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/77**

<b>Con</b>	Conservation
<b>RM</b>	River Murray
<b>Ru</b>	Rural
<b>RuL(S80/83)</b>	Rural Living (Section 80/83)
<b>RuL(SR)</b>	Rural Living (Swan Reach)

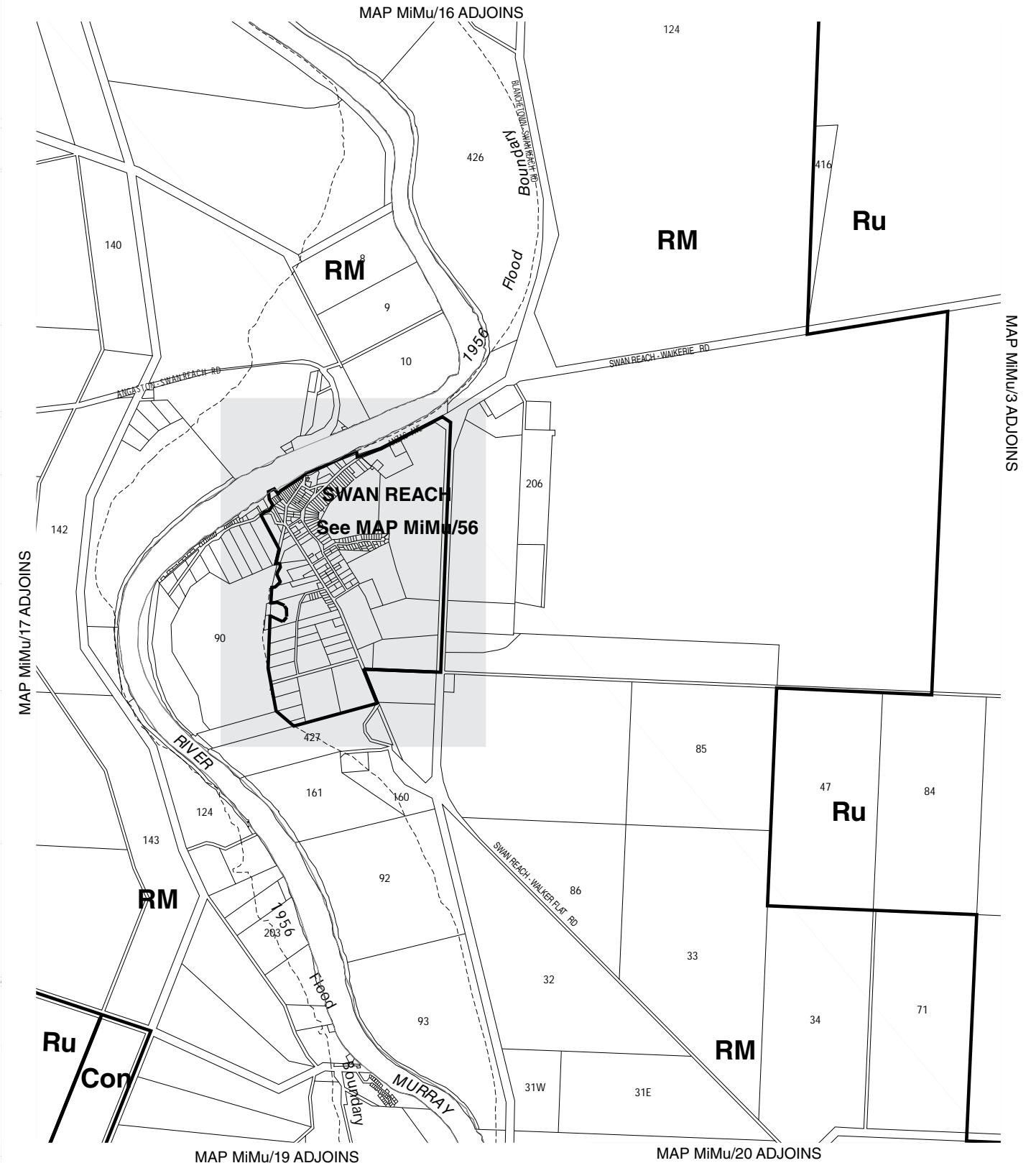


Scale 1:100000



# THE MID MURRAY COUNCIL ZONES MAP MiMu/17

————— Zone Boundary



**NOTE: For Policy Areas See MAP MiMu/83**

- Con Conservation
- RM River Murray
- Ru Rural

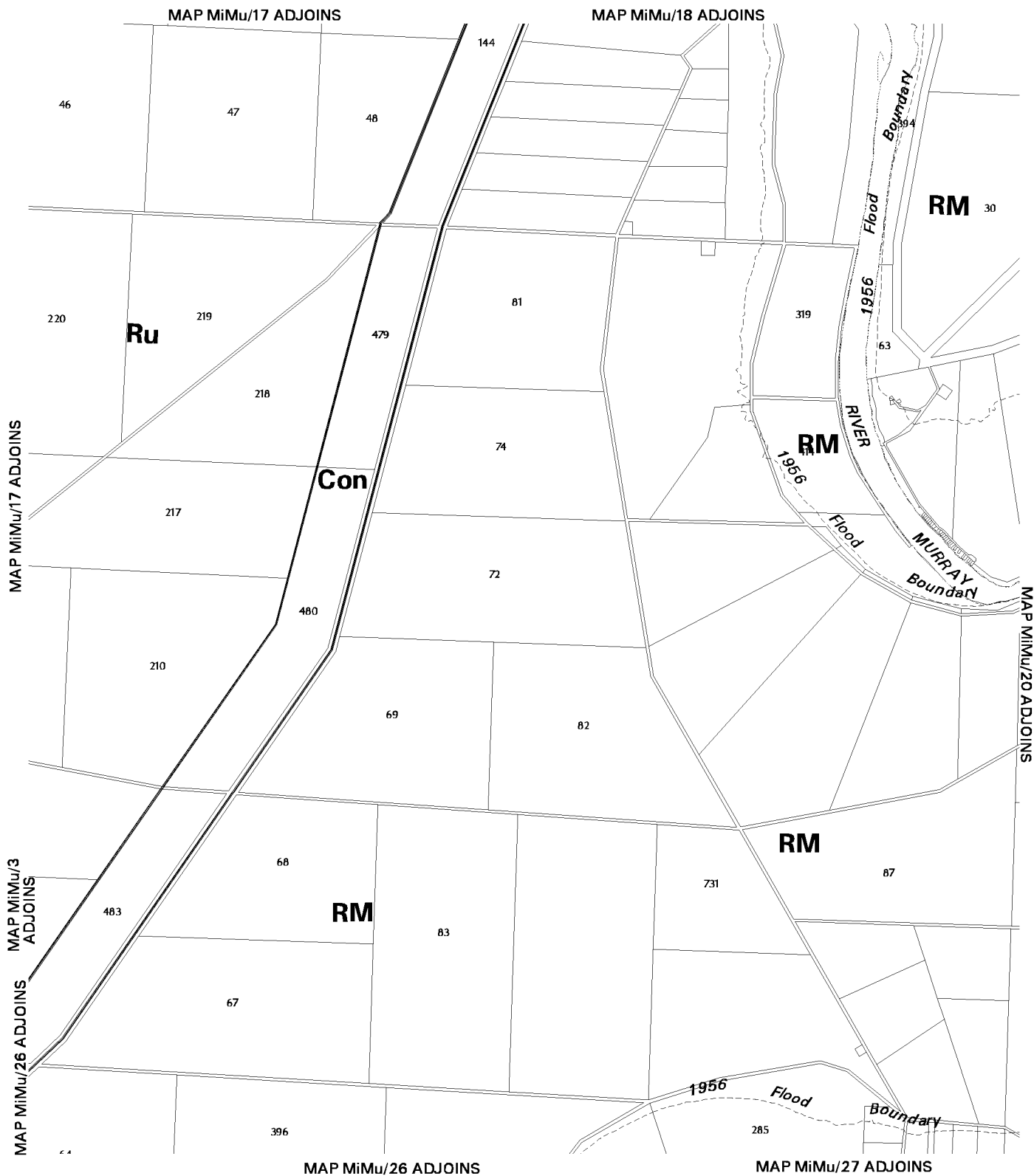


Scale 1:40000



**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/18**

- Zone Boundary
- - - Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/84**

**Con** Conservation  
**RM** River Murray  
**Ru** Rural



Scale 1:40000



— Zone Boundary

# THE MID MURRAY COUNCIL ZONES MAP MiMu/19



**NOTE: For Policy Areas See MAP MiMu/85**

**RM** River Murray  
**Ru** Rural

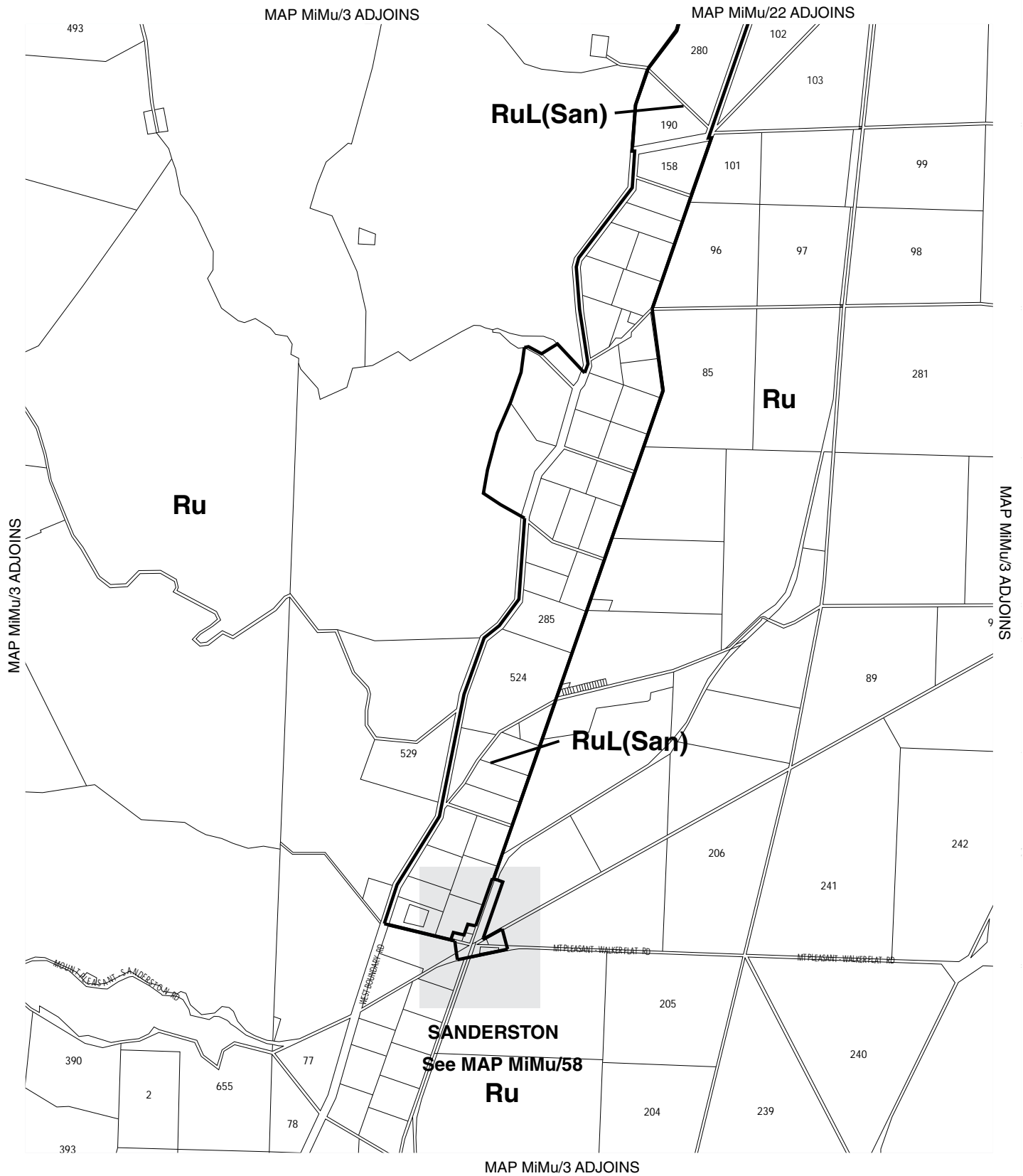


Scale 1:40000



# THE MID MURRAY COUNCIL ZONES MAP MiMu/20

— Zone Boundary



**NOTE: For Policy Areas See MAP MiMu/78**  
 Ru Rural  
 RuL(San) Rural Living (Sanderston)

Scale 1:40000



- Zone Boundary
- · ·** Development Plan Boundary

# THE MID MURRAY COUNCIL ZONES MAP MiMu/21

Consolidated - 25 February 2021



**NOTE: For Policy Areas See MAP MiMu/76 & 78**

- Ru Rural
- RuL(San) Rural Living (Sanderston)
- RuL(Mar) Rural Living (Marne)

Scale 1:40000



- Zone Boundary
- Development Plan Boundary

# THE MID MURRAY COUNCIL ZONES

**MAP MiMu/22**  
Consolidated - 25 February 2021

MAP MiMu/3 ADJOINS

159

164

184

156

**Ru**  
154

163

**RuL<sup>477</sup>(Mar)**

207

153

MAP MiMu/22 ADJOINS

300E

313

300W

312

**Ru**

MAP MiMu/24 ADJOINS

310

311

303

309

301

MAP MiMu/3 ADJOINS

297

**Ru**

298

299

289

288

287

MAP MiMu/3 ADJOINS

**NOTE: For Policy Areas See MAP MiMu/76 & 78**

**Ru**

Rural

**RuL(Mar)**

Rural Living (Marne)



Scale 1:30000

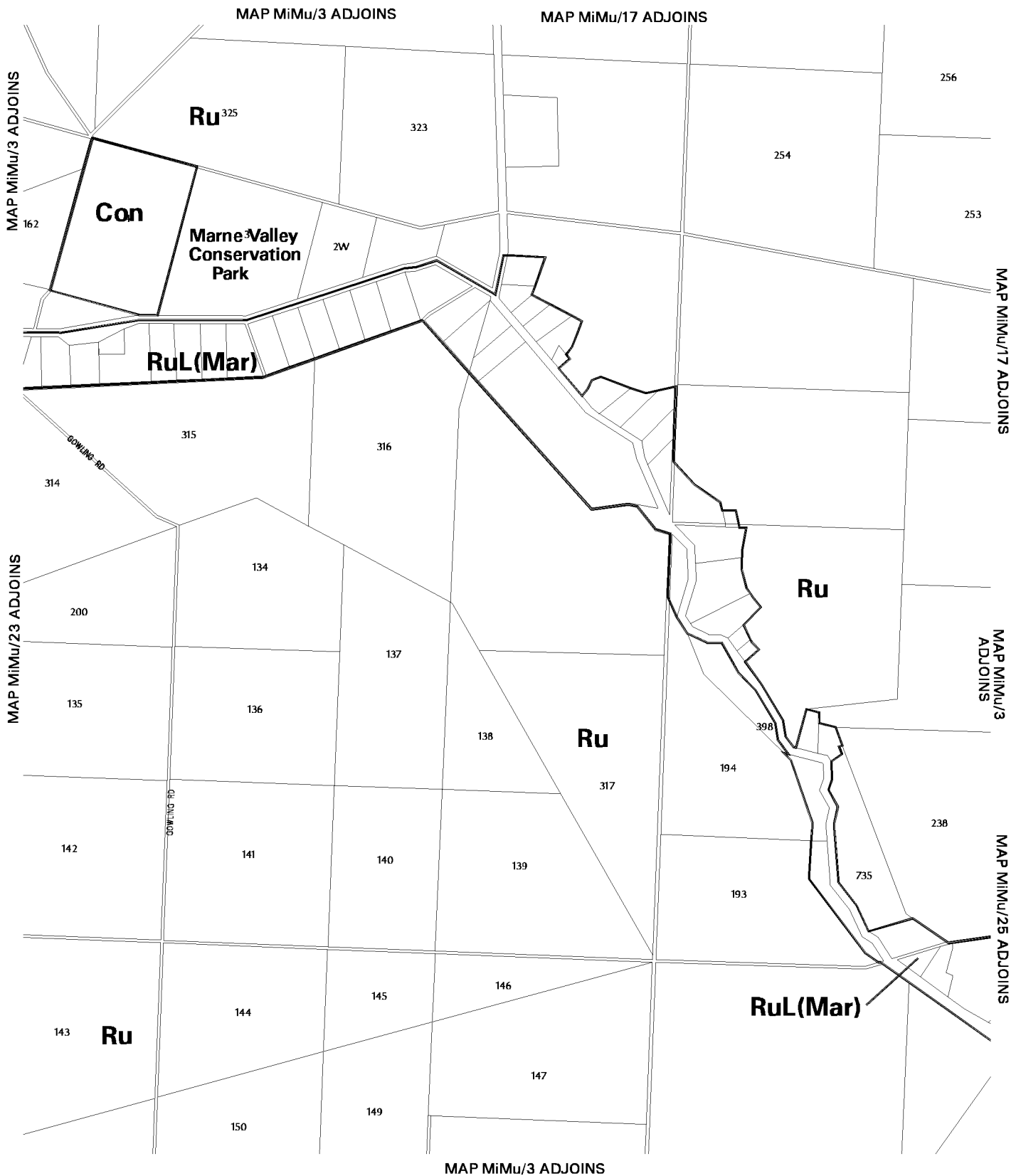


# THE MID MURRAY COUNCIL ZONES MAP MiMu/23

— Zone Boundary

Consolidated - 25 February 2021





**NOTE: For Policy Areas See MAP MiMu/76, 77 & 79**

**Con** Conservation  
**Ru** Rural  
**RuL(Mar)** Rural Living (Marne)



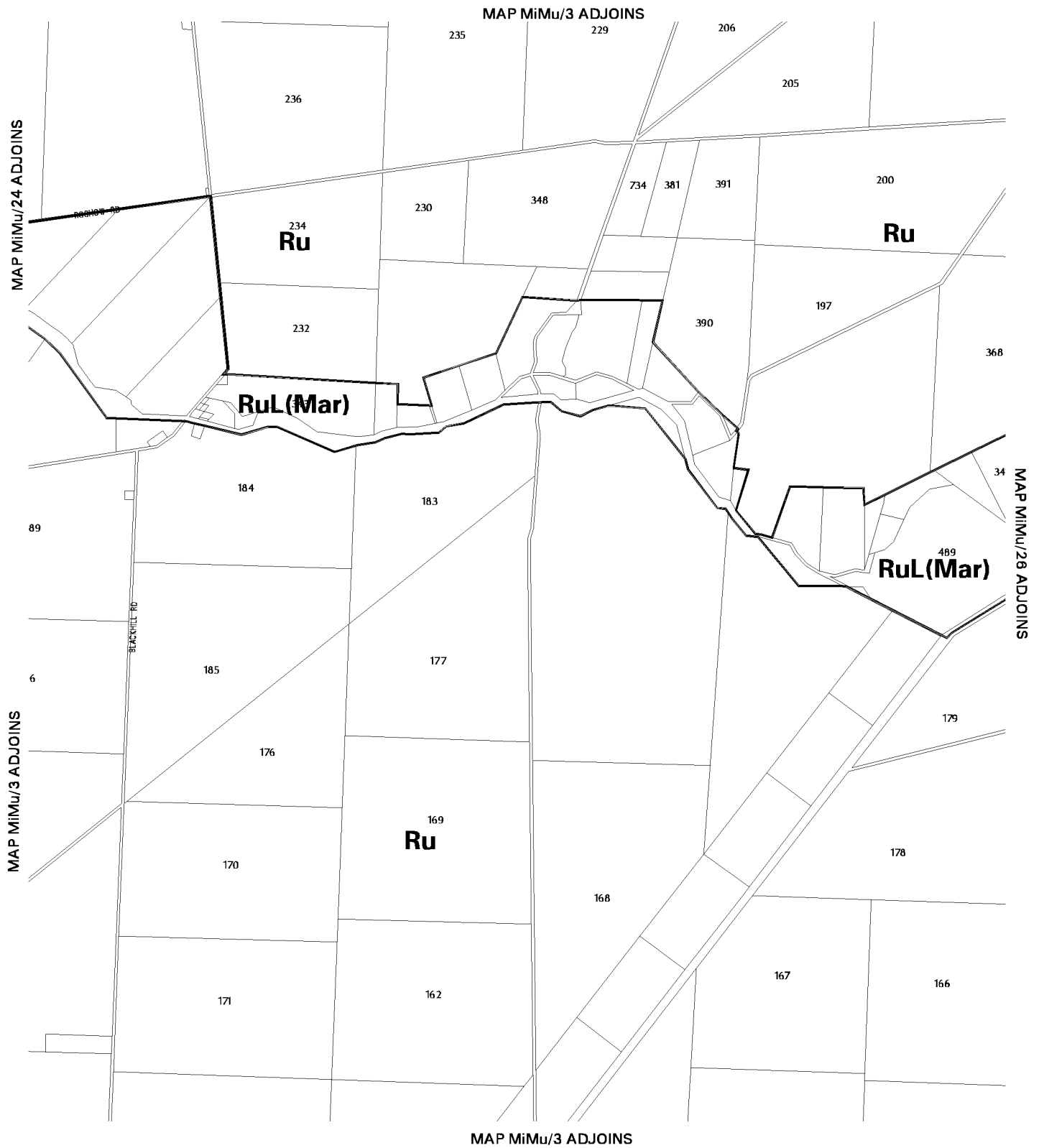
Scale 1:40000



— Zone Boundary

# THE MID MURRAY COUNCIL ZONES MAP MiMu/24

Consolidated - 25 February 2021



**NOTE: For Policy Areas See MAP MiMu/79**

**Ru** Rural  
**RuL(Mar)** Rural Living (Marne)

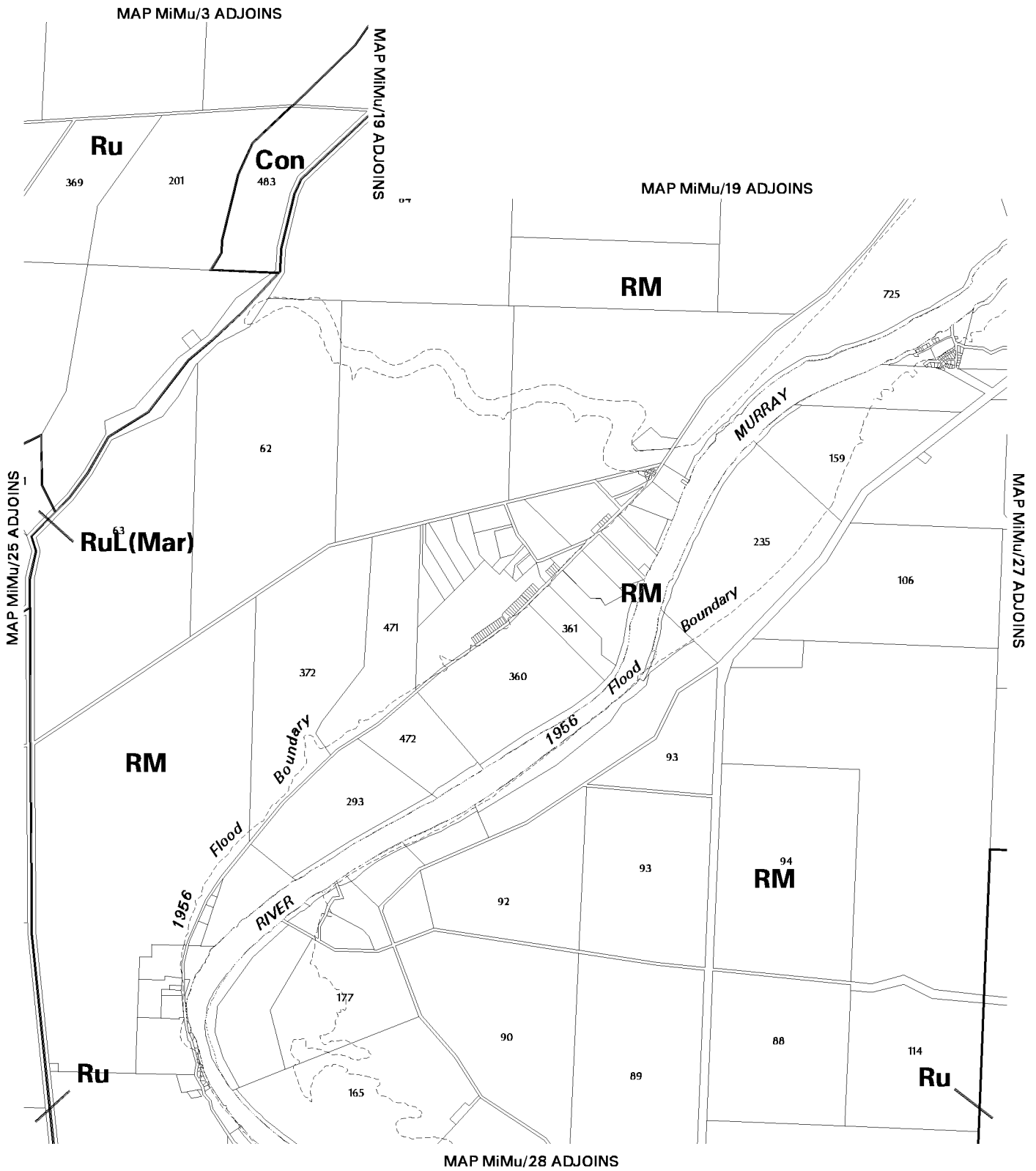


Scale 1:40000

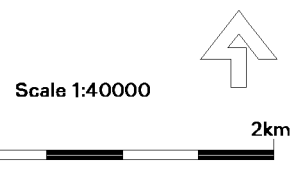


— Zone Boundary

# THE MID MURRAY COUNCIL ZONES MAP MiMu/25

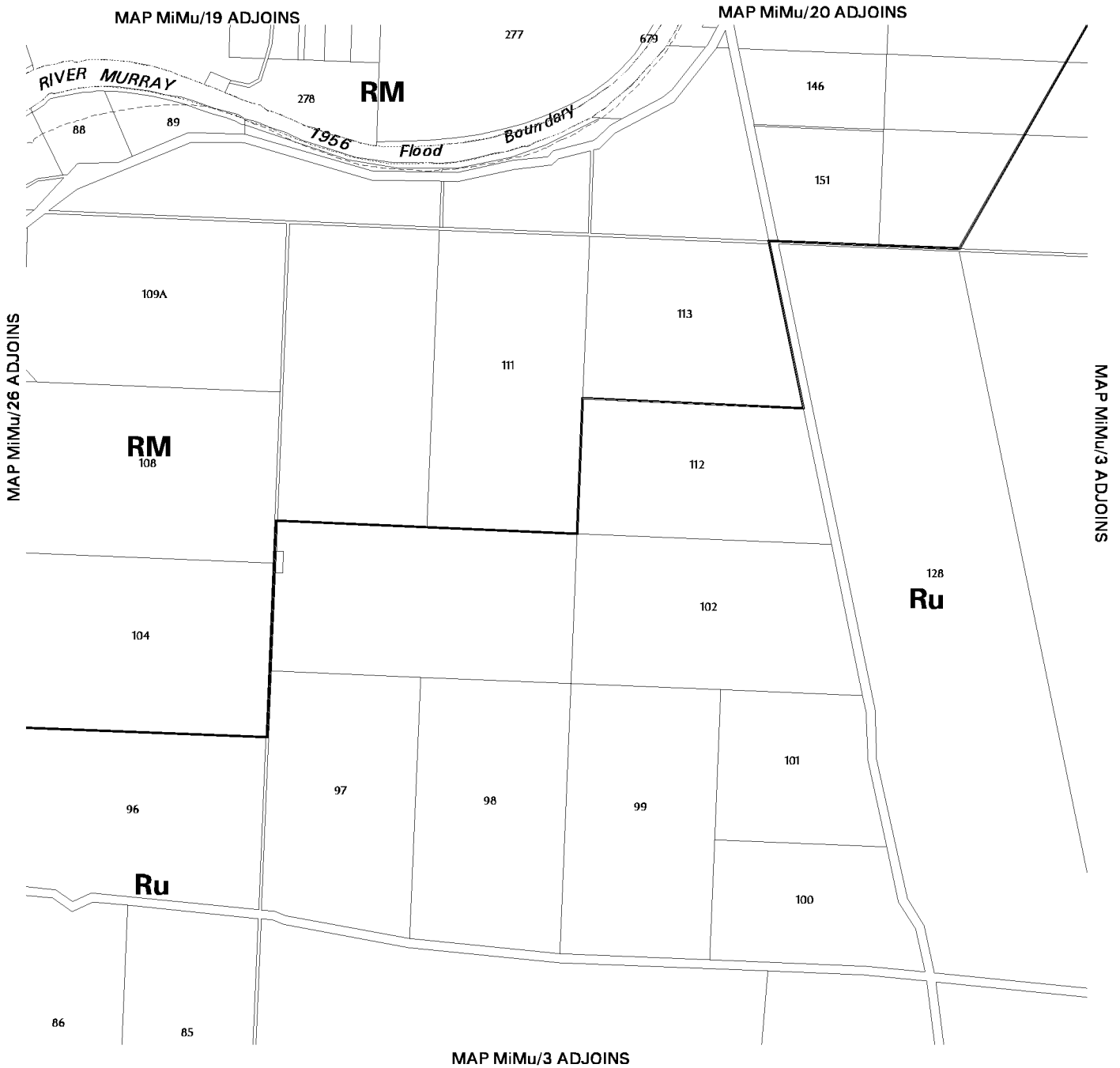


**NOTE: For Policy Areas See MAP MiMu/86**  
 Con Conservation  
 RM River Murray  
 Ru Rural  
 RuL(Mar) Rural Living (Marne)



— Zone Boundary

# THE MID MURRAY COUNCIL ZONES MAP MiMu/26



**NOTE: For Policy Areas See MAP MiMu/87**

**RM** River Murray  
**Ru** Rural

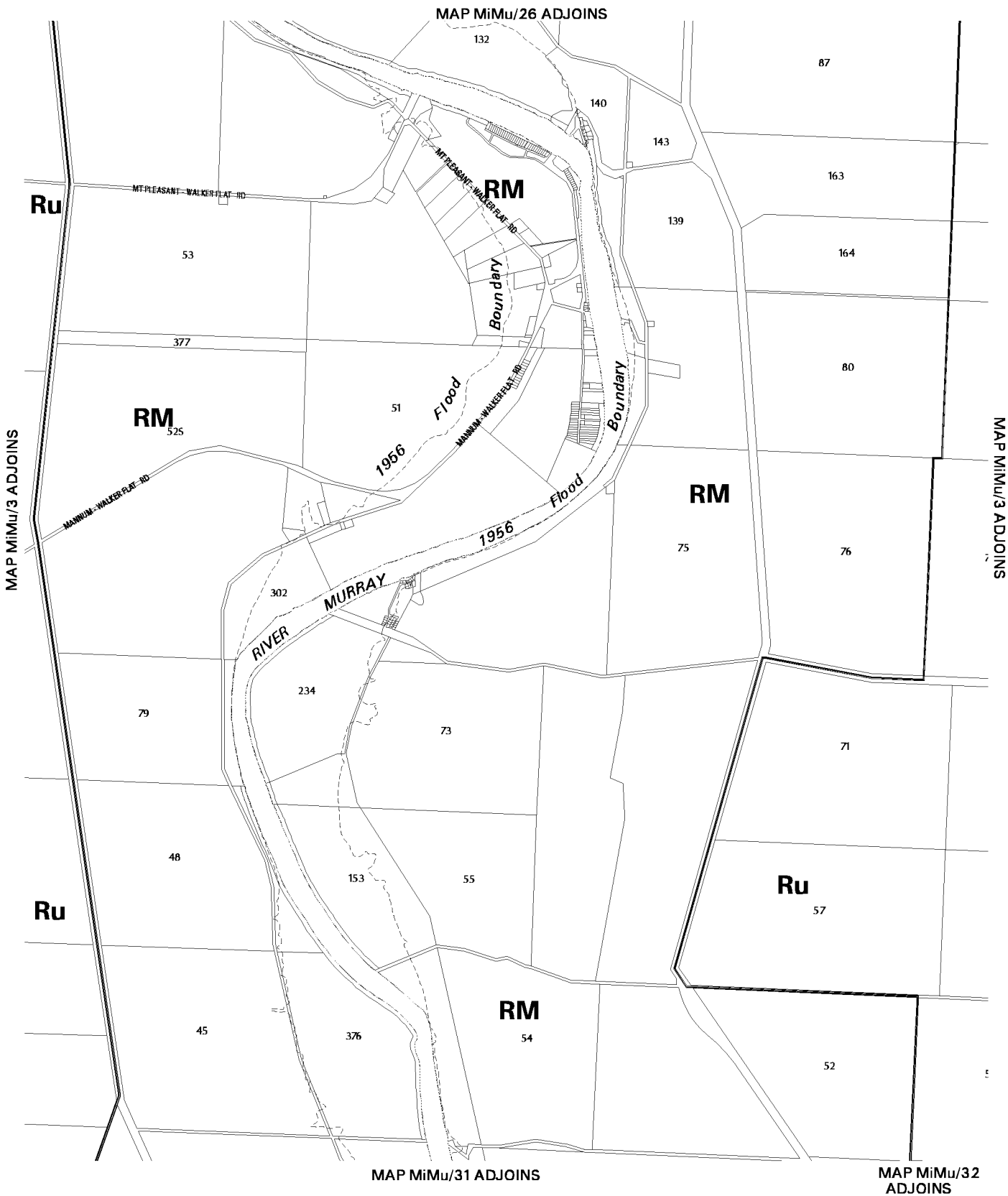


Scale 1:40000



**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/27**

— Zone Boundary



**NOTE: For Policy Areas See MAP MiMu/88**

**RM** River Murray  
**Ru** Rural



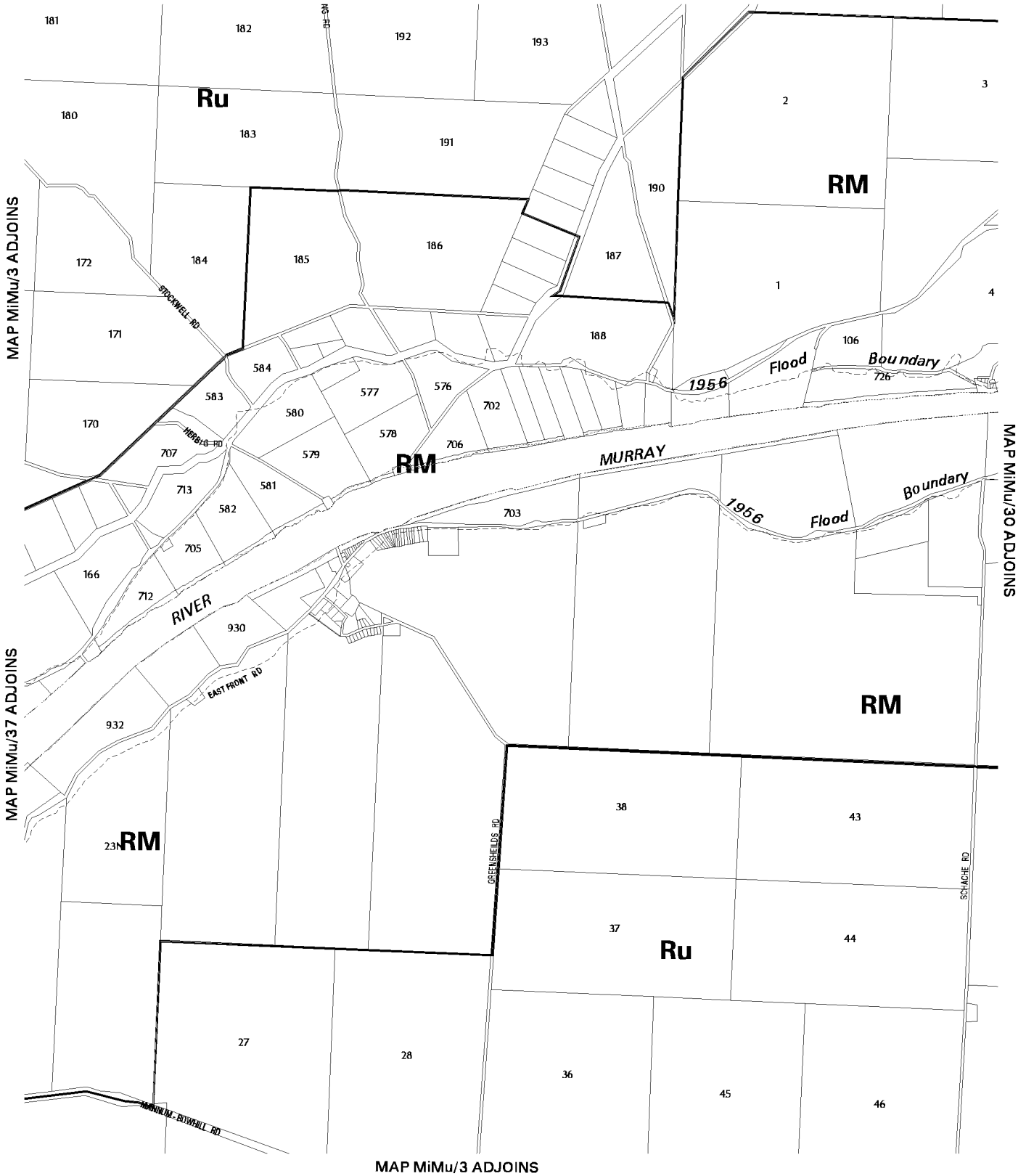
Scale 1:40000



**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/28**

— Zone Boundary

MAP MiMu/3 ADJOINS



NOTE: For Policy Areas See MAP MiMu/89

<b>RM</b>	River Murray
<b>Ru</b>	Rural

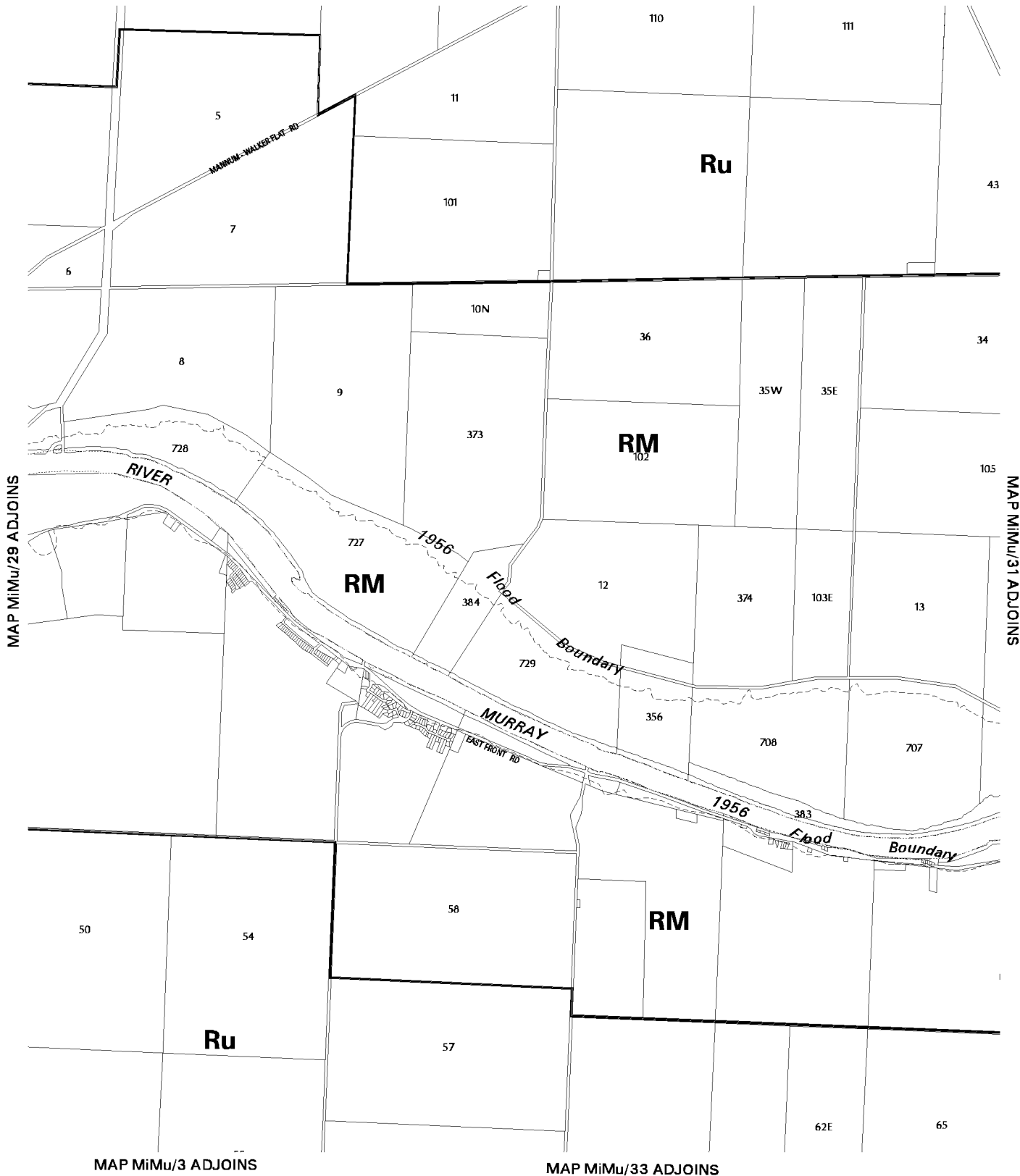


Scale 1:40000



**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/29**

— Zone Boundary



NOTE: For Policy Areas See MAP MiMu/90

RM River Murray  
 Ru Rural

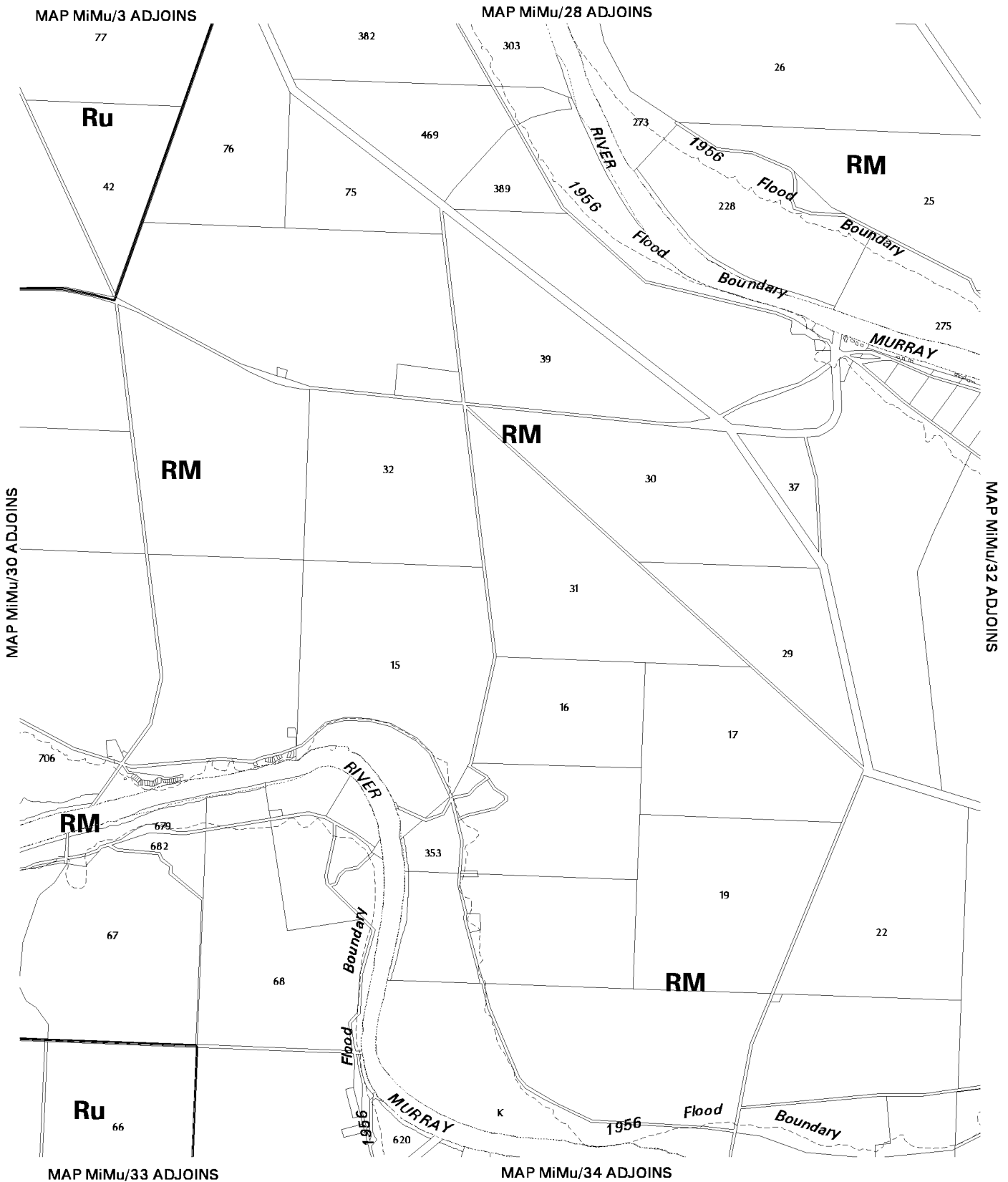


Scale 1:40000



————— Zone Boundary

# THE MID MURRAY COUNCIL ZONES MAP MiMu/30



**NOTE: For Policy Areas See MAP MiMu/91**

**RM** River Murray  
**Ru** Rural



Scale 1:40000



**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/31**

— Zone Boundary



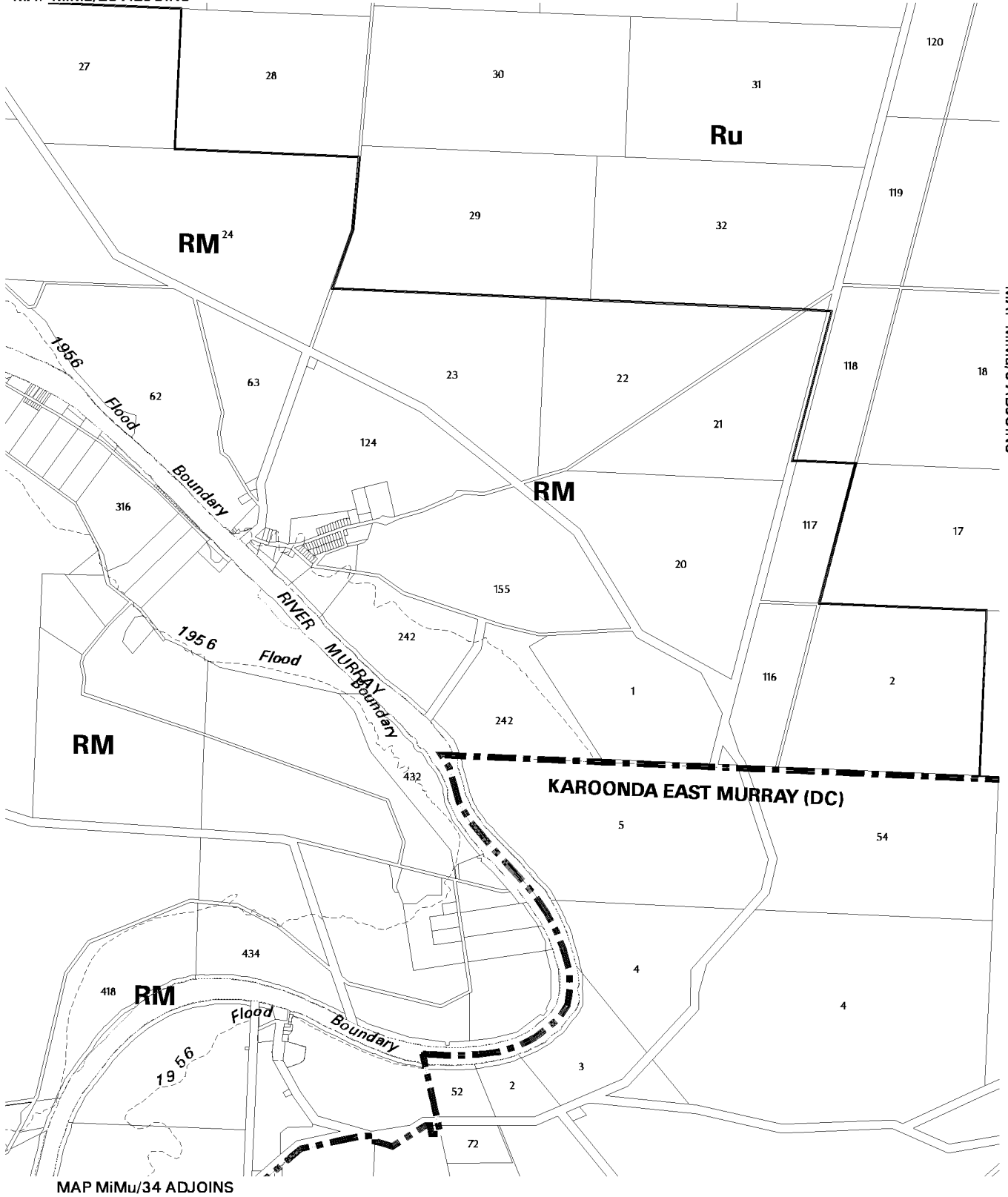
MAP MiMu/28 ADJOINS

MAP MiMu/3 ADJOINS

MAP MiMu/31 ADJOINS

MAP MiMu/3 ADJOINS

MAP MiMu/34 ADJOINS



NOTE: For Policy Areas See MAP MiMu/92

<b>RM</b>	River Murray
<b>Ru</b>	Rural

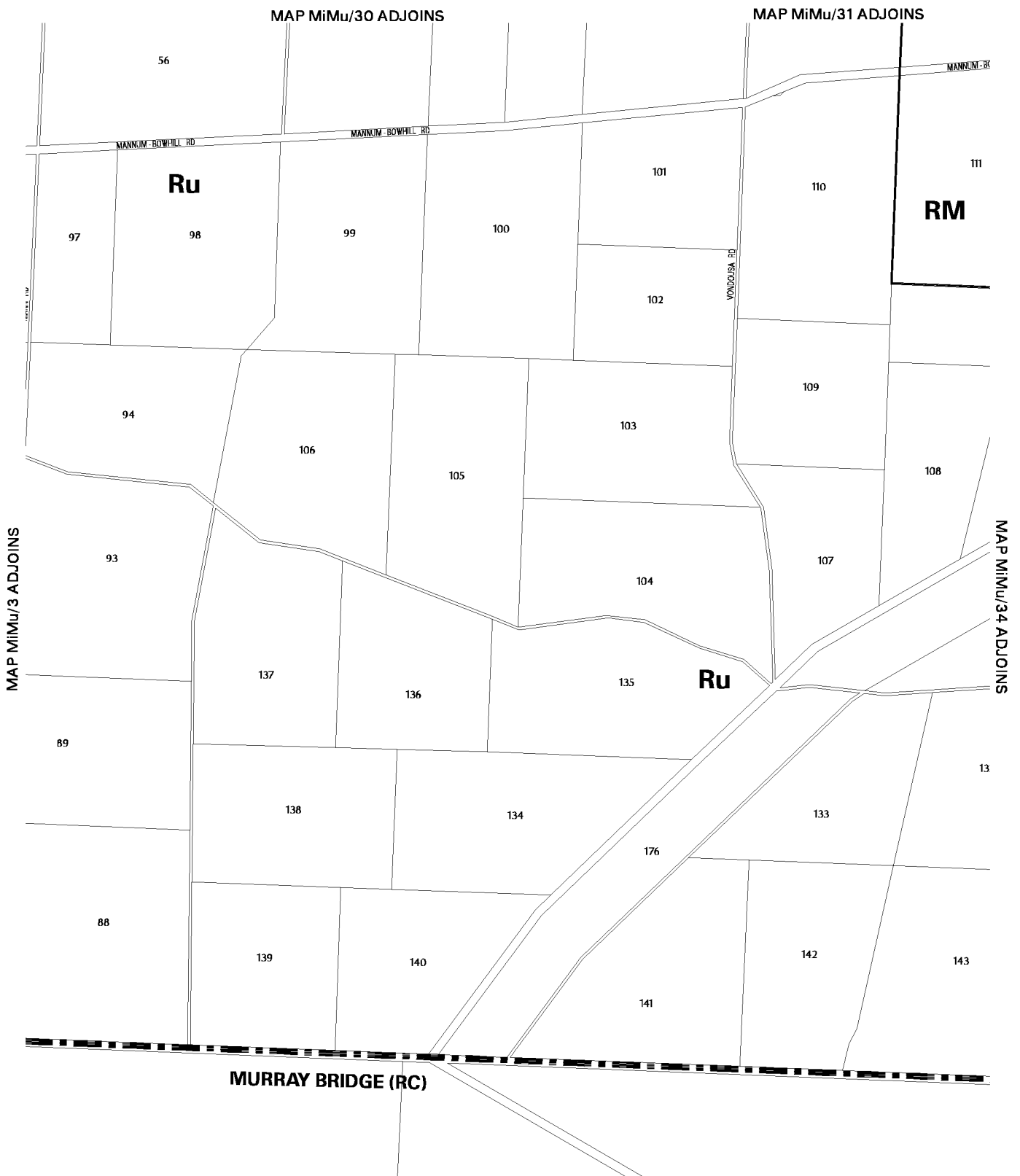


Scale 1:40000



**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/32**

	Zone Boundary
	Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/93**

**RM** River Murray  
**Ru** Rural

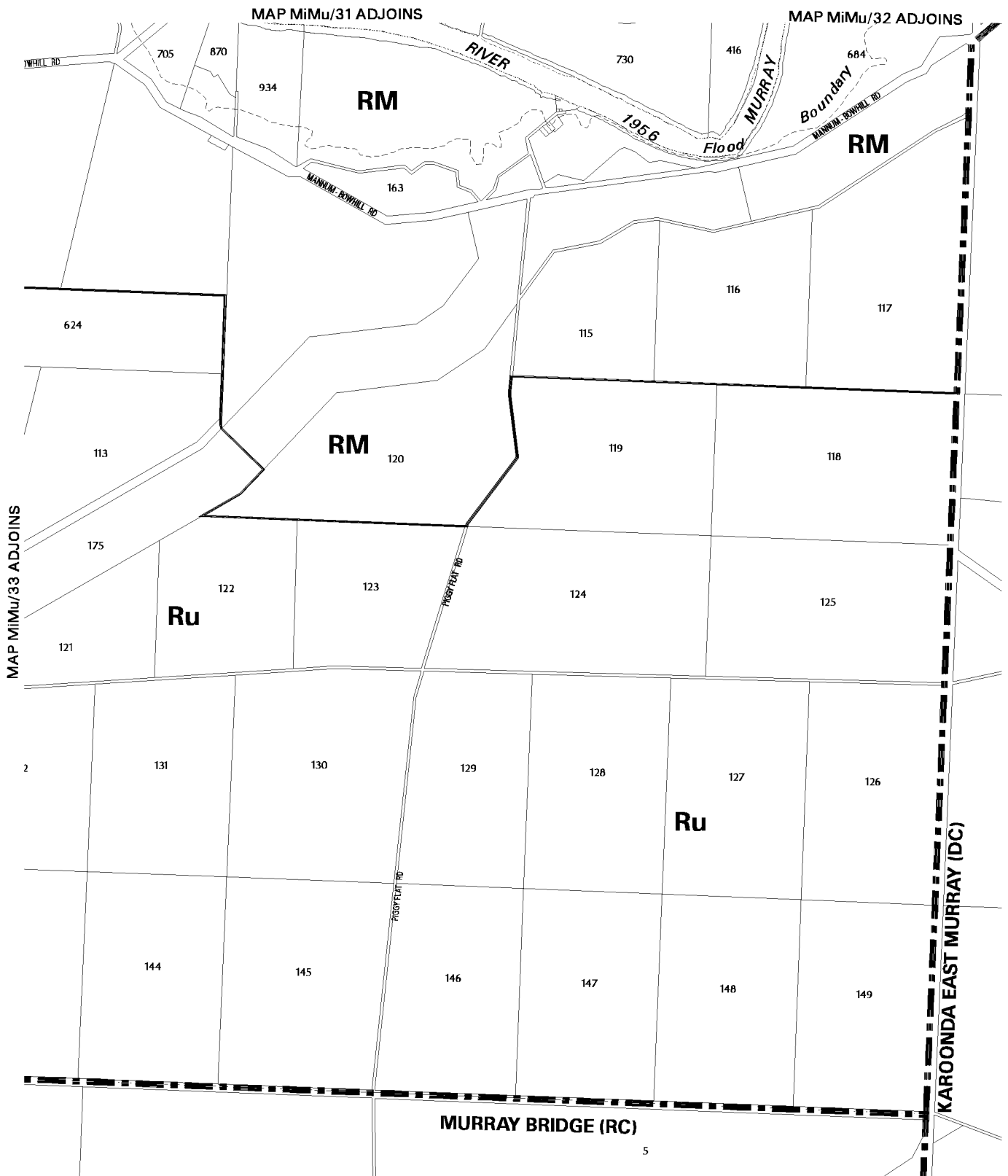


Scale 1:40000



**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/33**

— Zone Boundary  
 - - - - - Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/94**

**RM** River Murray  
**Ru** Rural

— Zone Boundary  
 - - - - - Development Plan Boundary

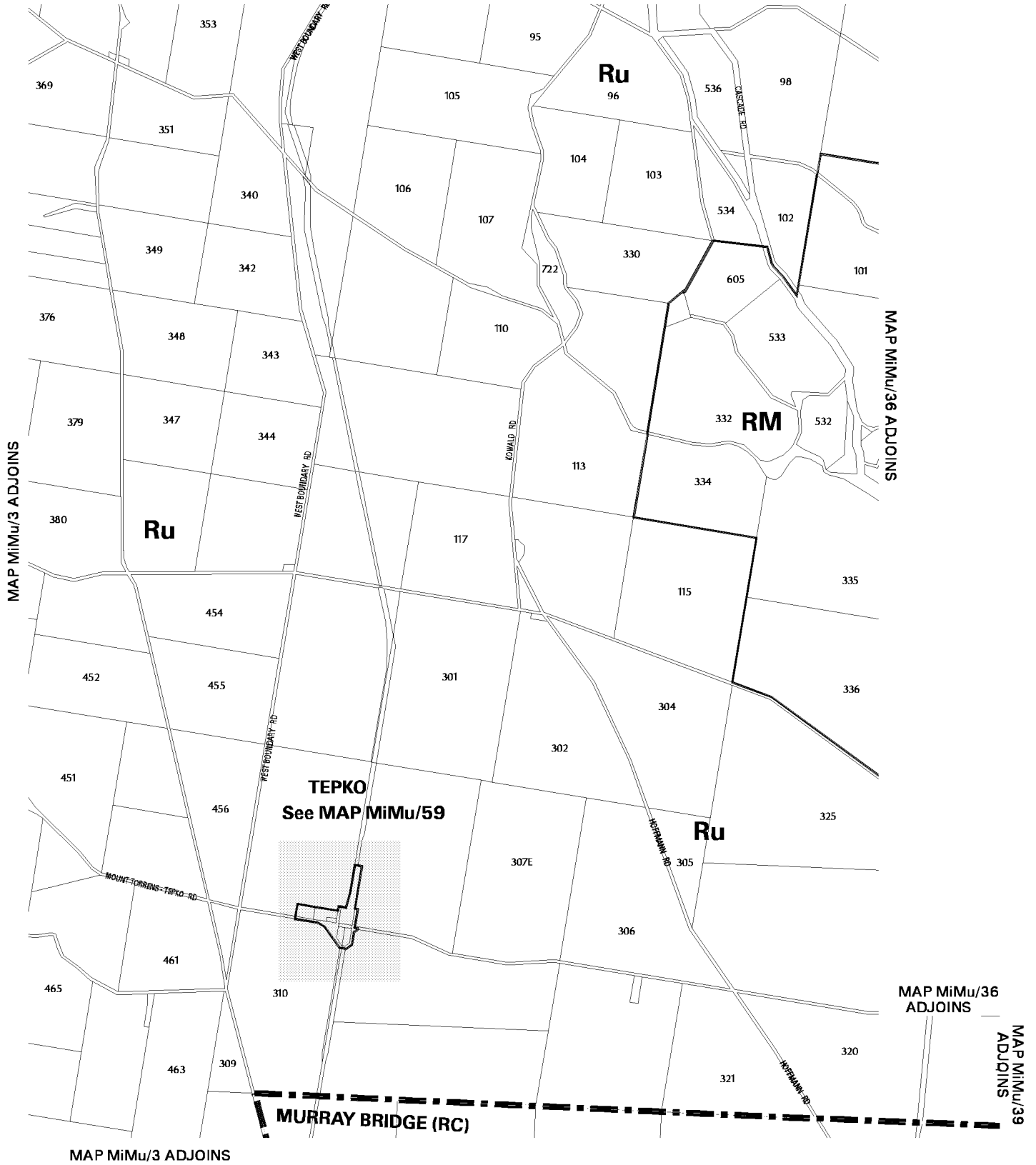
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**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/34**

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MAP MiMu/3 ADJOINS



**NOTE: For Policy Areas See MAP MiMu/96**

**RM** River Murray  
**Ru** Rural

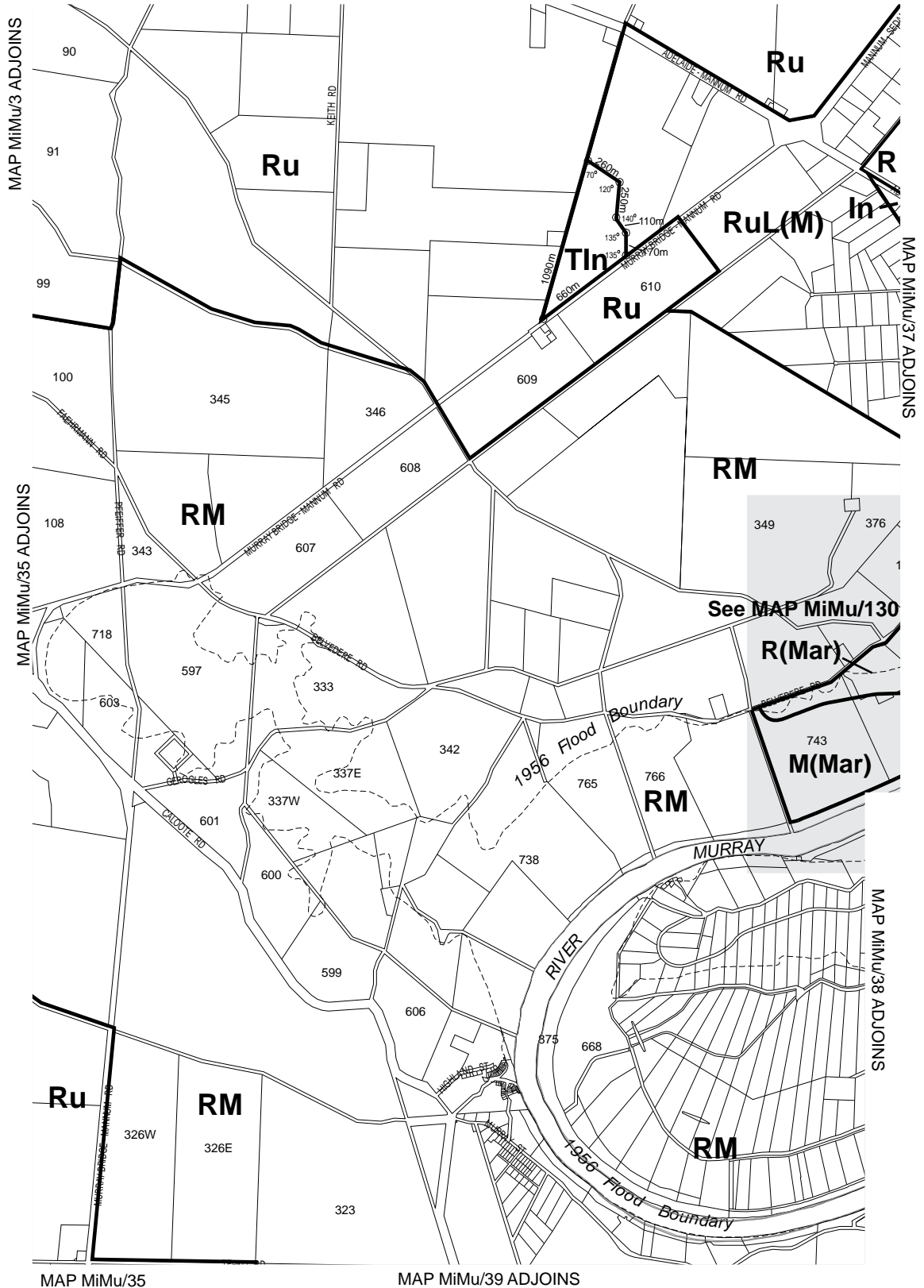


Scale 1:40000



**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/35**

— Zone Boundary  
- - - - - Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/97**

- RM** River Murray
- Ru** Rural
- RuL(M)** Rural Living (Mannum)
- R** Residential
- Tin** Transport Industry
- In** Industry
- R(Mar)** Residential Marina
- M(Mar)** Mannum Marina

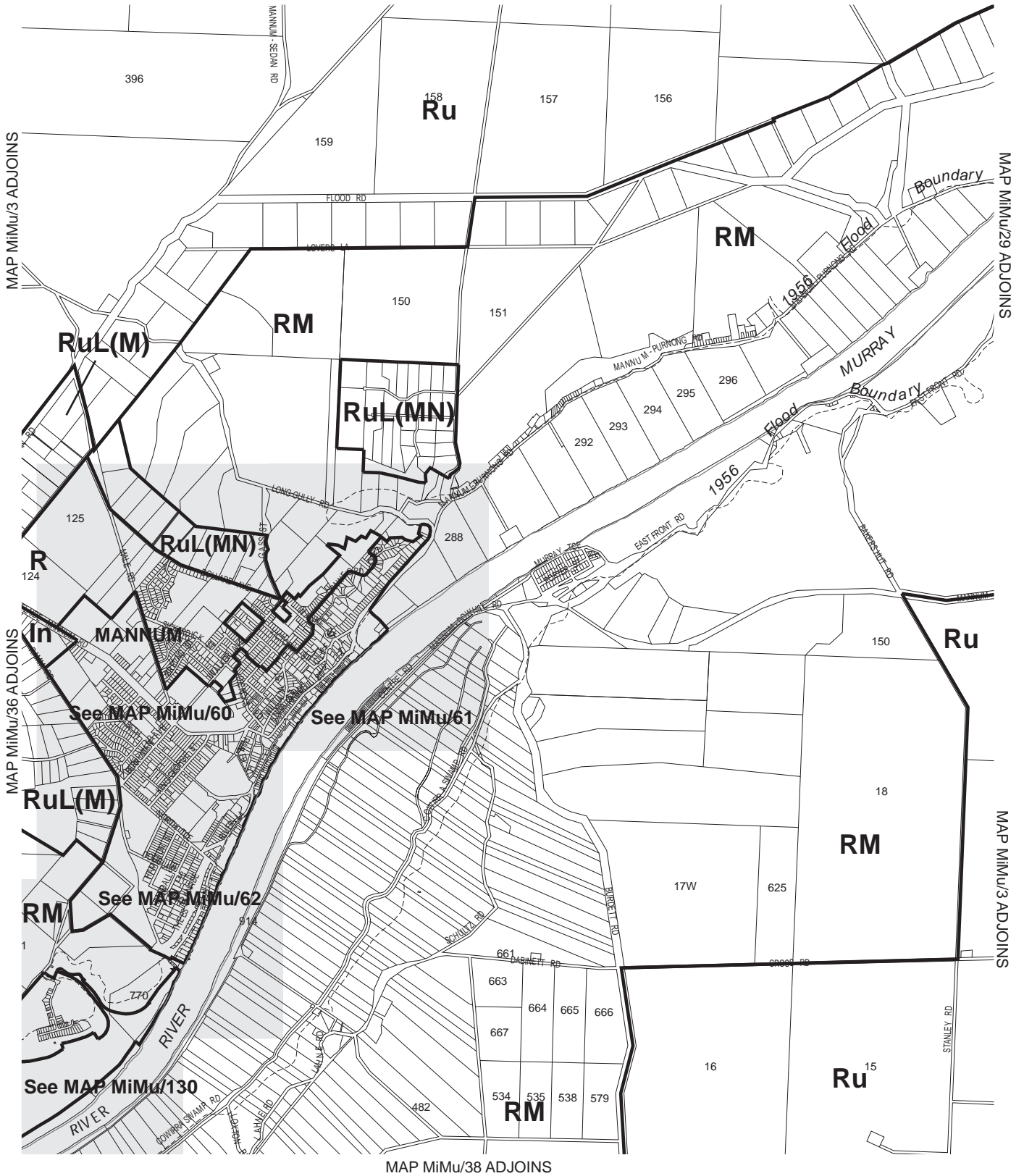
- Zone Boundary
- Development Plan Boundary



Scale 1:40000



# THE MID MURRAY COUNCIL ZONES MAP MiMu/36



**NOTE: For Policy Areas See MAP MiMu/98 and 125**

- RM River Murray
- Ru Rural
- RuL(M) Rural Living (Mannum)
- RuL(MN) Rural Living (Mannum North)
- In Industry
- R Residential

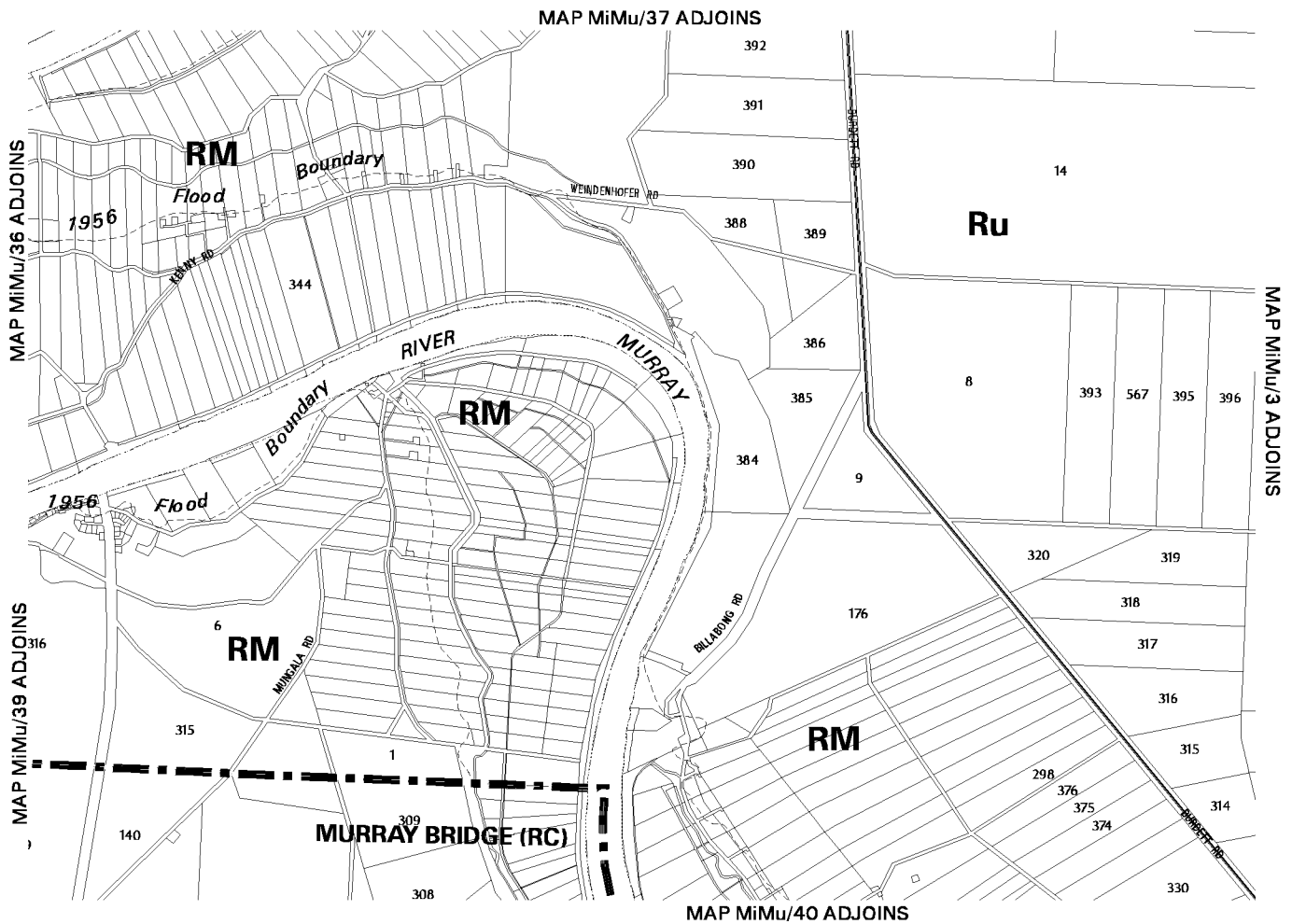


Scale 1:40000



# THE MID MURRAY COUNCIL ZONES MAP MiMu/37

- Zone Boundary
- Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/99**

**RM** River Murray  
**Ru** Rural

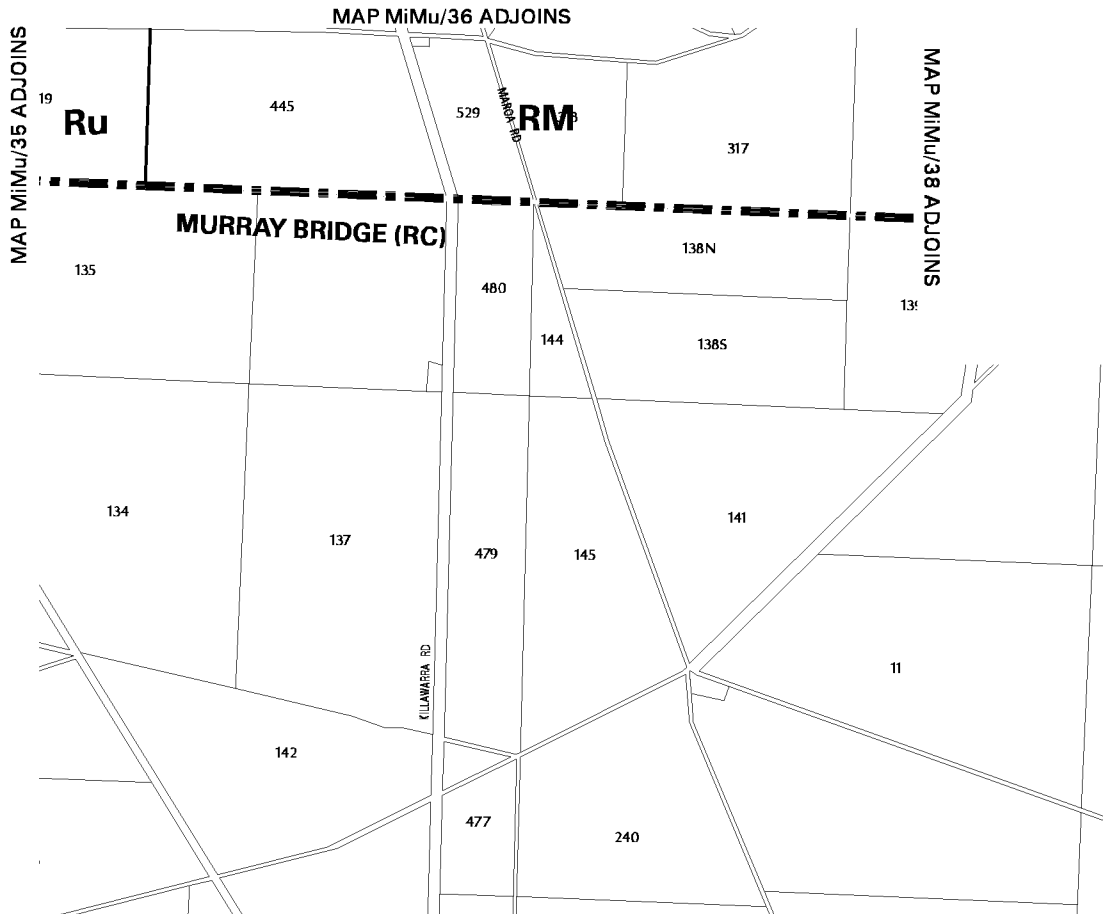


Scale 1:40000



# THE MID MURRAY COUNCIL ZONES MAP MiMu/38

— Zone Boundary  
- - - Development Plan Boundary



**NOTE: For Policy Areas See MAP MiMu/100**

**RM** River Murray  
**Ru** Rural



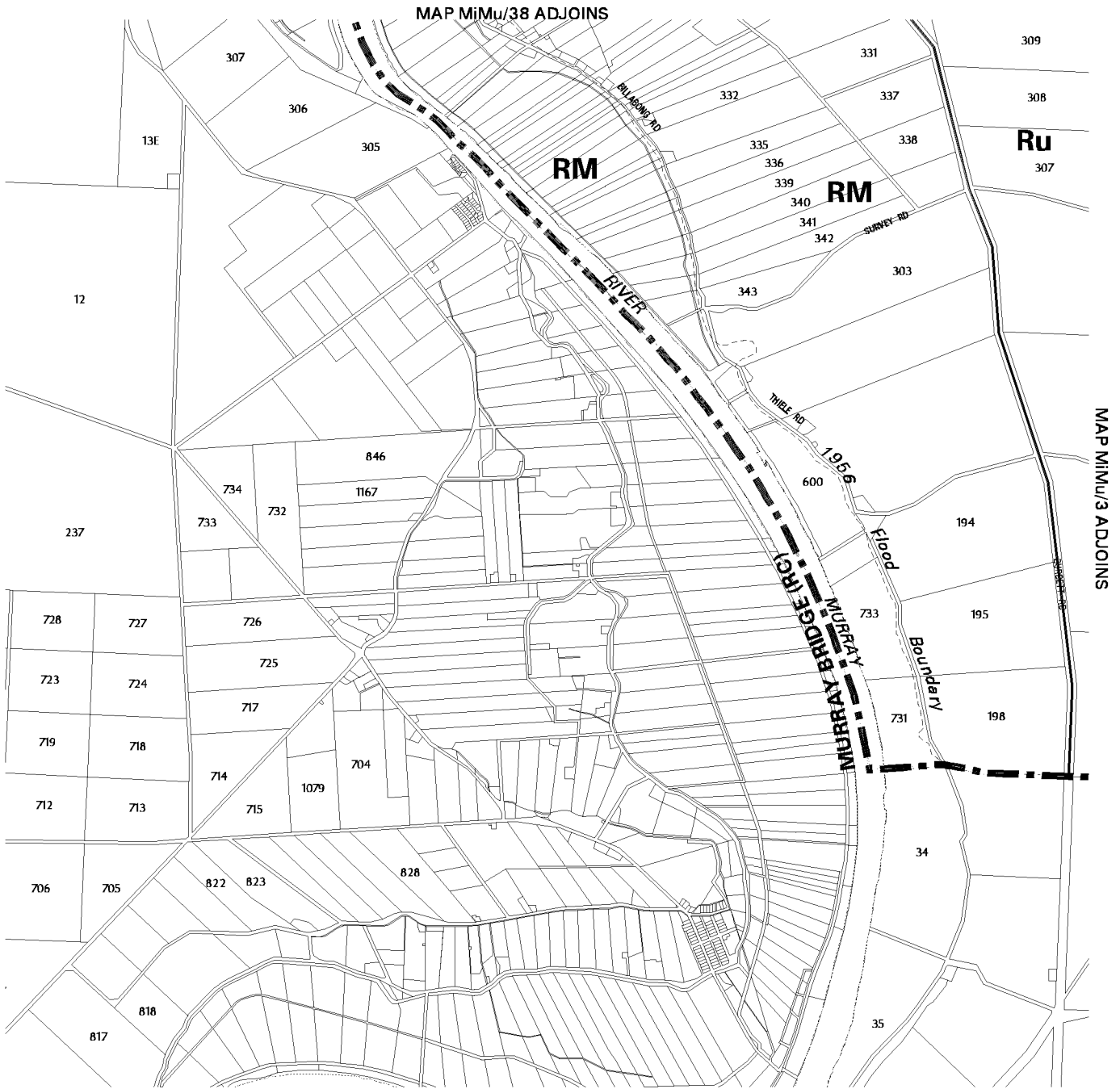
Scale 1:40000



**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/39**

———— Zone Boundary  
 - - - - - Development Plan Boundary





**NOTE: For Policy Areas See MAP MiMu/101**

**RM** River Murray  
**Ru** Rural



Scale 1:40000



**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/40**

— Zone Boundary  
 - - - - - Development Plan Boundary



**MOUNT MARY**

**NOTE: For Policy Areas See MAP MiMu/64**

- Ru Rural
- S(MM) Settlement (Mount Mary)

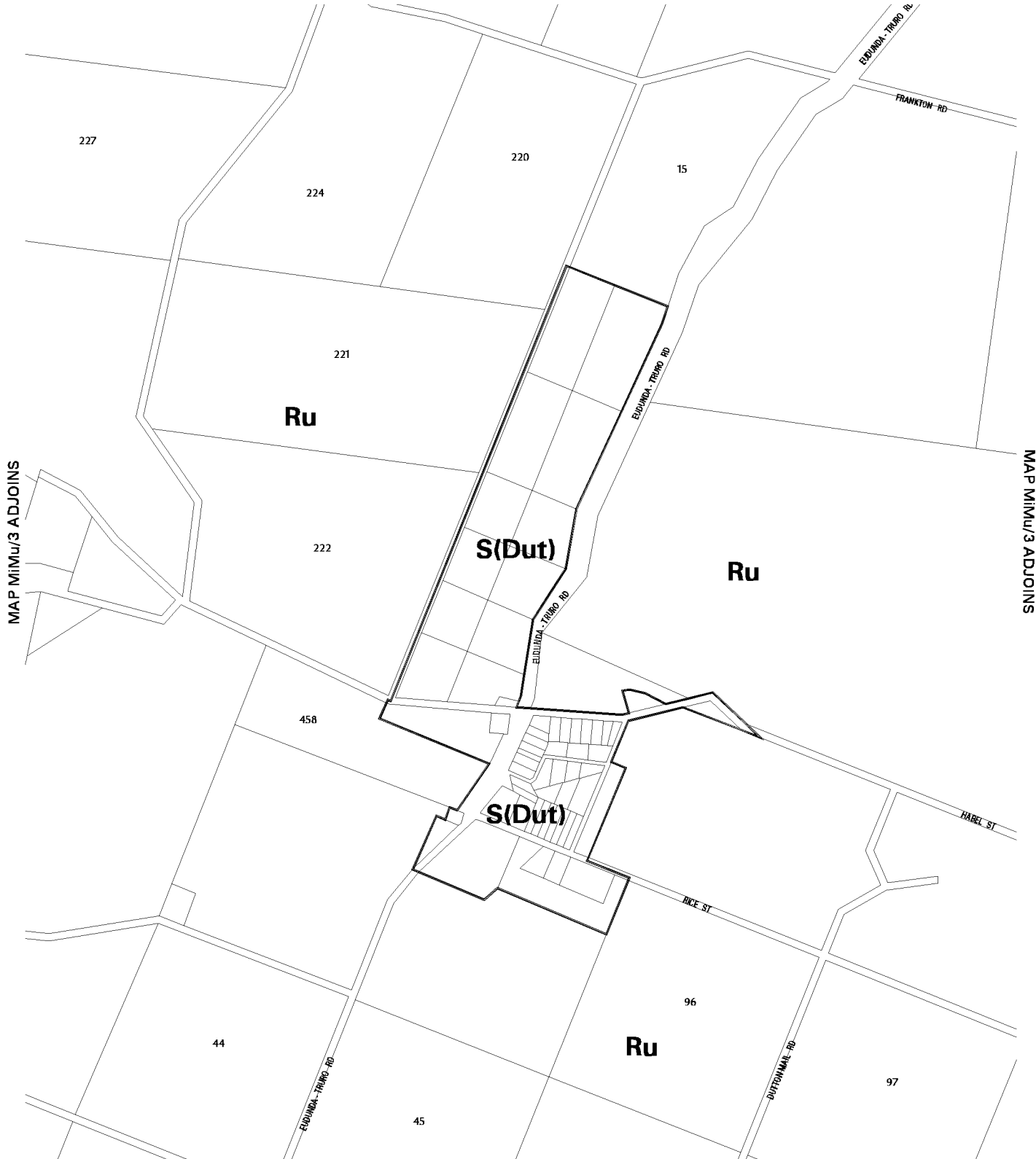


Scale 1:5000



————— Zone Boundary

**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/41**



**DUTTON**

**NOTE: For Policy Areas See MAP MiMu/64**

- Ru Rural
- S(Dut) Settlement (Dutton)



Scale 1:15000



————— Zone Boundary

**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/42**

256

Ru

Ru

T(Tr)

In

Con

T(D)

229

443

RuL(Tr)

232

409

233

Ru

407

410

405

412

419

Ru

418

MAP MiMu/3 ADJOINS

MAP MiMu/3 ADJOINS

**TRURO**

**NOTE: For Policy Areas See MAP MiMu/102**

- T(Tr) Township (Truro)
- Ru Rural
- RuL(Tr) Rural Living (Truro)
- T(D) Township (Deferred)
- In Industry
- Con Conservation



Scale 1:17500



- Zone Boundary
- Development Plan Boundary

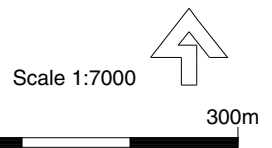
**MID MURRAY COUNCIL  
ZONES  
MAP MiMu/43**





**KEYNETON**

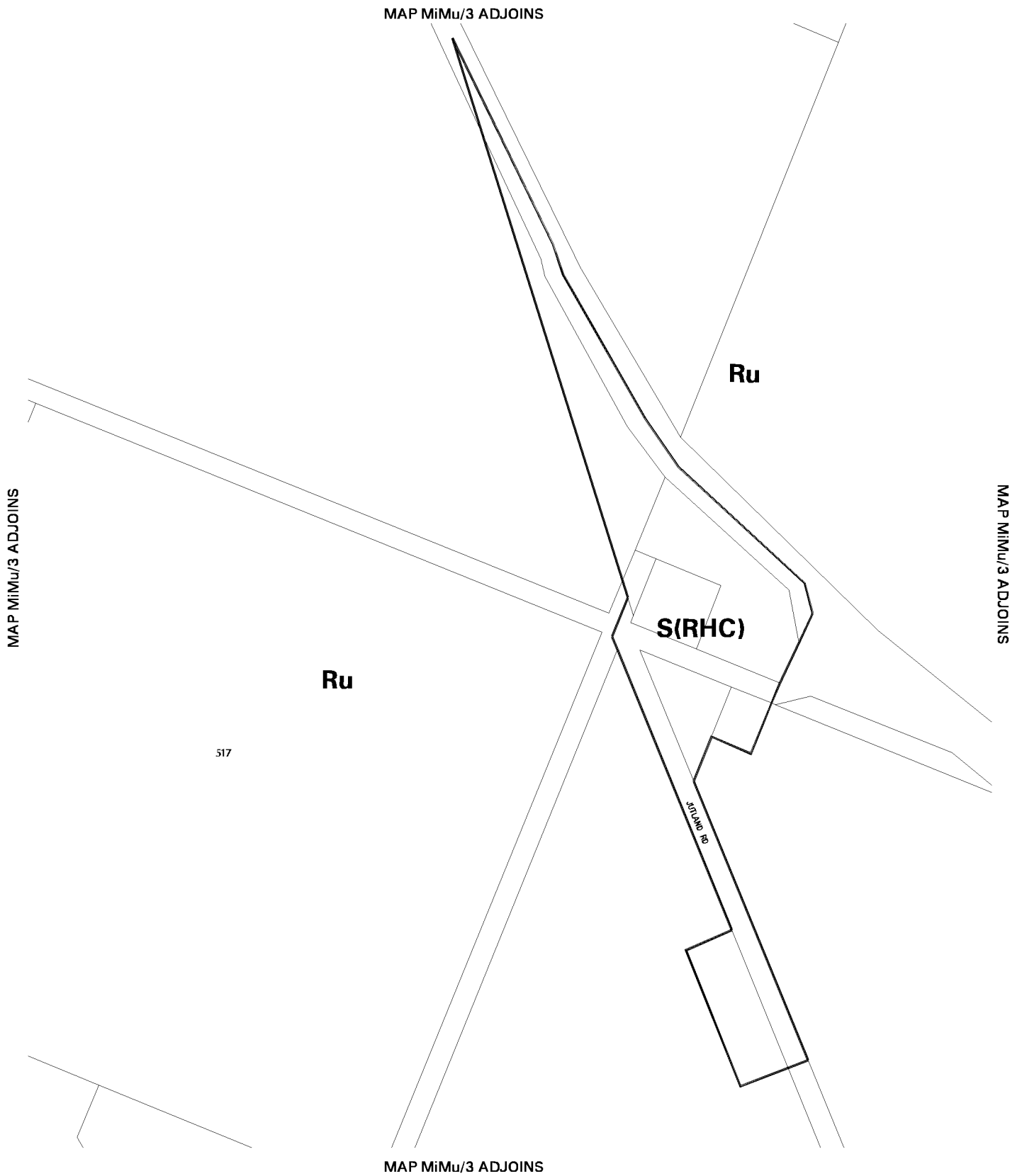
**NOTE: For Policy Areas See MAP MiMu/75**

- Ru Rural
- SCe(Ke) Service Centre (Keyneton)
- RuL(Ke) Rural Living (Keyneton)



-  Zone Boundary
-  Development Plan Boundary

**MID MURRAY COUNCIL**  
**ZONES**  
**MAP MiMu/44**



**RAMS HEAD CORNER**  
**NOTE: For Policy Areas See MAP MiMu/75**  
**Ru** Rural  
**S(RHC)** Settlement (Rams Head Corner)

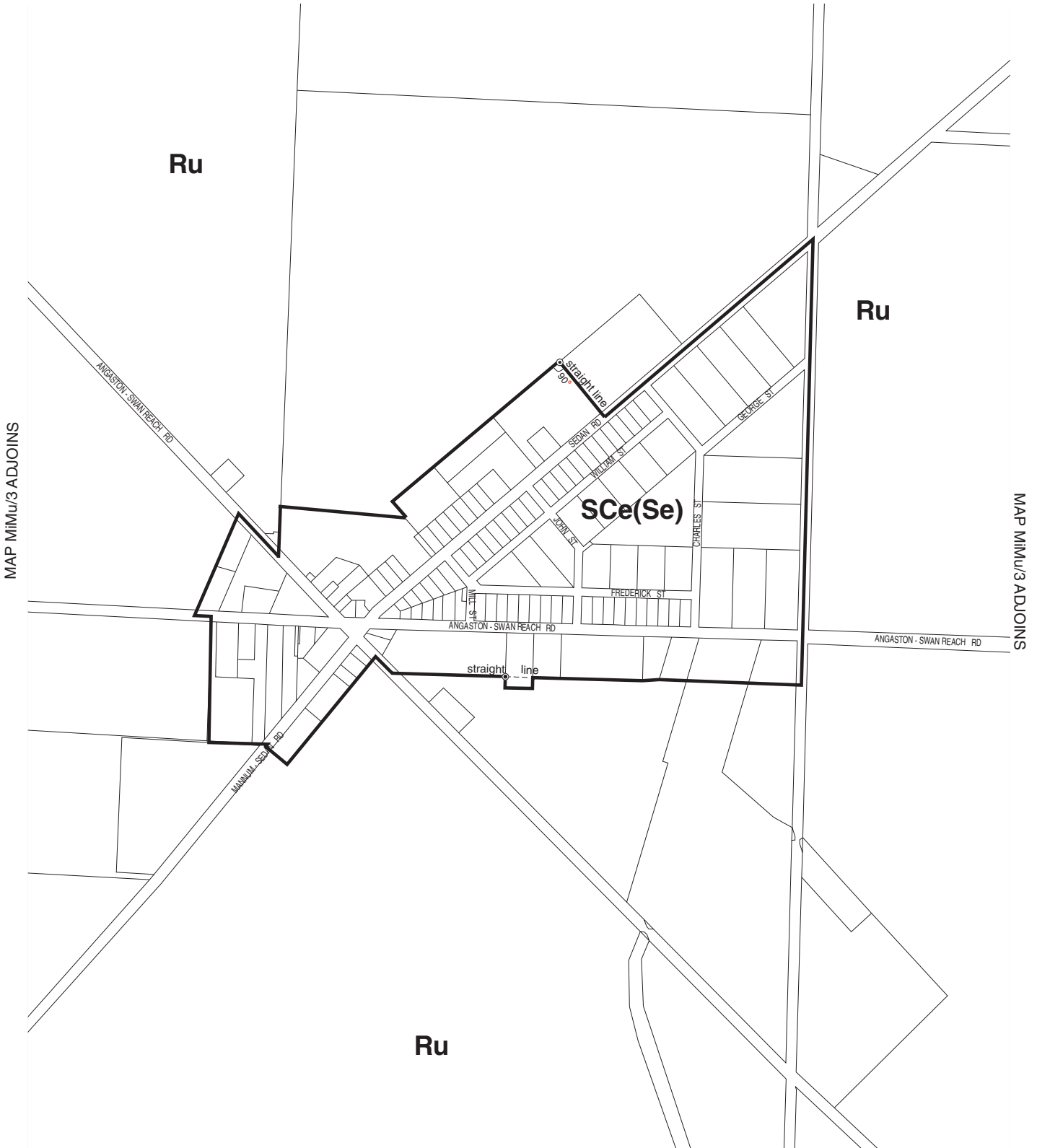


Scale 1:5000



**THE MID MURRAY COUNCIL**  
**ZONES**  
**MAP MiMu/45**

———— Zone Boundary



**SEDAN**

**NOTE: For Policy Areas See MAP MiMu/76**

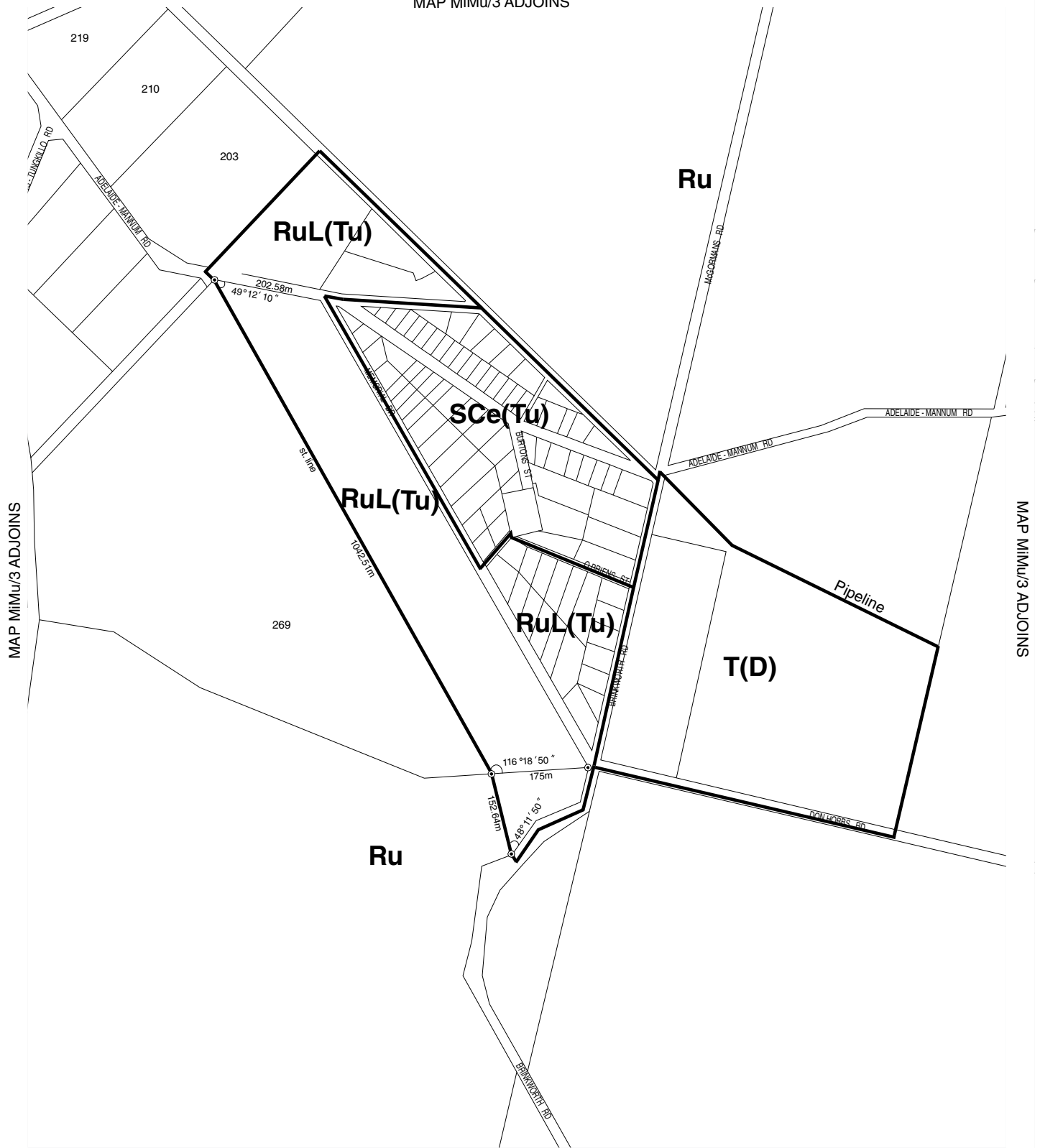
Ru	Rural
SCe(Se)	Service Centre (Sedan)

	Zone Boundary
	Development Plan Boundary

**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/46**

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MAP MiMu/3 ADJOINS



MAP MiMu/3 ADJOINS

**TUNGKILLO**

**NOTE: For Policy Areas See MAP MiMu/129**

- Ru** Rural
- RuL(Tu)** Rural Living (Tungkillo)
- SCe(Tu)** Service Centre (Tungkillo)
- T(D)** Township (Deferred)



Scale 1:10000



**THE MID MURRAY COUNCIL  
ZONES**

- Zone Boundary
- Development Plan Boundary

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**MAP MiMu/47**

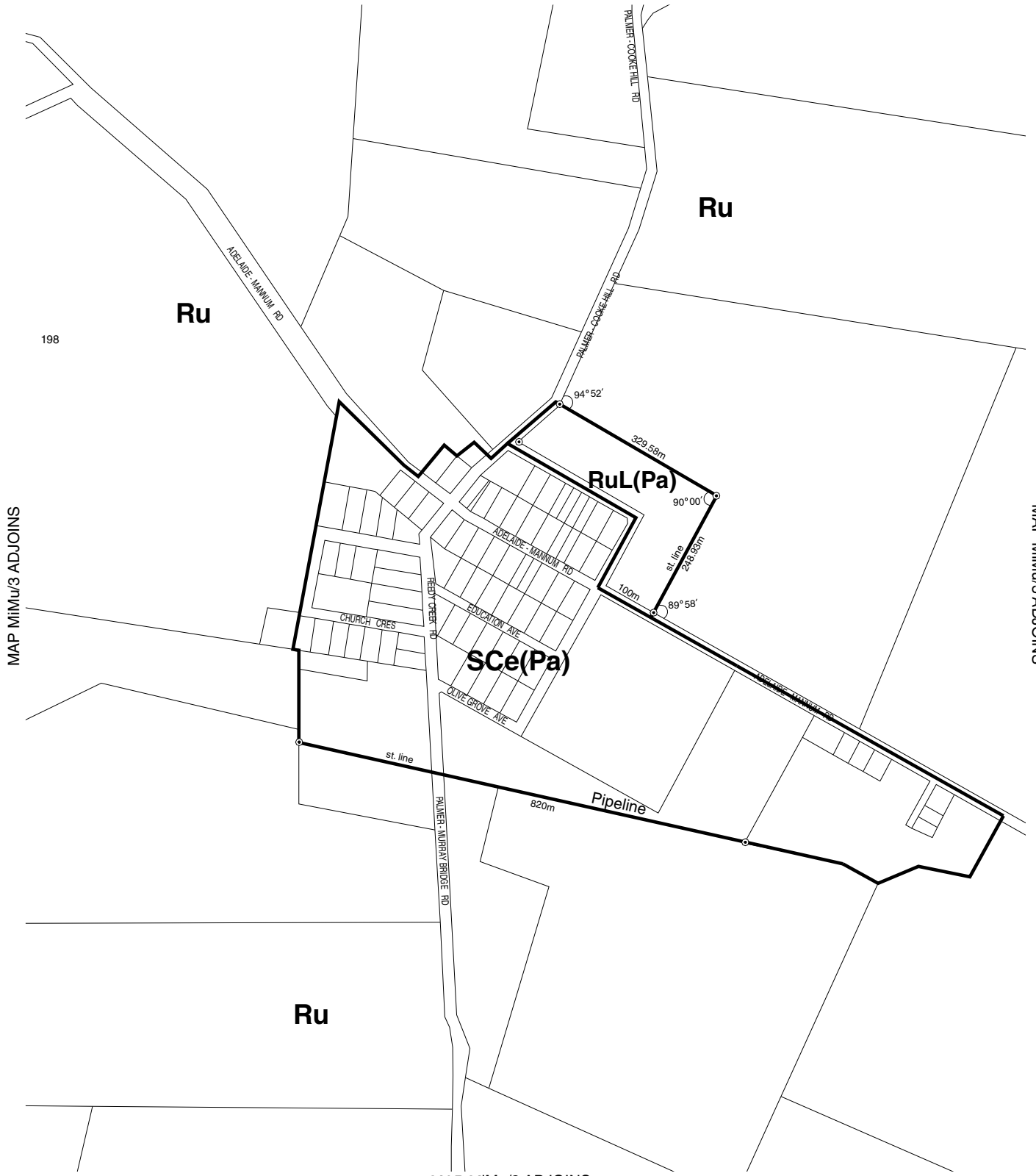


MAP MiMu/3 ADJOINS

MAP MiMu/3 ADJOINS

MAP MiMu/3 ADJOINS

MAP MiMu/3 ADJOINS



**PALMER**

**NOTE: For Policy Areas See MAP MiMu/95**

- Ru Rural
- SCe(Pa) Service Centre (Palmer)
- RuL(Pa) Rural Living (Palmer)

Scale 1:10000



**MID MURRAY COUNCIL**  
**ZONES**  
**MAP MiMu/48**

- Zone Boundary
- Development Plan Boundary

Consolidated - 25 February 2021

561

51

Ru

S(Mil)

814

NORTH TCE

CROSS ST

SOUTH TCE

815

Ru

Ru

CHURCH RD

MAP MiMu/3 ADJOINS

MAP MiMu/3 ADJOINS

**MILENELLA**  
**NOTE: For Policy Areas See MAP MiMu/78**

**Ru** Rural  
**S(Mil)** Settlement (Milendella)



Scale 1:5000



**THE MID MURRAY COUNCIL**  
**ZONES**  
**MAP MiMu/49**

————— Zone Boundary

MAP MiMu/3 ADJOINS

MAP MiMu/3 ADJOINS

MAP MiMu/3 ADJOINS

**ANGAS VALLEY**

**NOTE: For Policy Areas See MAP MiMu/78**

<b>Ru</b>	Rural
<b>S(AV)</b>	Settlement (Angas Valley)

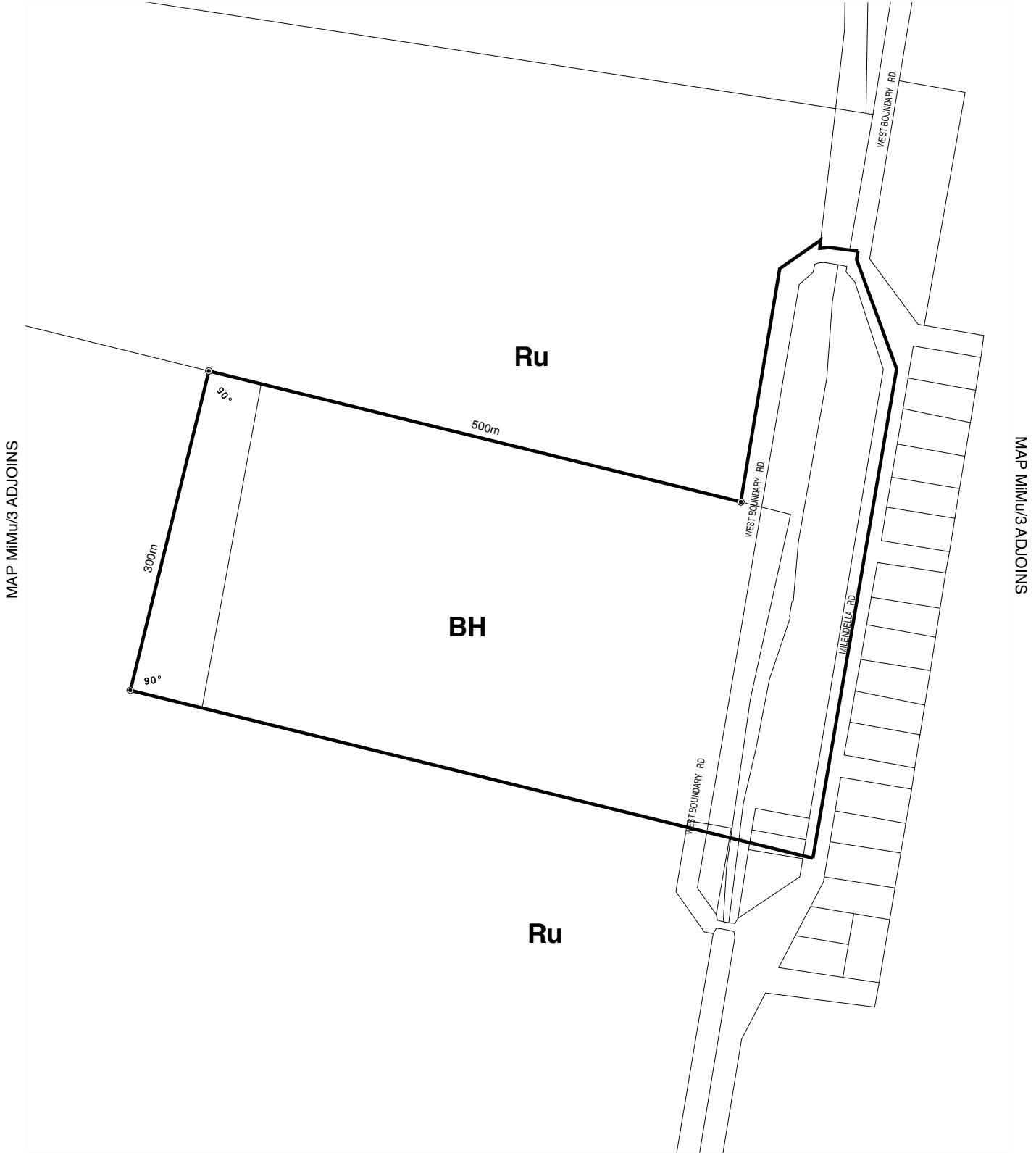


Scale 1:5000



**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/50**

———— Zone Boundary



**APAMURRA**



**NOTE: For Policy Areas See MAP MiMu/78**

<b>BH</b>	Bulk Handling
<b>Ru</b>	Rural



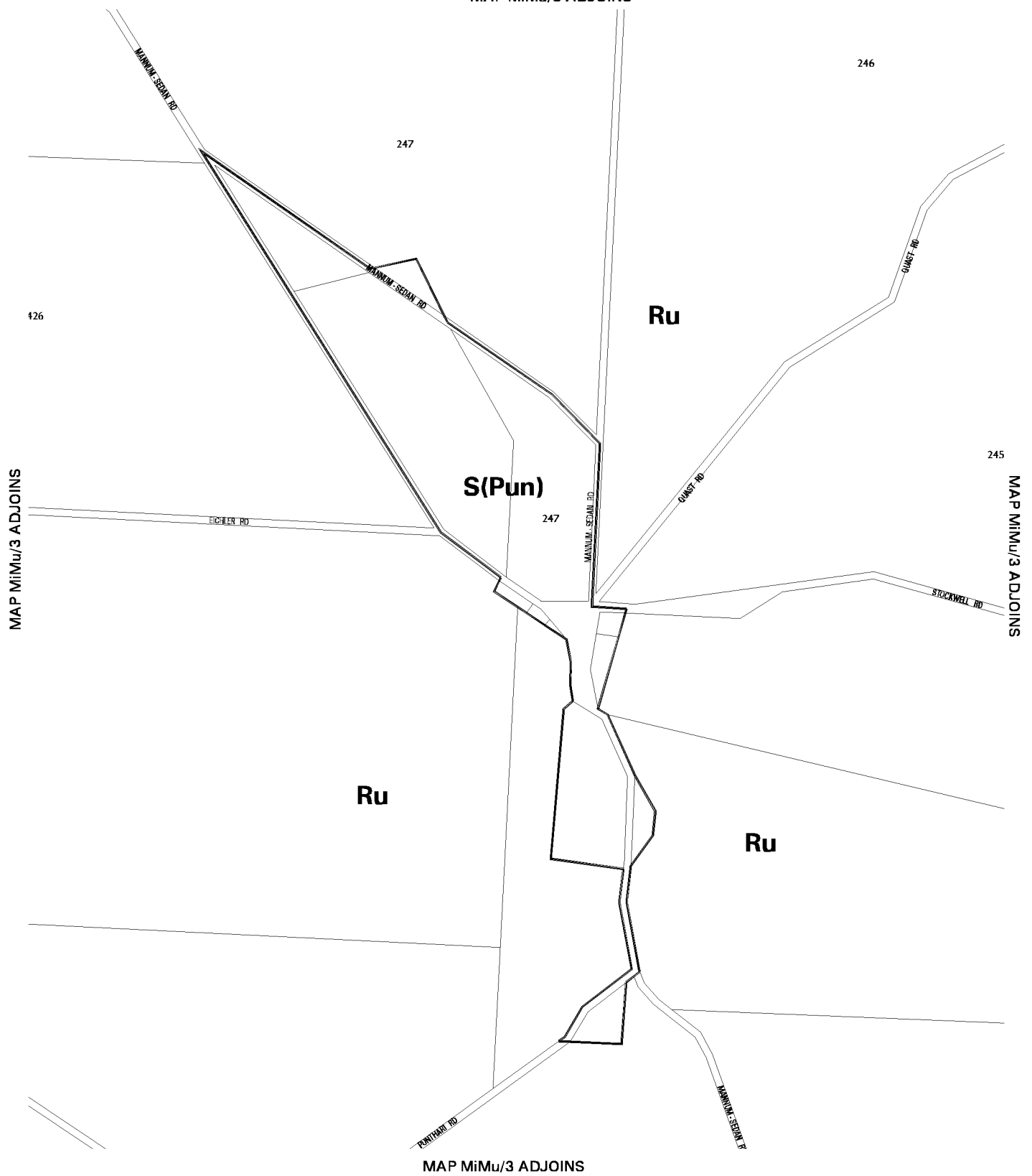
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	Zone Boundary
	Development Plan Boundary

**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/51**

MAP MiMu/3 ADJOINS



**PUNTHARI**  
**NOTE: For Policy Areas See MAP MiMu/78**  
**Ru** Rural  
**S(Pun)** Settlement (Punthari)

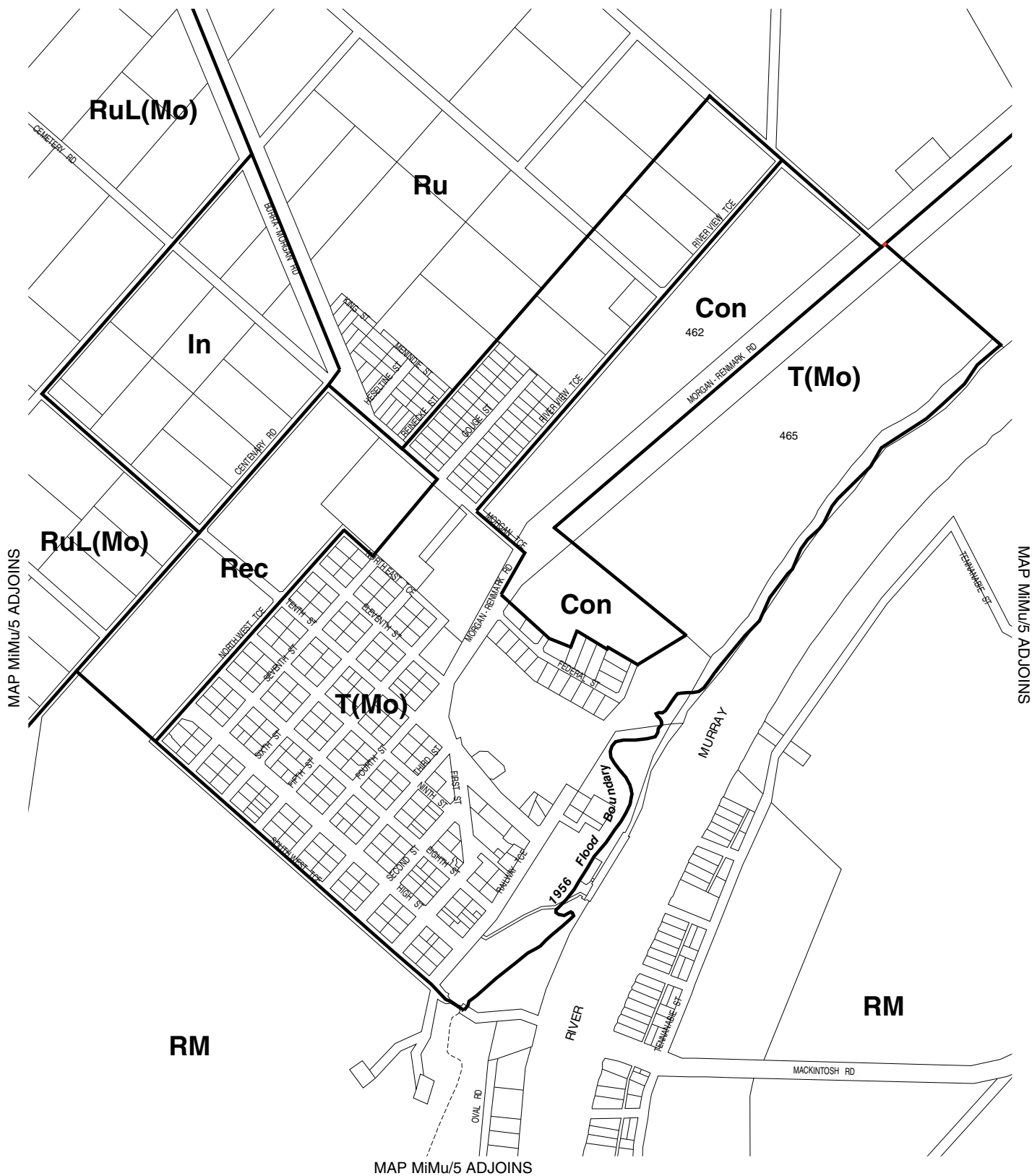


Scale 1:15000



**THE MID MURRAY COUNCIL**  
**ZONES**  
**MAP MiMu/52**



— Zone Boundary



**MORGAN**

**NOTE: For Policy Areas See MAP MiMu/66**

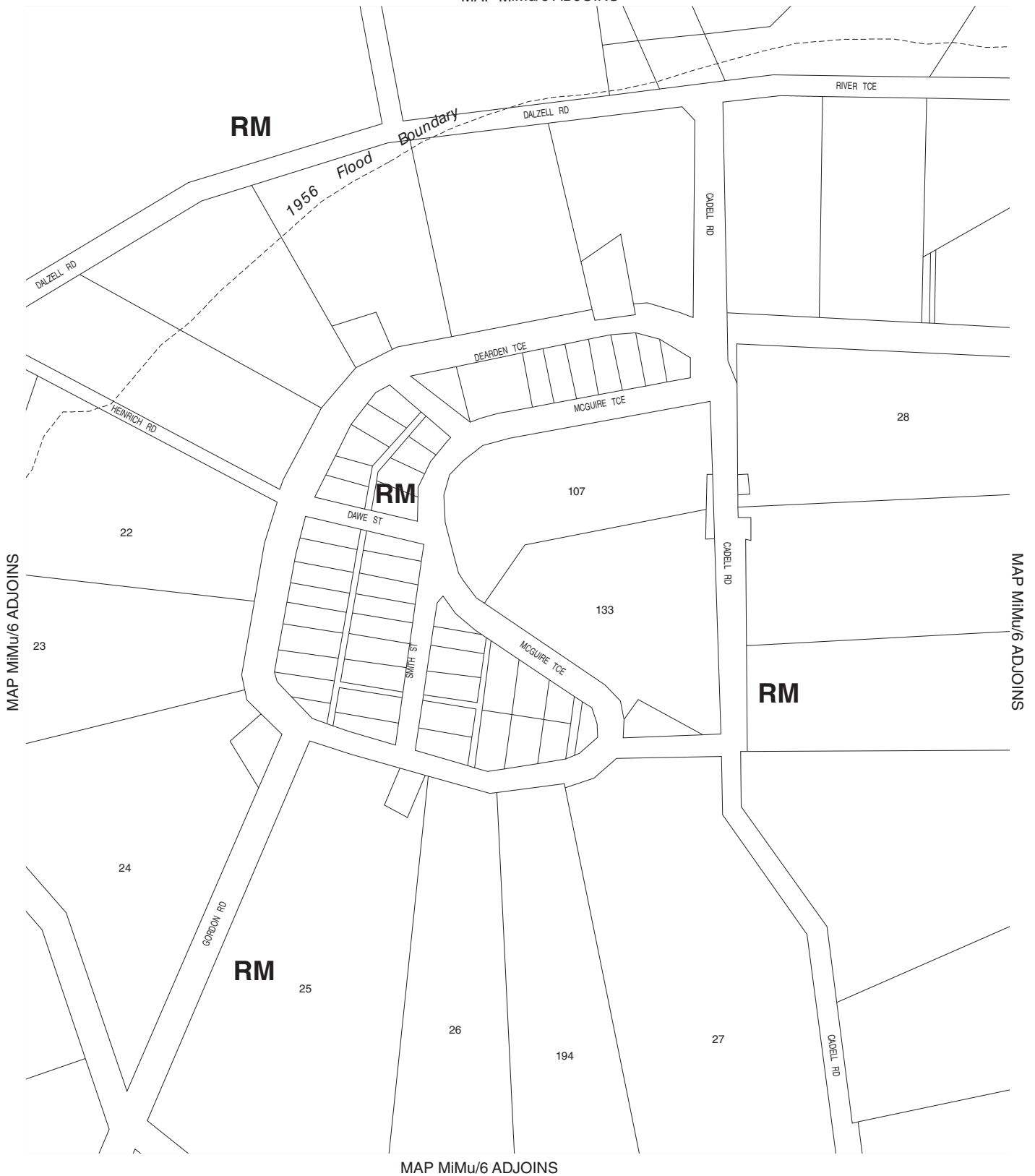
- T(Mo) Township (Morgan)
- In Industry
- Con Conservation
- Rec Recreation
- RM River Murray
- Ru Rural
- RuL(Mo) Rural Living (Morgan)

-  Zone Boundary
-  Development Plan Boundary

Scale 1:12000



**MID MURRAY COUNCIL  
ZONES  
MAP MiMu/53**



**CADELL**


**NOTE: For Policy Areas See MAP MiMu/67  
For Precinct Areas See MAP MiMu/132**

**RM** River Murray

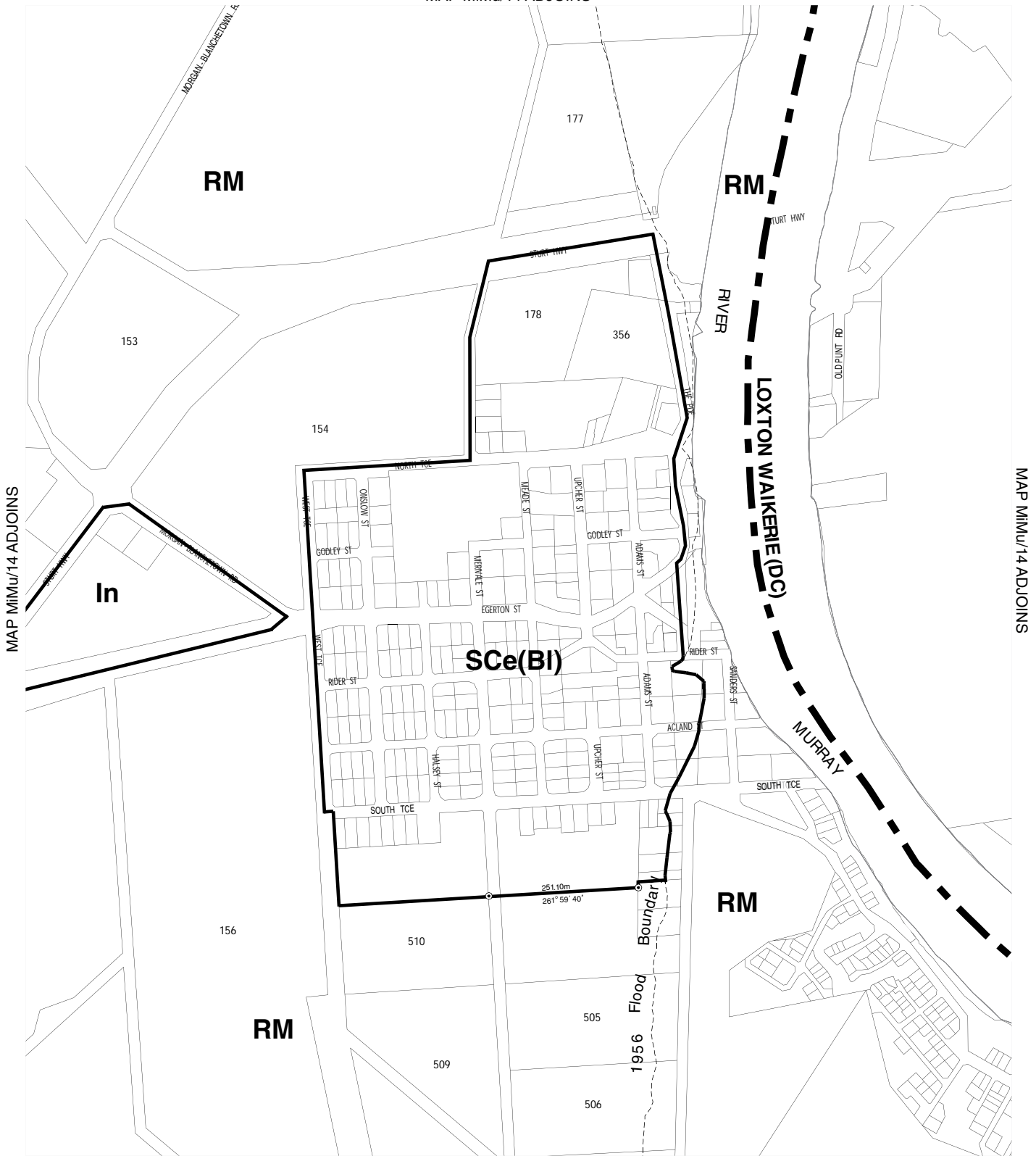


Scale 1:5000



-  Zone Boundary
-  Development Plan Boundary

**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/54**



**BLANCHETOWN**

**NOTE: For Policy Areas See MAP MiMu/104**

- RM** River Murray
- SCe(BI)** Service Centre (Blanchetown)
- In** Industry

- Zone Boundary
- Development Plan Boundary



Scale 1:10000



**THE MID MURRAY COUNCIL**  
**ZONES**  
**MAP MiMu/55**





**SWAN REACH**

**NOTE: For Policy Areas See MAP MiMu/105**

- RM River Murray
- T(SR) Township (Swan Reach)
- RuL(SRE) Rural Living (Swan Reach Environs)

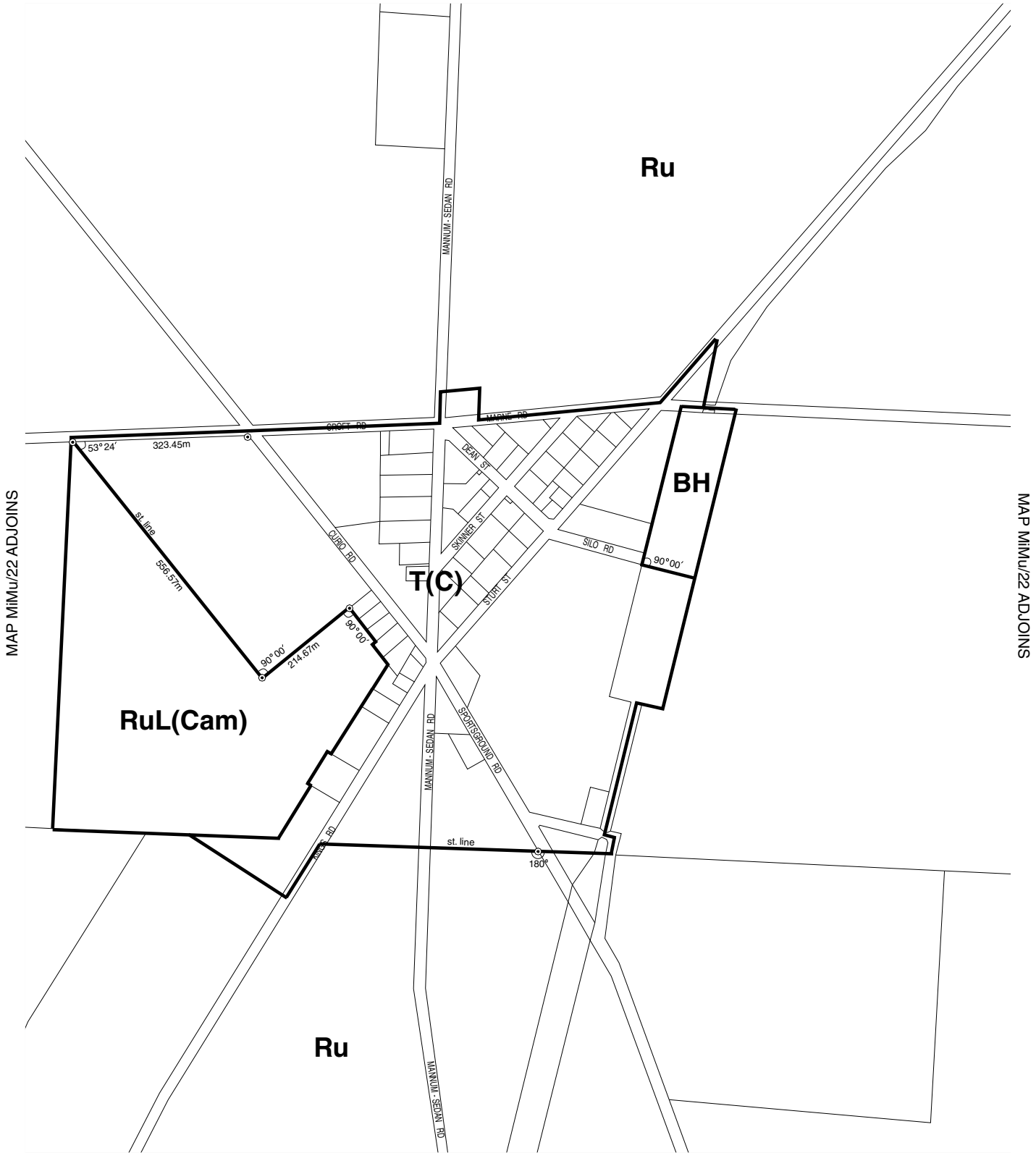


Scale 1:12000



- Zone Boundary
- Development Plan Boundary



**MID MURRAY COUNCIL  
ZONES  
MAP MiMu/56**



**CAMBRAI**

**NOTE: For Policy Areas See MAP MiMu/76**

- T(C) Township (Cambrai)
- Ru Rural
- BH Bulk Handling
- RuL(Cam) Rural Living (Cambrai)

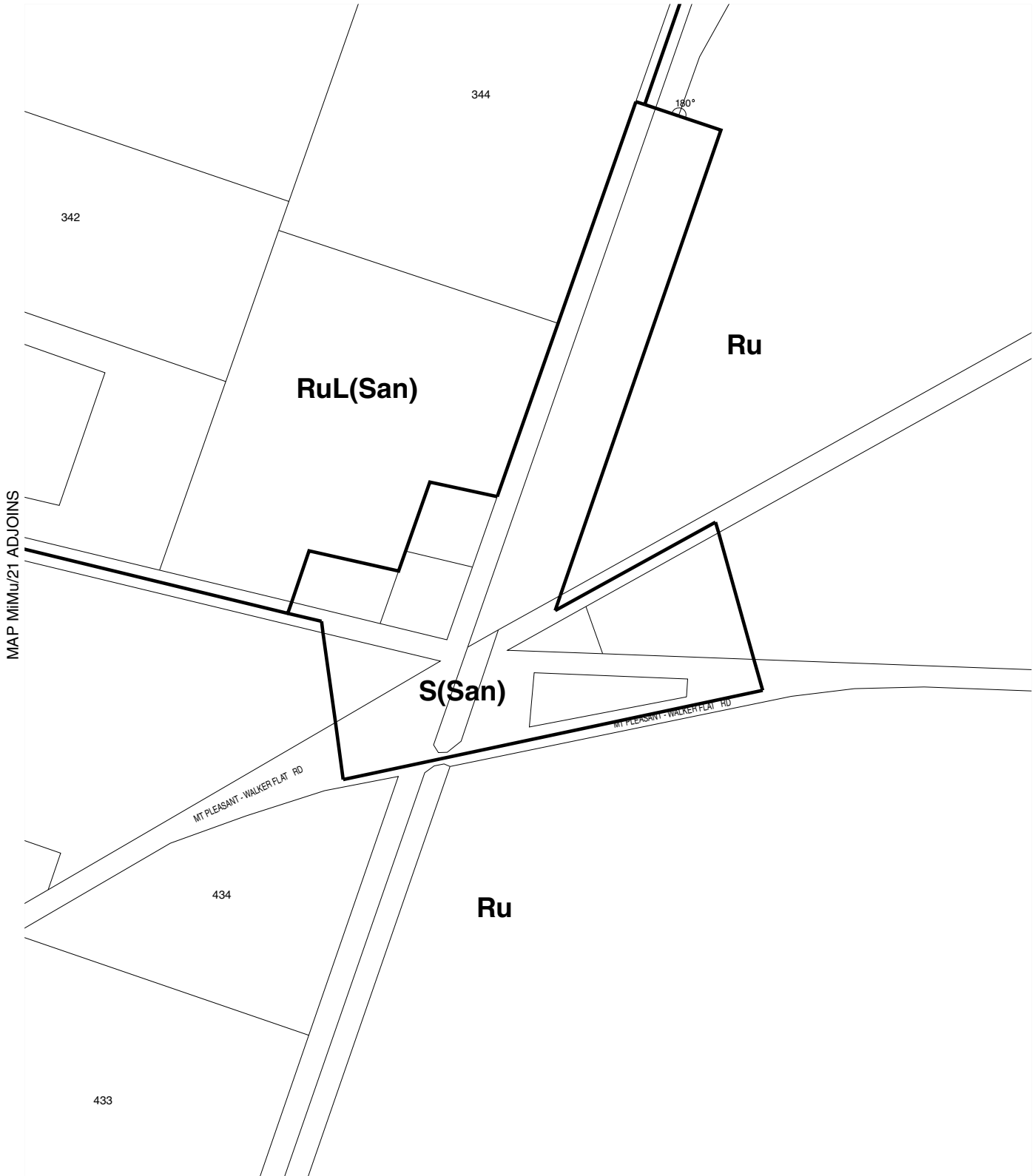
-  Zone Boundary
-  Development Plan Boundary



Scale 1:10000



**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/57**



**SANDERSTON**

**NOTE: For Policy Areas See MAP MiMu/78**

- Ru** Rural
- RuL(San)** Rural Living (Sanderston)
- S(San)** Settlement (Sanderston)



Scale 1:5000

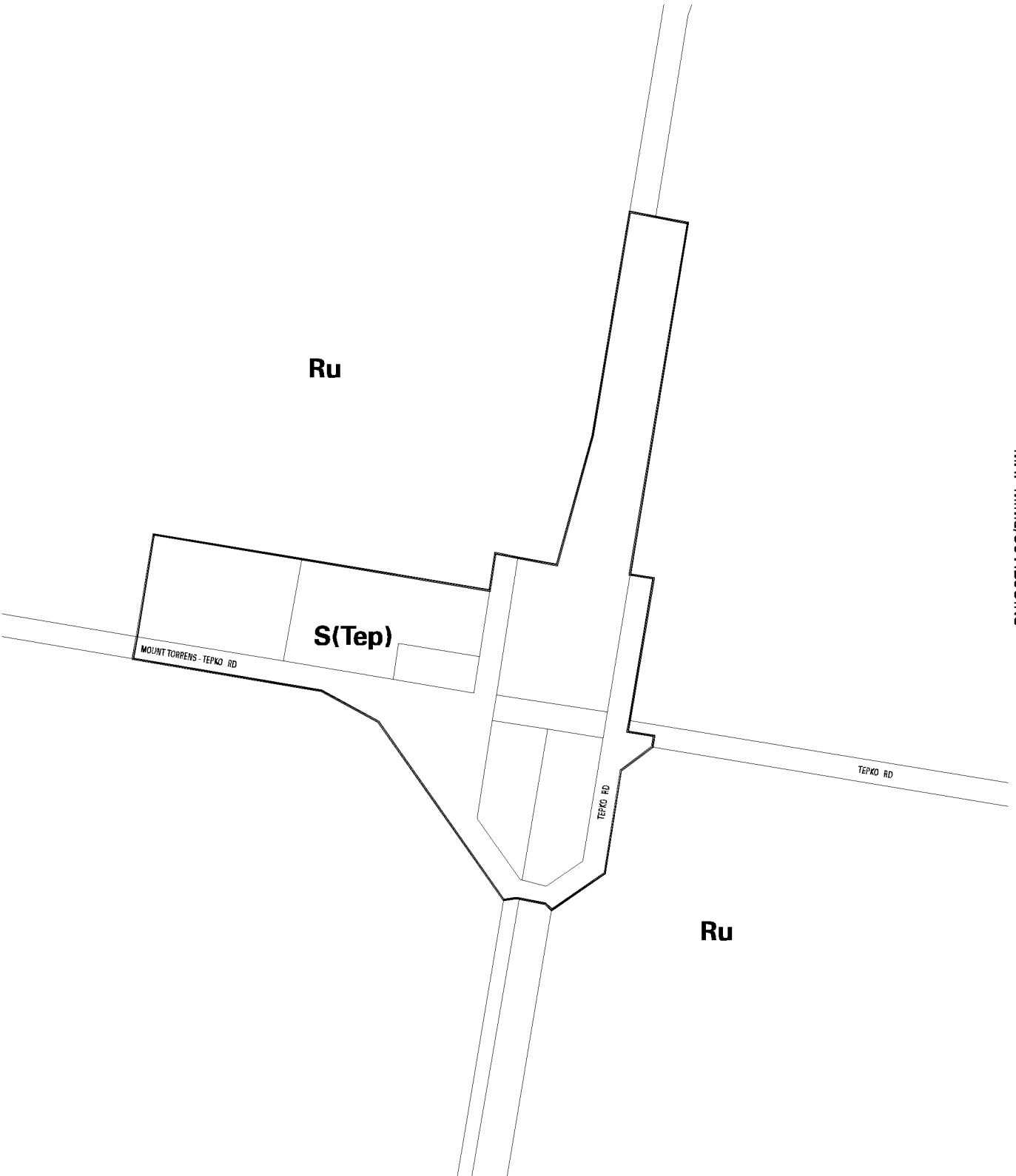


- Zone Boundary
- - -** Development Plan Boundary

**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/58**

MAP MiMu/35 ADJOINS

MAP MiMu/35 ADJOINS



MAP MiMu/35 ADJOINS

**TEPKO**  
**NOTE: For Policy Areas See MAP MiMu/96**  
 Ru Rural  
 S(Tep) Settlement (Tepko)

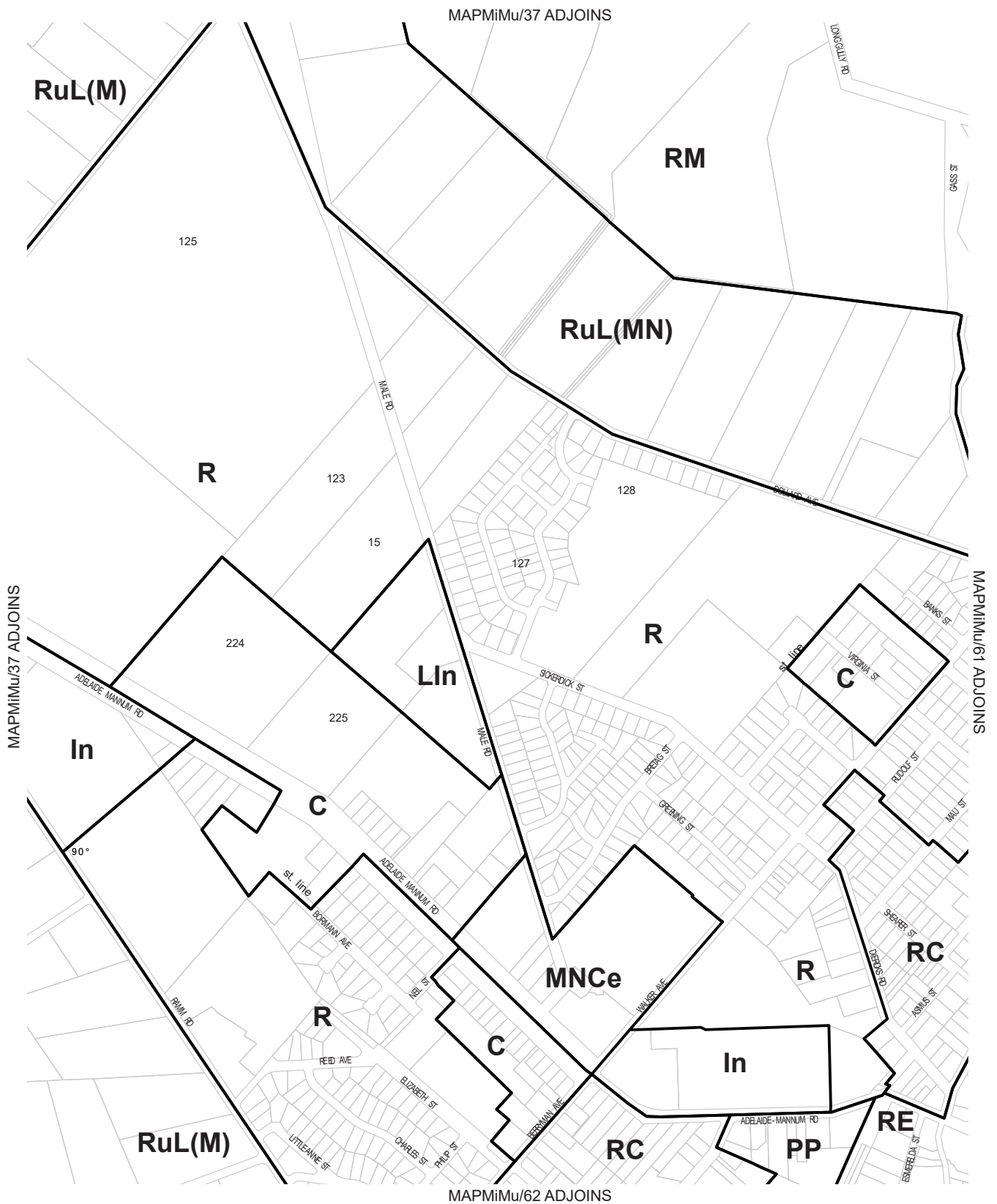


Scale 1:5000



**THE MID MURRAY COUNCIL**  
**ZONES**  
**MAP MiMu/59**



————— Zone Boundary

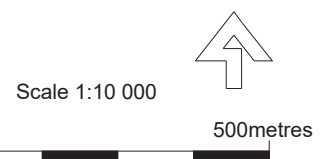


**MANNUM**

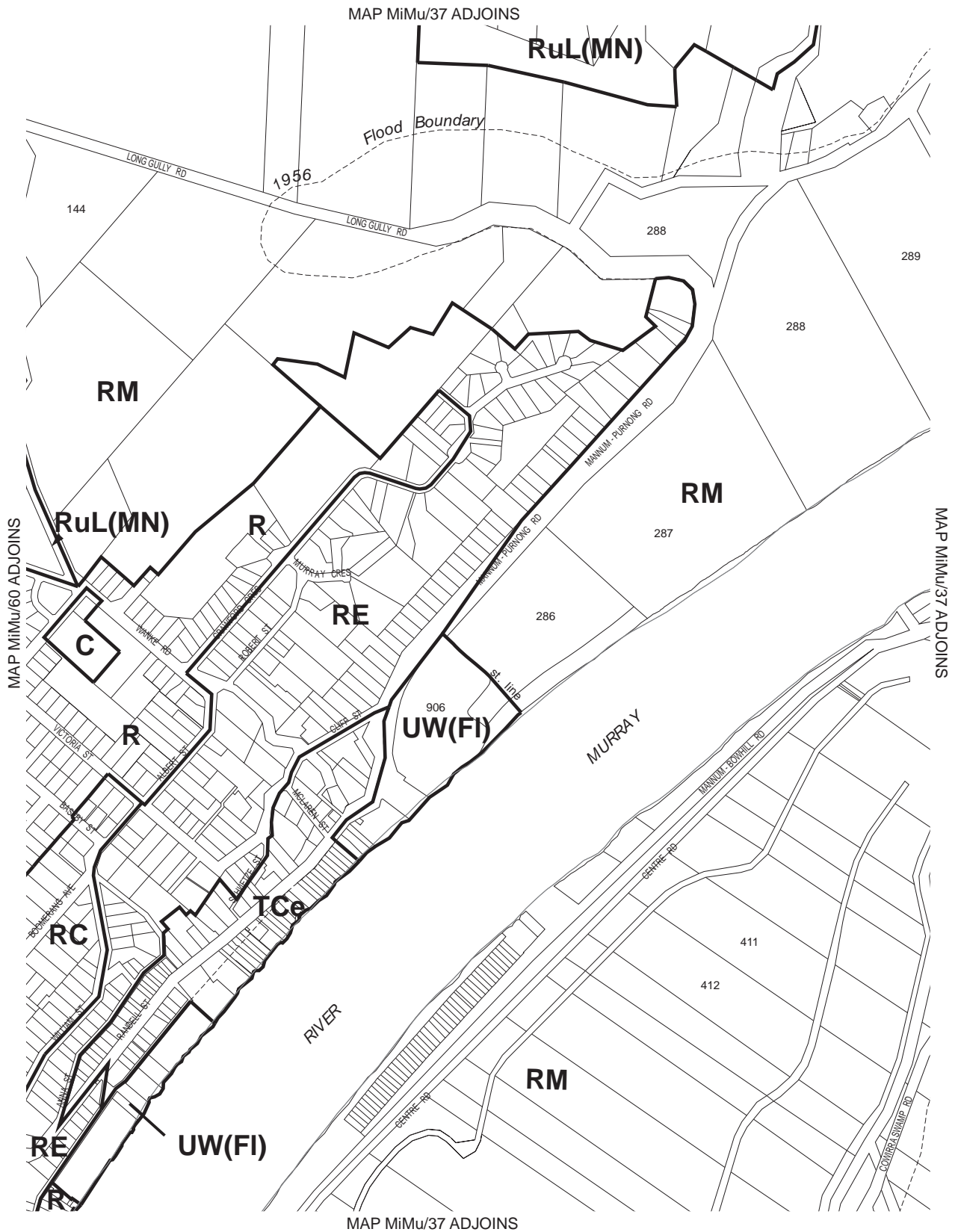
**NOTE : For Policy Areas See MAP MiMu/98**

- C** Commercial
- In** Industry
- MNCe** Mannum Neighbourhood Centre
- PP** Public Purposes
- R** Residential
- RM** River Murray
- RuL(M)** Rural Living (Mannum)
- RuL(MN)** Rural Living (Mannum North)
- RC** Residential Character
- RE** Residential Escarpment
- LIn** Light Industry

-  Zone Boundary
-  Development Plan Boundary



**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/60**



**MANNUM**

**NOTE: For Policy Areas See MAP MiMu/125**

- TcE Town Centre
- C Commercial
- R Residential
- RM River Murray
- UW(FI) Urban Waterfront (Flood Plain)
- RC Residential Character
- RE Residential Escarpment
- RuL(MN) Rural Living (Mannum North)

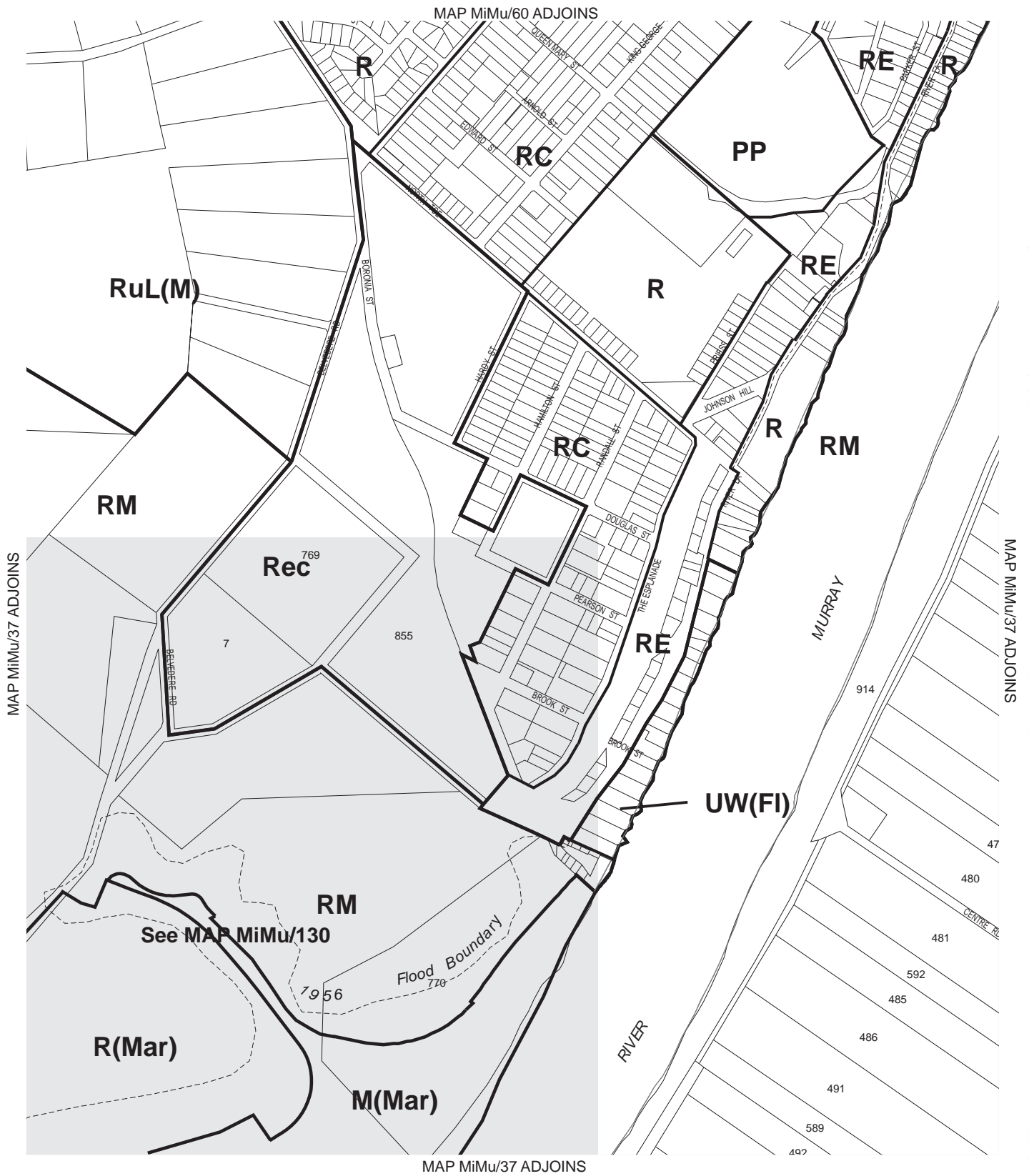
- Zone Boundary
- · · · Development Plan Boundary

Scale 1:10000



**THE MID MURRAY COUNCIL  
ZONES  
MAP MiMu/61**

Consolidated - 25 February 2021

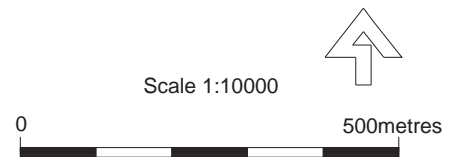


**MANNUM**

**NOTE: For Policy Areas See MAP MiMu/124**

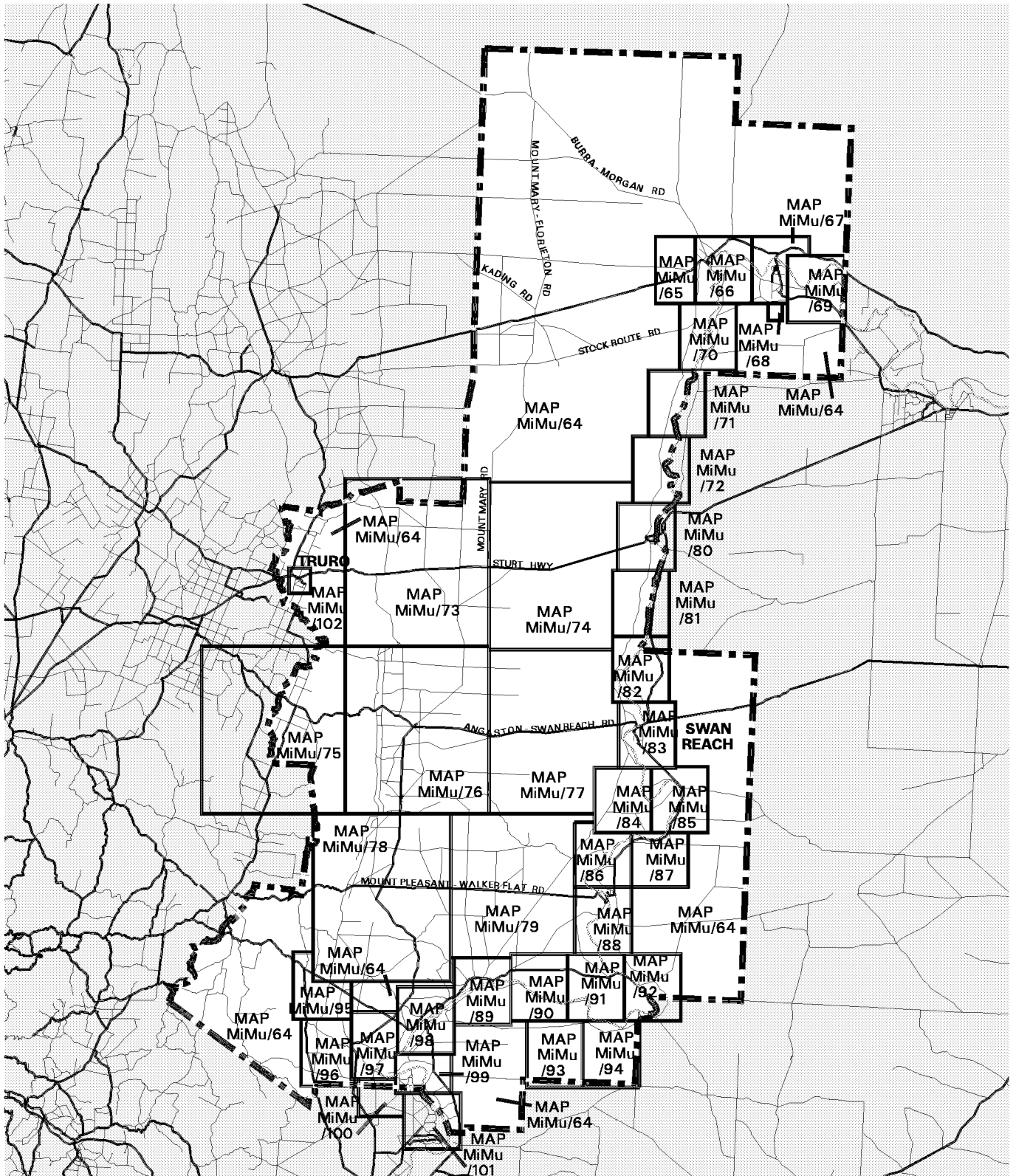
- PP Public Purposes
- R Residential
- RM River Murray
- Rec Recreation
- RuL(M) Rural Living (Mannum)
- UW(FI) Urban Waterfront (Flood Plain)
- RC Residential Character
- RE Residential Escarpment
- M(Mar) Mannum Marina
- R(Mar) Residential Marina

- Zone Boundary
- . . . Development Plan Boundary



# THE MID MURRAY COUNCIL ZONES MAP MiMu/62





For the purposes of the Development Plan unless otherwise clearly indicated, the zone/policy area boundaries depicted on or intended to be fixed by Maps MiMu/3 to MiMu/127 inclusive shall be read as conforming in all respects (as the case may require) to the land division boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said zone/policy area boundaries are shown or otherwise as indicated.



Scale 1:700000

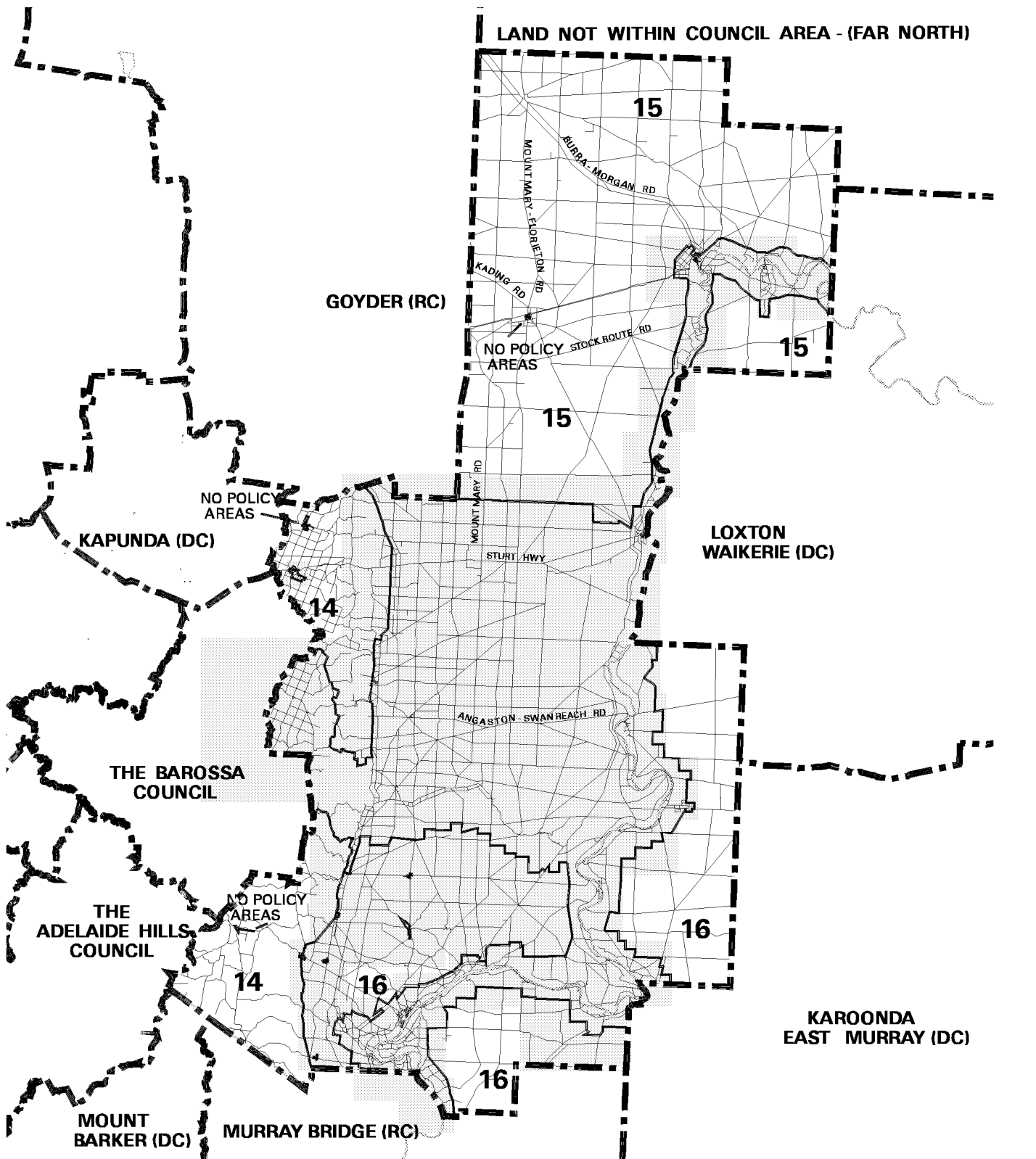


# THE MID MURRAY COUNCIL INDEX TO POLICY AREAS MAP MiMu/63

--- Development Plan Boundary

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NOTE: See Index Map MiMu/63 for shaded areas

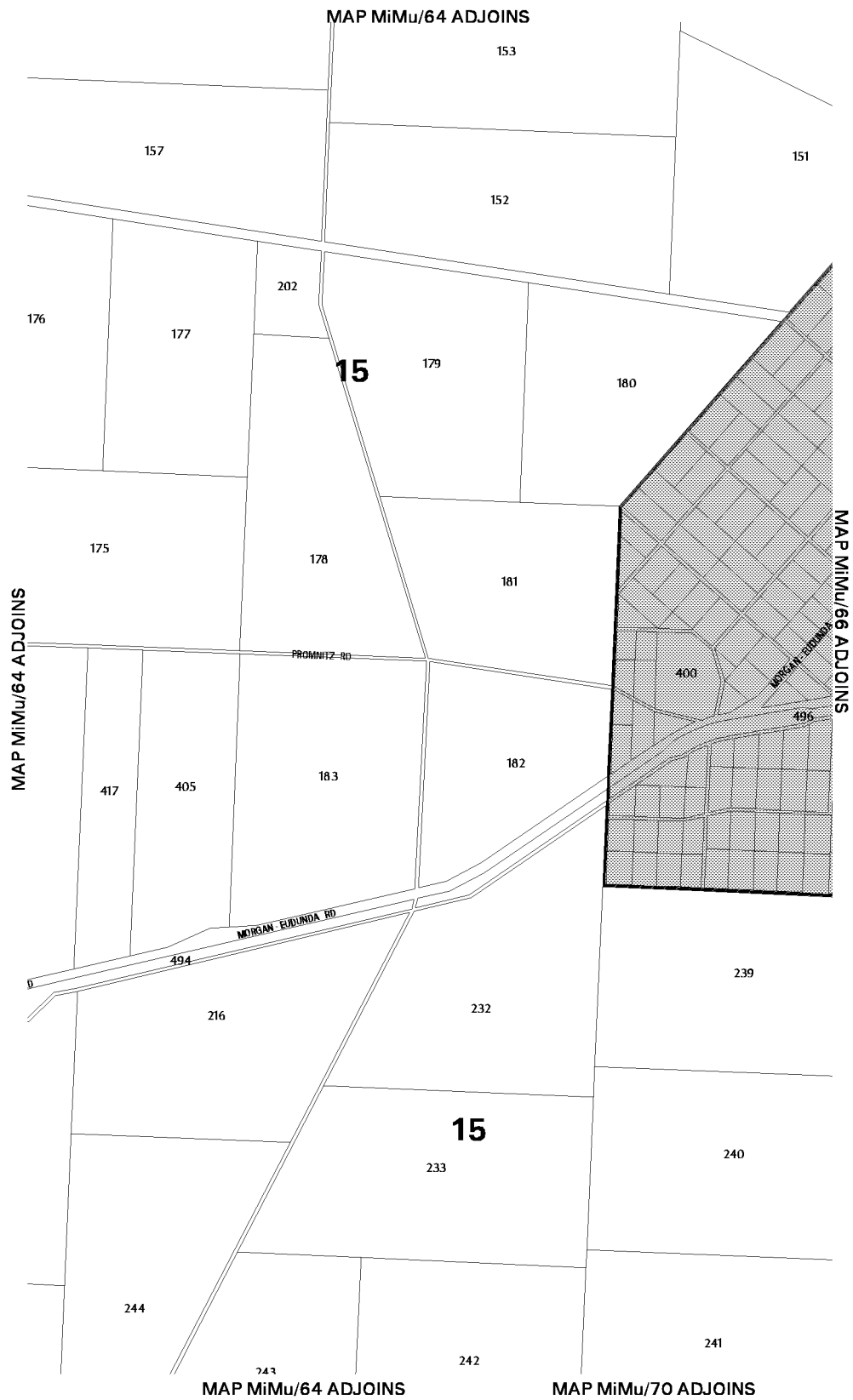
- 14 Hills Policy Area
- 15 Pastoral Policy Area
- 16 Murray Plains Policy Area

Scale 1:700000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/64

- Policy Area Boundary
- - - - - Development Plan Boundary



**NOTE: For Zones See MAP MiMu/4**  
**15** Pastoral Policy Area

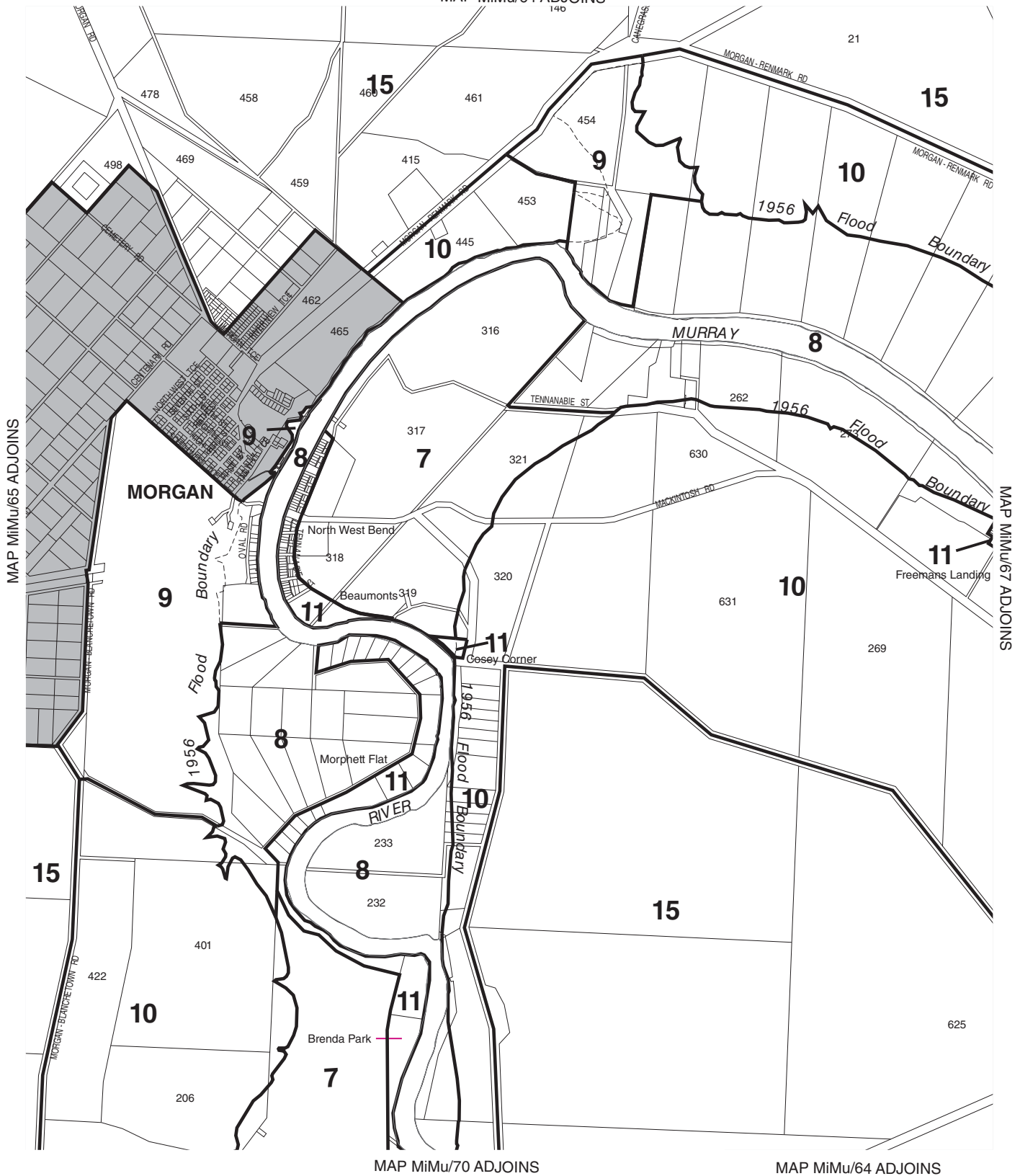


Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/65

- Policy Area Boundary
- Area not covered by Policy Area



**NOTE: For Zones See MAP MiMu/5**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 15 Pastoral Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area

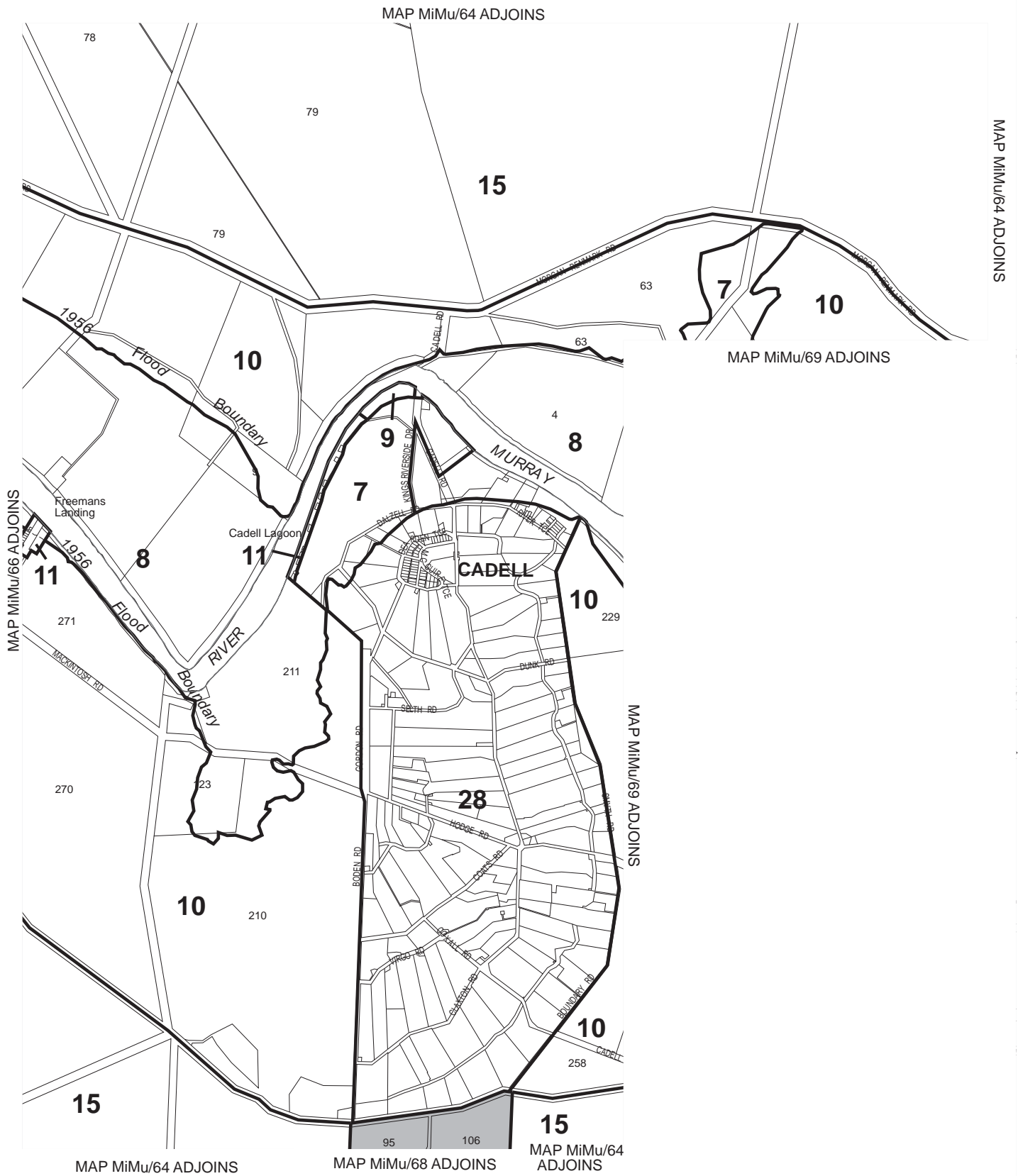


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# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/66

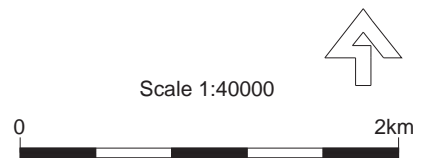
- Policy Area Boundary
- Area not covered by Policy Area



**NOTE: For Zones See MAP MiMu/6  
For Precincts See MAP MiMu/132**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 15 Pastoral Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area
- 28 Cadell (Horticulture) Policy Area

-  Policy Area Boundary
-  Area not covered by Policy Area



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/67

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MAP MiMu/67 ADJOINS

MAP MiMu/64 ADJOINS

15



MAP MiMu/64 ADJOINS

15

15

MAP MiMu/64 ADJOINS



NOTE: For Zones See MAP MiMu/7  
15 Pastoral Policy Area



Scale 1:10000

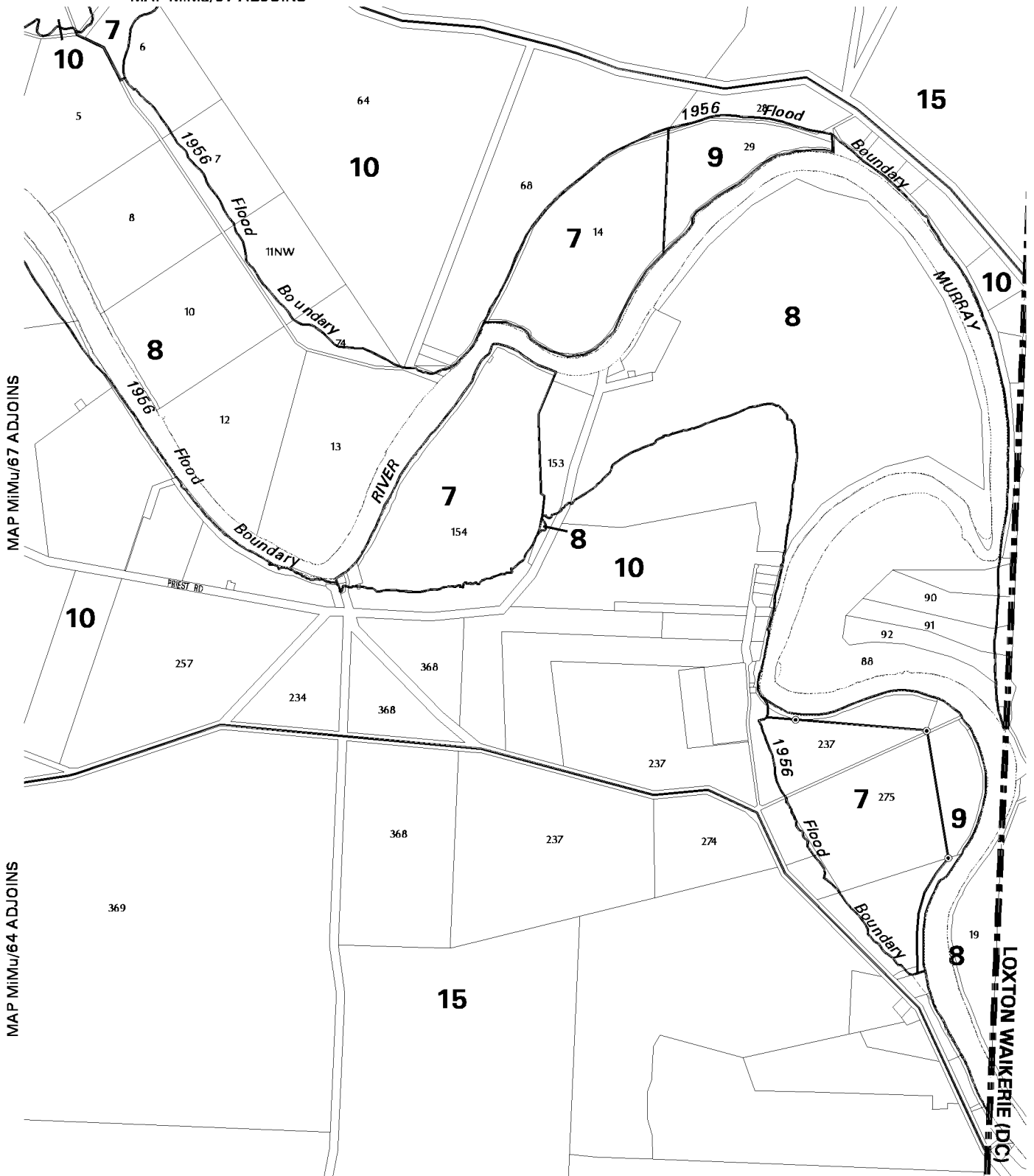


**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/68**

-  Policy Area Boundary
-  Area not covered by Policy Area

MAP MiMu/67 ADJOINS

MAP MiMu/64 ADJOINS



MAP MiMu/64 ADJOINS

**NOTE: For Zones See MAP MiMu/8**

- 10** Primary Production Policy Area
- 15** Pastoral Policy Area
- 7** Conservation Policy Area
- 8** Floodplain Policy Area
- 9** Recreation and Tourism Policy Area

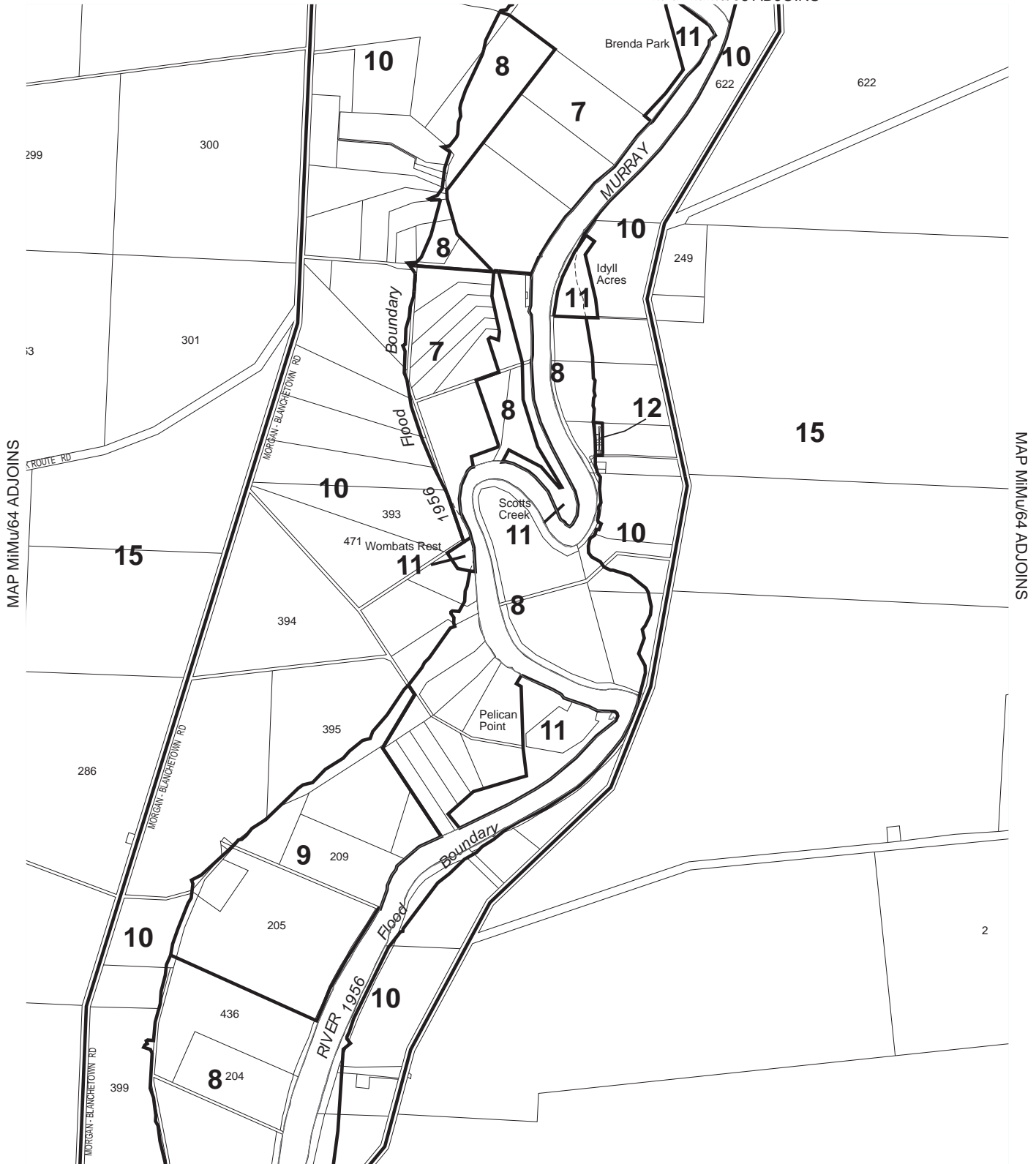
-  Policy Area Boundary
-  Development Plan Boundary

Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/69

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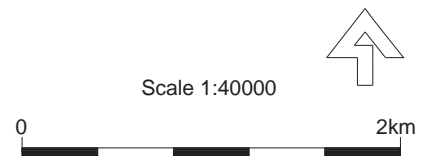
MAP MiMu/71 ADJOINS

MAP MiMu/64 ADJOINS

**NOTE: For Zones See MAP MiMu/9**

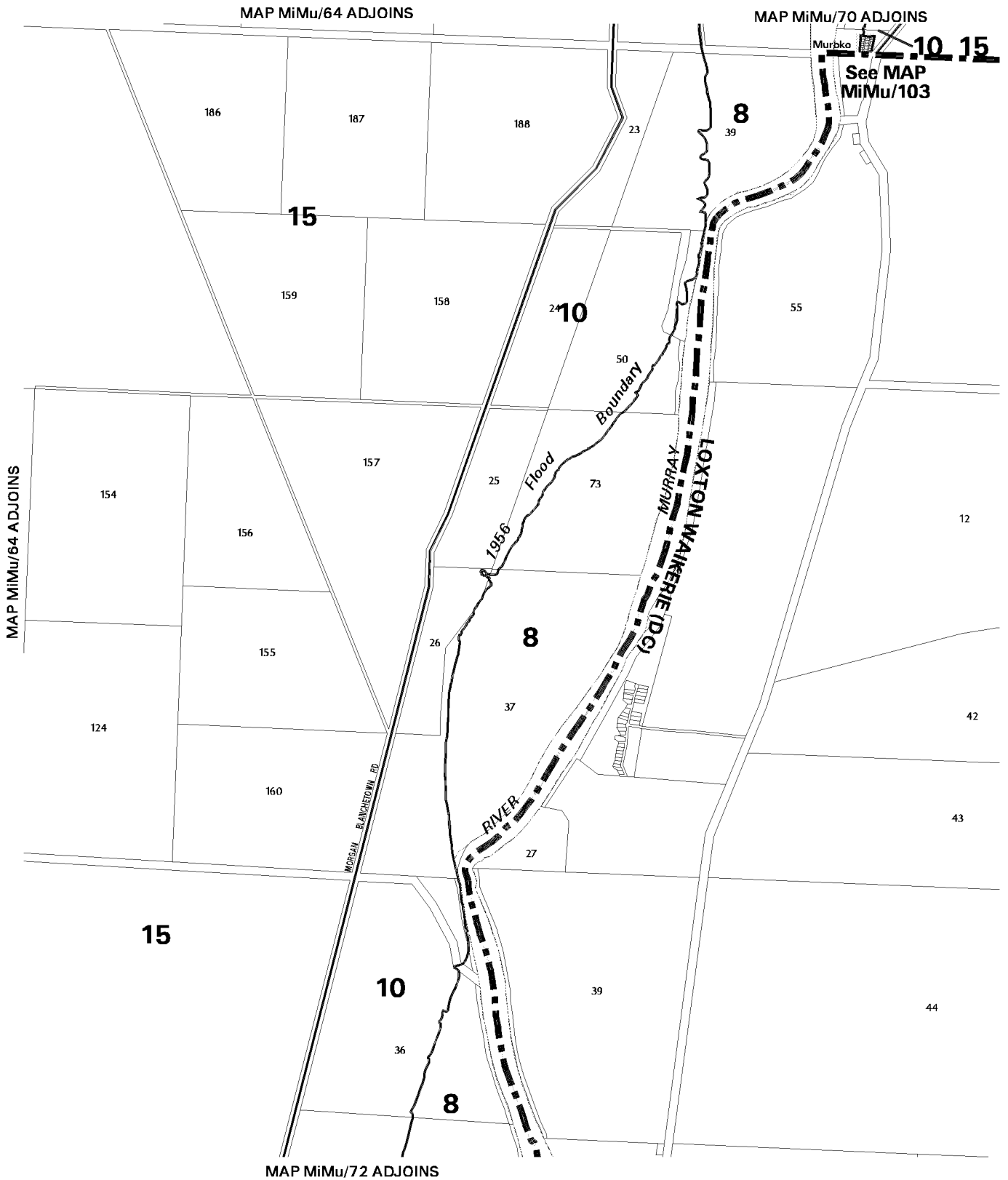
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area
- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 12 River Settlement Policy Area
- 15 Pastoral Policy Area

————— Policy Area Boundary



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/70



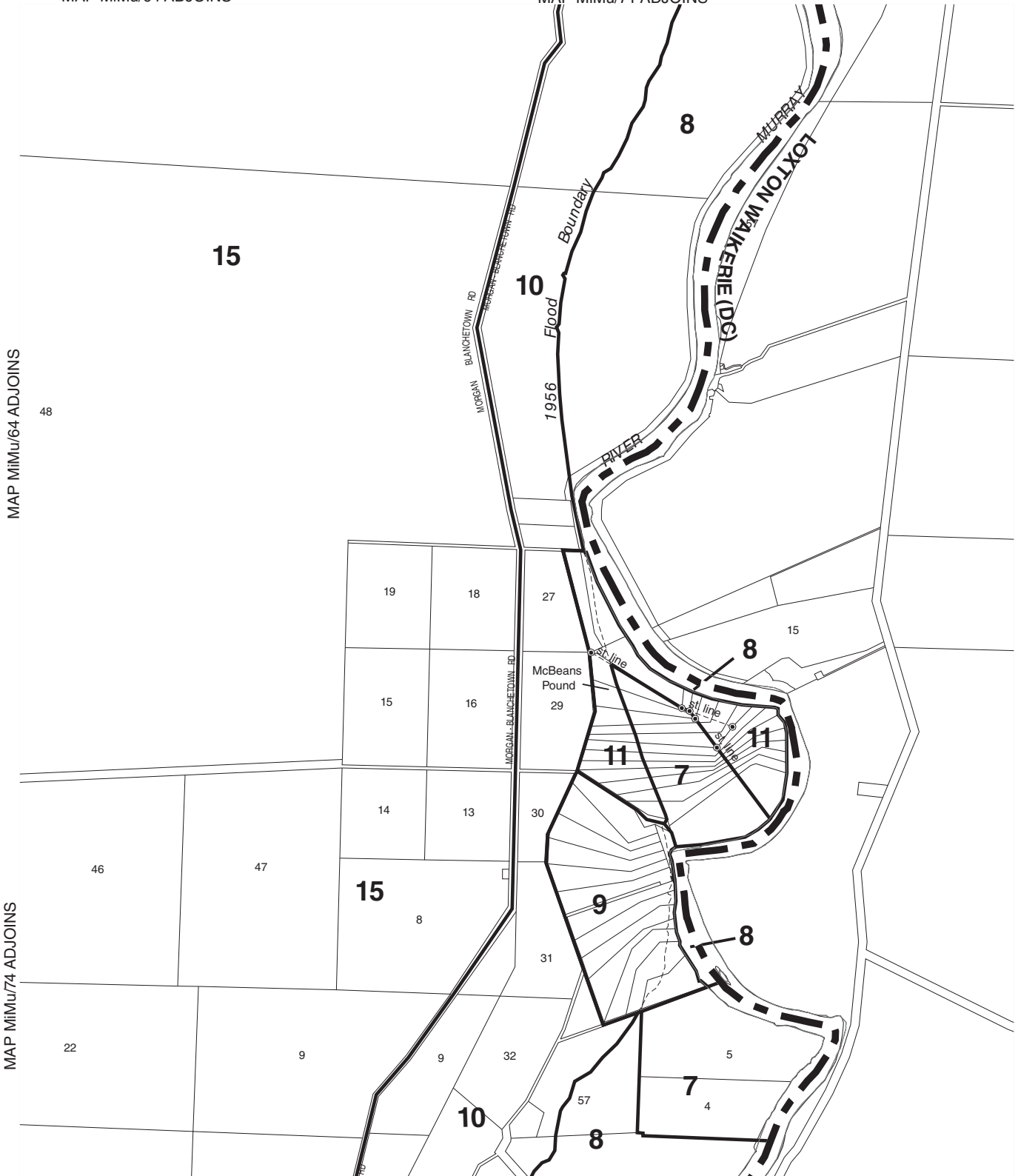


**NOTE: For Zones See MAP MiMu/10**  
**10** Primary Production Policy Area  
**15** Pastoral Policy Area  
**8** Floodplain Policy Area

———— Policy Area Boundary  
 - - - - - Development Plan Boundary

# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/71





- NOTE: For Zones See MAP MiMu/11**
- 10 Primary Production Policy Area
  - 11 Shack Settlement Policy Area
  - 15 Pastoral Policy Area
  - 7 Conservation Policy Area
  - 8 Floodplain Policy Area
  - 9 Recreation and Tourism Policy Area

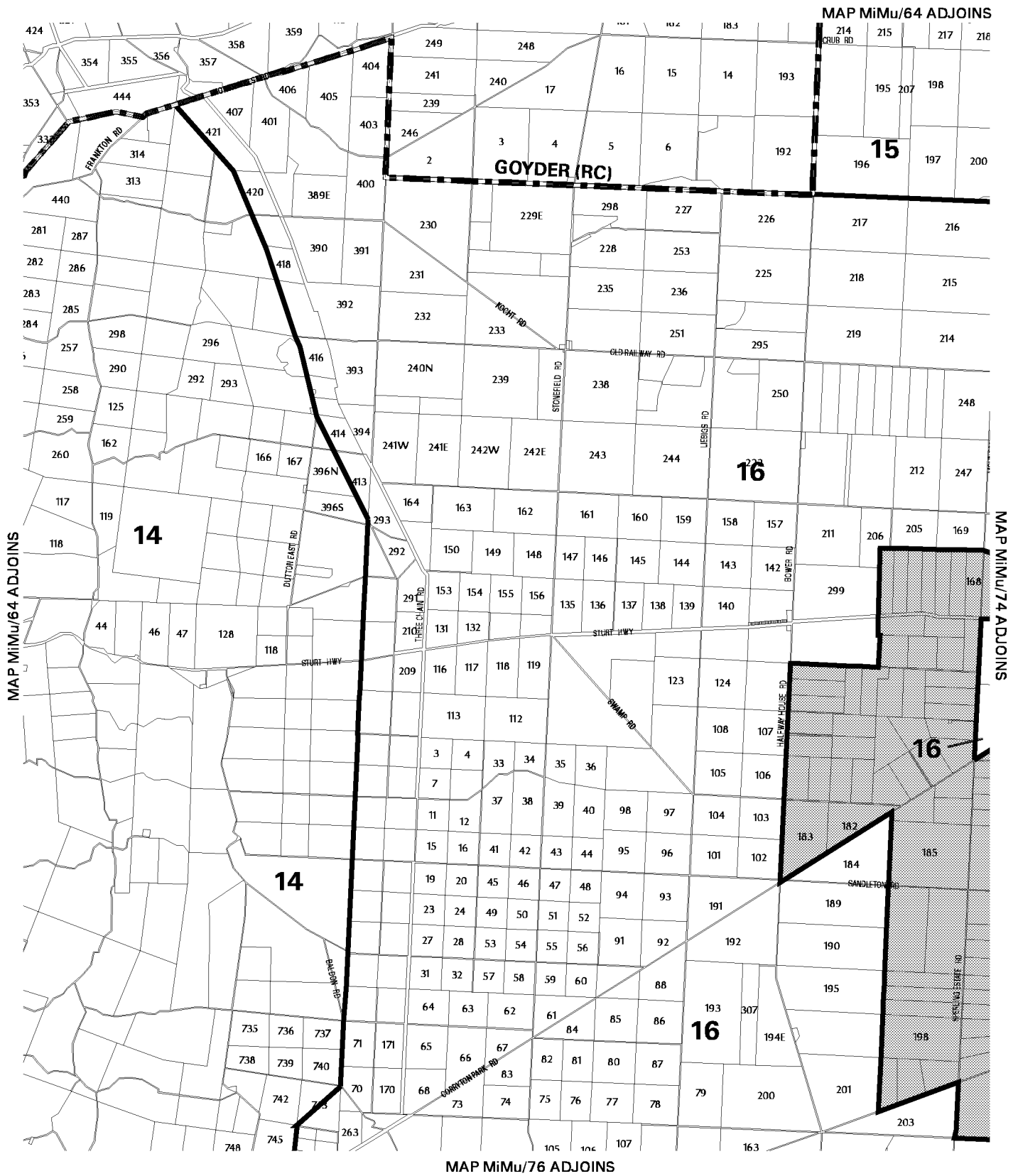


Scale 1:40000



———— Policy Area Boundary

# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/72



**NOTE: For Zones See MAP MiMu/12**

- 14** Hills Policy Area
- 15** Pastoral Policy Area
- 16** Murray Plains Policy Area



Scale 1:100000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/73

- Policy Area Boundary
- Development Plan Boundary
- Area not covered by Policy Area

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**NOTE: For Zones See MAP MiMu/13**

- 10** Primary Production Policy Area
- 15** Pastoral Policy Area
- 16** Murray Plains Policy Area

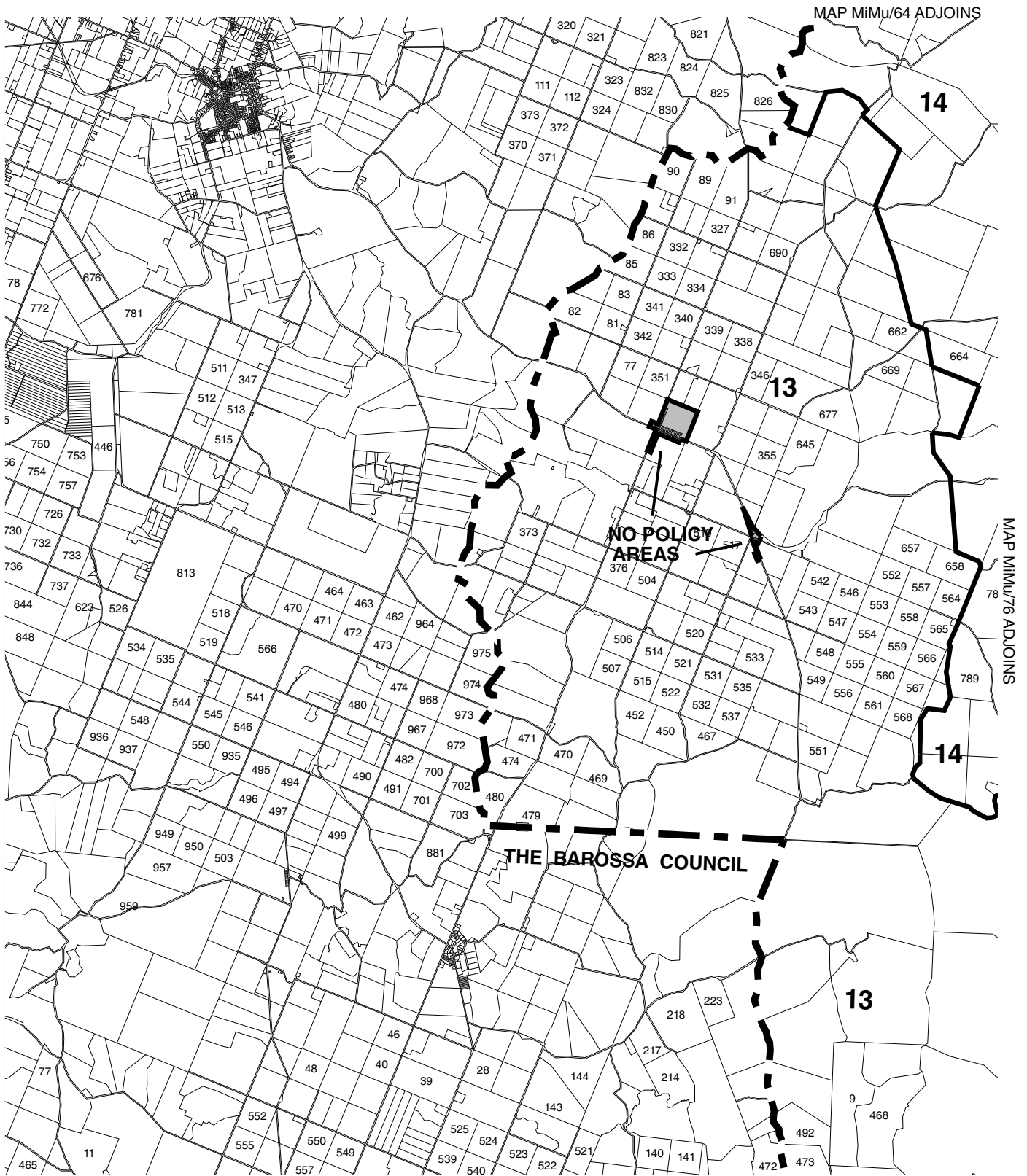


Scale 1:100000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/74

- Policy Area Boundary
- Area not covered by Policy Area



**NOTE: For Zones See MAP MiMu/3, 22, 44 & 45**  
 13 Marne Watercourse Policy Area  
 14 Hills Policy Area

MAP MiMu/78 ADJOINS



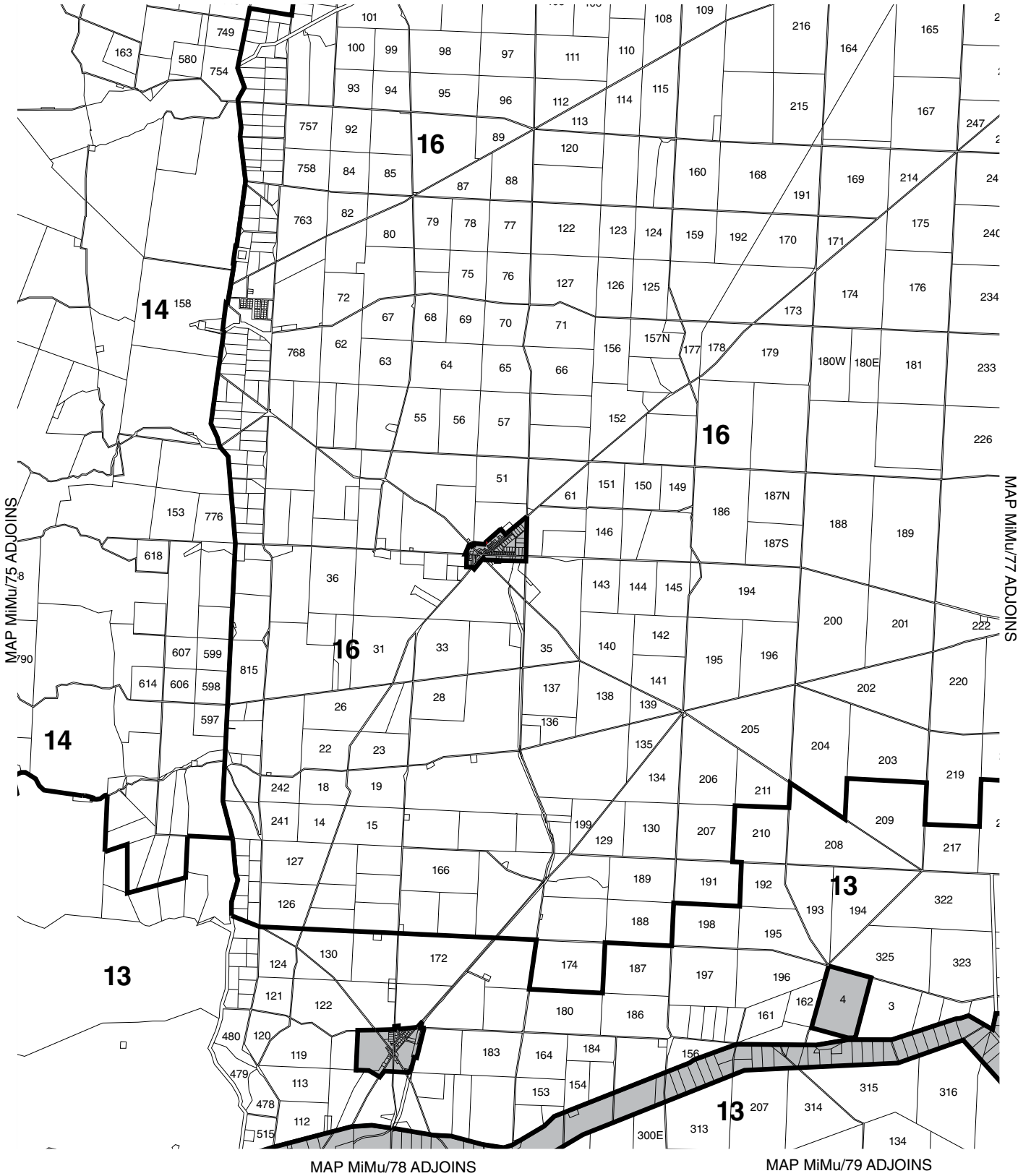
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# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/75

- Policy Area Boundary
- Development Plan Boundary
- Area not covered by Policy Area

MAP MiMu/73 ADJOINS






**NOTE: For Zones See MAP MiMu/3, 22, 23, 24 & 46**

- 13 Marne Watercourse Policy Area
- 14 Hills Policy Area
- 16 Murray Plains Policy Area

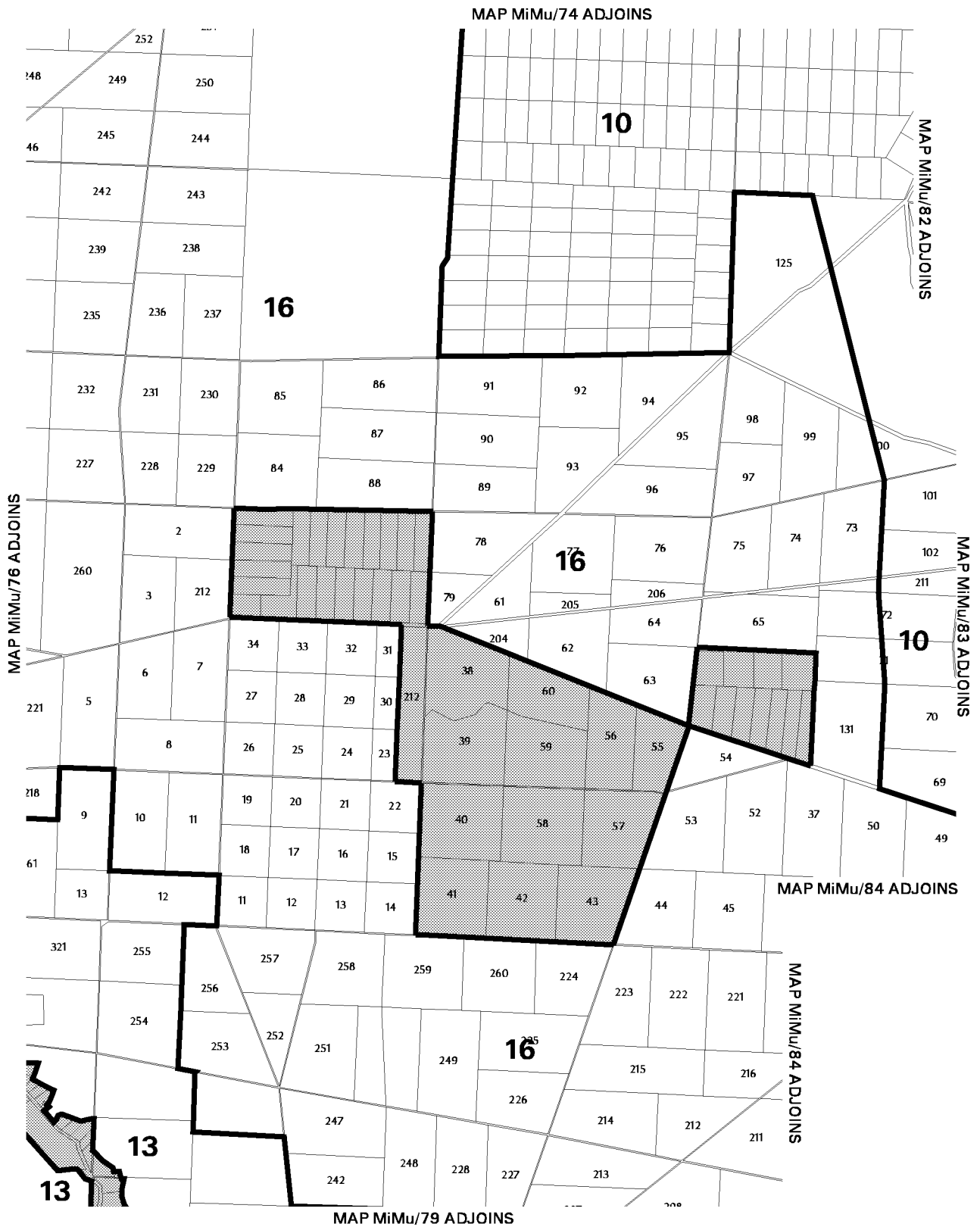
Scale 1:100000



-  Policy Area Boundary
-  Development Plan Boundary
-  Area not covered by Policy Area

**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/76**

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**NOTE: For Zones See MAP MiMu/17**

- 10** Primary Production Policy Area
- 13** Marne Watercourse Policy Area
- 16** Murray Plains Policy Area

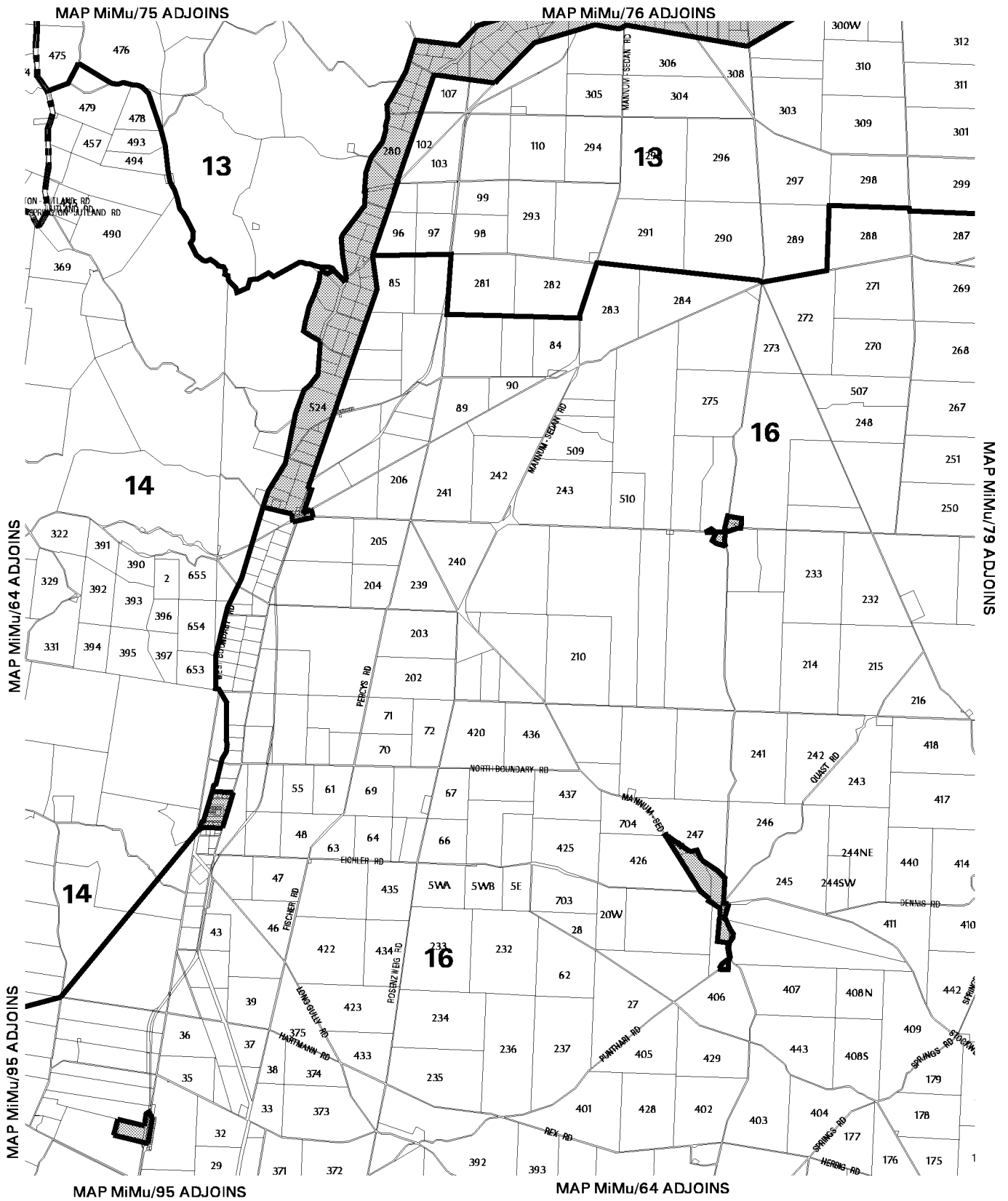


Scale 1:100000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/77

- Policy Area Boundary
- Area not covered by Policy Area



**NOTE: For Zones See MAP MiMu/3, 21, 22 & 23**

- 13** Marne Watercourse Policy Area
- 14** Hills Policy Area
- 16** Murray Plains Policy Area



Scale 1:100000

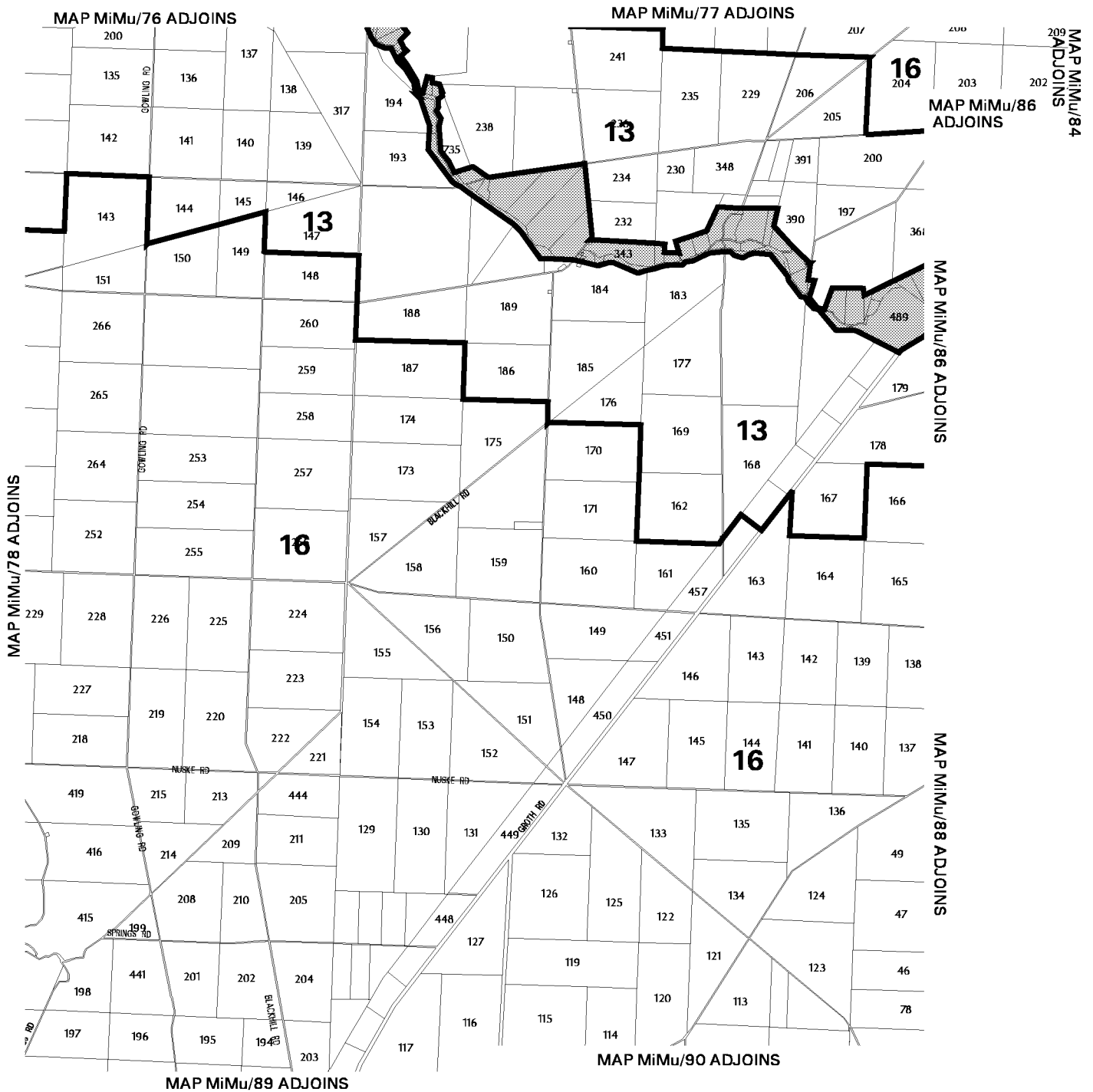


# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/78

- Policy Area Boundary
- Development Plan Boundary
- Area not covered by Policy Area

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**NOTE: For Zones See MAP MiMu/3,25 & 24**  
**13** Marne Watercourse Policy Area  
**16** Murray Plains Policy Area



Scale 1:100000



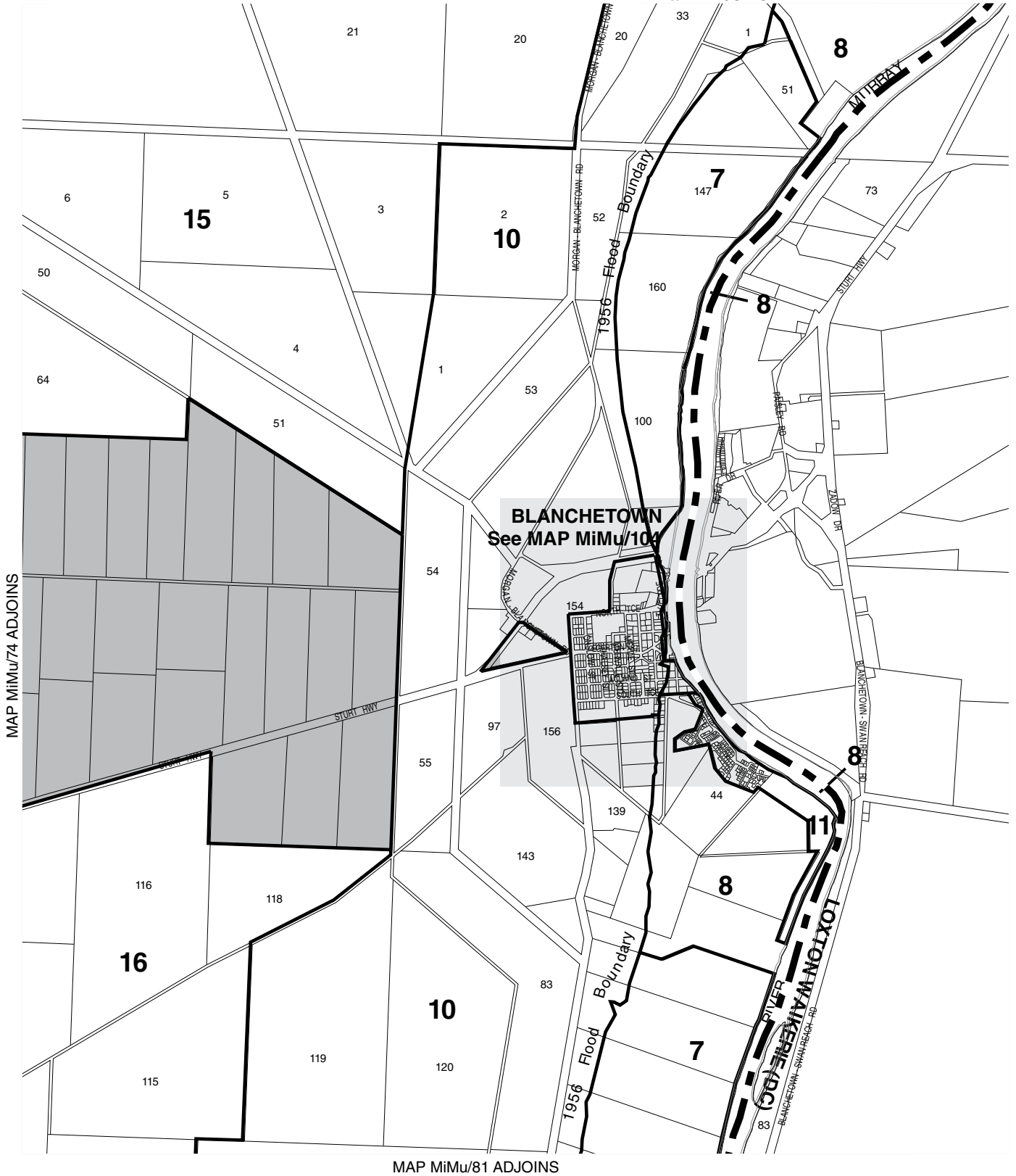
# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/79

- Policy Area Boundary
- Area not covered by Policy Area






MAP MiMu/74 ADJOINS

MAP MiMu/72 ADJOINS



- NOTE: For Zones See MAP MiMu/14**
- 10 Primary Production Policy Area
  - 11 Shack Settlement Policy Area
  - 15 Pastoral Policy Area
  - 16 Murray Plains Policy Area
  - 7 Conservation Policy Area
  - 8 Floodplain Policy Area

-  Policy Area Boundary
-  Development Plan Boundary
-  Area not covered by Policy Area

Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/80

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MAP MiMu/80 ADJOINS



MAP MiMu/82 ADJOINS

**NOTE: For Zones See MAP MiMu/15**

- 10** Primary Production Policy Area
- 16** Murray Plains Policy Area
- 7** Conservation Policy Area
- 8** Floodplain Policy Area

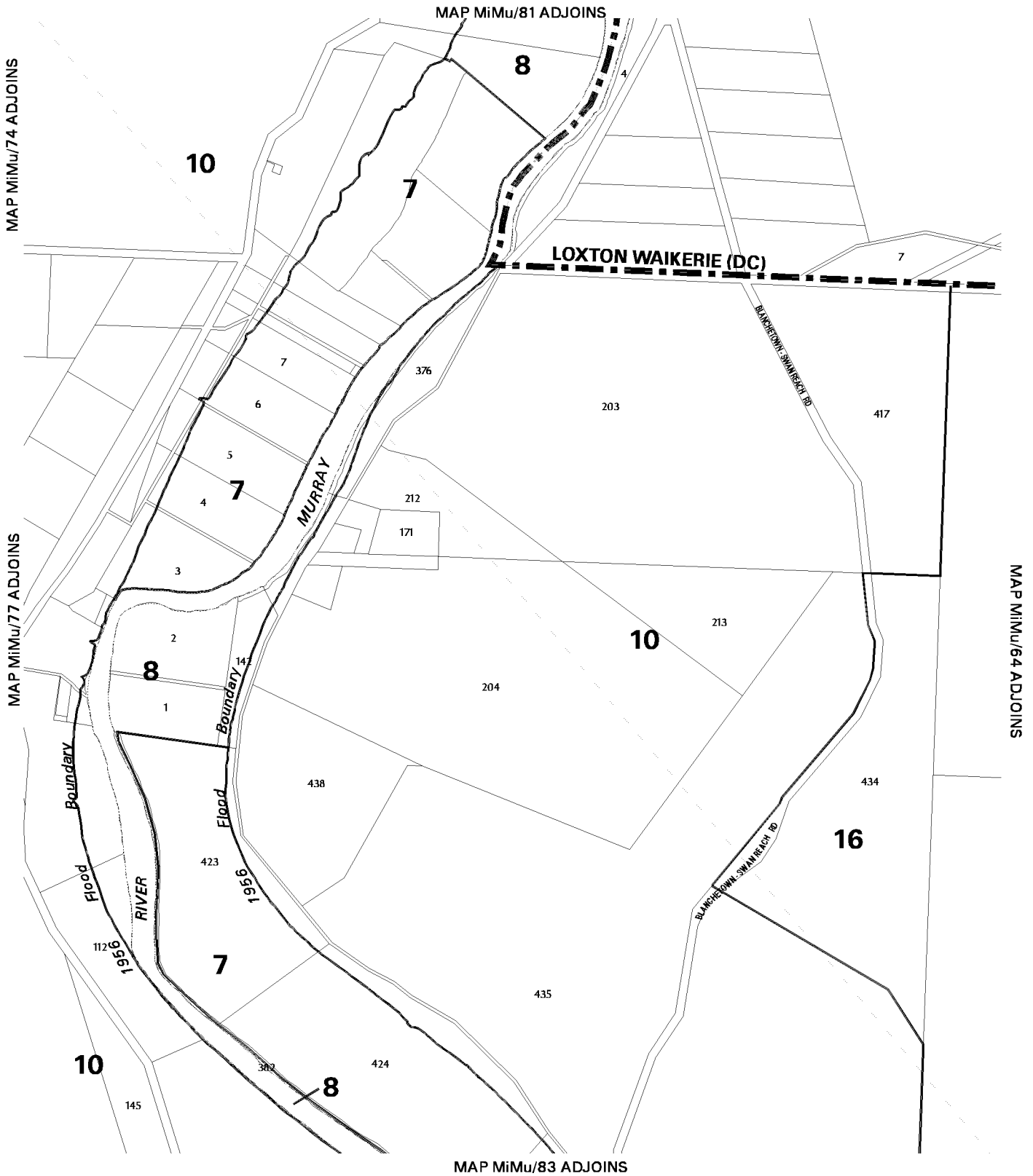


Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/81

- Policy Area Boundary
- - - - Development Plan Boundary



**NOTE: For Zones See MAP MiMu/16**  
**10** Primary Production Policy Area  
**16** Murray Plains Policy Area  
**7** Conservation Policy Area  
**8** Floodplain Policy Area

Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/82

———— Policy Area Boundary  
 - - - - - Development Plan Boundary



**NOTE: For Zones See MAP MiMu/18**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 16 Murray Plains Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area

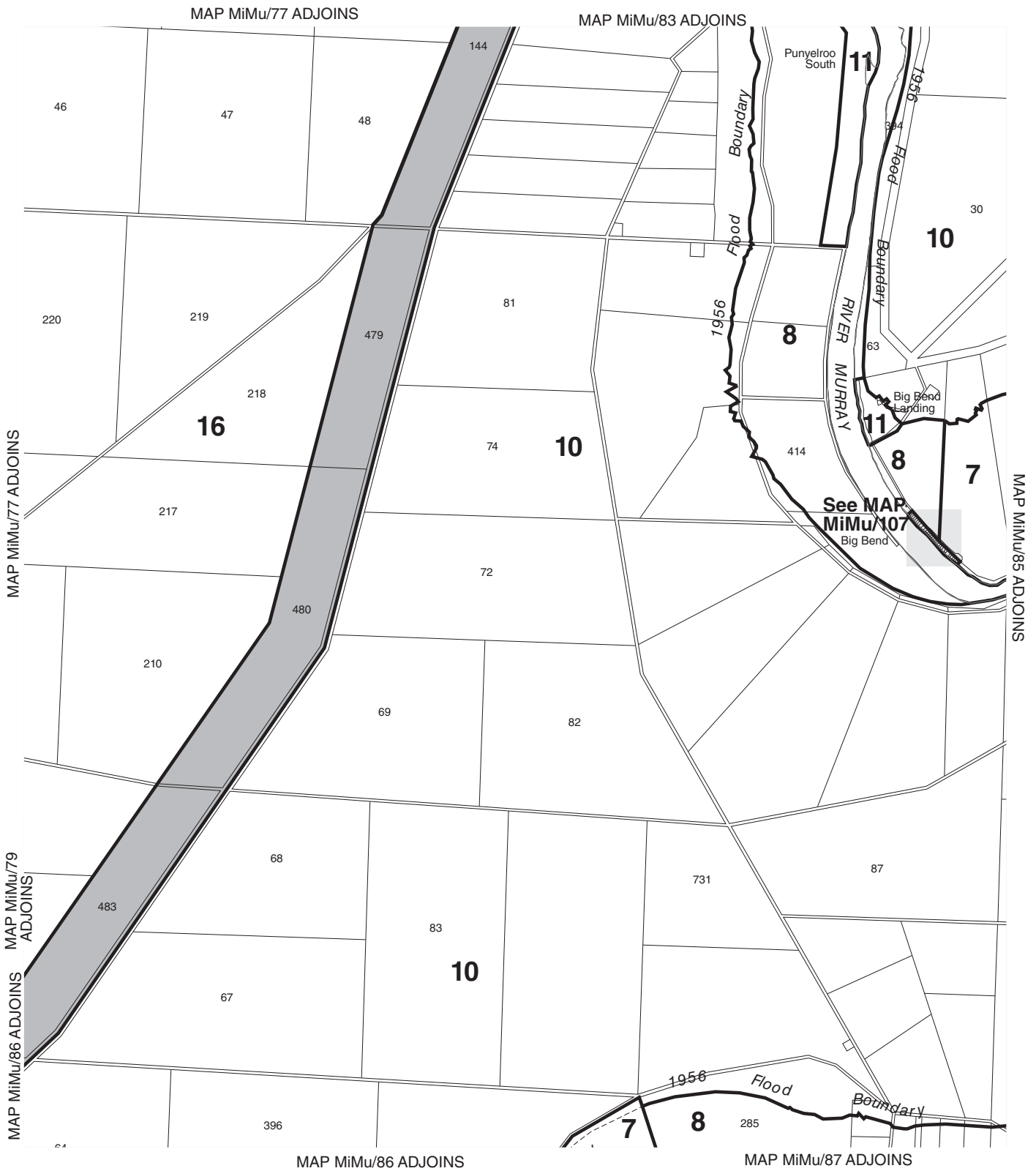
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- Policy Area Boundary
- Development Plan Boundary
- Area not covered by Policy Area

# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/83

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**NOTE: For Zones See MAP MiMu/19**

- 10** Primary Production Policy Area
- 11** Shack Settlement Policy Area
- 16** Murray Plains Policy Area
- 7** Conservation Policy Area
- 8** Floodplain Policy Area

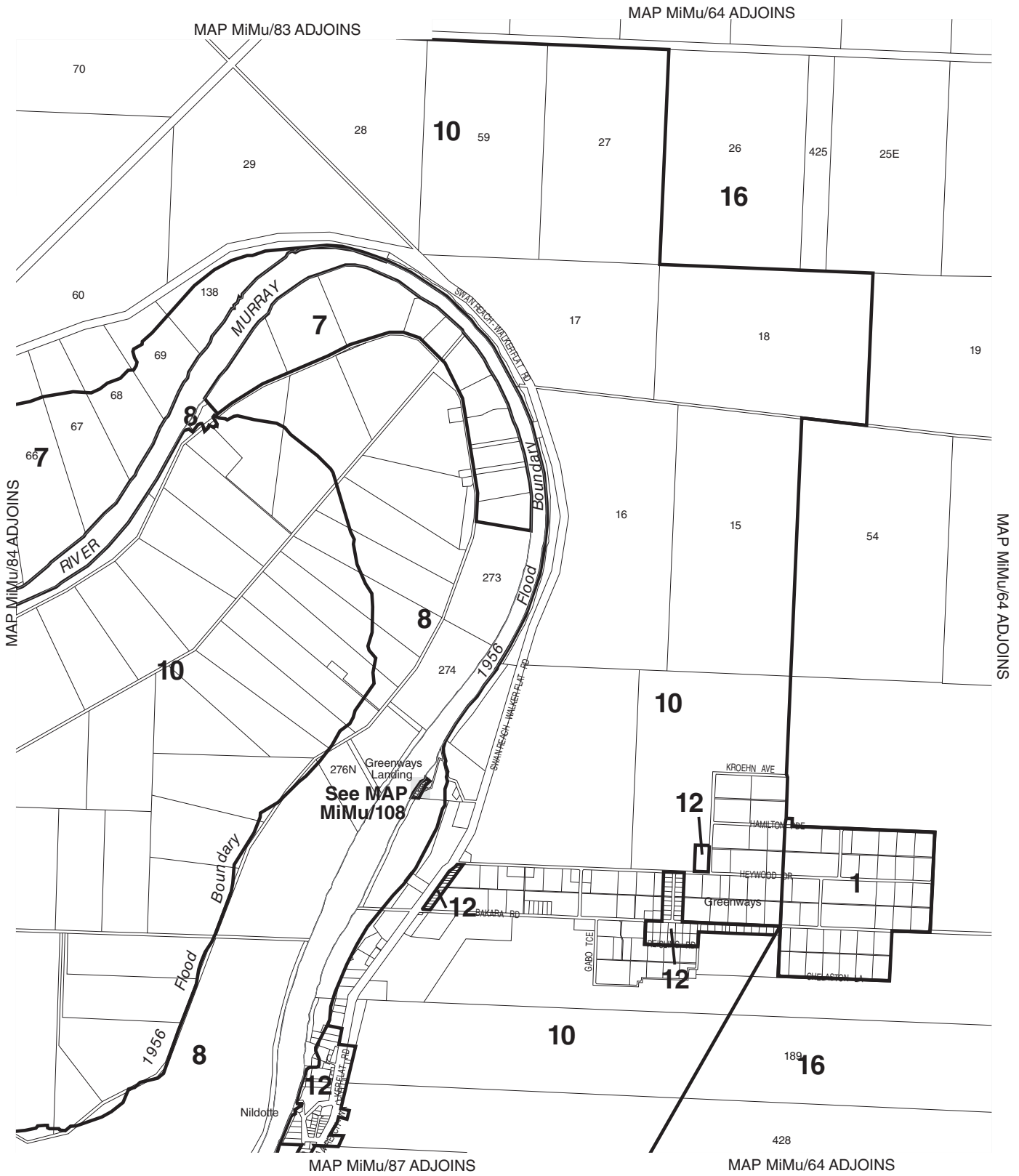
- Policy Area Boundary
- Area not covered by Policy Area

Scale 1:40000

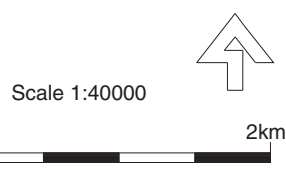


# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/84

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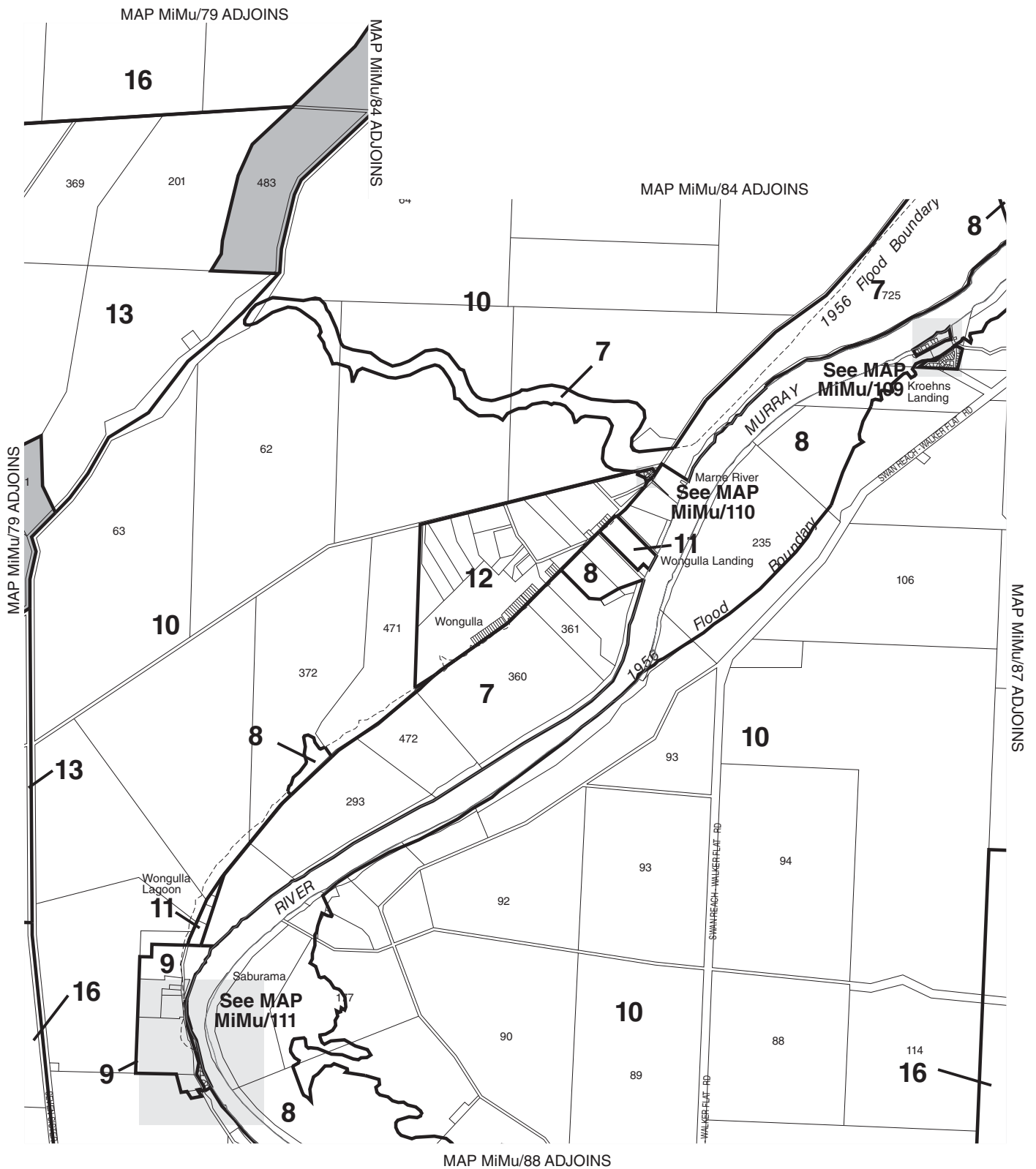


- NOTE: For Zones See MAP MiMu/20**
- 1 Policy Area 1 - Rural (Greenways)
  - 10 Primary Production Policy Area
  - 12 River Settlement Policy Area
  - 16 Murray Plains Policy Area
  - 7 Conservation Policy Area
  - 8 Floodplain Policy Area



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/85

- Policy Area Boundary
- Development Plan Boundary



**NOTE: For Zones See MAP MiMu/26**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 12 River Settlement Policy Area
- 13 Marne Watercourse Policy Area
- 16 Murray Plains Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area

- Policy Area Boundary
- Area not covered by Policy Area

Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/86

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**NOTE: For Zones See MAP MiMu/27**  
**10** Primary Production Policy Area  
**12** River Settlement Policy Area  
**16** Murray Plains Policy Area  
**7** Conservation Policy Area  
**8** Floodplain Policy Area

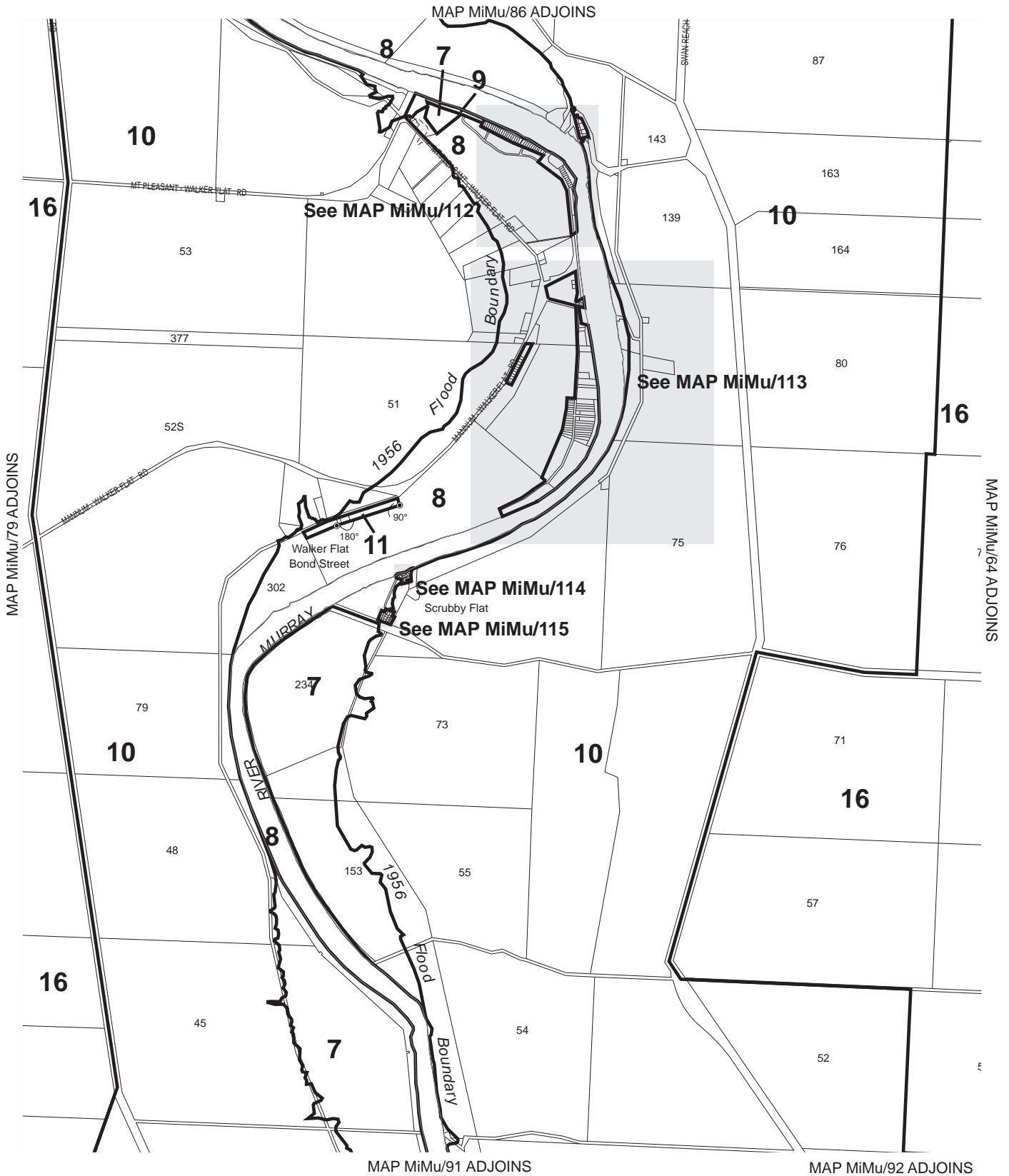
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**THE MID MURRAY COUNCIL  
 POLICY AREAS  
 MAP MiMu/87**

————— Policy Area Boundary





**NOTE: For Zones See MAP MiMu/28**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 16 Murray Plains Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area

———— Policy Area Boundary

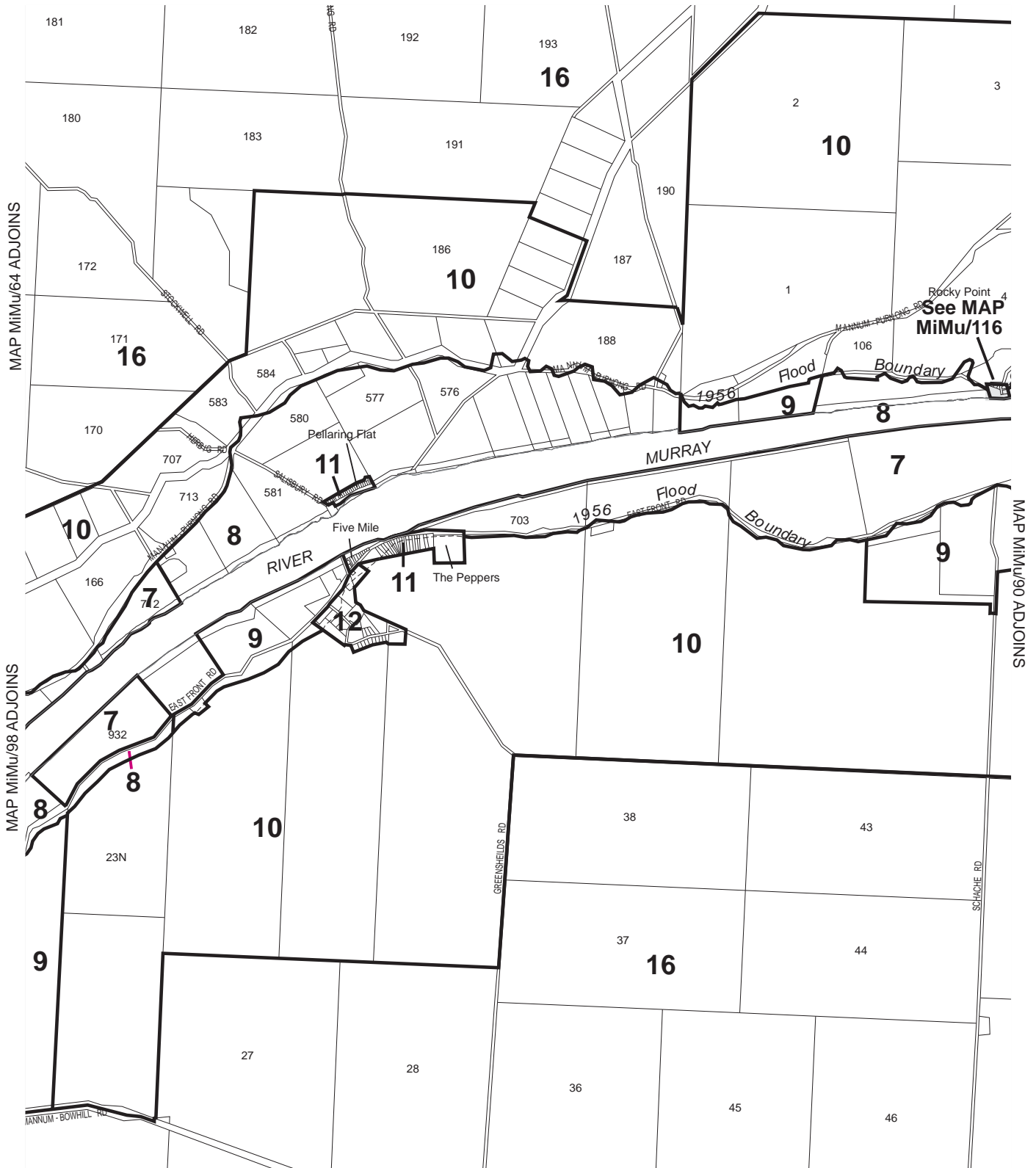
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# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/88

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MAP MiMu/79 ADJOINS



MAP MiMu/64 ADJOINS

**NOTE: For Zones See MAP MiMu/29**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 12 River Settlement Policy Area
- 16 Murray Plains Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area



Scale 1:40000

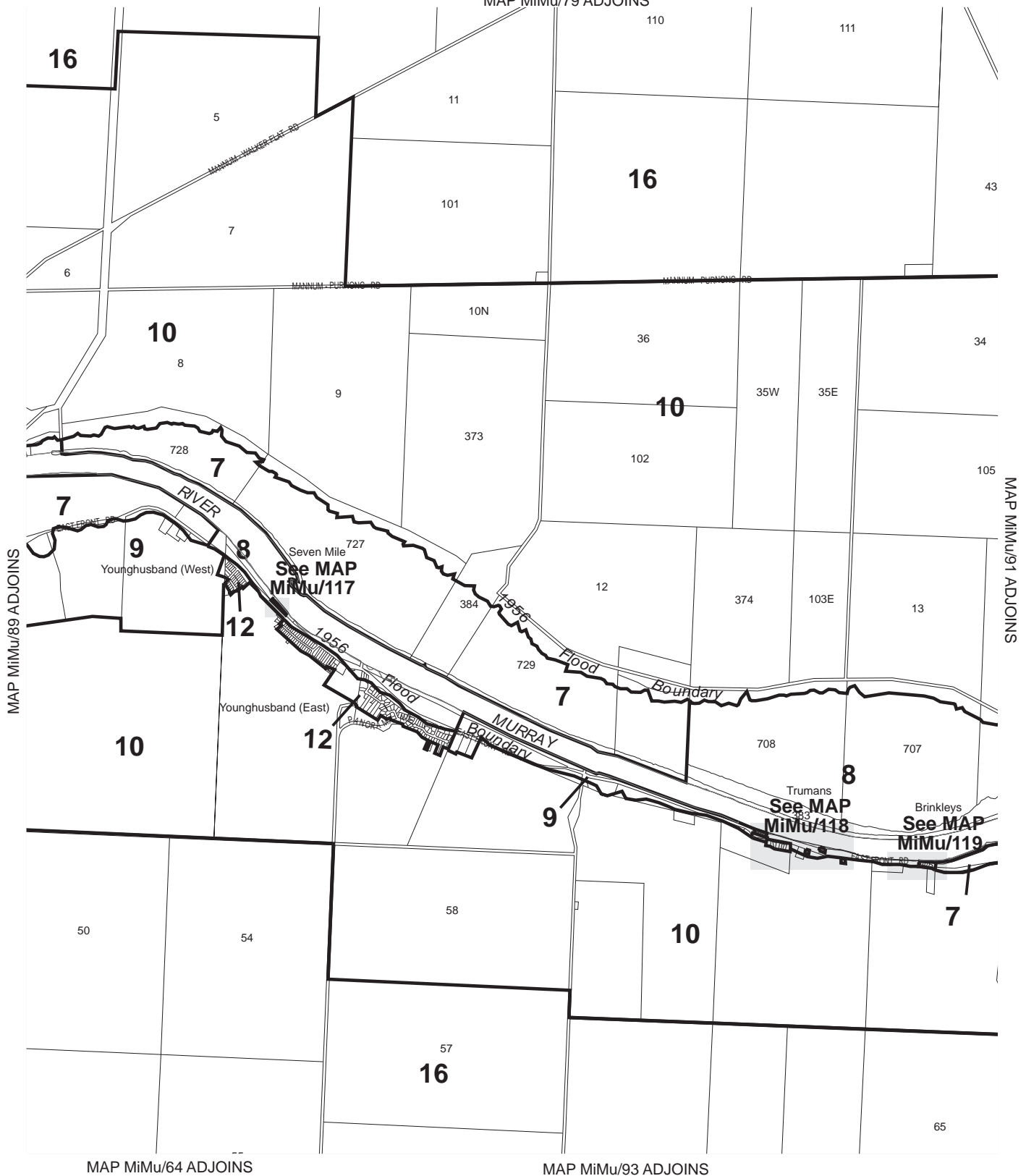


# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/89

———— Policy Area Boundary

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MAP MiMu/79 ADJOINS



- NOTE: For Zones See MAP MiMu/30**
- 10 Primary Production Policy Area
  - 12 River Settlement Policy Area
  - 16 Murray Plains Policy Area
  - 7 Conservation Policy Area
  - 8 Floodplain Policy Area
  - 9 Recreation and Tourism Policy Area

Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/90

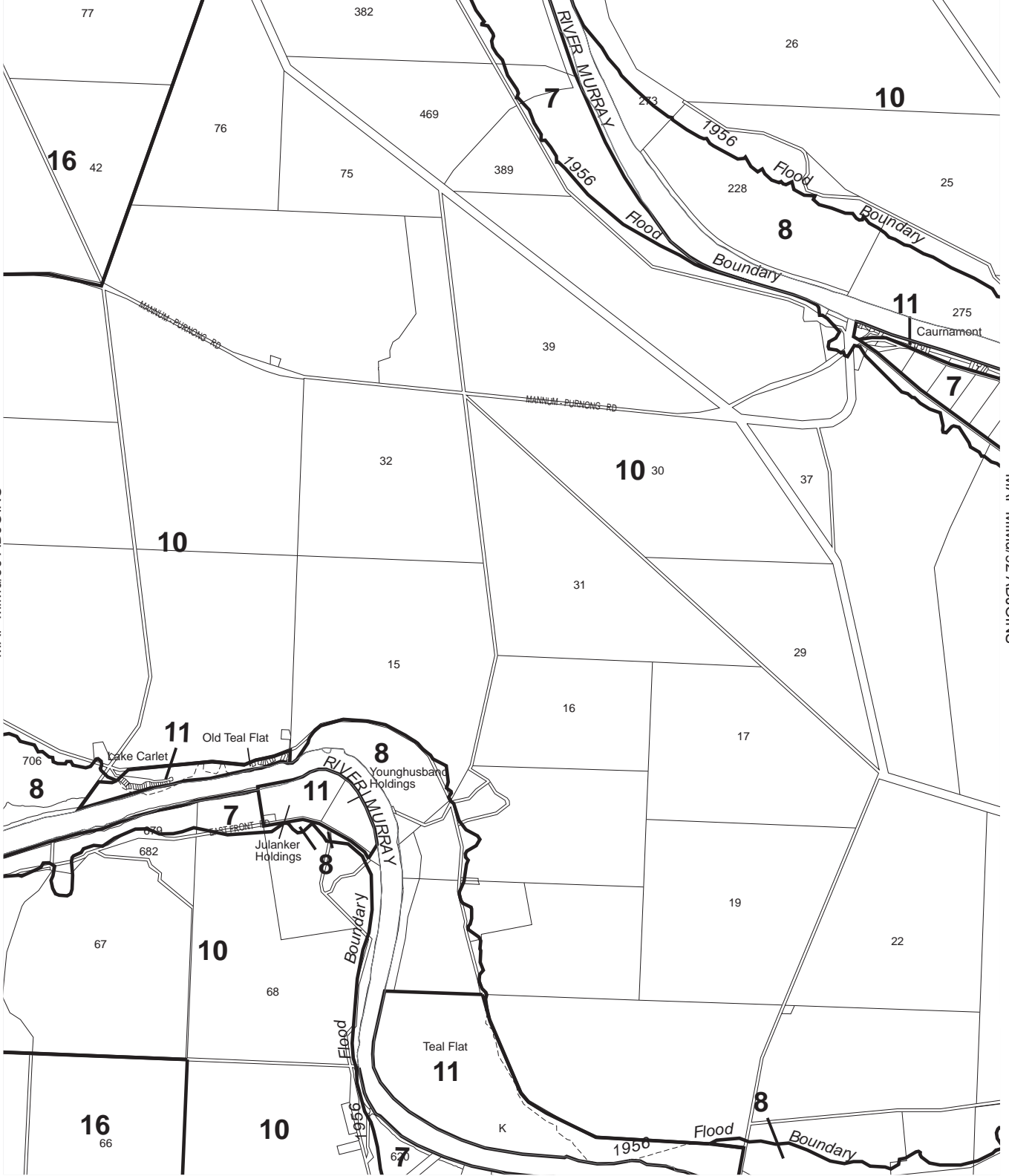
- Policy Area Boundary
- Development Plan Boundary

MAP MiMu/79 ADJOINS

MAP MiMu/88 ADJOINS

MAP MiMu/90 ADJOINS

MAP MiMu/92 ADJOINS



MAP MiMu/93 ADJOINS

MAP MiMu/94 ADJOINS

**NOTE: For Zones See MAP MiMu/31**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 16 Murray Plains Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area



Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/91

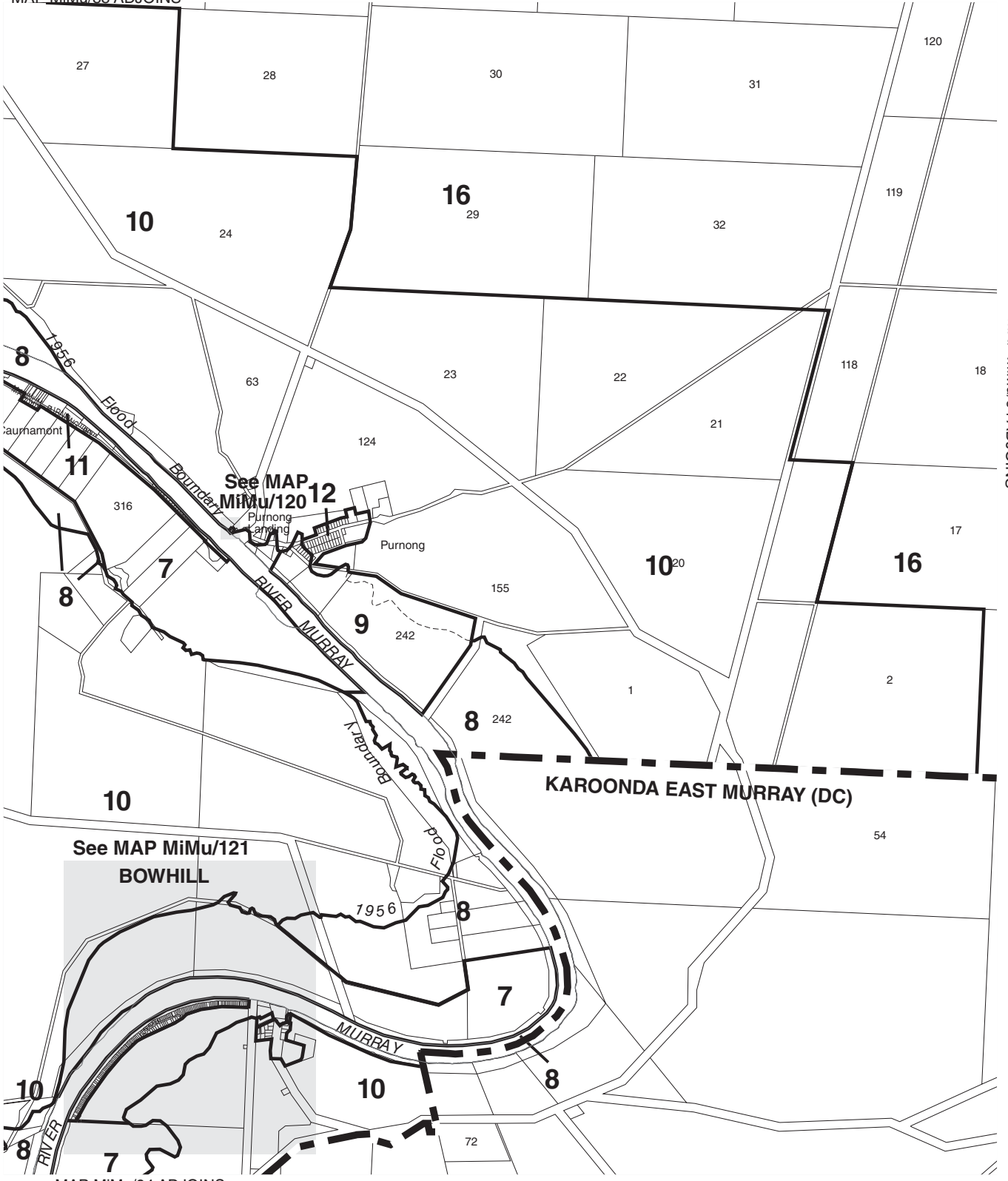
———— Policy Area Boundary

MAP MiMu/88 ADJOINS

MAP MiMu/64 ADJOINS

MAP MiMu/91 ADJOINS

MAP MiMu/64 ADJOINS



**NOTE: For Zones See MAP MiMu/32**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 12 River Settlement Policy Area
- 16 Murray Plains Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area

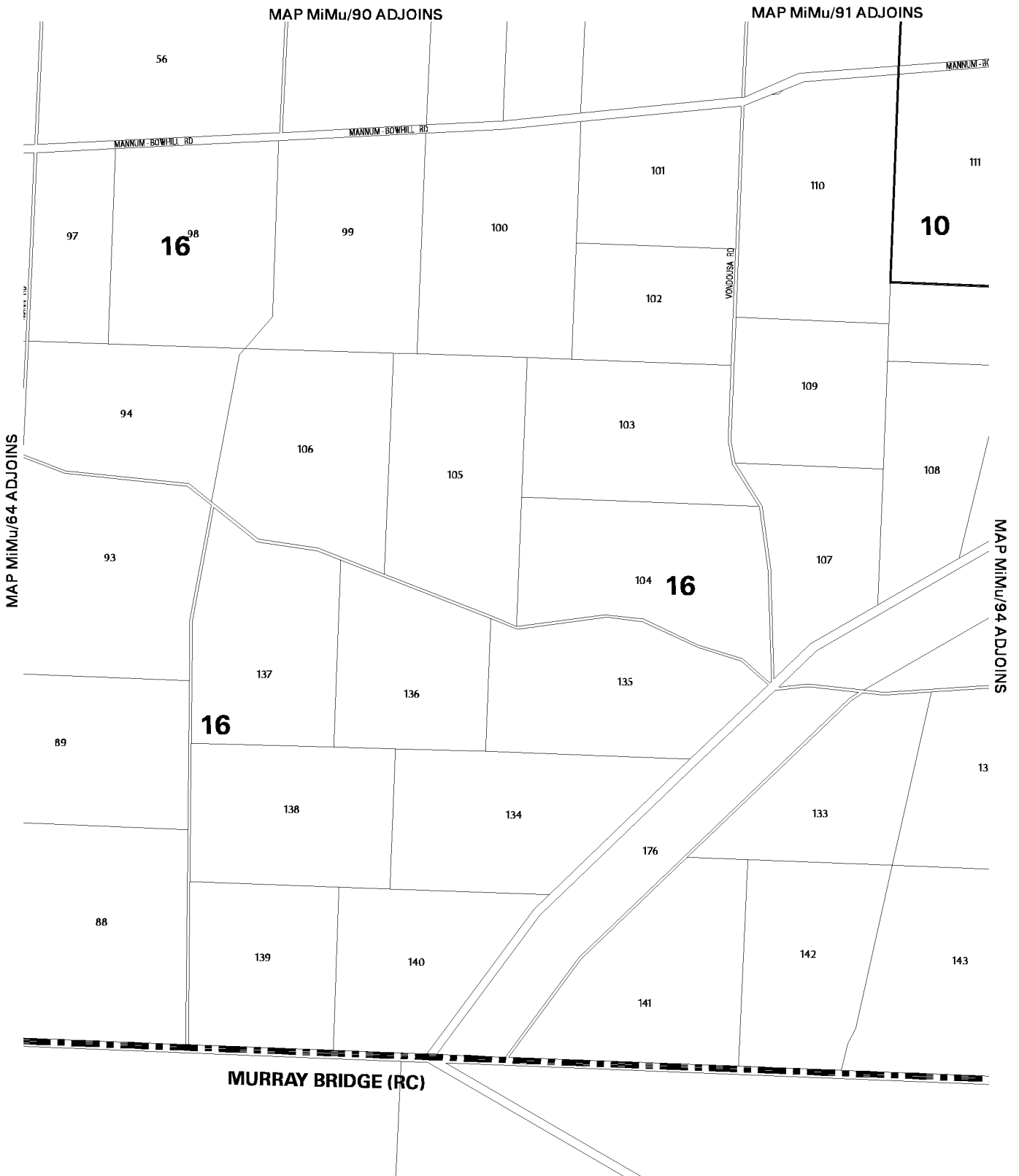
-  Policy Area Boundary
-  Development Plan Boundary

Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/92

Consolidated - 25 February 2021



**NOTE: For Zones See MAP MiMu/33**  
**10** Primary Production Policy Area  
**16** Murray Plains Policy Area

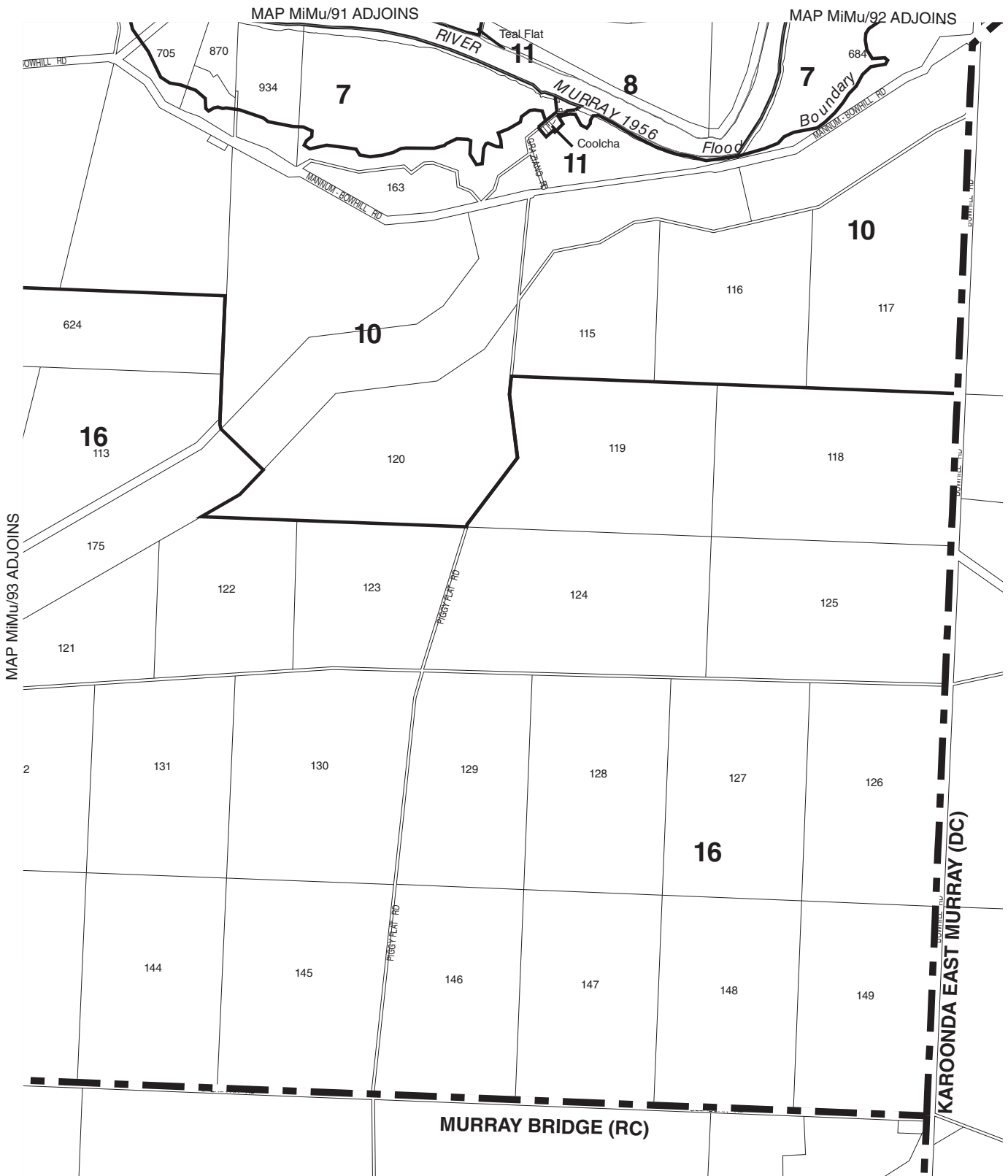


Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/93

———— Policy Area Boundary  
 - - - - - Development Plan Boundary



**NOTE: For Zones See MAP MiMu/34**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 16 Murray Plains Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area

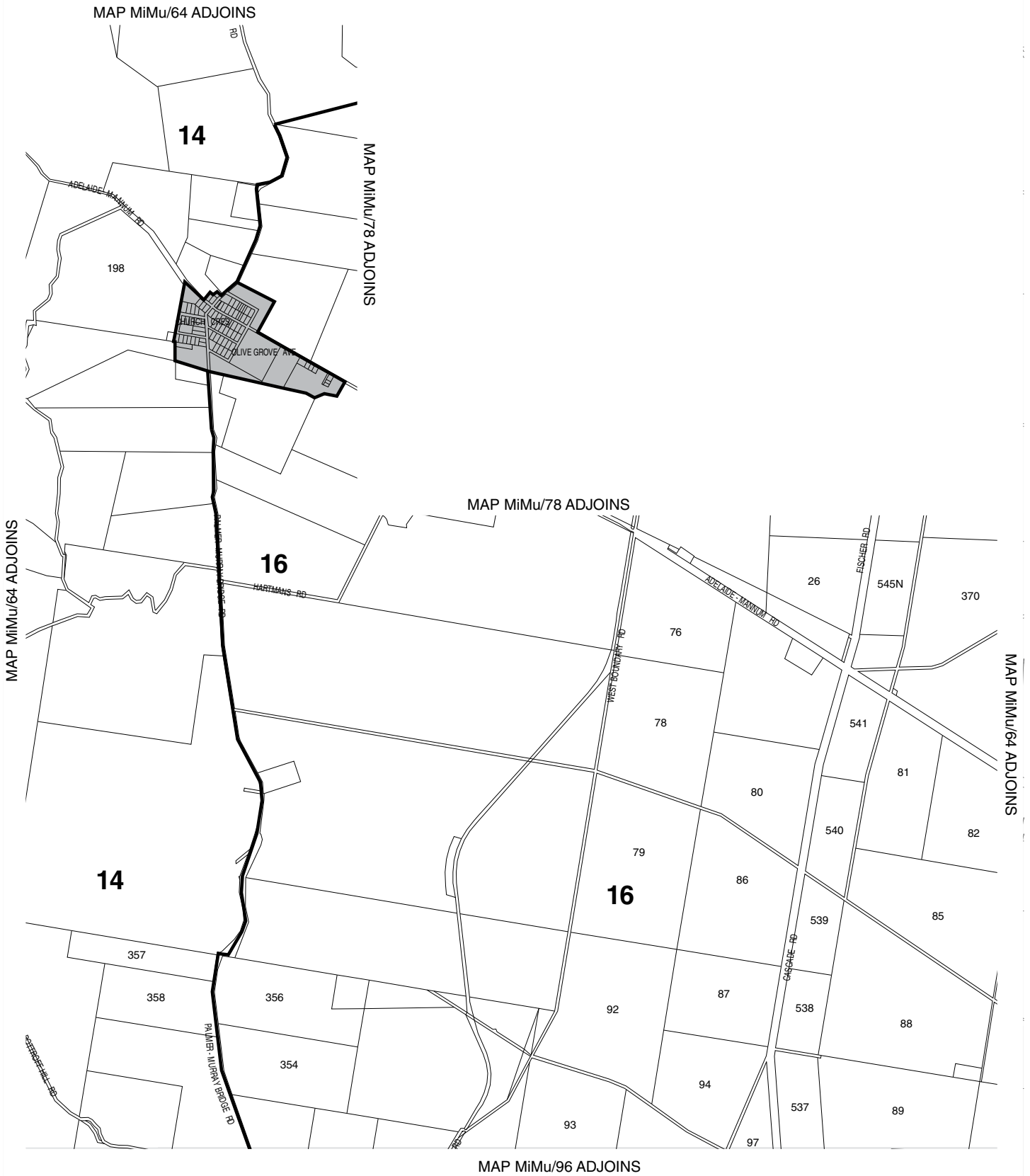


Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/94

- Policy Area Boundary
- Development Plan Boundary



**NOTE: For Zones See MAP MiMu/3**

- 14 Hills Policy Area
- 16 Murray Plains Policy Area

Scale 1:40000



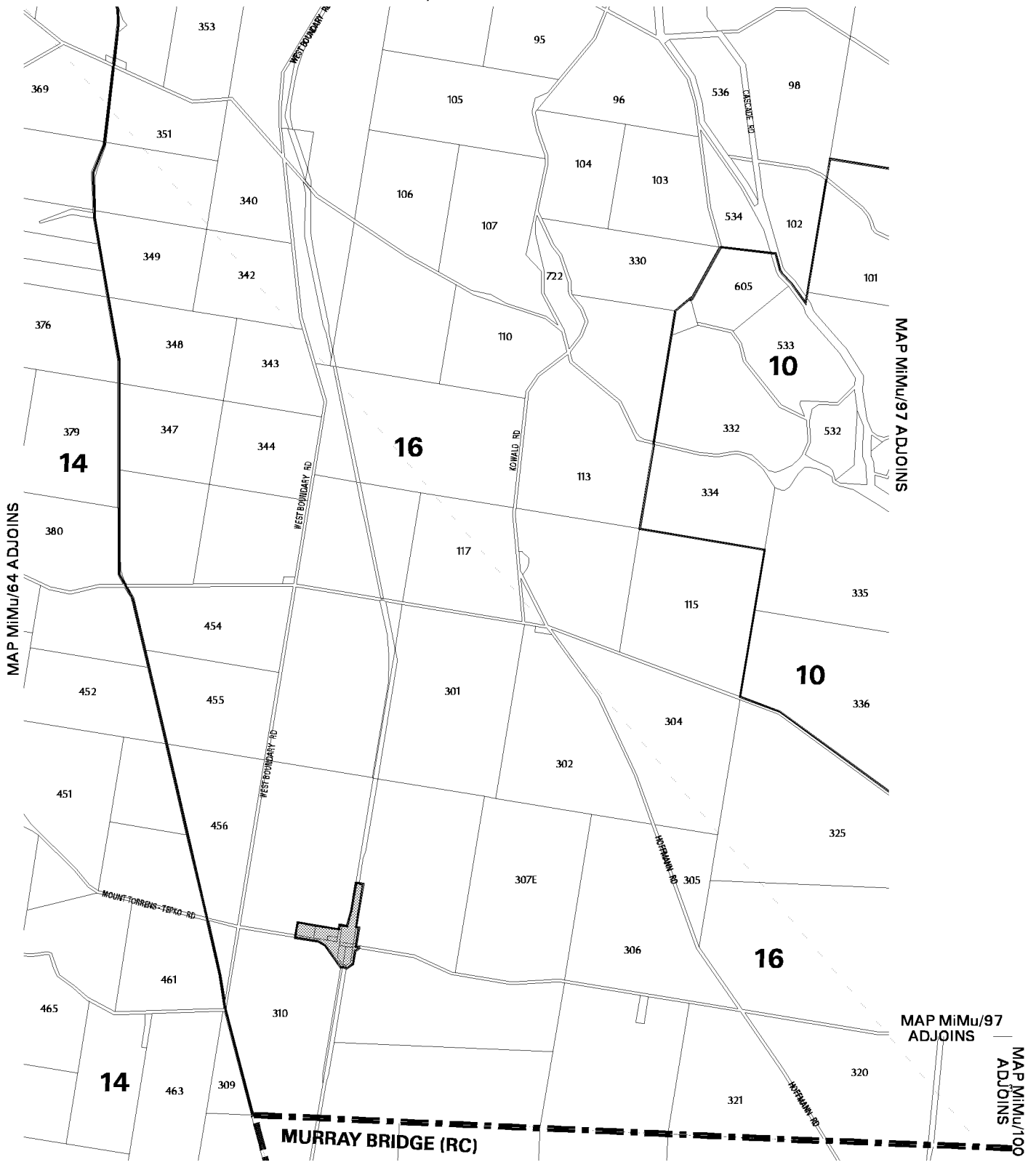
- Policy Area Boundary
- Development Plan Boundary
- Area not covered by Policy Area

# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/95

Consolidated - 25 February 2021



MAP MiMu/95 ADJOINS






**NOTE: For Zones See MAP MiMu/35**  
**10** Primary Production Policy Area  
**14** Hills Policy Area  
**16** Murray Plains Policy Area

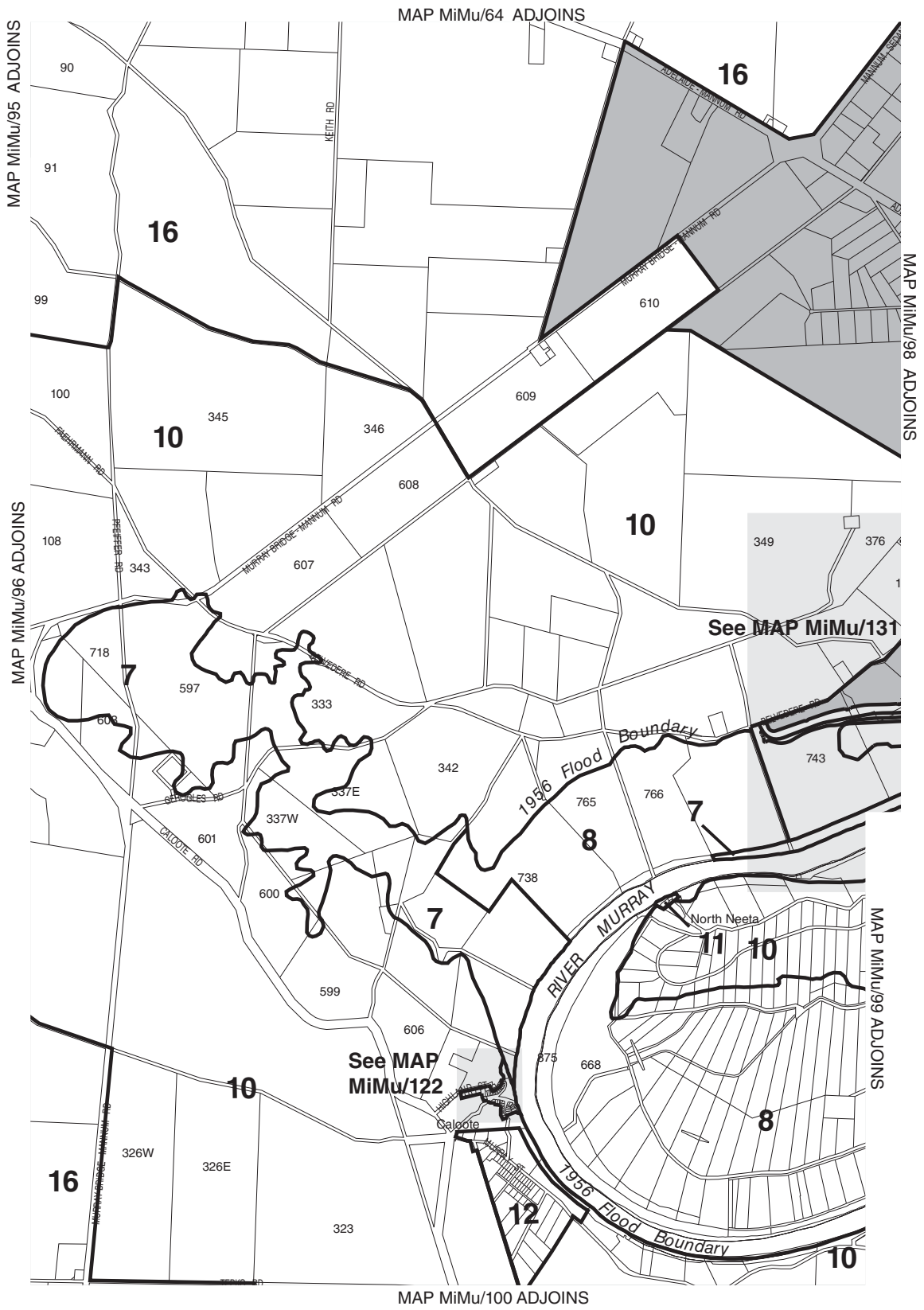


Scale 1:40000





**THE MID MURRAY COUNCIL  
 POLICY AREAS  
 MAP MiMu/96**

-  Policy Area Boundary
-  Development Plan Boundary
-  Area not covered by Policy Area



**NOTE: For Zones See MAP MiMu/36**

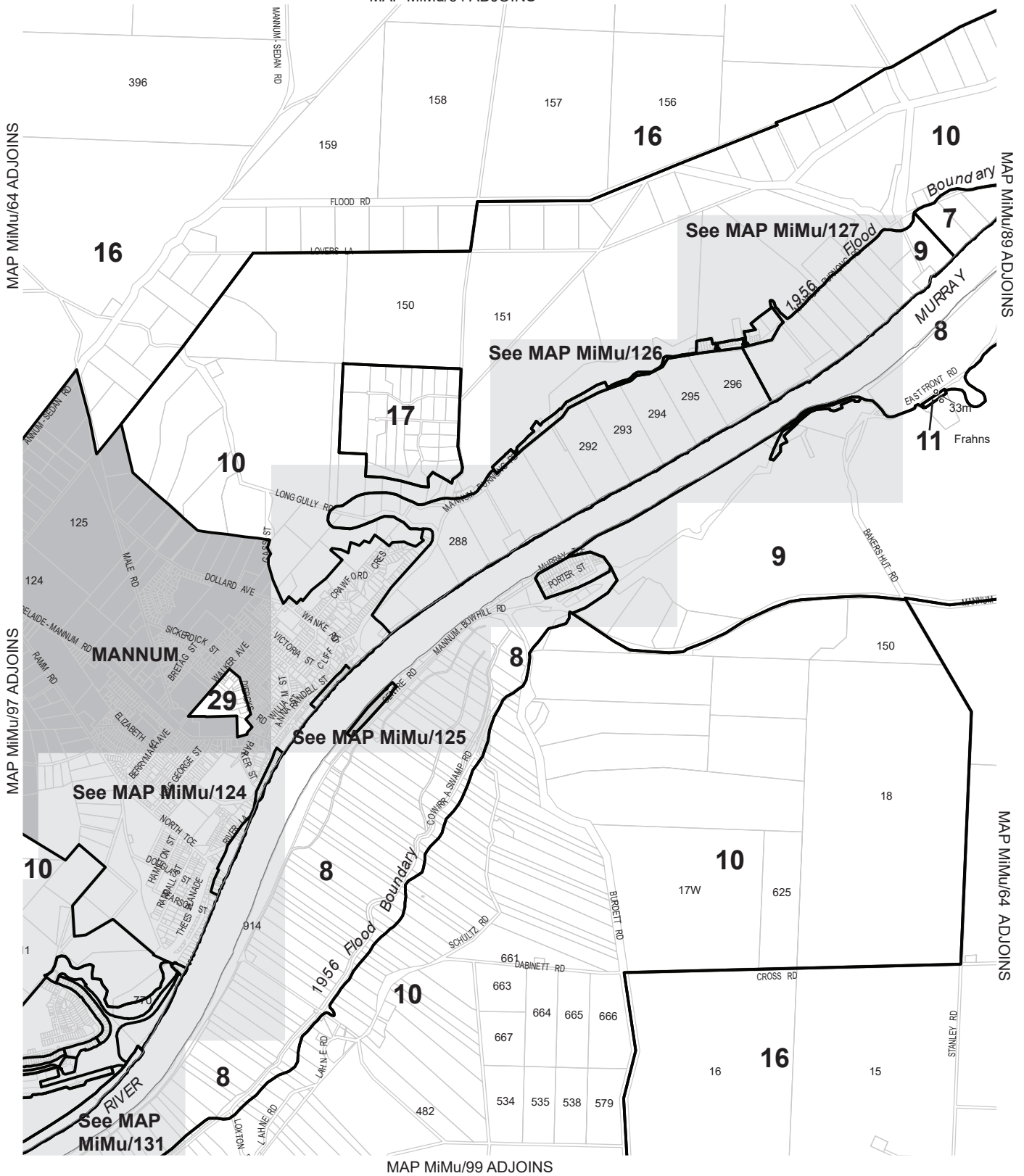
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 12 River Settlement Policy Area
- 16 Murray Plains Policy Area

-  Policy Area Boundary
-  Area not covered by Policy Area

Scale 1:40000






# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/97



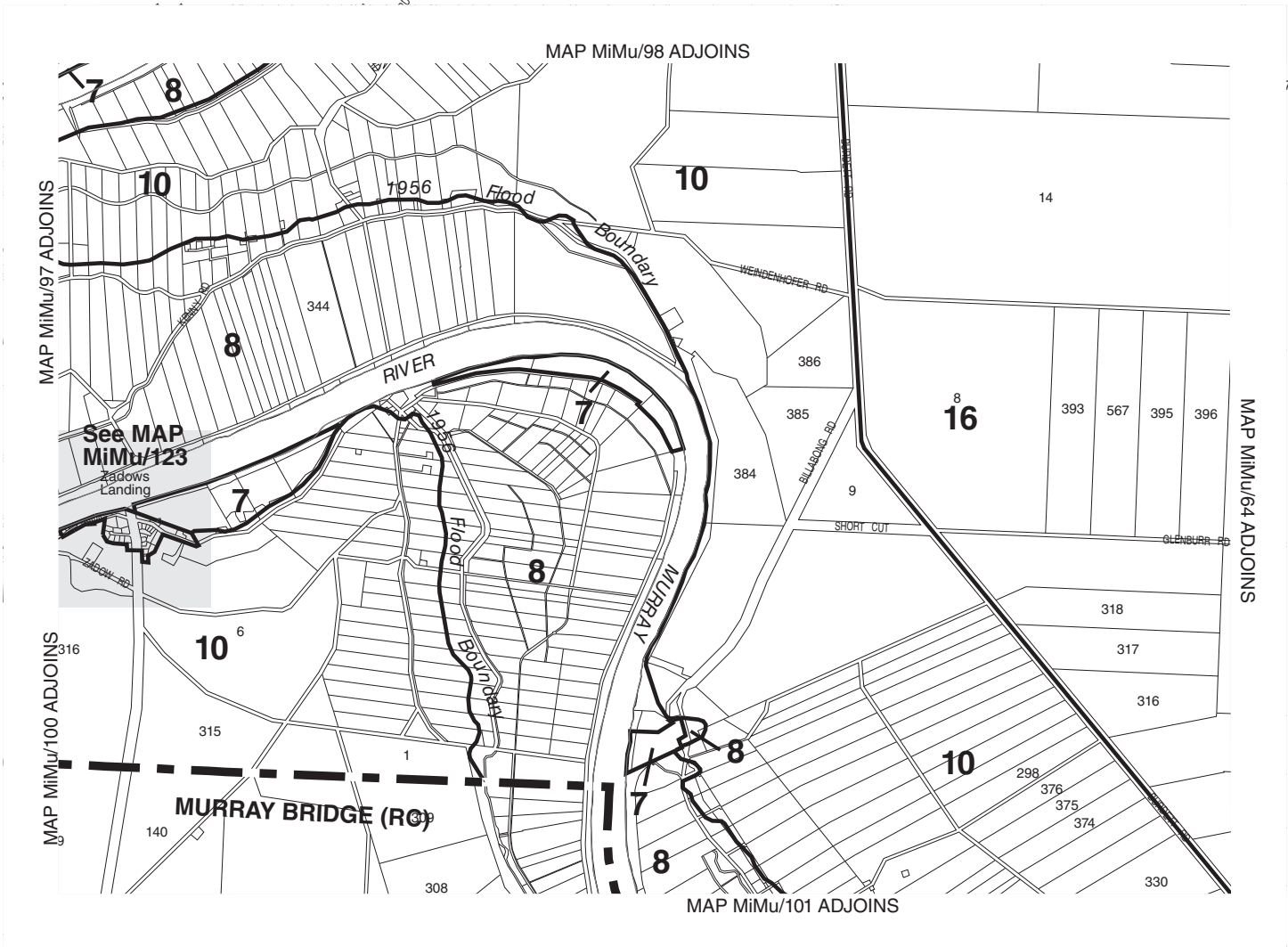
**NOTE: For Zones See MAP MiMu/37**

- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area
- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 16 Murray Plains Policy Area
- 17 Shearer Heights Policy Area
- 29 Walker Avenue Policy Area

-  Policy Area Boundary
-  Development Plan Boundary
-  Area not covered by Policy Area



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/98



**NOTE: For Zones See MAP MiMu/38**  
 10 Primary Production Policy Area  
 16 Murray Plains Policy Area  
 7 Conservation Policy Area  
 8 Floodplain Policy Area



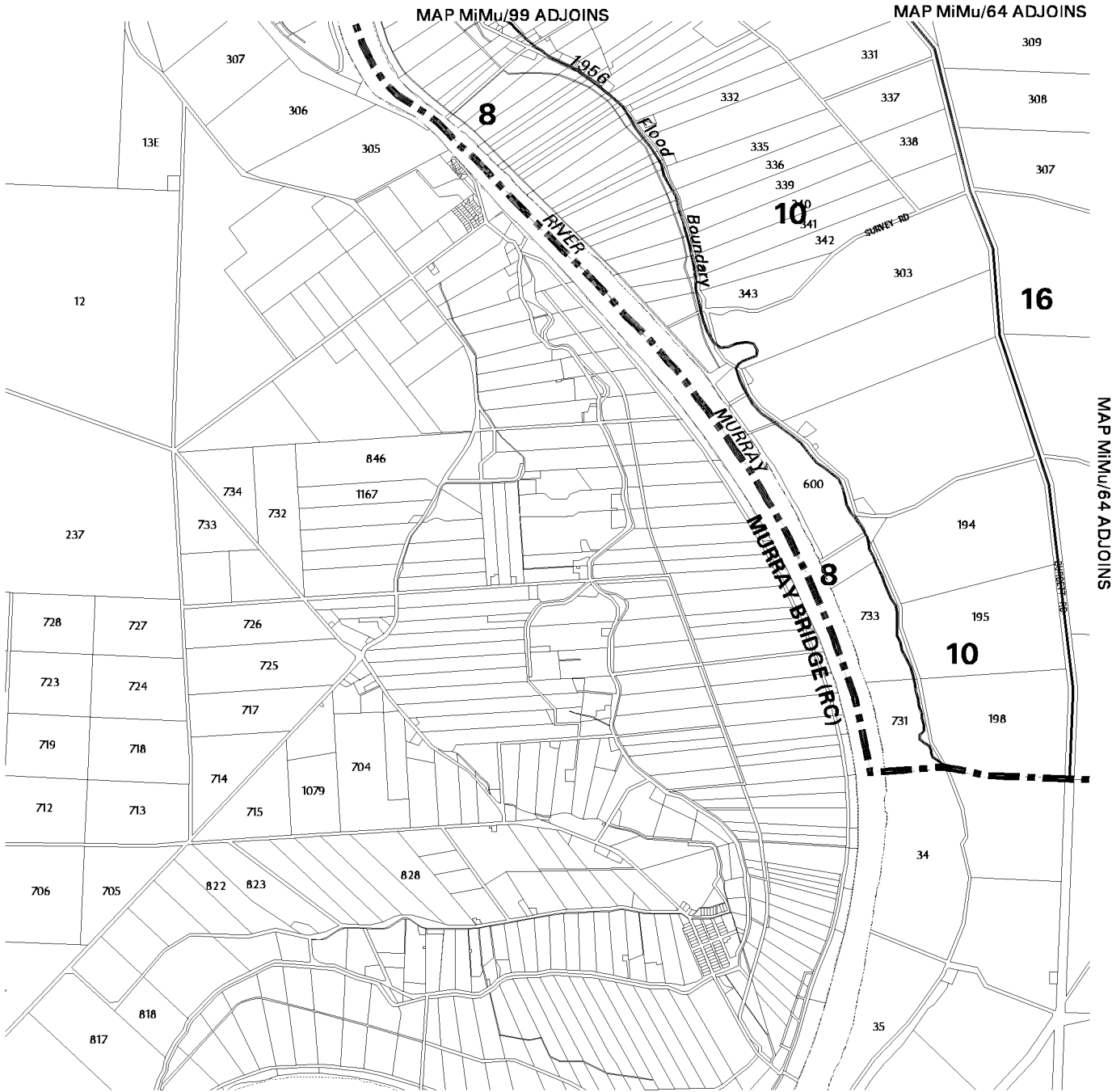
Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/99

———— Policy Area Boundary  
 - - - - - Development Plan Boundary





**NOTE: For Zones See MAP MiMu/40**  
**10** Primary Production Policy Area  
**16** Murray Plains Policy Area  
**8** Floodplain Policy Area



Scale 1:40000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/101

———— Policy Area Boundary  
 - - - - - Development Plan Boundary

256

14

14

MAP MiMu/64 ADJOINS

MAP MiMu/64 ADJOINS

229

21

443

232

3

14

4

409

233

407

410

14

405

419

412




418

**NOTE: For Zones See MAP MiMu/43**

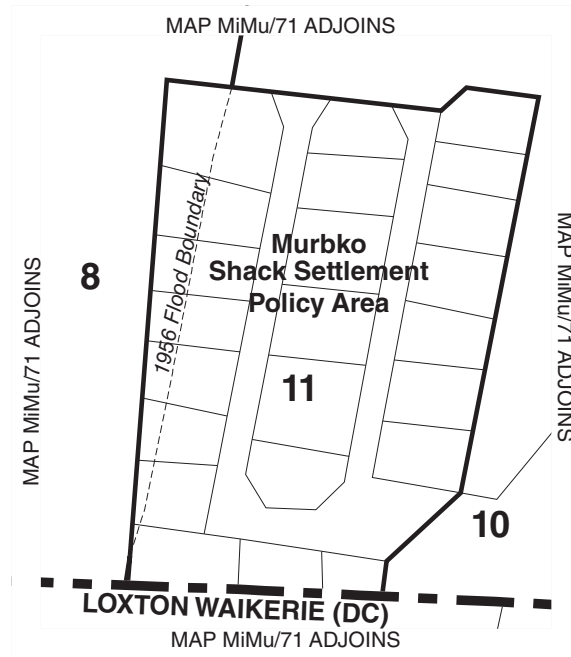
- 14 Hills Policy Area
- 3 Policy Area 3 - Rural Living (Truro)
- 4 Policy Area 4 - Rural Living (Truro)
- 21 Policy Area 21 - Rural Living (Truro)

Scale 1:17500



-  Policy Area Boundary
-  Development Plan Boundary
-  Area not covered by Policy Area

**MID MURRAY COUNCIL**  
**POLICY AREAS**  
**MAP MiMu/102**



**NOTE: For Zones See MAP MiMu/10**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 8 Floodplain Policy Area



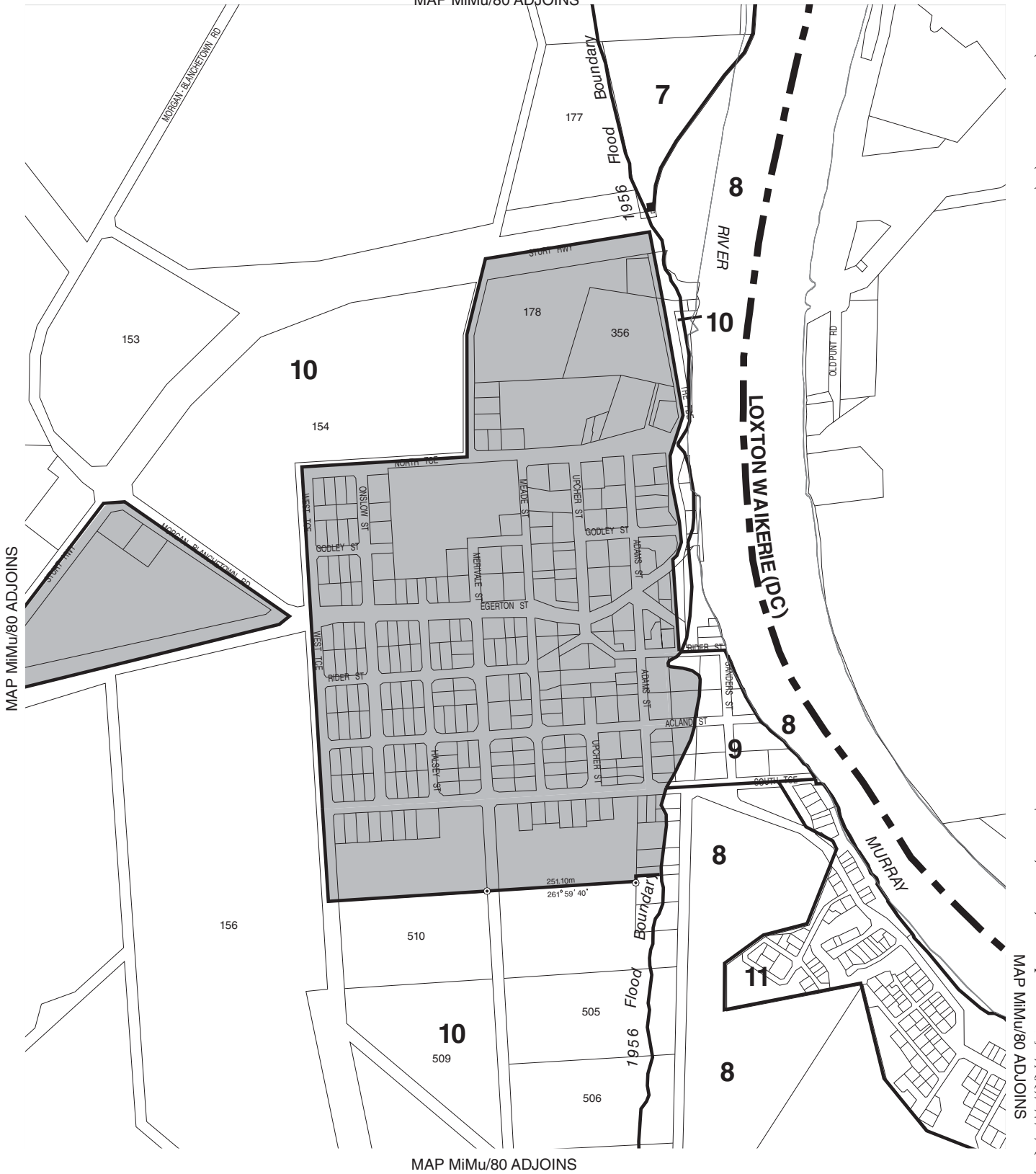
Scale 1:2000



-  Policy Area Boundary
-  Development Plan Boundary

# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/103





**BLANCHETOWN**

**NOTE: For Zones See MAP MiMu/55**

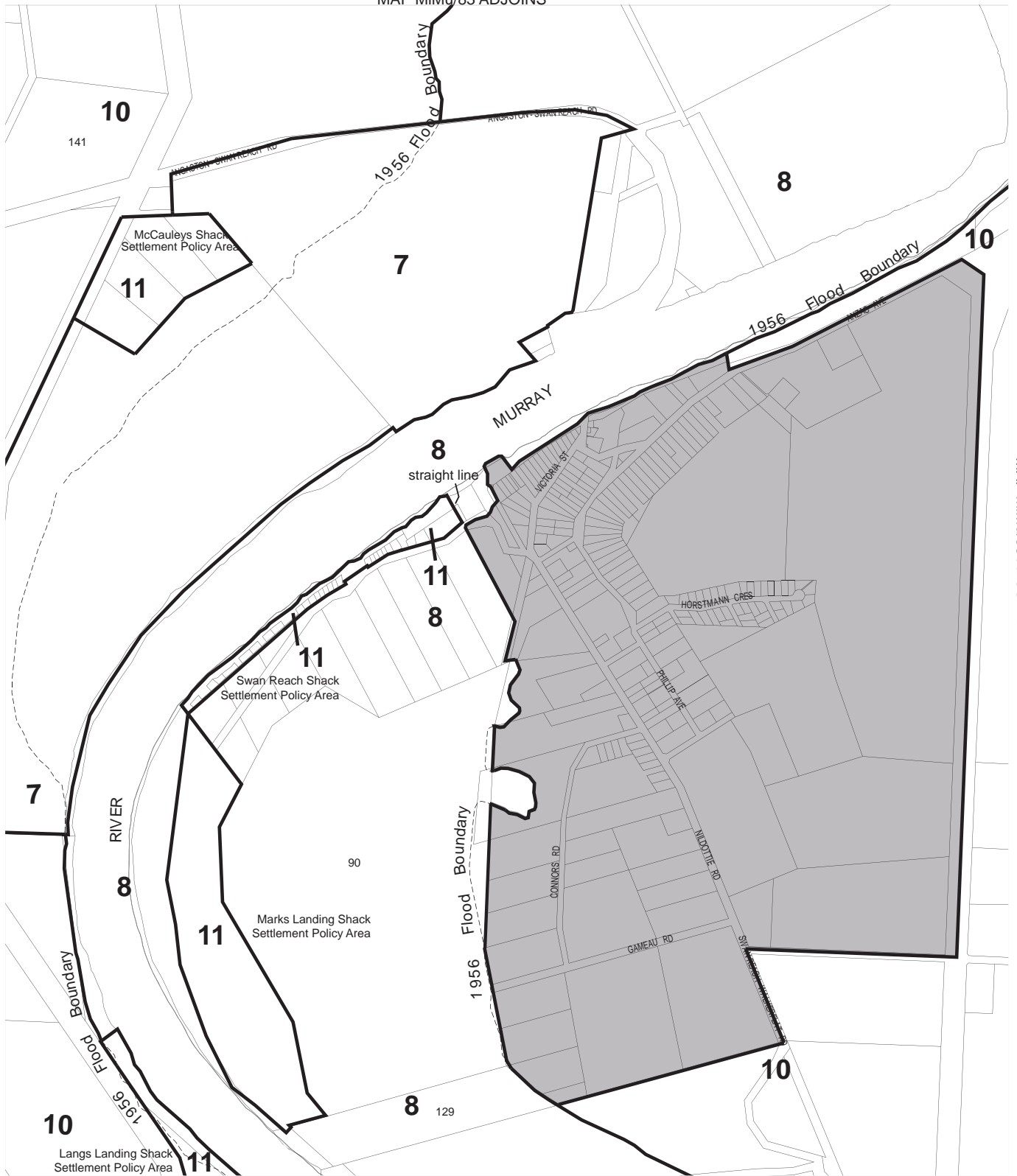
- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area

Scale 1:10000



- Policy Area Boundary
- Development Plan Boundary
- Area not covered by Policy Area

**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/104**



**SWAN REACH**

**NOTE: For Zones See MAP MiMu/56**

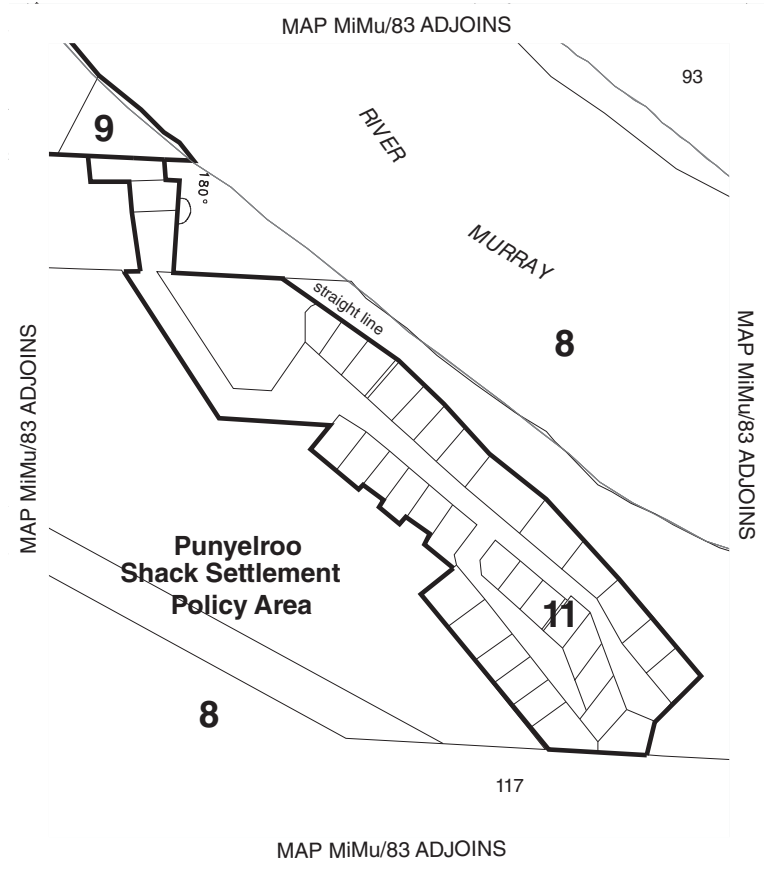
- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area



Scale 1:15000



- Policy Area Boundary
- Development Plan Boundary
- Area not covered by Policy Area



**NOTE: For Zones See MAP MiMu/18**

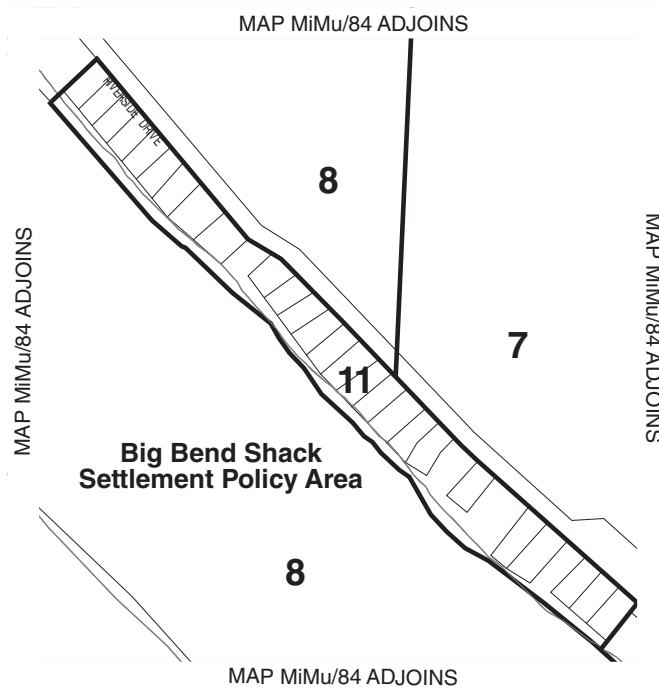
- 11 Shack Settlement Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area

Scale 1:4000



**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/106**

———— Policy Area Boundary



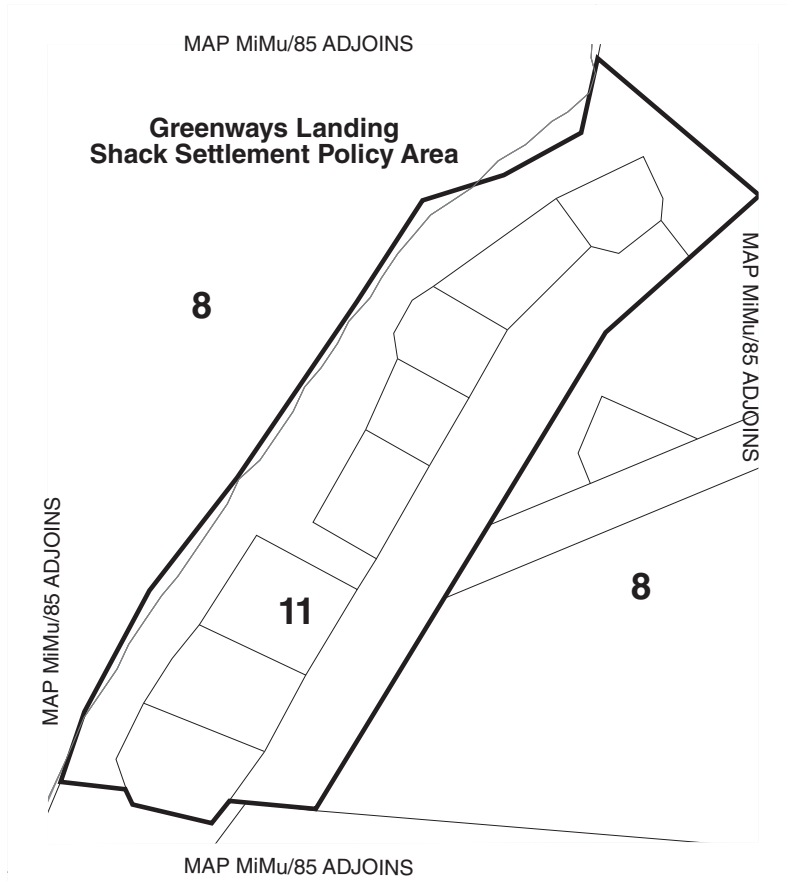
**NOTE: For Zones See MAP MiMu/19**  
 11 Shack Settlement Policy Area  
 7 Conservation Policy Area  
 8 Floodplain Policy Area



———— Policy Area Boundary

# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/107

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**NOTE: For Zones See MAP MiMu/20**  
 11 Shack Settlement Policy Area  
 8 Floodplain Policy Area



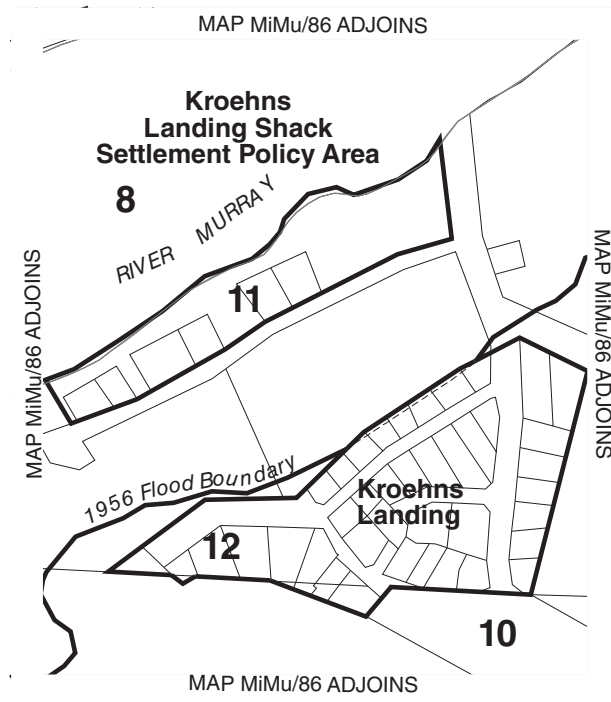
Scale 1:1500



———— Policy Area Boundary

**THE MID MURRAY COUNCIL  
 POLICY AREAS  
 MAP MiMu/108**

Consolidated - 25 February 2021



**NOTE: For Zones See MAP MiMu/26**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 12 River Settlement Policy Area
- 8 Floodplain Policy Area

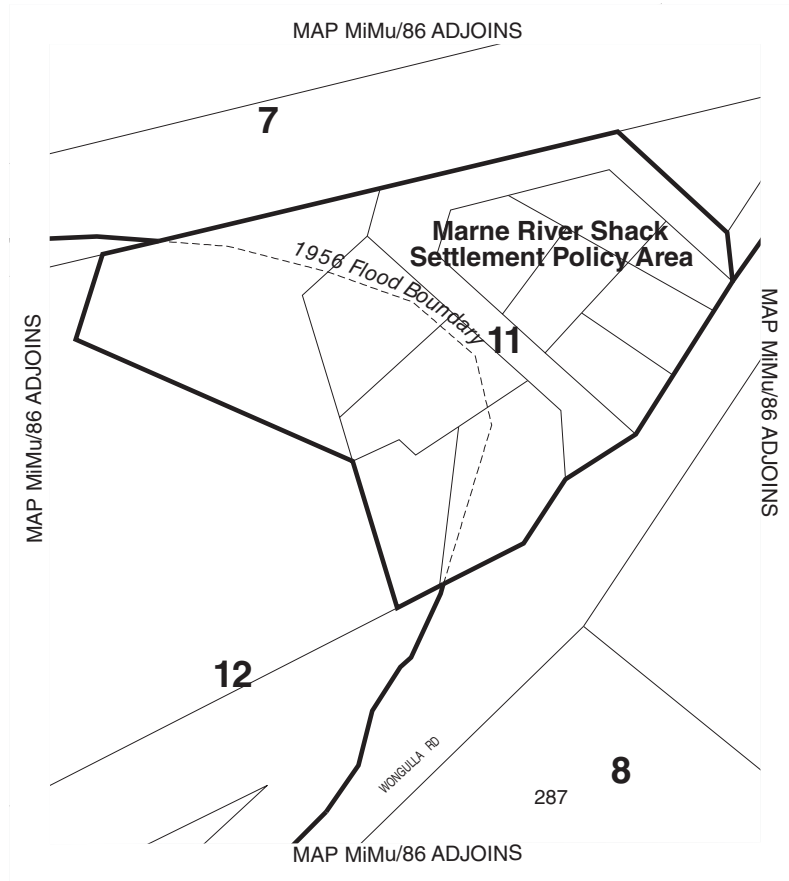


Scale 1:5000



**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/109**

————— Policy Area Boundary



**NOTE: For Zones See MAP MiMu/26**  
 11 Shack Settlement Policy Area  
 12 River Settlement Policy Area  
 7 Conservation Policy Area  
 8 Floodplain Policy Area

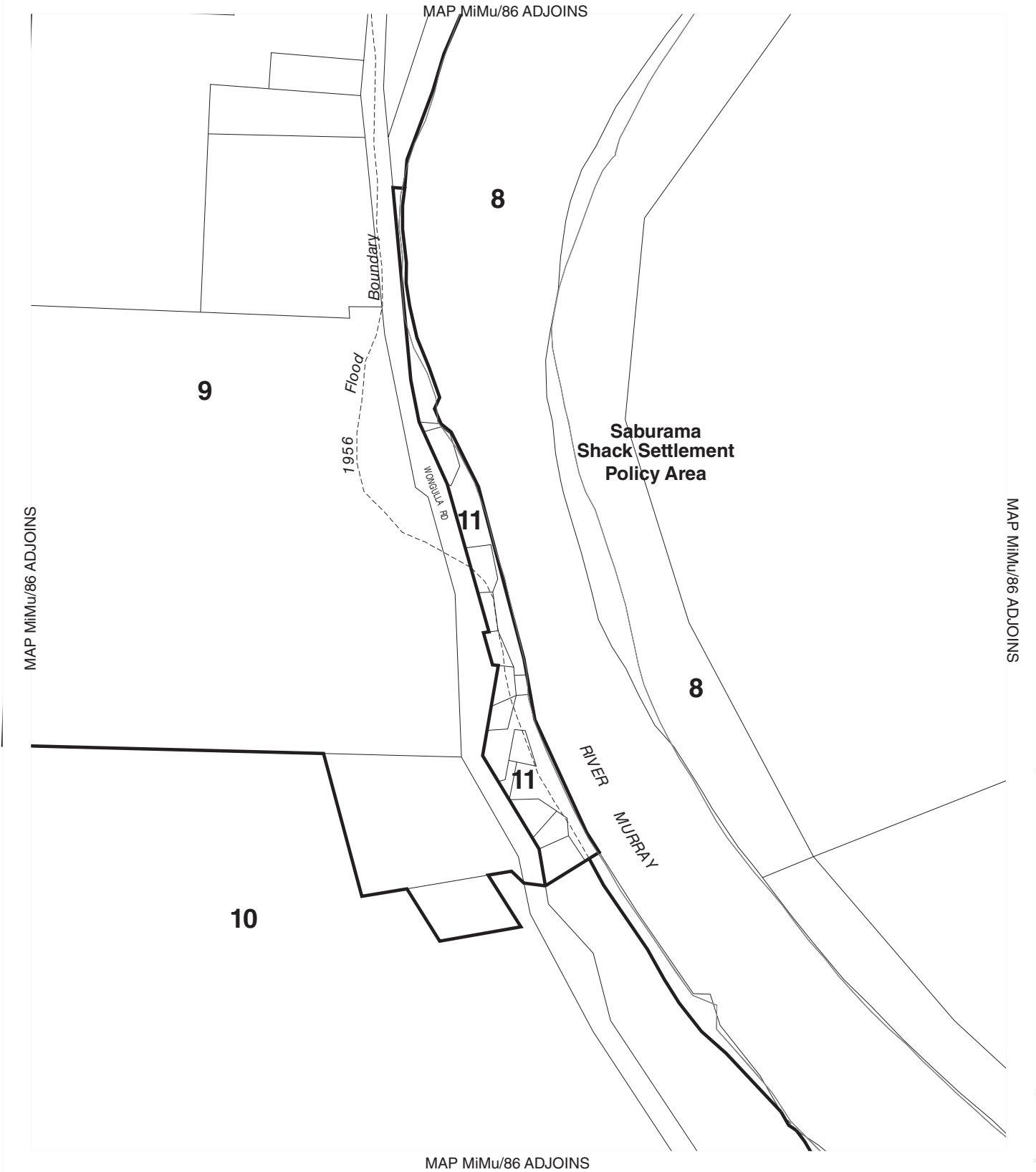


Scale 1:1500



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/110

**—————** Policy Area Boundary



**NOTE: For Zones See MAP MiMu/26**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area



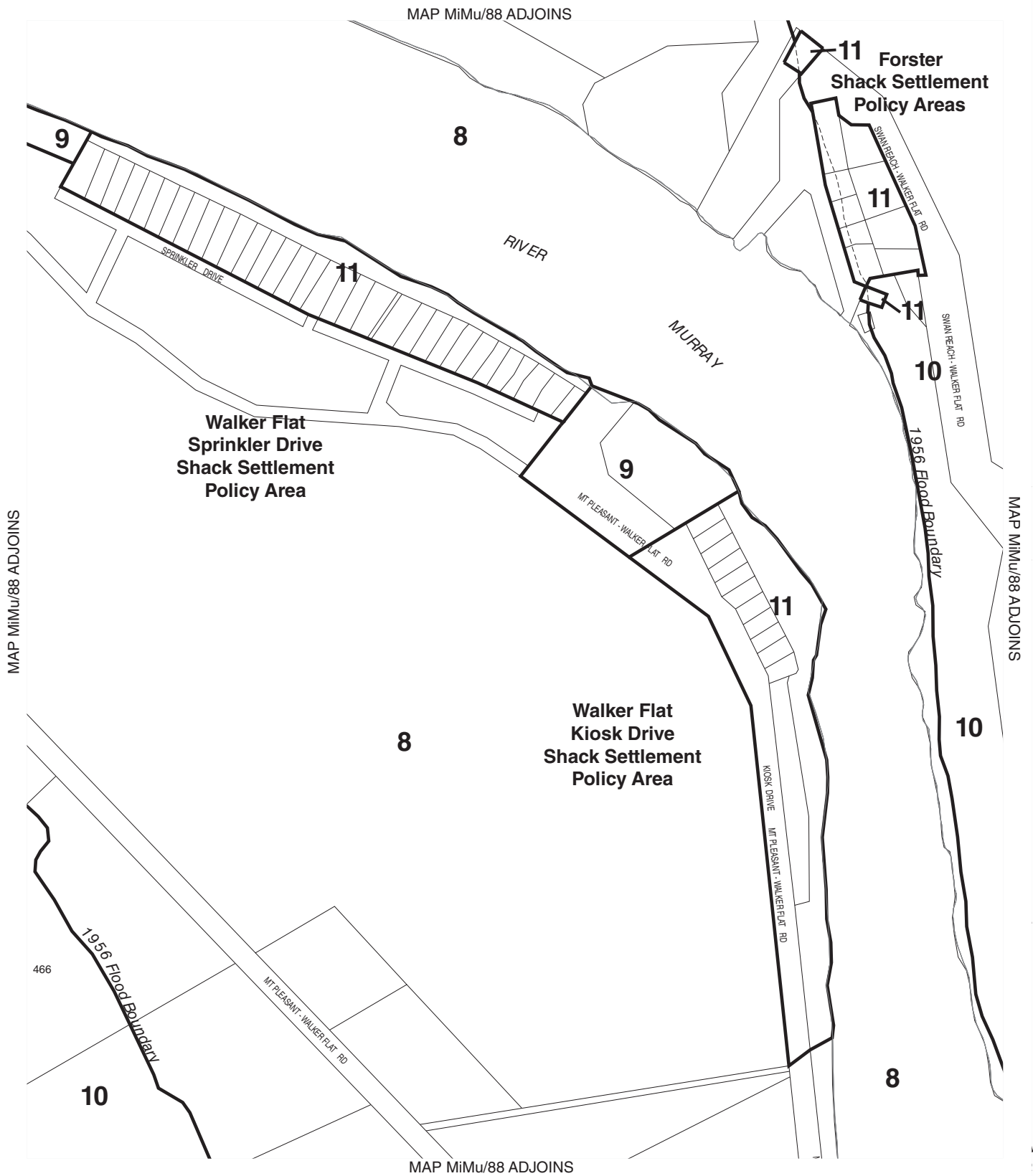
Scale 1:5000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/111

———— Policy Area Boundary





**NOTE: For Zones See MAP MiMu/28**  
 10 Primary Production Policy Area  
 11 Shack Settlement Policy Area  
 8 Floodplain Policy Area  
 9 Recreation and Tourism Policy Area

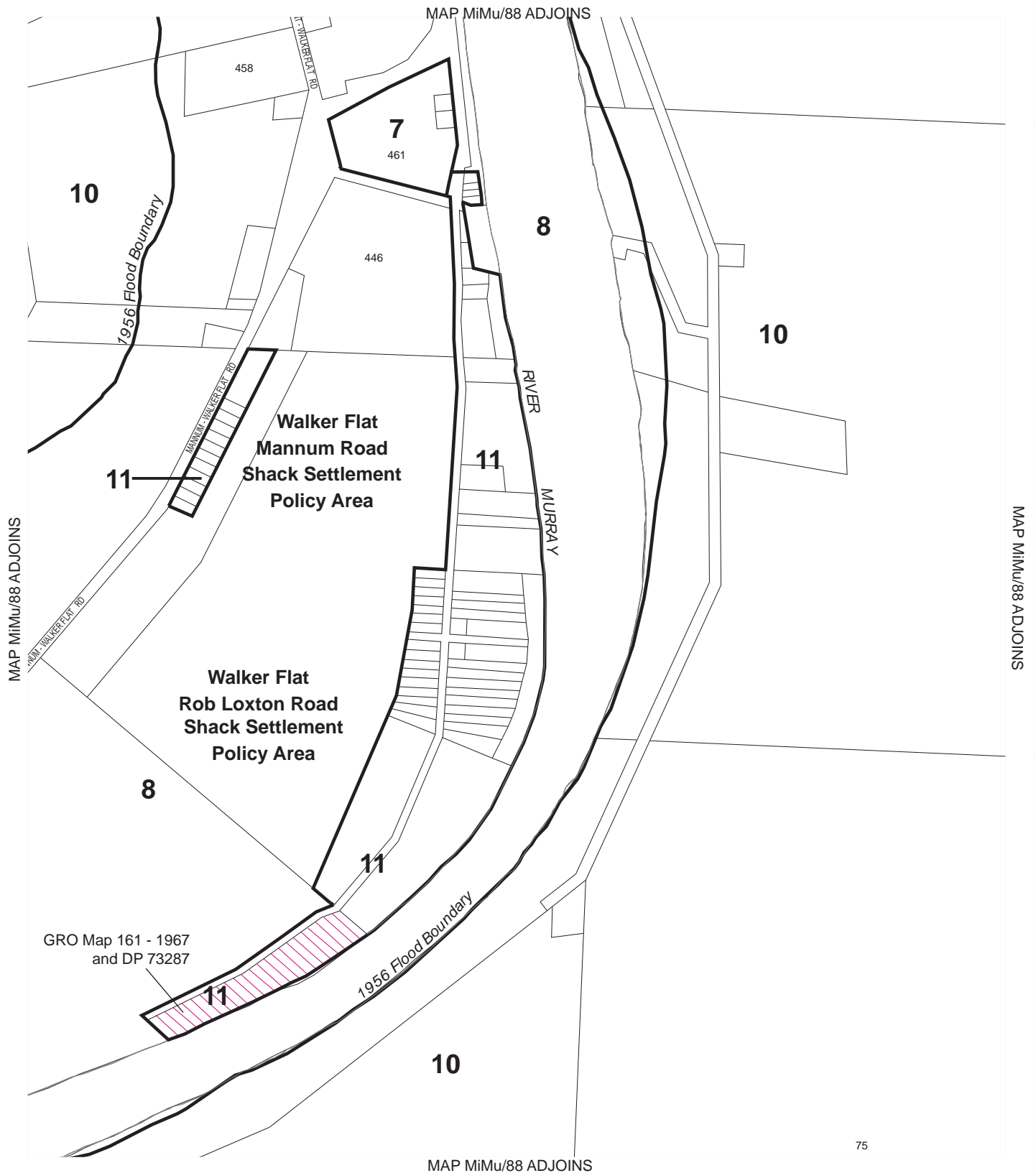


Scale 1:5000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/112

———— Policy Area Boundary



75

**NOTE: For Zones See MAP MiMu/28**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area



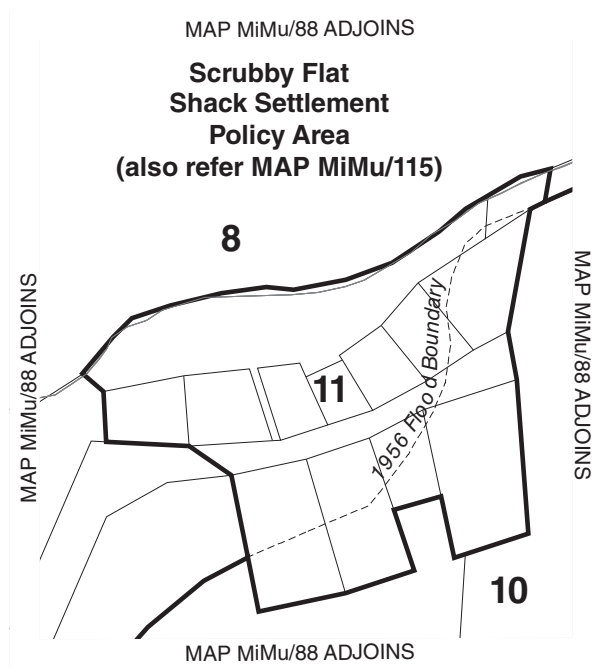
Scale 1:10000



**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/113**

———— Policy Area Boundary

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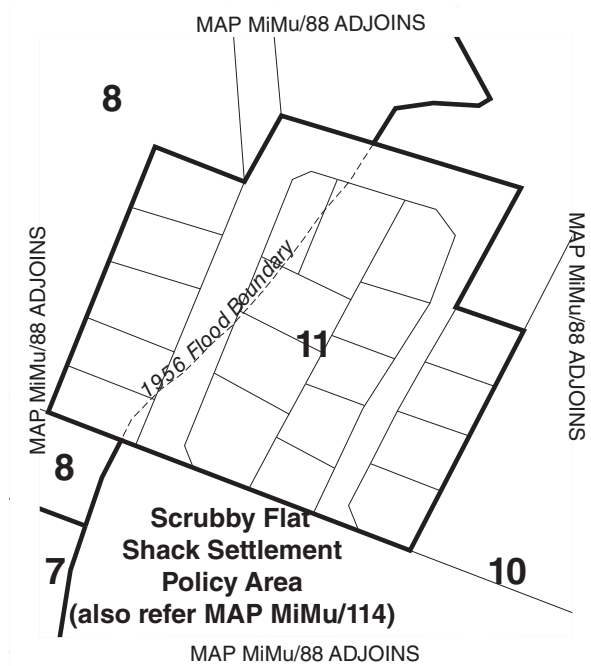


**NOTE: For Zones See MAP MiMu/28**  
**10** Primary Production Policy Area  
**11** Shack Settlement Policy Area  
**8** Floodplain Policy Area



**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/114**

———— Policy Area Boundary



**NOTE: For Zones See MAP MiMu/28**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area

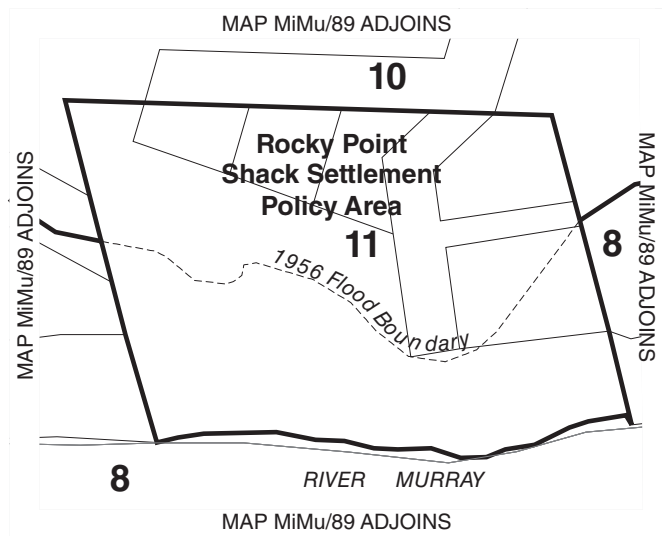


Scale 1:2000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/115

———— Policy Area Boundary



**NOTE: For Zones See MAP MiMu/29**  
**10** Primary Production Policy Area  
**11** Shack Settlement Policy Area  
**8** Floodplain Policy Area

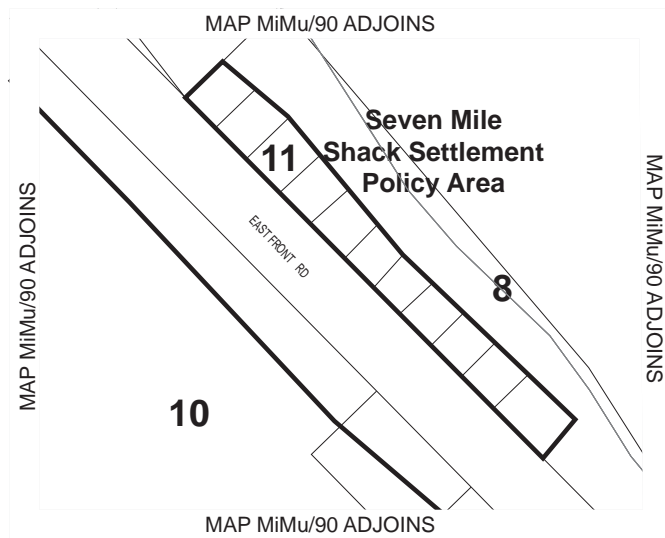


Scale 1:2250



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/116

———— Policy Area Boundary



**NOTE: For Zones See MAP MiMu/30**

- 8** Floodplain Policy Area
- 10** Primary Production Policy Area
- 11** Shack Settlement Policy Area



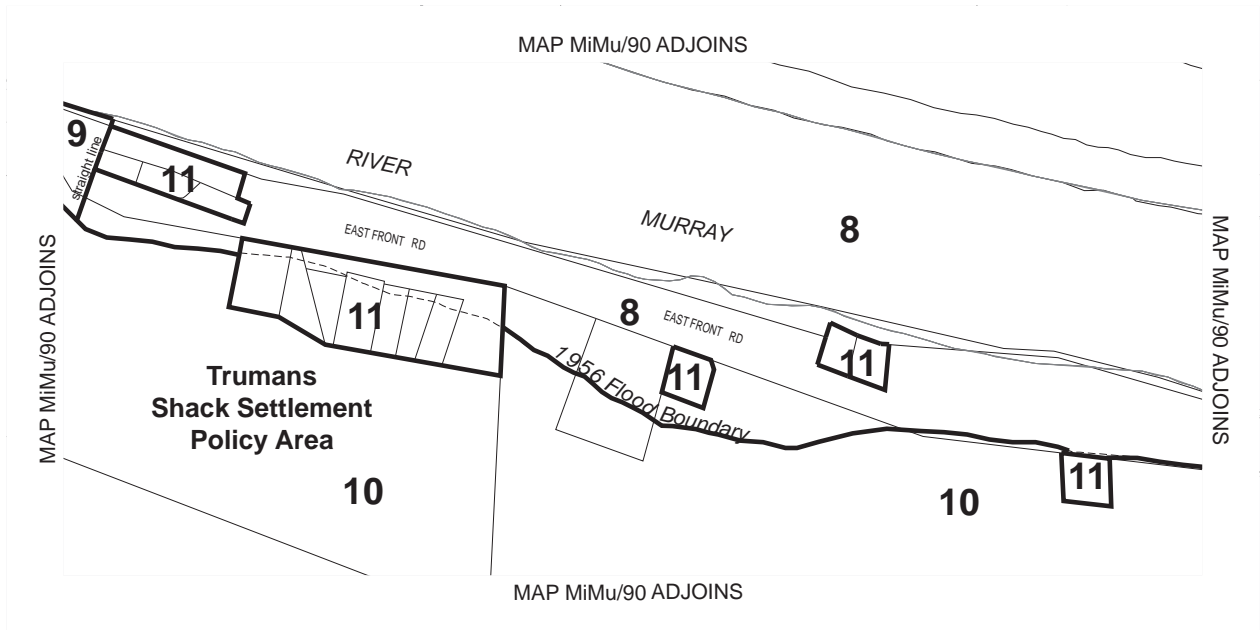
Scale 1:2250



————— Policy Area Boundary

# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/117

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**NOTE: For Zones See MAP MiMu/30**

- 8** Floodplain Policy Area
- 9** Recreation and Tourism Policy Area
- 10** Primary Production Policy Area
- 11** Shack Settlement Policy Area

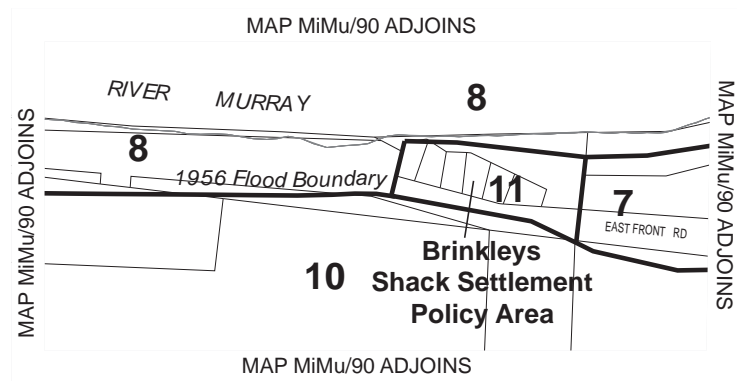


Scale 1:5000



————— Policy Area Boundary

# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/118



**NOTE: For Zones See MAP MiMu/30**

- 7** Conservation Policy Area
- 8** Floodplain Policy Area
- 10** Primary Production Policy Area
- 11** Shack Settlement Policy Area



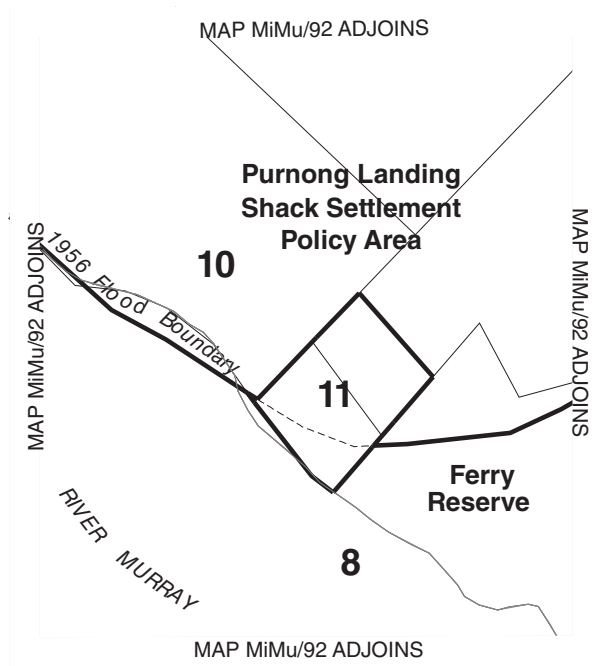
Scale 1:5000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/119

————— Policy Area Boundary





**NOTE: For Zones See MAP MiMu/32**  
**10** Primary Production Policy Area  
**11** Shack Settlement Policy Area  
**8** Floodplain Policy Area

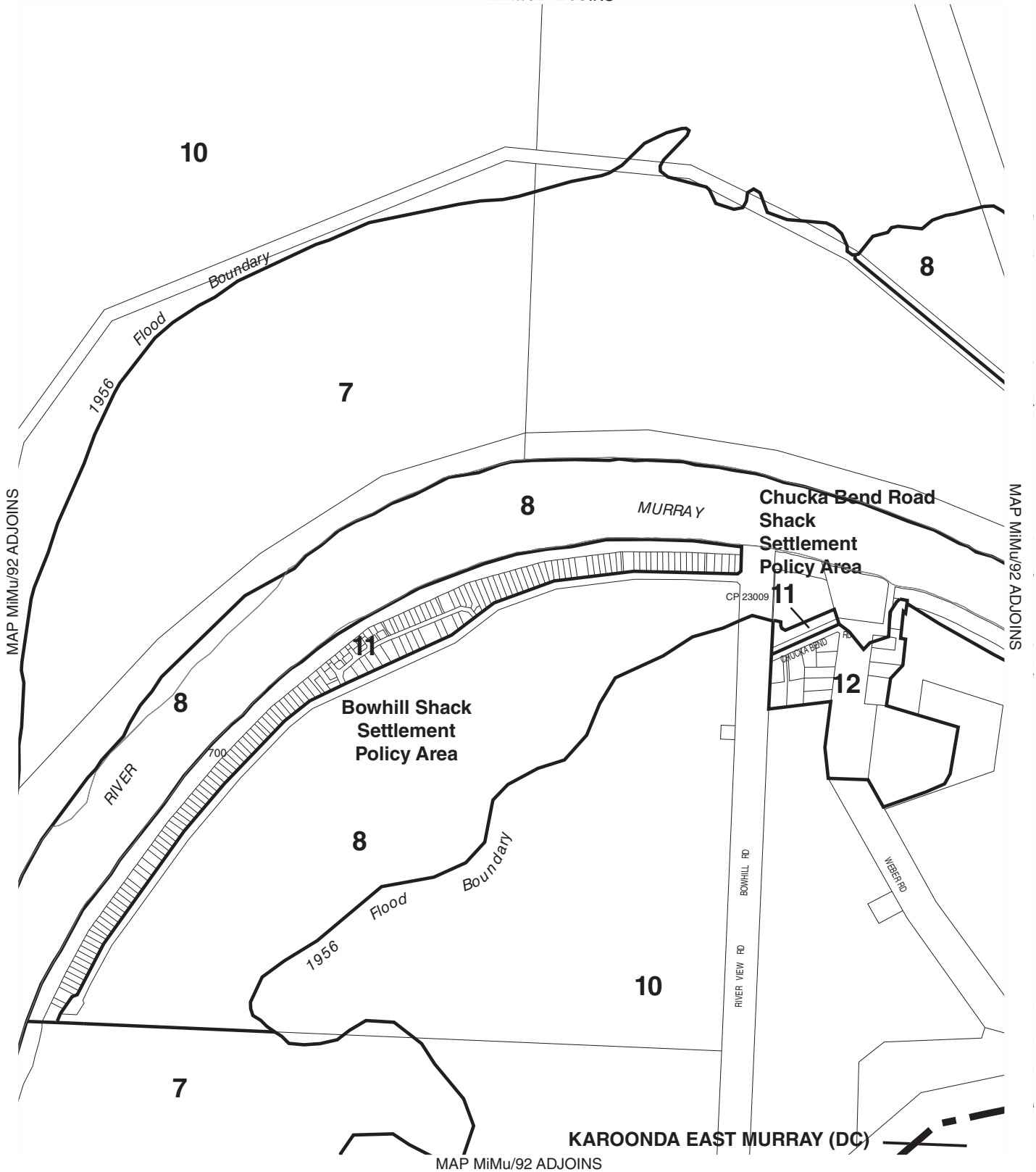


Scale 1:2000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/120

———— Policy Area Boundary



**BOWHILL**

**NOTE: For Zones See MAP MiMu/32**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 12 River Settlement Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area

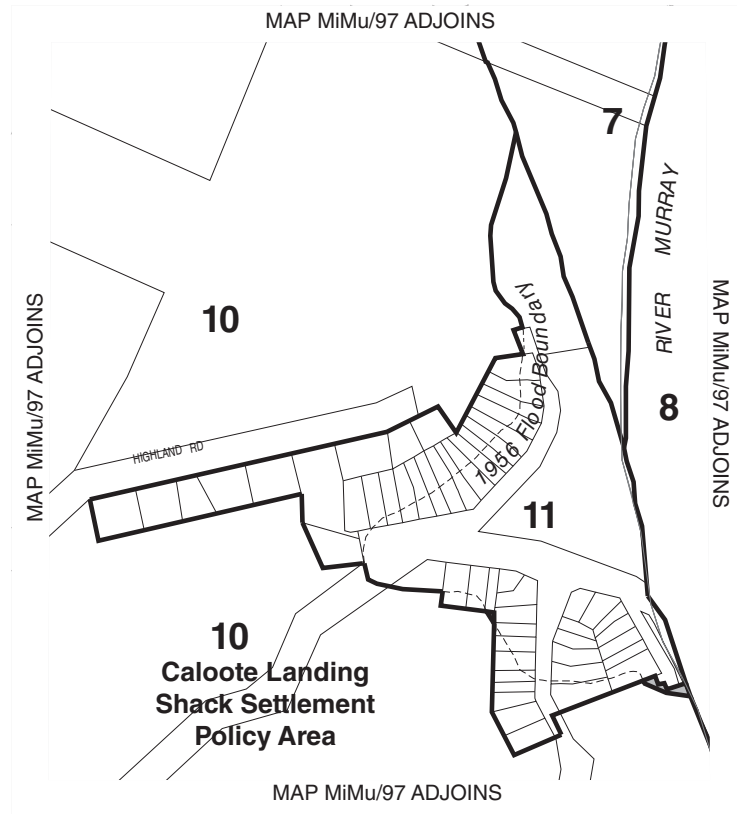


Scale 1:10000



**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/121**

- Policy Area Boundary
- Development Plan Boundary



**NOTE: For Zones See MAP MiMu/36**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area



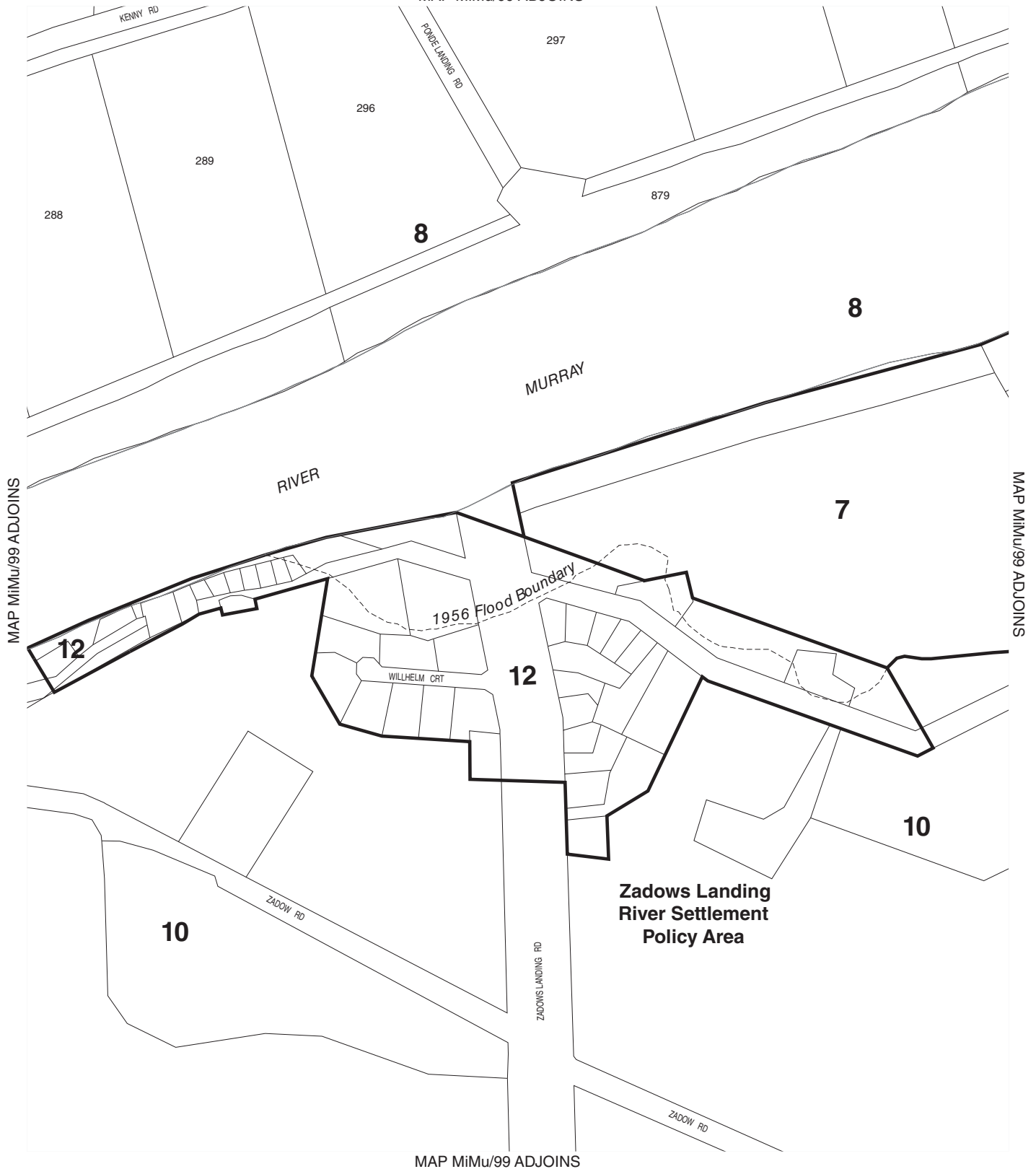
Scale 1:5000



**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/122**

- Policy Area Boundary
- Area not covered by Policy Area

MAP MiMu/99 ADJOINS



**NOTE: For Zones See MAP MiMu/38**

- 10 Primary Production Policy Area
- 12 River Settlement Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area



Scale 1:5000



**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/123**

———— Policy Area Boundary

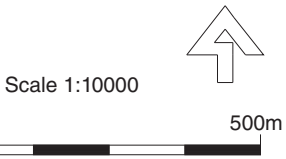


MAP MiMu/98 ADJOINS




MAP MiMu/98 ADJOINS

MAP MiMu/98 ADJOINS

- MANNUM**  
**NOTE: For Zones See MAP MiMu/62**  
 10 Primary Production Policy Area  
 11 Shack Settlement Policy Area  
 5 Policy Area 5 - Residential - Floodplain  
 8 Floodplain Policy Area



**MID MURRAY COUNCIL  
 POLICY AREAS  
 MAP MiMu/124**

-  Policy Area Boundary
-  Development Plan Boundary
-  Area not covered by Policy Area



**MANNUM**

**NOTE: For Zones See MAP MiMu/61**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 5 Policy Area 5 - Residential - Floodplain
- 6 Policy Area 6 - Town Centre - Floodplain
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 17 Shearer Heights Policy Area

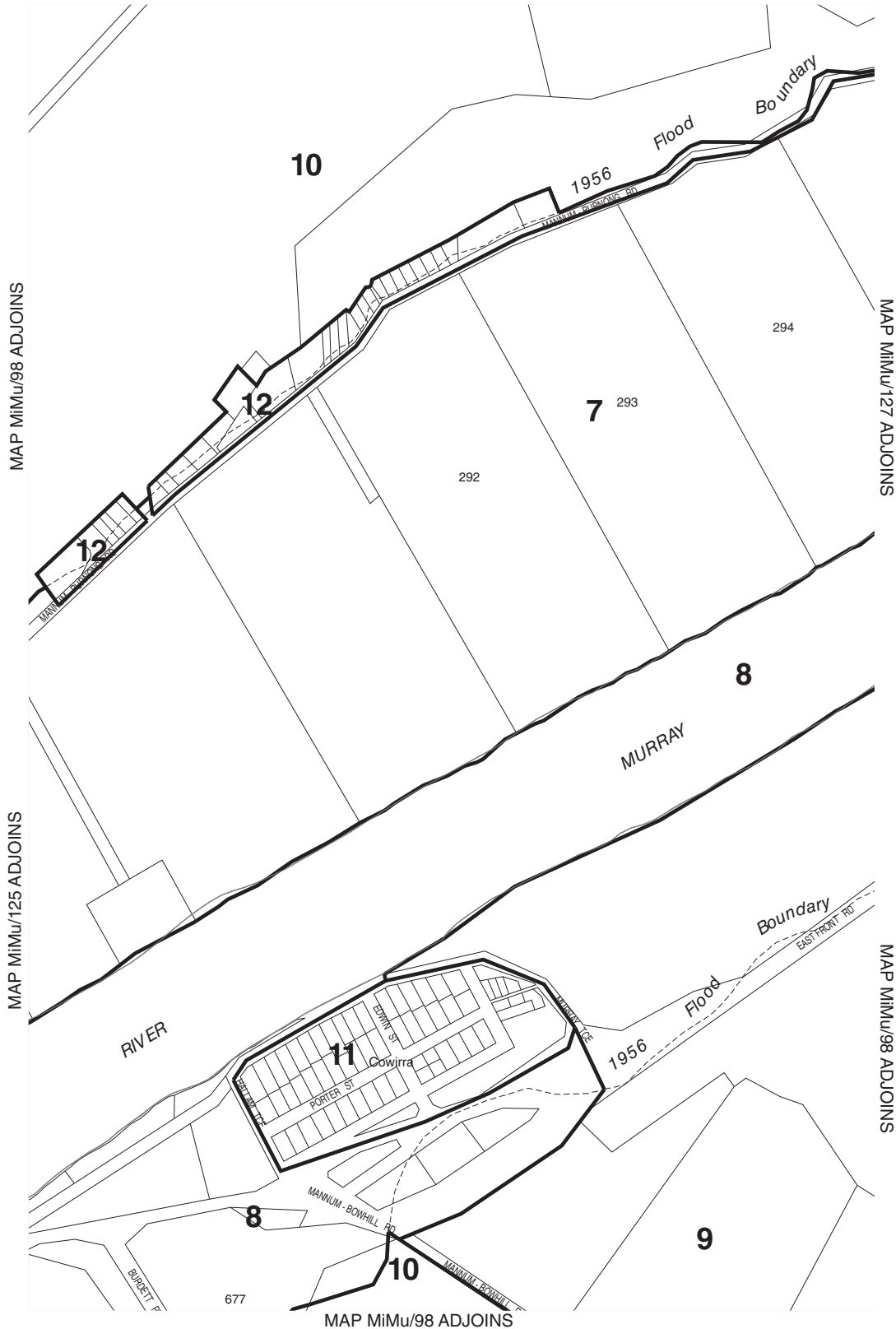


Scale 1:10000



**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/125**

- Policy Area Boundary
- Area not covered by Policy Area



**NOTE: For Zones See MAP MiMu/37**

- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 12 River Settlement Policy Area
- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area

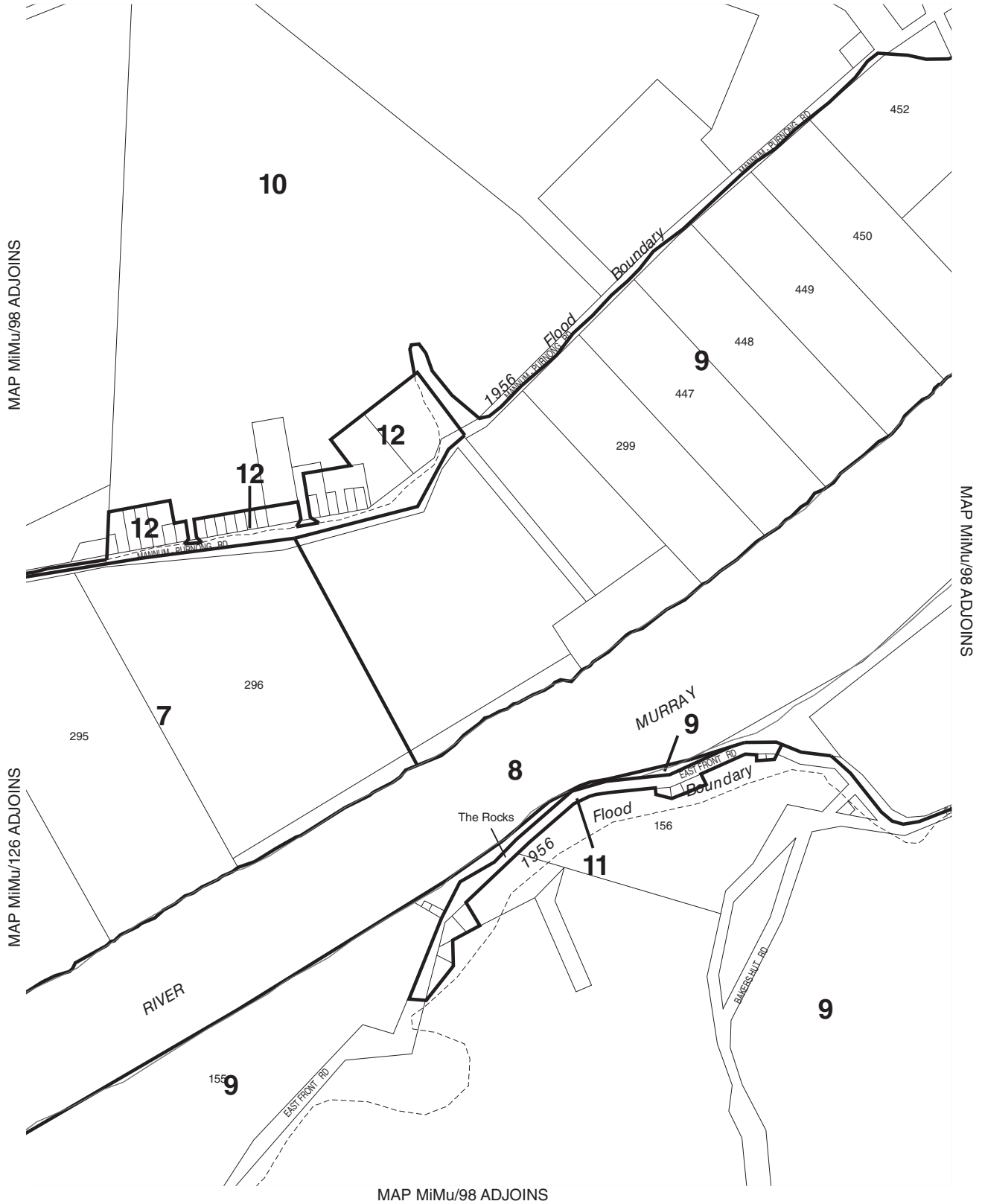


Scale 1:10000



# THE MID MURRAY COUNCIL POLICY AREAS MAP MiMu/126

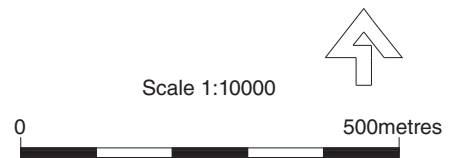
———— Policy Area Boundary



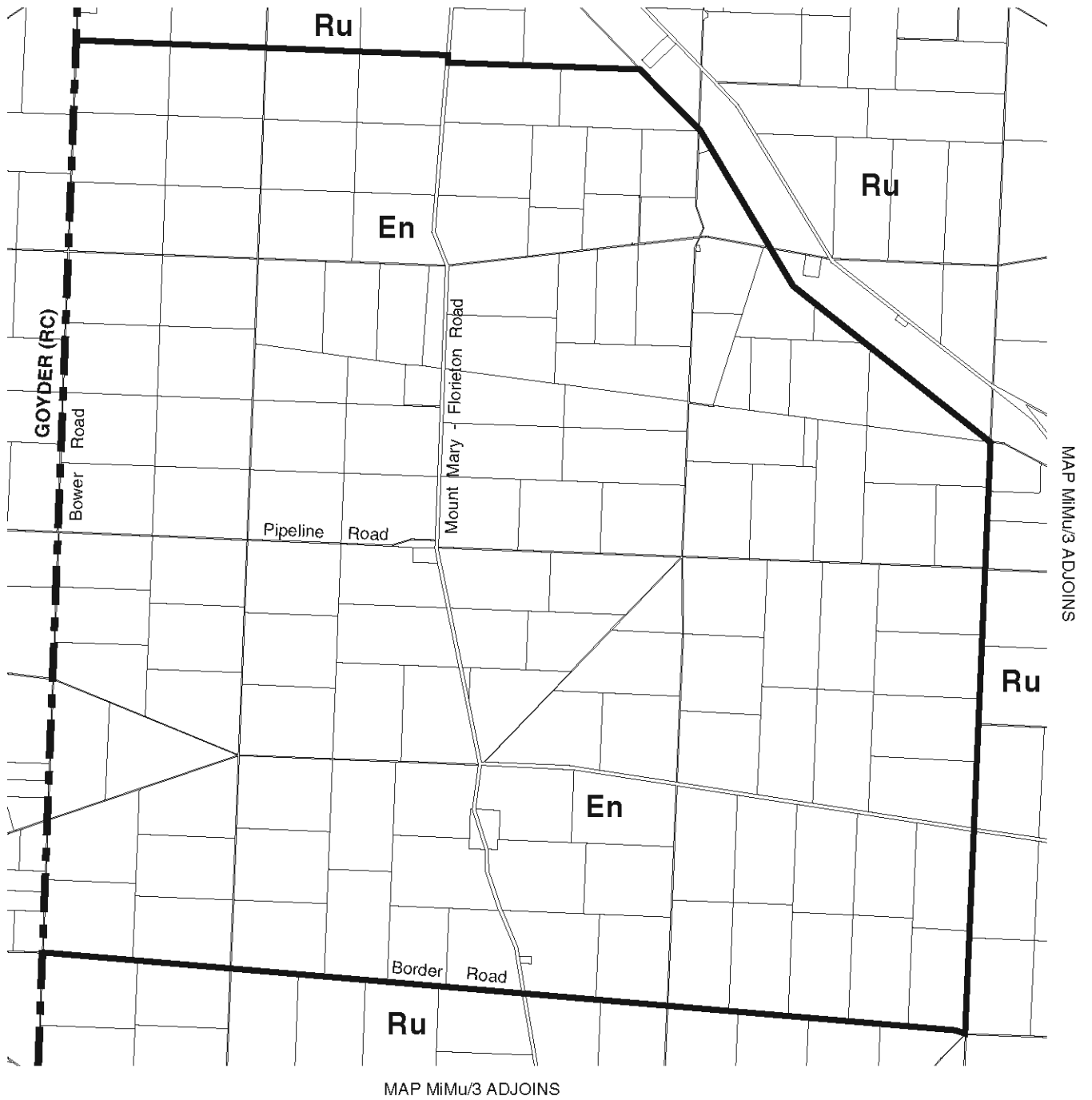
**NOTE: For Zones See MAP MiMu/37**

- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 9 Recreation and Tourism Policy Area
- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 12 River Settlement Policy Area

-  Policy Area Boundary
-  Development Plan Boundary







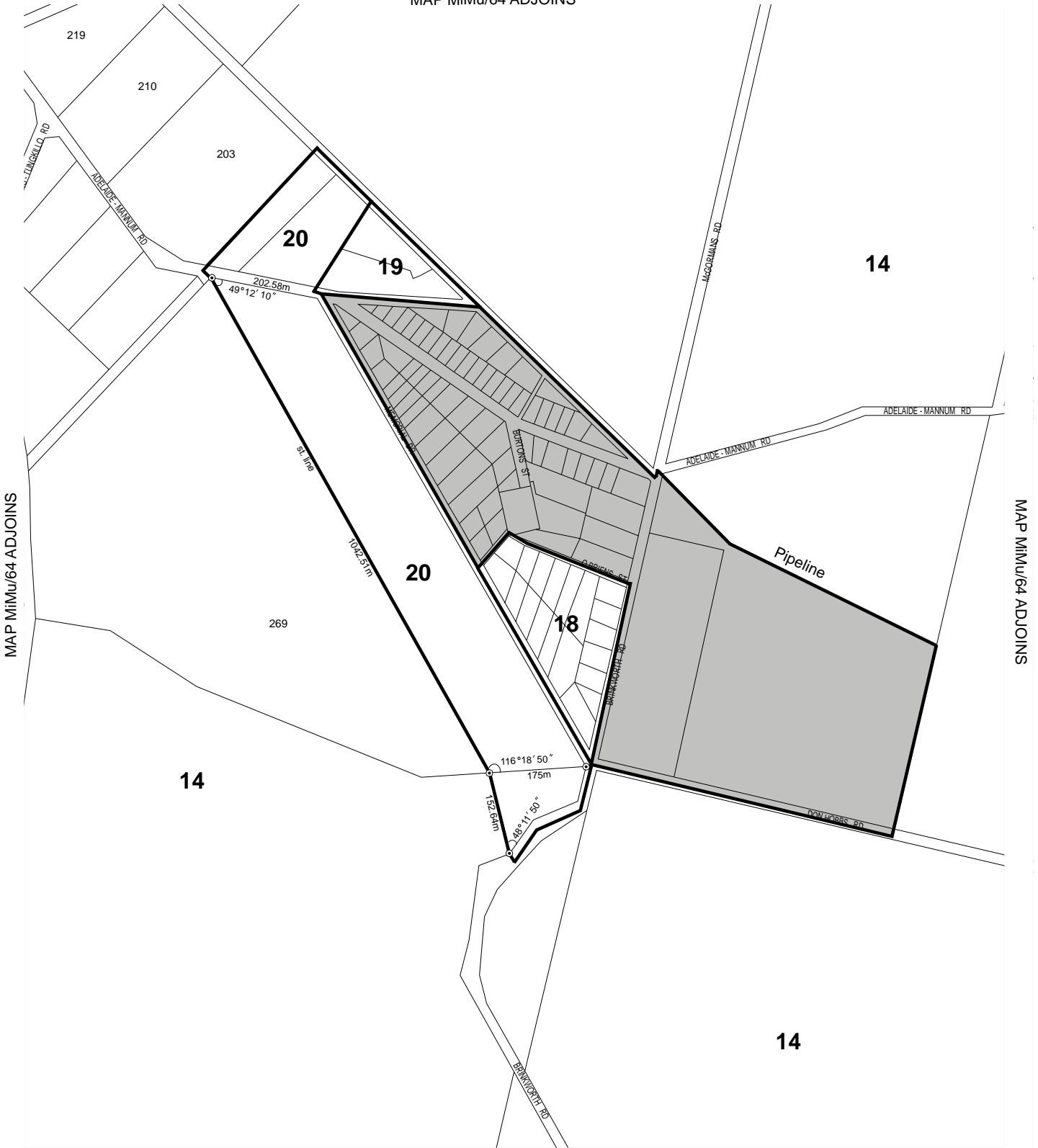
En Enterprise  
 Ru Rural



— Zone Boundary  
 - - - Development Plan Boundary

**THE MID MURRAY COUNCIL  
 ZONES  
 MAP MiMu/128**




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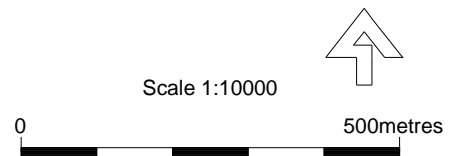


**TUNGKILLO**

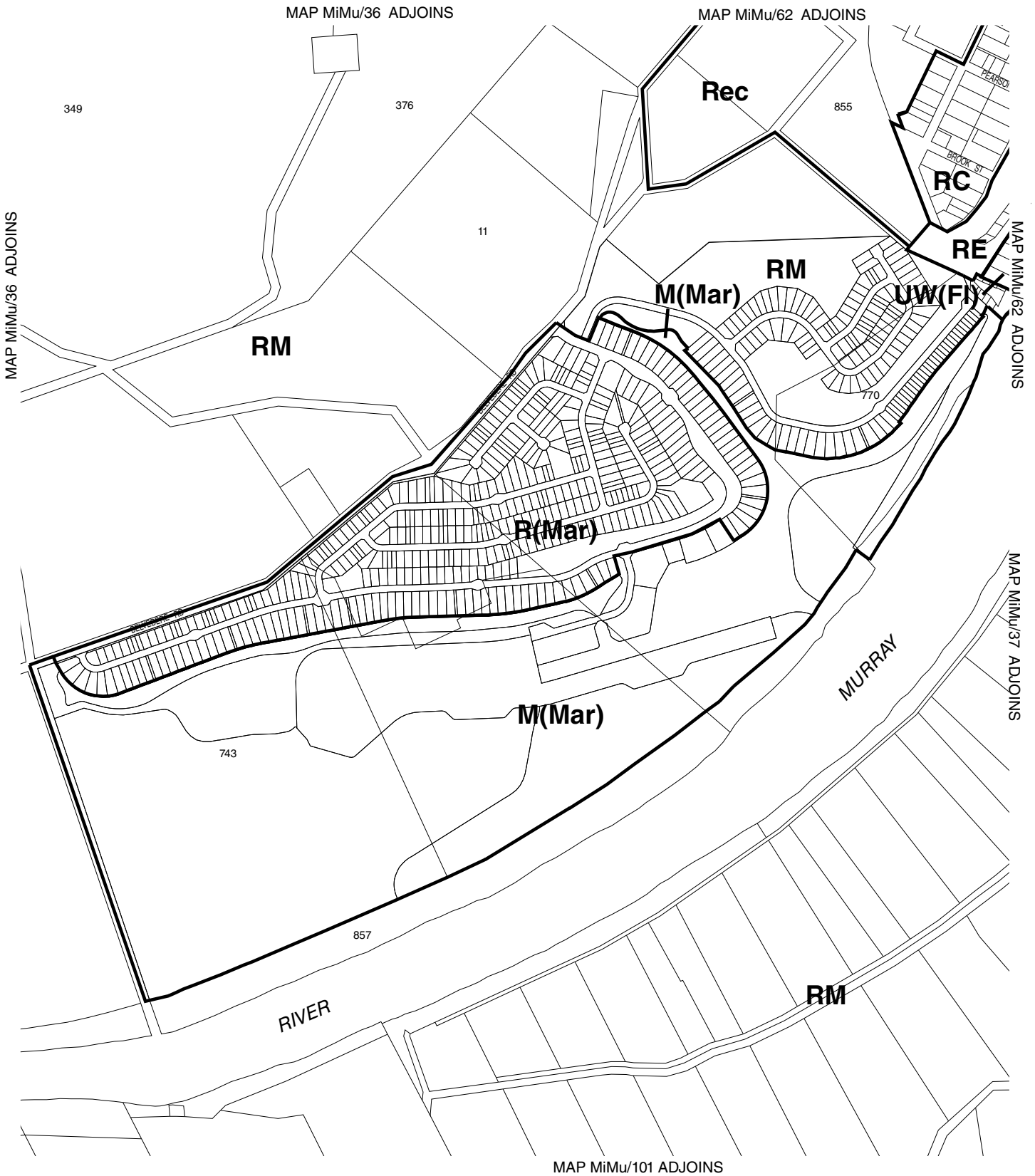
**NOTE: For Zones See MAP MiMu/47**

- 14** Hills Policy Area
- 18** Policy Area 18 - Rural Living (Tungkillo)
- 19** Policy Area 19 - Rural Living (Tungkillo)
- 20** Policy Area 20 - Rural Living (Tungkillo)

-  Policy Area Boundary
-  Development Plan Boundary
-  Area not covered by Policy Area





**THE MID MURRAY COUNCIL  
POLICY AREAS  
MAP MiMu/129**



**NOTE: For Policy Areas See MAP MiMu/131**

- RM** River Murray
- RC** Residential Character
- RE** Residential Escarpment
- M(Mar)** Mannum Marina
- Rec** Recreation
- R(Mar)** Residential Marina
- UW(FI)** Urban Waterfront (Flood Plain)

-  Zone Boundary
-  Development Plan Boundary

Scale 1:12000



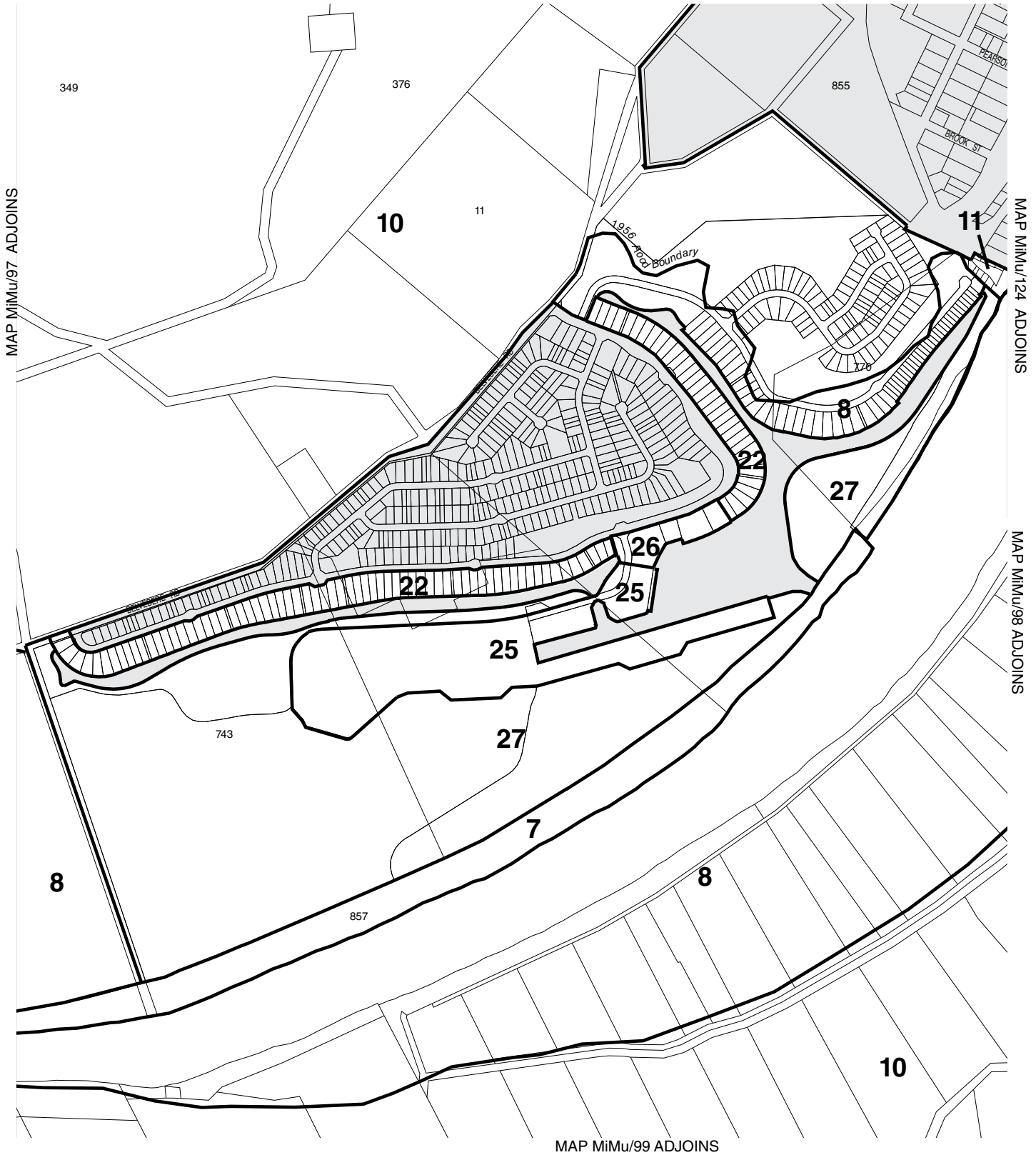
# MID MURRAY COUNCIL ZONES

## MAP MiMu/130

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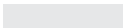


MAP MiMu/97 ADJOINS

MAP MiMu/124 ADJOINS



**NOTE: For Zones See MAP MiMu/130**

- 7 Conservation Policy Area
- 8 Floodplain Policy Area
- 10 Primary Production Policy Area
- 11 Shack Settlement Policy Area
- 22 Waterfront Policy Area
- 25 Marina Policy Area
- 26 Centre Policy Area
- 27 Conservation Policy Area

-  Area not covered by Policy Area
-  Policy Area Boundary
-  Development Plan Boundary

Scale 1:12000



**MID MURRAY COUNCIL**  
**POLICY AREAS**  
**MAP MiMu/131**

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**NOTE: For Zones See MAP MiMu/6  
For Policy Areas See MAP MiMu/67**

- 1** Cadell Basin Area (Horticulture) Precinct
- 2** Rim Area (Rural Living) Precinct
- 3** Settlement Precinct

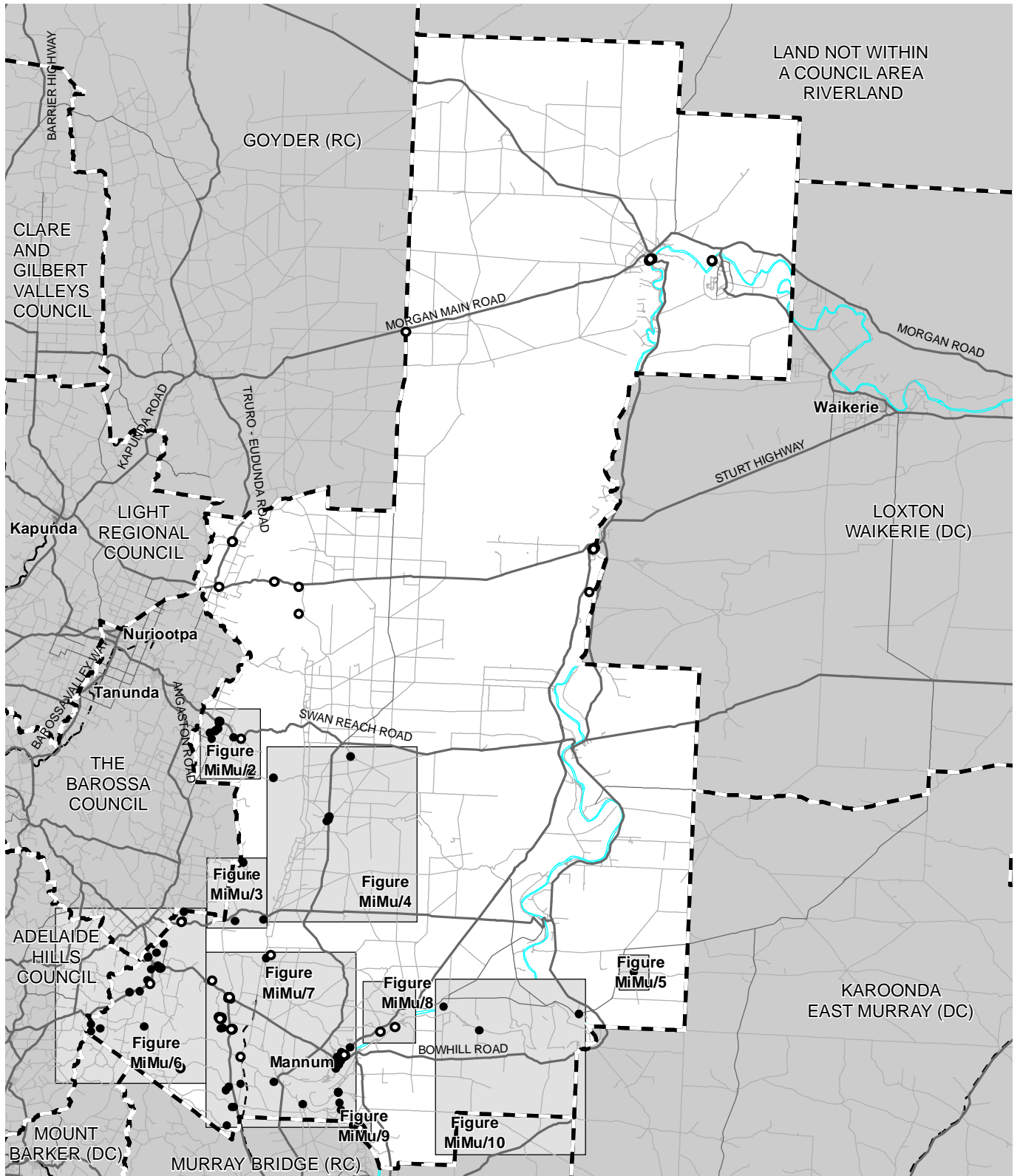


Scale 1:40000



# THE MID MURRAY COUNCIL PRECINCTS MAP MiMu/132

— Precinct Boundary



NOTE - Identified Local Heritage Places for the Southern Half of the Council Area Only

- State Heritage Places
- Local Heritage Places
- Development Plan Boundary

# MID MURRAY COUNCIL INDEX TO STATE AND LOCAL HERITAGE PLACES FIG MiMu/1 (HER)

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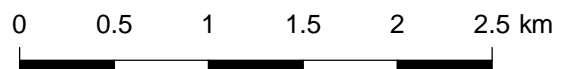
FIG MiMu/1(HER) ADJOINS



FIG MiMu/1(HER) ADJOINS



1:40,000



**MID MURRAY COUNCIL**  
**STATE AND LOCAL HERITAGE PLACES**  
**FIG MiMu/2 (HER)**  
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- State Heritage Places
- Local Heritage Places
- - - Development Plan Boundary



FIG MiMu/1(HER) ADJOINS

FIG MiMu/6(HER) ADJOINS

FIG MiMu/1(HER) ADJOINS

FIG MiMu/4(HER) ADJOINS

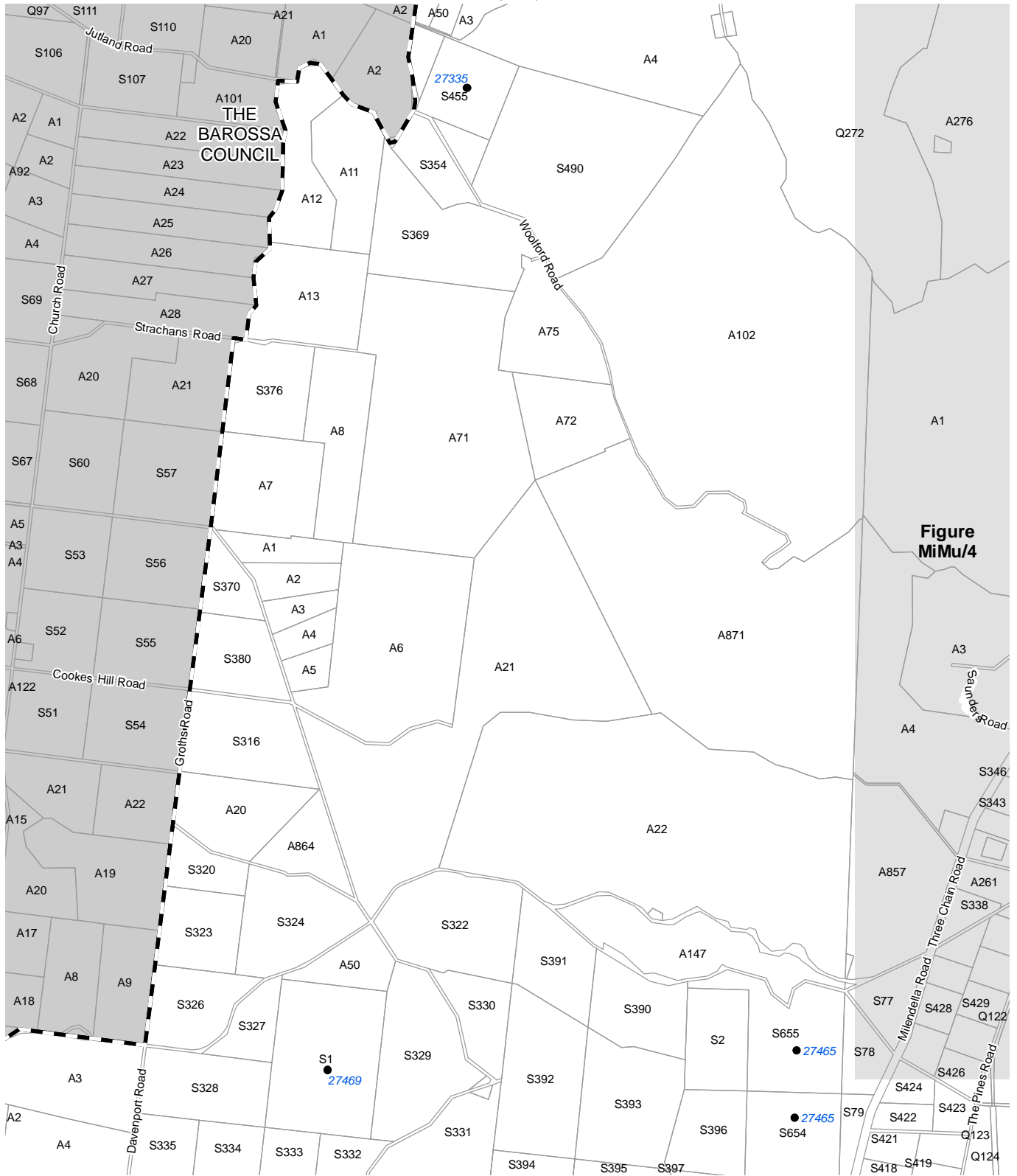
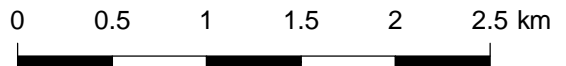


FIG MiMu/1(HER) ADJOINS



1:40,000



# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/3 (HER)

- Local Heritage Places
- - - Development Plan Boundary

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FIG MiMu/1(HER) ADJOINS

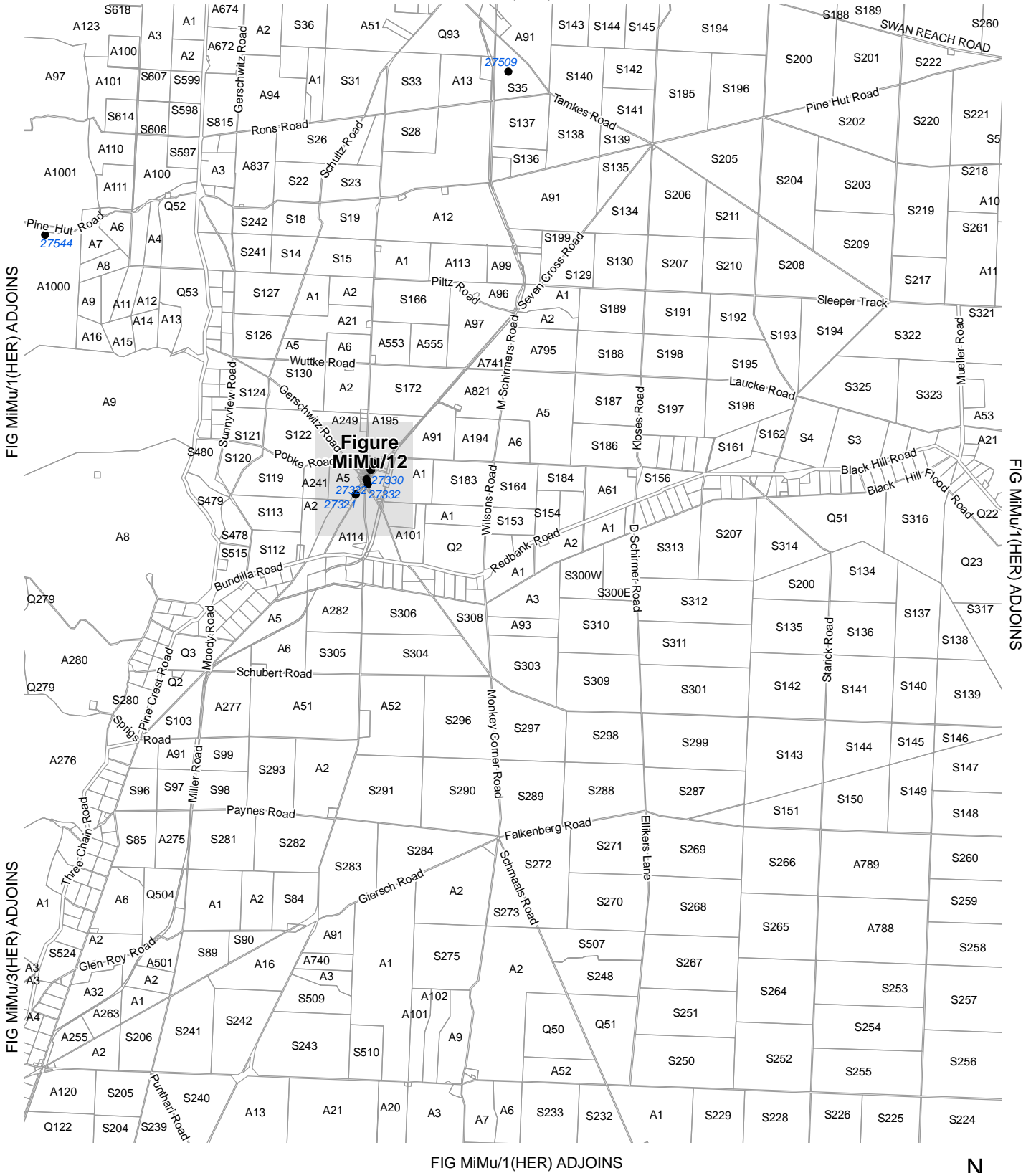
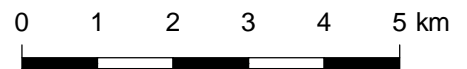


FIG MiMu/1(HER) ADJOINS



1:100,000



# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/4 (HER)

- Local Heritage Places
- Development Plan Boundary

FIG MiMu/1(HER) ADJOINS



FIG MiMu/1(HER) ADJOINS



1:20,000

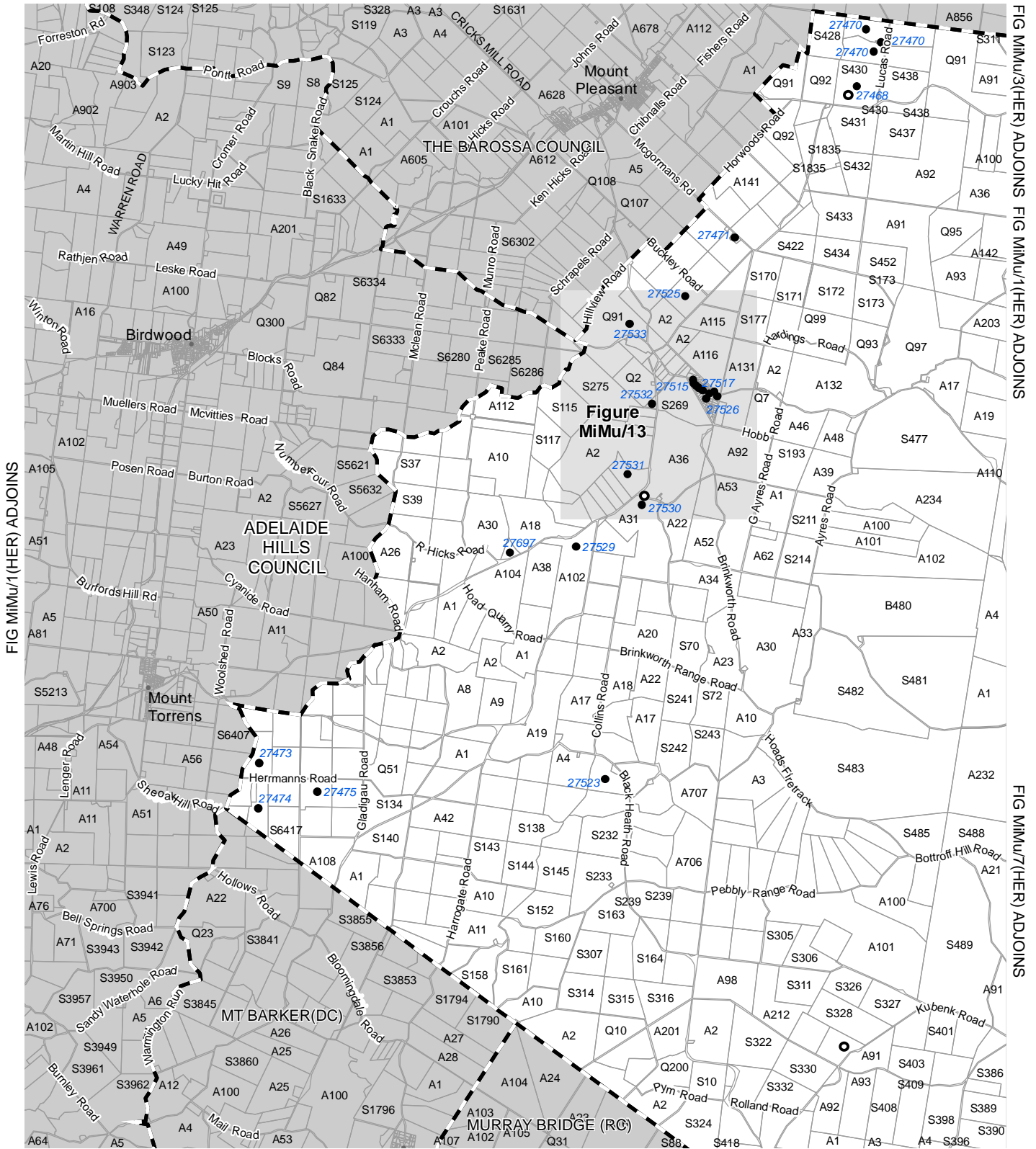
0 0.2 0.4 0.6 0.8 1 km



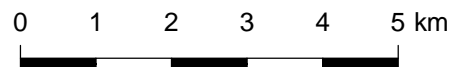
# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/5 (HER)

- Local Heritage Places
- Development Plan Boundary

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1:100,000



- State Heritage Places
- Local Heritage Places
- Development Plan Boundary

# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/6 (HER)

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FIG MiMu/1(HER) ADJOINS

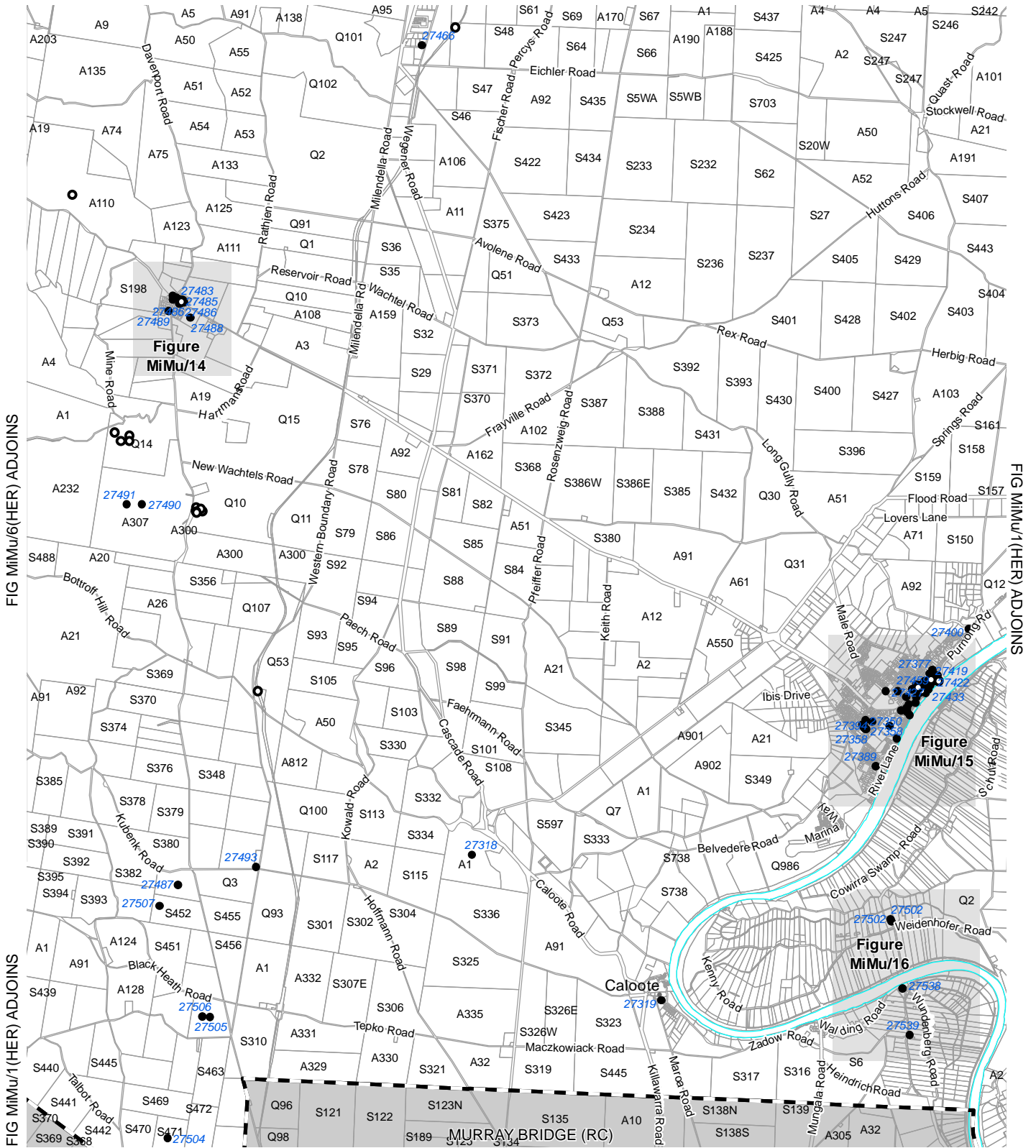
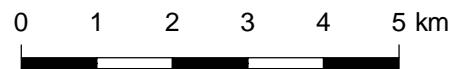


FIG MiMu/1(HER) ADJOINS



1:100,000



**MID MURRAY COUNCIL**  
**STATE AND LOCAL HERITAGE PLACES**  
**FIG MiMu/7 (HER)**

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- State Heritage Places
- Local Heritage Places
- - - Development Plan Boundary



FIG MiMu/1(HER) ADJOINS

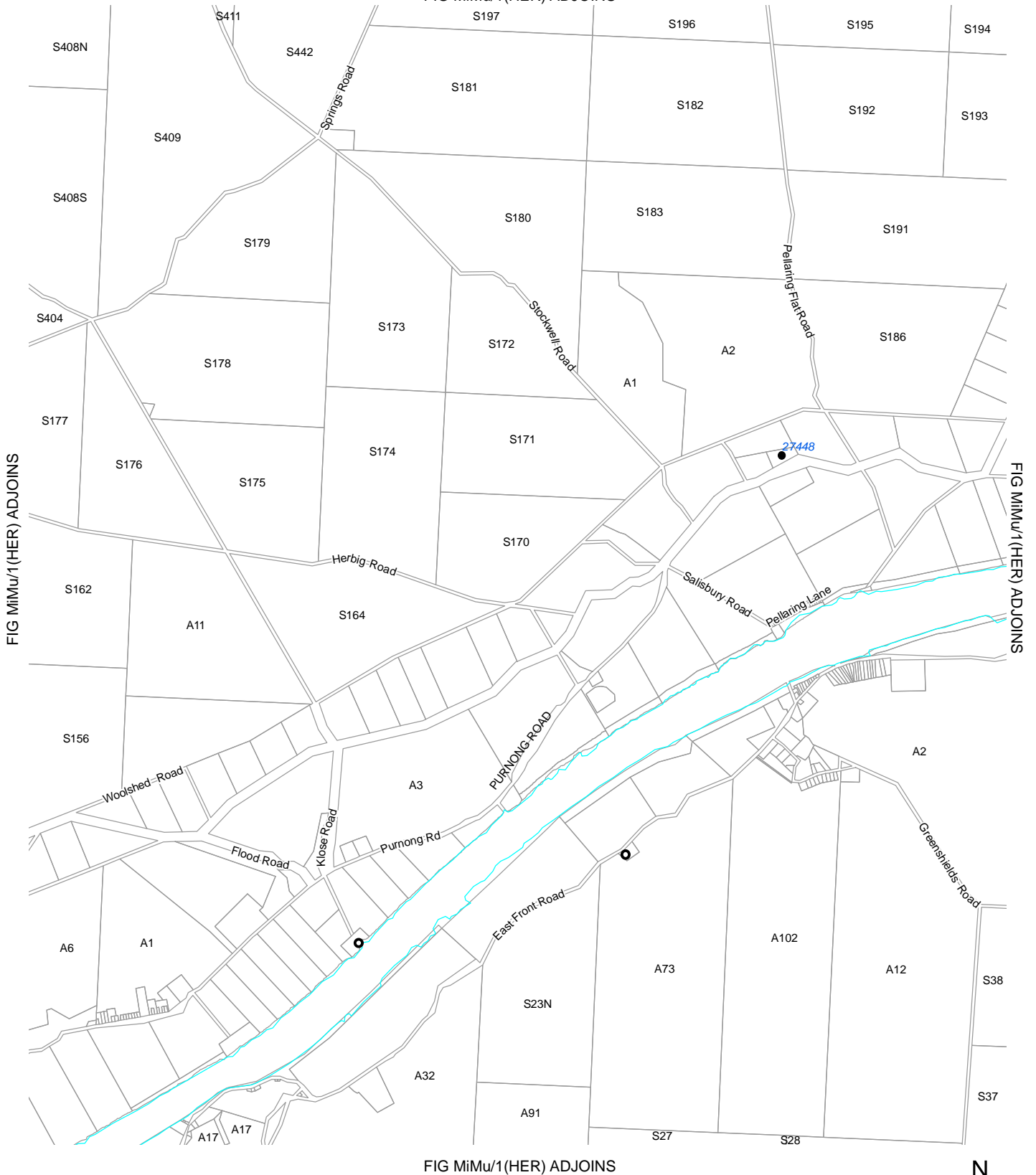
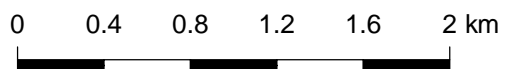


FIG MiMu/1(HER) ADJOINS



1:35,000



- State Heritage Places
- Local Heritage Places
- Development Plan Boundary

**MID MURRAY COUNCIL**  
**STATE AND LOCAL HERITAGE PLACES**  
**FIG MiMu/8 (HER)**

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FIG MiMu/1 (HER) ADJOINS

FIG MiMu/7 (HER) ADJOINS

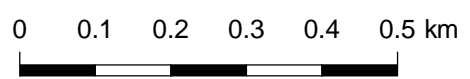
FIG MiMu/1 (HER) ADJOINS

FIG MiMu/1 (HER) ADJOINS

FIG MiMu/1 (HER) ADJOINS



1:10,000



- State Heritage Places
- Local Heritage Places
- - - Development Plan Boundary

# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/9 (HER)

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FIG MiMu/1(HER) ADJOINS

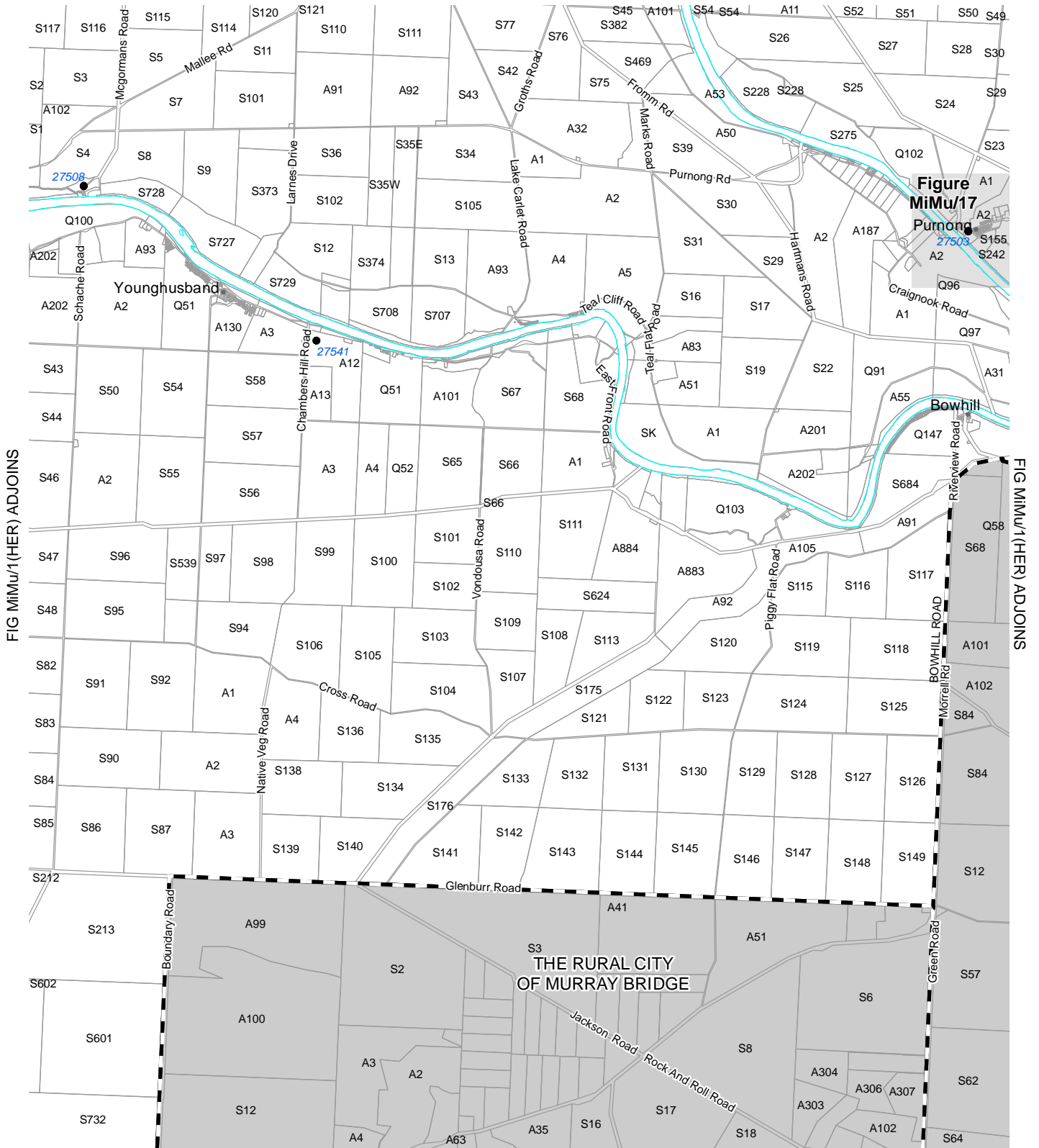
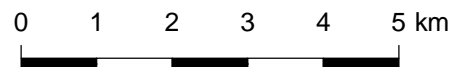


FIG MiMu/1(HER) ADJOINS



1:100,000



**MID MURRAY COUNCIL  
STATE AND LOCAL HERITAGE PLACES  
FIG MiMu/10 (HER)**

- Local Heritage Places
- - - Development Plan Boundary

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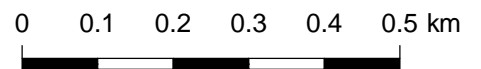
FIG MiMu/2(HER) ADJOINS



FIG MiMu/(HER)2 ADJOINS



1:10,000



# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/11 (HER)

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- Local Heritage Places
- Development Plan Boundary



FIG MiMu/4(HER) ADJOINS

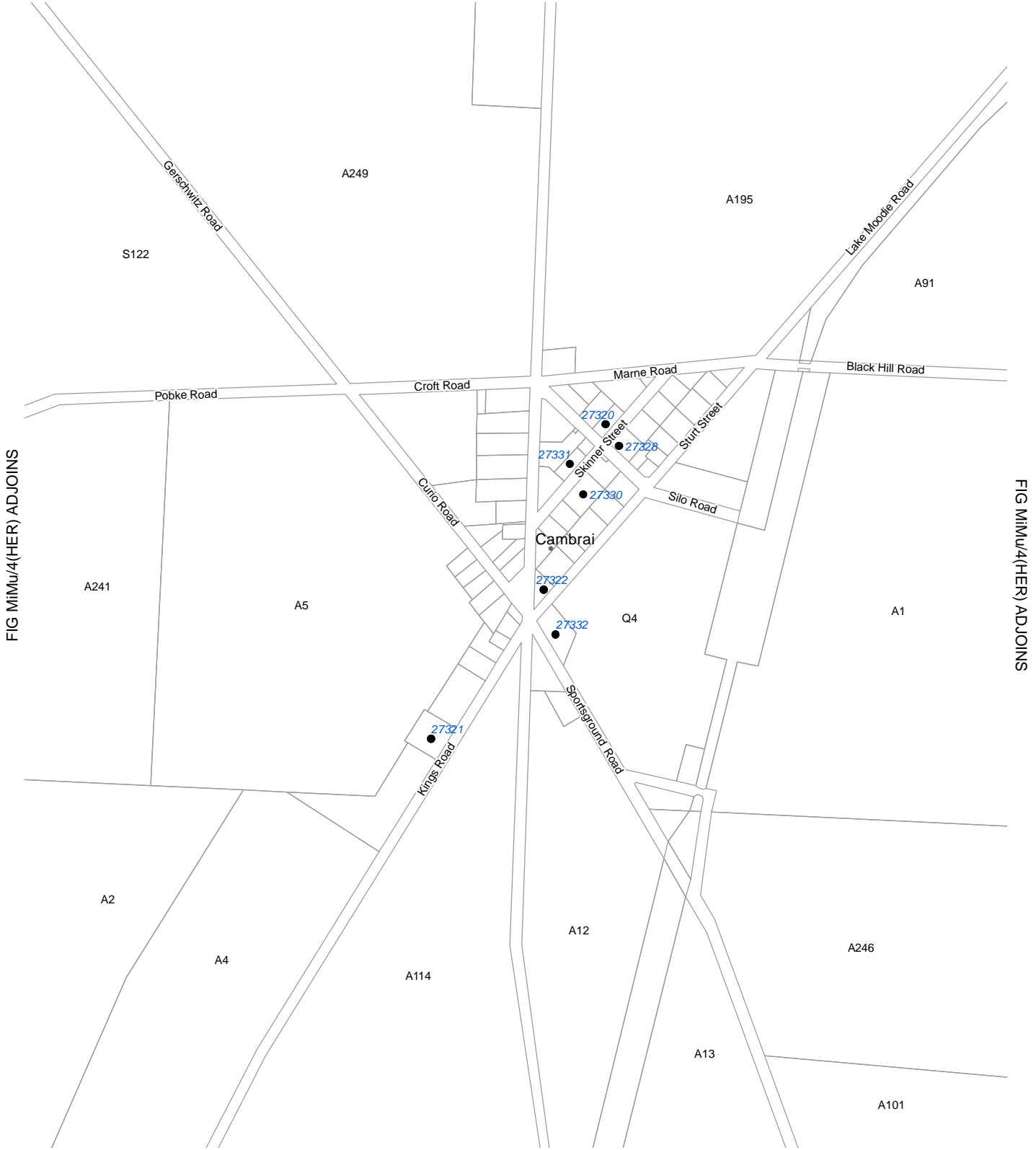


FIG MiMu/4(HER) ADJOINS



1:10,000

0 0.1 0.2 0.3 0.4 0.5 km



# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/12 (HER)

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- Local Heritage Places
- Development Plan Boundary

FIG MiMu/6(HER) ADJOINS

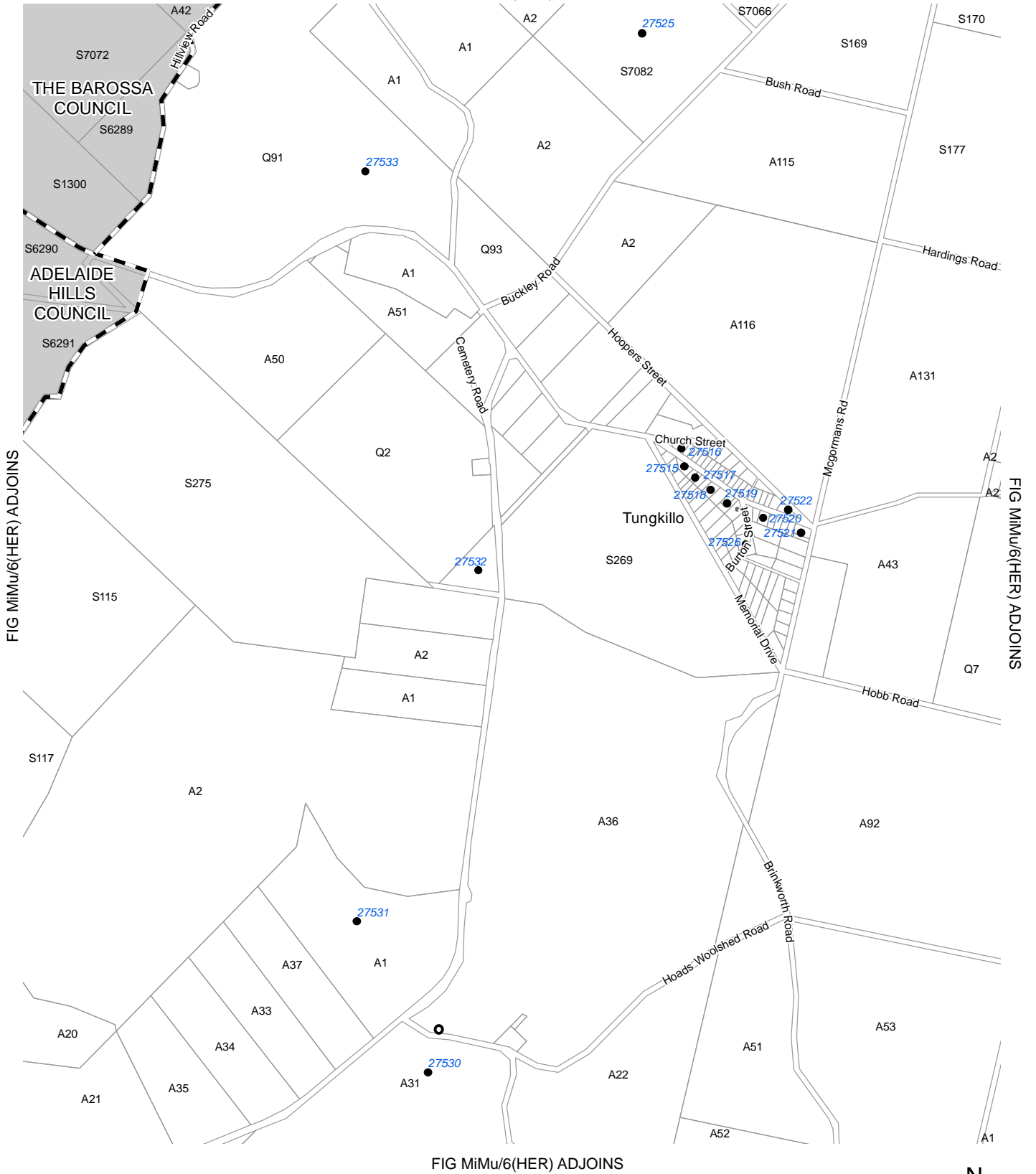
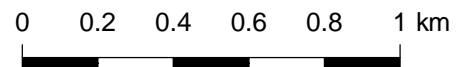


FIG MiMu/6(HER) ADJOINS



1:20,000



- State Heritage Places
- Local Heritage Places
- - - Development Plan Boundary

# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/13 (HER)

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FIG MiMu/7(HER) ADJOINS



FIG MiMu/7(HER) ADJOINS

A111

A109

A40

A41

A112

S198

A105

27478

27480

27481

27482

27483

27484

27485

27486

27479

27489

A32

27488

A104

FIG MiMu/7(HER) ADJOINS

FIG MiMu/7(HER) ADJOINS

A101

A102

A103

A104

A46

A77

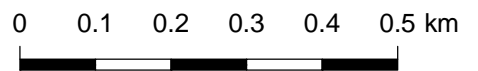
A91

A233

A19



1:10,000



- State Heritage Places
- Local Heritage Places
- Development Plan Boundary

# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/14 (HER)

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FIG MiMu/7(HER) ADJOINS

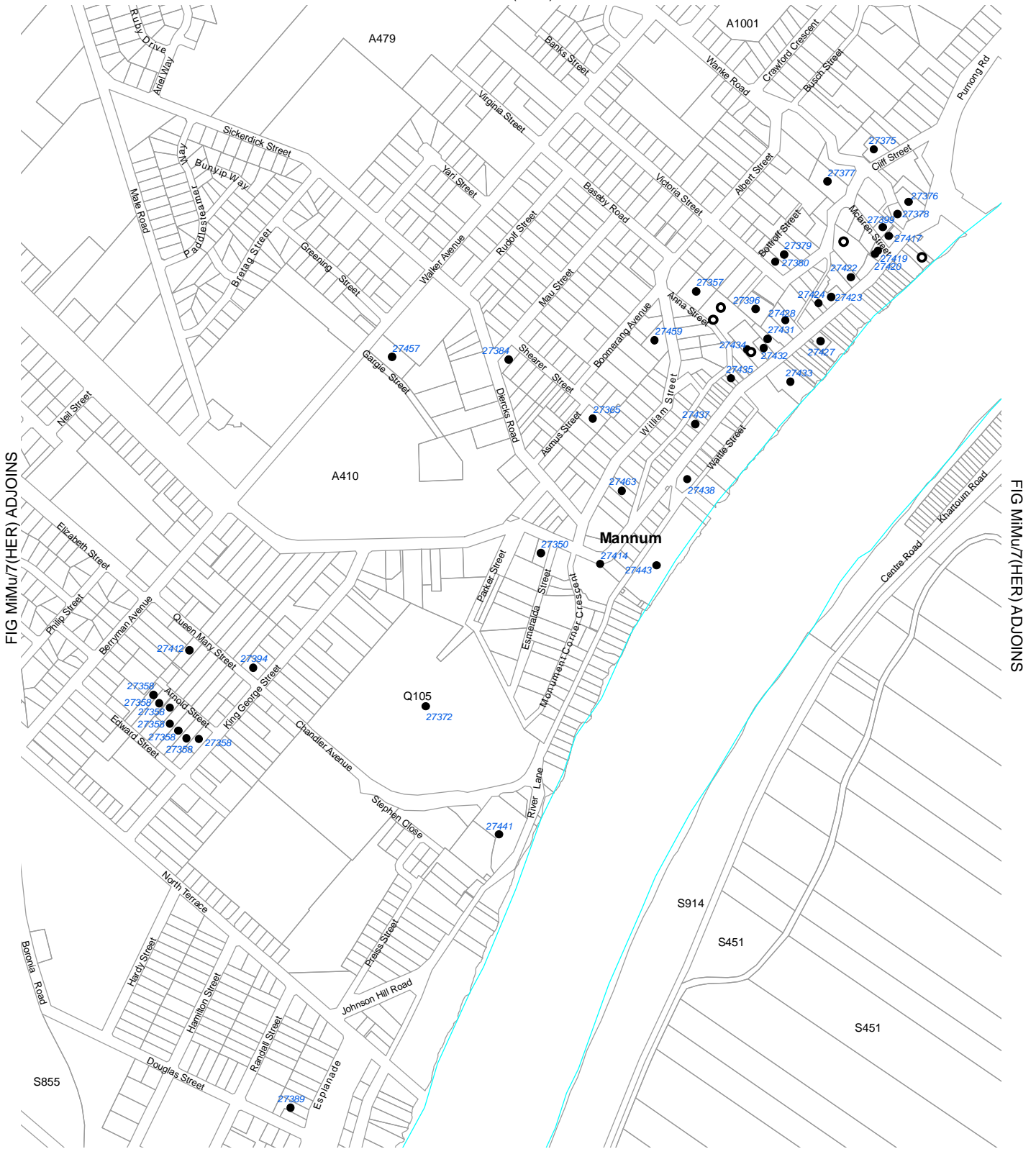


FIG MiMu/7(HER) ADJOINS



1:10,000

0 0.1 0.2 0.3 0.4 0.5 km



# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/15 (HER)

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- State Heritage Places
- Local Heritage Places
- Development Plan Boundary

FIG MiMu/7(HER) ADJOINS

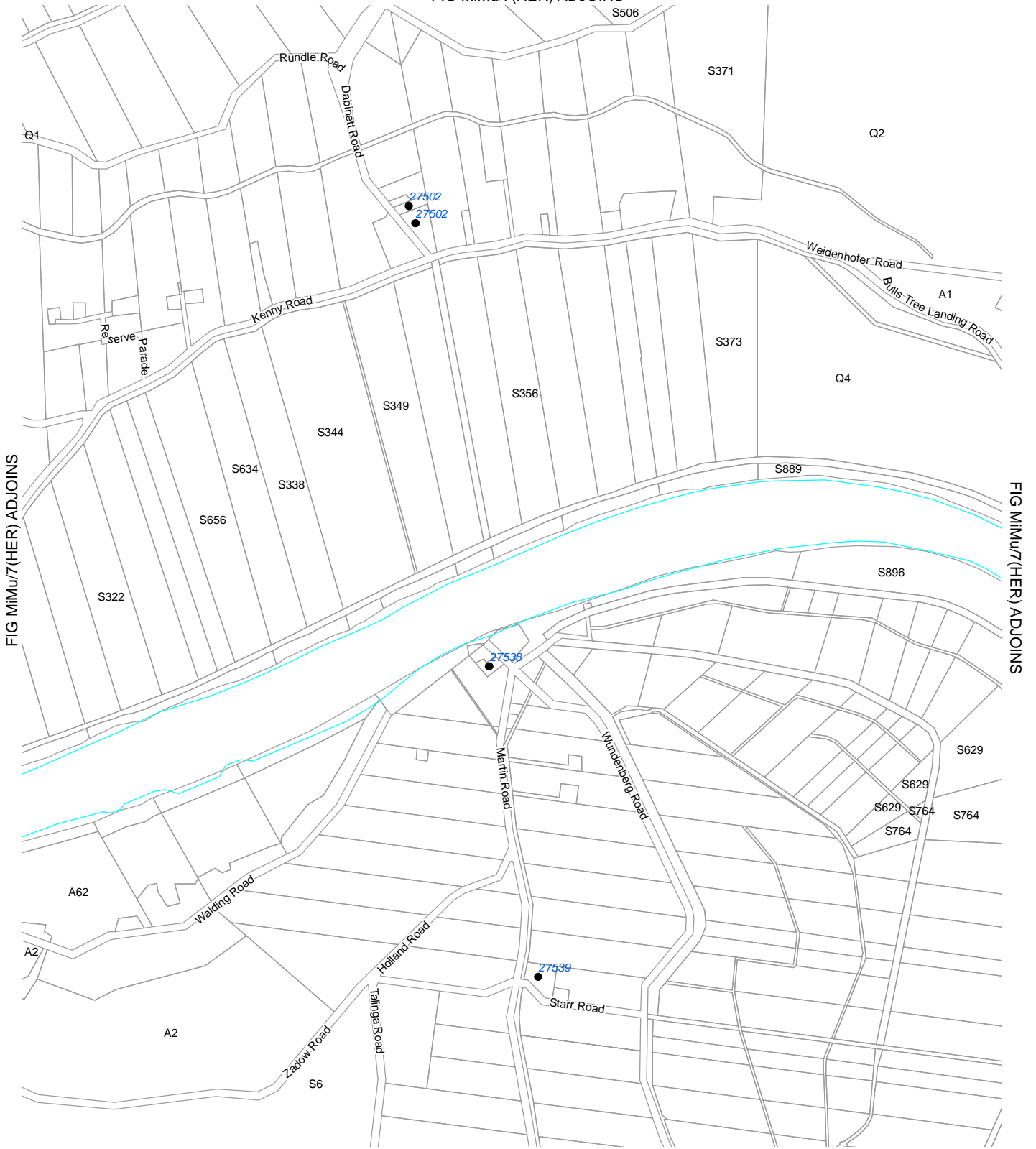
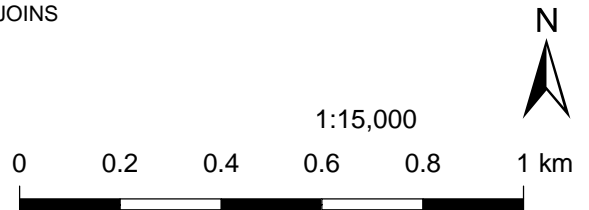


FIG MiMu/7(HER) ADJOINS



**MID MURRAY COUNCIL  
STATE AND LOCAL HERITAGE PLACES  
FIG MiMu/16 (HER)**

- Local Heritage Places
- Development Plan Boundary

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FIG MiMu/10(HER) ADJOINS

FIG MiMu/10(HER) ADJOINS

FIG MiMu/10(HER) ADJOINS

FIG MiMu/10(HER) ADJOINS



1:10,000

0 0.1 0.2 0.3 0.4 0.5 km



# MID MURRAY COUNCIL STATE AND LOCAL HERITAGE PLACES FIG MiMu/17 (HER)

- Local Heritage Places
- - - Development Plan Boundary

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