

# Development Plan

## Burnside (City)

Consolidated - 19 December 2017

Please refer to the Burnside (City) page at [www.sa.gov.au/developmentplans](http://www.sa.gov.au/developmentplans) to see any amendments not consolidated.



**Government of South Australia**

Department of Planning,  
Transport and Infrastructure

The following table is a record of authorised amendments and their consolidation dates for the Burnside (City) Development Plan since the inception of the electronic Development Plan on 12 December 1996 for Metropolitan Adelaide Development Plans. Further information on authorised amendments prior to this date may be researched through the relevant Council, Department of Planning, Transport and Infrastructure or by viewing Gazette records.

CONSOLIDATED	AMENDMENT – [Gazetted date]
12 December 1996	Miscellaneous Amendments - Metropolitan Adelaide Development Plans PAR (Interim) ( <i>Ministerial</i> ) – [12 December 1996]
26 June 1997	Miscellaneous Amendments - Metropolitan Adelaide Development Plans PAR ( <i>Ministerial</i> ) – [26 June 1997]
13 August 1998	Local Heritage Places PAR – [13 August 1998]
23 September 1999	Waste Disposal (Landfill) PAR ( <i>Ministerial</i> ) – [19 August 1999]
13 January 2000	Metropolitan Adelaide - Industrial Land and Development PAR ( <i>Ministerial</i> ) – [25 November 1999]
30 March 2000	Section 27(5) Amendment - Waste Disposal (Landfill) PAR ( <i>Ministerial</i> ) – [9 March 2000]
29 June 2000	Horticulture in the Hills Face Zone PAR (Interim) ( <i>Ministerial</i> ) – [22 June 2000]
24 August 2000	Section 28(4)(a) - Termination of the Interim Operation of the Horticulture in the 'Hills Face Zone PAR' ( <i>Ministerial</i> ) and its removal from the Development Plan Hills Face Zone Amendment PAR (Interim) ( <i>Ministerial</i> ) – [17 August 2000]
Not Consolidated	Telecommunications Facilities State-wide Policy Framework PAR Interim ( <i>Ministerial</i> ) – [31 August 2000]
1 February 2001	Metropolitan Adelaide Significant Tree Control PAR ( <i>Ministerial</i> ) – [21 December 2000]
20 September 2001	Hills Face Zone Amendment PAR ( <i>Ministerial</i> ) – [16 August 2001] Telecommunications Facilities State-wide Policy Framework PAR ( <i>Ministerial</i> ) – [30 August 2001] Bushfire Management PAR ( <i>Ministerial</i> ) – [6 September 2001]
20 June 2002	Significant Tree Management PAR (Interim) – [20 June 2002]
12 December 2002	Stormwater In Urban Areas PAR ( <i>Ministerial</i> ) – [12 November 2002] Section 29(2)(a) Amendment - Bushfire Prone Area Mapping – [12 December 2002]
23 January 2003	General PAR – [23 January 2003]
20 February 2003	Section 29(2)(b) Amendment – [20 February 2003] Editorial correction to Map Bur/6
26 June 2003	Significant Tree Management PAR – [26 June 2003]
11 March 2004	Wind Farms PAR ( <i>Ministerial</i> ) – [24 July 2003] Hills Face Zone (Interim) ( <i>Ministerial</i> ) – [27 February 2004] Local Heritage Places Number 2 PAR (Interim) – [11 March 2004] Section 29(2)(b)(ii) Amendment – [11 March 2004]
17 March 2005	Hills Face Zone (Interim Policy) PAR ( <i>Ministerial</i> ) – [24 February 2005] Local Heritage Places No. 2 PAR – [11 March 2005]
25 January 2006	Historic (Conservation) Zone No. 2 PAR (Interim) – [25 January 2006]
25 January 2007	Historic (Conservation) Zone No. 2 PAR – [25 January 2007]
28 June 2007	Skye and Auldana Incorporation PAR – [28 June 2007]
19 July 2007	Editorial correction to Figures Bur HCPA/1, 2, 6 and 7 – [-]
13 December 2007	Bushfire Management (Part 3) PAR ( <i>Ministerial</i> ) – [29 November 2007] Section 29(2)(b)(ii) Amendment – [6 December 2007]
13 August 2009	Glenside Campus DPA ( <i>Ministerial</i> ) – [6 August 2009]
29 April 2010	Bushfires (Miscellaneous Amendments) DPA (Interim) ( <i>Ministerial</i> ) – [10 December 2009]
8 July 2010	Statewide Bulky Goods DPA (Ministerial) (Interim) – [1 June 2010]

## Burnside (City)

CONSOLIDATED	AMENDMENT – [Gazetted date]
3 February 2011	Bushfires (Miscellaneous Amendments) DPA ( <i>Ministerial</i> ) – [9 December 2010] Statewide Bulky Goods DPA ( <i>Ministerial</i> ) – [13 January 2011]
17 November 2011	Barossa Valley and McLaren Vale Protection Districts DPA (Interim) ( <i>Ministerial</i> ) – [28 September 2011] Regulated Trees DPA (Interim) ( <i>Ministerial</i> ) – [17 November 2011]
19 April 2012	Termination of the Barossa Valley and McLaren Vale Protection Districts DPA ( <i>Ministerial</i> ) and its removal from the Burnside (City) Development Plan – [5 April 2012]
28 February 2013	Regulated Trees DPA ( <i>Interim</i> ) – [15 November 2012] Section 29(2)(c) Amendment – [29 November 2012]
31 October 2013	Inner Metropolitan Growth DPA ( <i>Ministerial</i> ) – [29 October 2013]
28 November 2013	Editorial correction – Boulevard Policy Area inserted, as per Inner Metropolitan Growth DPA
30 January 2014	Editorial correction to cross-references
28 April 2016	Existing Activity Centres Policy Review DPA ( <i>Ministerial</i> ) – [21 April 2016]
8 December 2016	Mixed Use (Glenside) Zone Policy Review DPA ( <i>Ministerial</i> ) – [8 December 2016]
30 May 2017	Inner and Middle Metropolitan Corridor (Design) DPA (Interim) ( <i>Ministerial</i> ) – [30 May 2017]
19 December 2017	Inner and Middle Metropolitan Corridor (Design) DPA ( <i>Ministerial</i> ) – [19 December 2017]

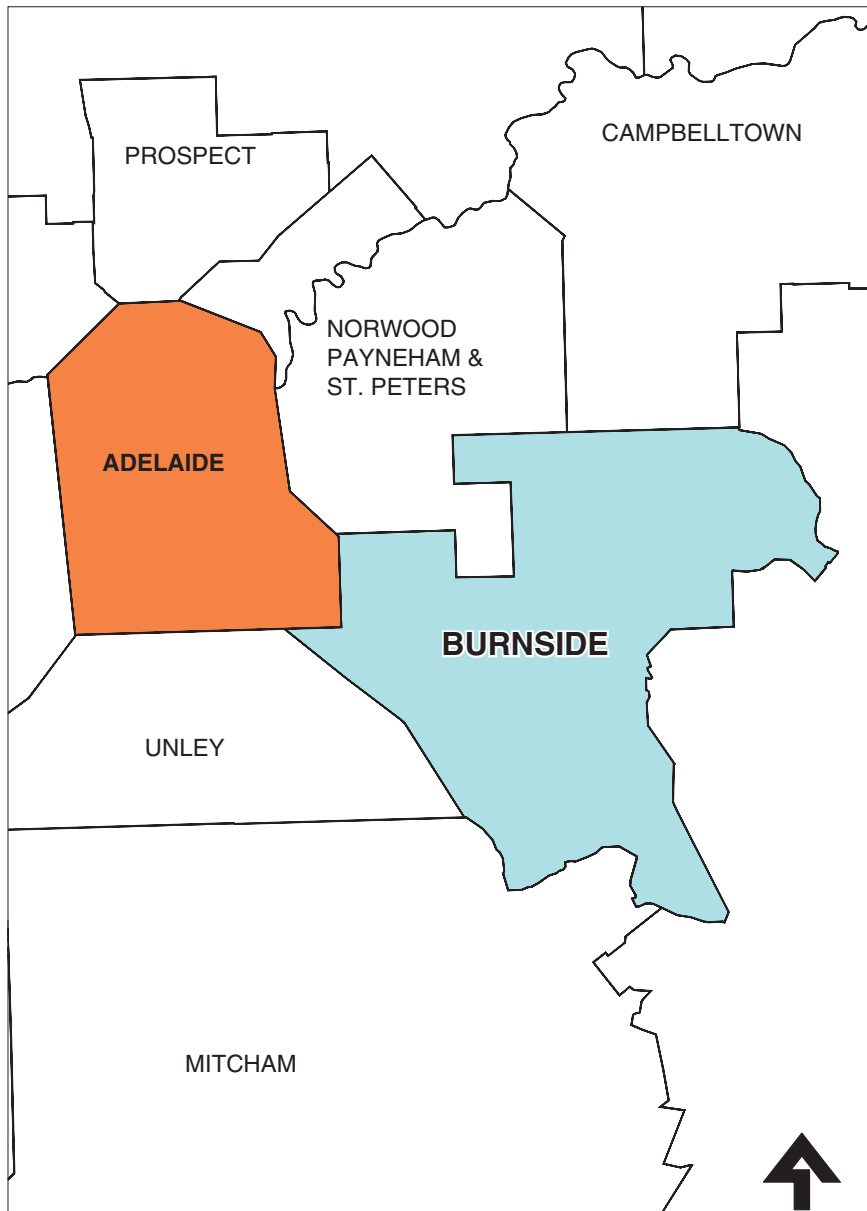
**Consolidated:** The date of which an authorised amendment to a Development Plan was consolidated (incorporated into the published Development Plan) pursuant to section 31 of the *Development Act 1993*.

**Gazetted:** The date of which an authorised amendment was authorised through the publication of a notice in the Government Gazette pursuant to Part 3 of the *Development Act 1993*.

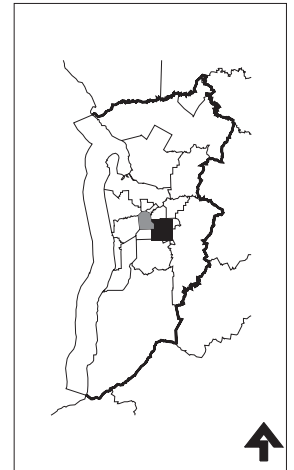
## Preface

The objectives and principles of development control that follow apply within the area of the Burnside Council Development Plan as shown on Map Bur/1

The Development Plan is arranged with the objectives and principles of development control for Metropolitan Adelaide, appearing first, followed by the Council Wide policies and in turn more detailed policies relating to particular zones, and areas



**Enlargement Map**



**Location Map**

## TABLE OF CONTENTS

<b>COUNCIL WIDE</b> .....	<b>9</b>
General .....	9
Design and Appearance .....	11
Environmental Protection.....	14
Amenity .....	18
Heritage Conservation .....	21
Trees and Other Vegetation .....	22
Movement and Parking of Vehicles .....	25
Utilities and Infrastructure .....	29
Hazards.....	31
Waste Disposal (Landfill).....	37
Open Space Network.....	39
Residential Development.....	40
Medium and High Rise Development (3 or More Storeys).....	51
Retailing and Centres .....	55
Community Facilities.....	60
Industrial and Commercial Development.....	61
Renewable Energy.....	66
<b>OVERLAYS</b> .....	<b>67</b>
Overlay 1 – Affordable Housing.....	67
Overlay 2 – Strategic Transport Routes .....	67
Overlay 3 – Noise and Air Emissions .....	68
<b>RESIDENTIAL ZONE</b> .....	<b>69</b>
Residential Policy Area 1 – Greater Beulah Park.....	71
Residential Policy Area 2 – Northern.....	77
Residential Policy Area 3 – Magill (Chapel) .....	80
Residential Policy Area 4 – Magill (Romalo) .....	83
Residential Policy Area 5 – Kensington Park (South-West).....	85
Residential Policy Area 6 – Greater Kensington Park.....	88
Residential Policy Area 7 – Greater Kensington Gardens .....	91
Residential Policy Area 8 – Rosslyn Park .....	94
Residential Policy Area 9 – Northern Foothills .....	96
Residential Policy Area 10 – Leabrook (North) .....	99
Residential Policy Area 11 – Leabrook (South).....	102
Residential Policy Area 12 – Erindale.....	105
Residential Policy Area 13 – Dulwich .....	108
Residential Policy Area 14 – Toorak Gardens (South East) .....	111
Residential Policy Area 15 – First Creek .....	113
Residential Policy Area 16 – Burnside (North) .....	116
Residential Policy Area 17 – Ferguson .....	119
Residential Policy Area 18 – Eastwood.....	122
Residential Policy Area 19 – Glenside (West).....	125
Residential Policy Area 20 – Glenside (Village) .....	128
Residential Policy Area 21 – Linden Park .....	131
Residential Policy Area 22 – Beaumont Common.....	134
Residential Policy Area 23 – Frewville.....	137

Residential Policy Area 24 – Glenunga (North).....	139
Residential Policy Area 25 – St Georges .....	142
Residential Policy Area 26 – Glenunga (South) .....	145
Residential Policy Area 27 – Southern Foothills.....	147
Residential Policy Area 28 – Glen Osmond .....	151
Residential Policy Area 29 – Skye and Auldana .....	154
<b>COMMUNITY ZONE .....</b>	<b>160</b>
Community Policy Area 1 – War Memorial Hospital.....	162
Community Policy Area 2 – Pembroke School.....	162
Community Policy Area 3 – Queen Victoria Hospital .....	163
<b>HISTORIC (CONSERVATION) ZONE.....</b>	<b>164</b>
Historic Conservation Policy Area 1 – Rose Park .....	169
Historic Conservation Policy Area 2 – Eastwood .....	171
Historic Conservation Policy Area 3 – St Georges (Wootona Terrace) .....	173
Historic Conservation Policy Area 4 – Beulah Park.....	174
Historic Conservation Policy Area 5 – Tusmore .....	176
Historic Conservation Policy Area 6 – Toorak Gardens (North).....	179
Historic Conservation Policy Area 7 – Toorak Gardens (Fergusson Square).....	181
Historic Conservation Policy Area 8 – Glenunga Park .....	185
Historic Conservation Policy Area 9 – Kensington Gardens (Reserve) .....	187
<b>DISTRICT CENTRE ZONE .....</b>	<b>191</b>
District Centre – Policy Area 1 .....	196
District Centre – Policy Area 2.....	198
District Centre – Policy Area 3.....	199
<b>NEIGHBOURHOOD CENTRE ZONE.....</b>	<b>200</b>
Neighbourhood Centre – Policy Area 1 .....	203
Neighbourhood Centre – Policy Area 2 .....	203
Neighbourhood Centre – Policy Area 3 .....	204
<b>LOCAL CENTRE ZONE .....</b>	<b>205</b>
<b>OFFICE ZONE .....</b>	<b>210</b>
<b>BUSINESS (GLEN OSMOND ROAD) ZONE.....</b>	<b>213</b>
<b>BUSINESS (FULLARTON ROAD) ZONE.....</b>	<b>218</b>
<b>LOCAL BUSINESS ZONE.....</b>	<b>220</b>
Local Business – Policy Area 1 .....	222
Local Business – Policy Area 2 .....	223
<b>LOCAL COMMERCIAL (AULDANA) ZONE.....</b>	<b>225</b>
<b>HILLS FACE ZONE .....</b>	<b>228</b>
<b>WINERY (MAGILL ESTATE) ZONE.....</b>	<b>236</b>
<b>WATERCOURSE ZONE.....</b>	<b>241</b>
Watercourse – Policy Area 1 (Glynburn Road) .....	244
Watercourse – Policy Area 2 (Coopers Brewery).....	244
<b>MIXED USE (GLENSIDE) ZONE.....</b>	<b>246</b>
Mixed Use (Glenside) – Policy Area 1 .....	250
Mixed Use (Glenside) – Policy Area 2 .....	261

Mixed Use (Glenside) – Policy Area 3 .....	261
Mixed Use (Glenside) – Policy Area 4 .....	262
<b>URBAN CORRIDOR ZONE.....</b>	<b>263</b>
Boulevard Policy Area.....	271
Transit Living (Glenside) Policy Area.....	272

**TABLES**

TABLE Bur/1 .....	277
TABLE Bur/2.....	287
TABLE Bur/3.....	312
TABLE Bur/4.....	316
TABLE Bur/5.....	341
TABLE Bur/6.....	343
TABLE Bur/7.....	345
TABLE Bur/8.....	346

**MAPS**

Map Bur/1 .....	347	Map Bur/8 .....	360
Map Bur/1 (Overlay 1) .....	348	Map Bur/9 .....	361
Map Bur/1 (Overlay 2) .....	349	Map Bur/10 .....	362
Map Bur/1 (Overlay 3) .....	350	Map Bur/11 .....	363
Map Bur/1 (Overlay 4) .....	351	Map Bur/12 .....	364
Map Bur/1 (Overlay 5) .....	352	Map Bur/13 .....	365
Map Bur/1 (Overlay 6) .....	353	Map Bur/14 .....	366
Map Bur/2 - Index .....	354	Map Bur/15 .....	367
Map Bur/3 .....	355	Map Bur/16 .....	368
Map Bur/4 .....	356	Map Bur/17 .....	369
Map Bur/5 .....	357	Map Bur/18 .....	370
Map Bur/6 .....	358	Map Bur/19 .....	371
Map Bur/7 .....	359	Map Bur/20 .....	372

**Copyright**

© Government of South Australia.

All rights reserved. The document may be reproduced free-of-charge in any format providing that it is reproduced accurately and not used in any misleading context. The material must be acknowledged as Government of South Australia copyright and the title of the document specified.

**Disclaimer**

Although every effort has been made to ensure the accuracy of the information contained in this document, the Government of South Australia, its agents, officers and employees make no representations, either express or implied, that the information contained is accurate or fit for any purpose and expressly disclaims all liability for loss or damage arising from reliance upon the information supplied. Persons using this information should consult the relevant Gazette Notices and/or view an authorised copy of the subject Development Plan Amendment when exacting legal clarification on any amendment is required.





## COUNCIL WIDE

### Introduction

The following objectives and principles of development control, in the Council Wide section, apply throughout the area within the boundary of the Burnside (City) Development Plan, as shown on [Map Bur/1](#). These are additional to those applicable to individual zones. Reference should also be made to the objectives and principles applying in the relevant zone and policy area, to determine all the policies relevant to any kind of development.

### General

#### OBJECTIVES

##### Development Generally

- Objective 1:** Satisfaction of the social, cultural, economic, environmental and health needs of the community.
- Objective 2:** Provision of facilities required for the accommodation, transport, recreation, health and welfare of the community, including the aged or disabled.
- Objective 3:** Effective, economic and timely provision of public services.
- Objective 4:** Provision and maintenance of employment opportunities.
- Objective 5:** Development which promotes community identity and exhibits a high quality of design.
- Objective 6:** Buildings and environs which are safe, secure and accessible for all users.
- Objective 7:** Coordination of development with that in surrounding Council areas.
- Objective 8:** A rational distribution and arrangement of land uses to avoid incompatibility between activities, and permit efficient use of land within the metropolitan area.
- Objective 9:** Development in accordance with the [Map Bur/1 \(Overlay 1\)](#).

##### Land Division

- Objective 10:** Land in appropriate locations divided into allotments in an orderly and economic manner.

#### PRINCIPLES OF DEVELOPMENT CONTROL

##### Development Generally

- 1 Development should be in accordance with the Burnside (City) Structure Plan, [Map Bur/1 \(Overlay 1\)](#).
- 2 Development should be consistent with the capability of the land to support development without causing, or contributing to, any environmental hazards or damage.
- 3 Development should be undertaken in a manner that is consistent with the intended use and character of the relevant zone and policy area, and that would not interfere with the use of any other land.
- 4 Development should seek to promote a sense of place or community identity by creating, protecting or enhancing distinctive landscape, streetscape, "gateway", entrance or related design features.

- 5** Development should:
- (a) facilitate shared use of facilities by adjoining communities;
  - (b) enhance personal safety; and
  - (c) minimise potential for crime.

### **Land Division**

- 6** The division of land should not unreasonably preclude or prejudice the continuance of existing use or future development of other land consistent with the relevant provisions of the Development Plan.
- 7** Allotments should be capable of being provided with safe and convenient vehicular access.
- 8** The size, shape, orientation, layout and location of the boundaries of allotments should:
- (a) enable land to be efficiently managed and utilised;
  - (b) be consistent with the capability of the land to support development without causing, or contributing to, any environmental hazards or damage;
  - (c) ensure that sites intended for development will be adequately protected from inundation by drainage or flood waters;
  - (d) minimise the need for cut and fill associated with site preparation and associated earthworks (and therefore allotments in steeper terrain generally should have their longer axis perpendicular to site contours);
  - (e) provide appropriate areas and dimensions for the siting and construction of buildings, safe and convenient access and parking, and landscaping/private open space consistent with the objectives and principles of development control for the relevant zone and policy area;
  - (f) provide for the conservation of trees and other special site features consistent with a functional layout of future buildings, access, services and open space; and
  - (g) not be likely to result in tree-damaging activity occurring to a significant tree.
- 9** The division of land should (depending on the extent, location and nature of the subject land):
- (a) include provision of reserves or easements necessary for the supply of public utility services;
  - (b) permit access for the maintenance and protection of First Creek, Second Creek and other watercourses or creeks (and their environs) and drainage infrastructure;
  - (c) provide sufficient land in drainage easements, reserves or floodways for the protection of watercourses, drainage lines or immediate floodplain, and for the construction of appropriate structural measures for stormwater management such as flow retardation basins, wet-retention basins, wetlands, trash rack facilities and like installations, where appropriate; and
  - (d) incorporate measures or be designed to avoid any adverse impact on water quality (during or after construction) and significant increases in the rate or volume of runoff from the land.
- 10** Land division should make appropriate provision for public open space which:
- (a) assists in preserving and enhancing significant areas or features of natural or cultural heritage value;

- (b) provides visual relief from the built environment;
  - (c) contributes to the overall provision of diverse opportunities for public recreation, readily accessible to, and able to be enjoyed by all members of the community;
  - (d) assists in conserving and restoring significant gardens, vegetation, habitat or watercourses;
  - (e) allows for potential use of stormwater;
  - (f) is of suitable size and dimensions and of a gradient and physical nature capable of meeting expected user requirements and efficient maintenance; and
  - (g) provides pedestrian and cycle links to other parts of the open space network and community facilities where appropriate.
- 11** Land should not be divided into individual allotments where any portion of the land is used in common by two or more ownerships or occupancies for access, services, landscaping, outdoor living or other common function.
- 12** Land division involving, or in proximity to, the site of a State or local heritage place should only occur where it can be demonstrated that it will not be detrimental to the integrity of the place and the resulting allotments will satisfactorily accommodate development of a form which will reinforce and complement the heritage value of the place.
- 13** Land division within an area identified as being 'Excluded Area from Bushfire Protection Planning Provisions' on Bushfire Protection Area [Figures Bur\(BPA\)/1 to 4](#) should be designed to make provision for:
- (a) emergency vehicle access through to the Bushfire Protection Area and other areas of open space connected to it;
  - (b) a mainly continuous street pattern serving new allotments that eliminates the use of cul-de-sacs or dead end roads; and
  - (c) a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation

## Design and Appearance

### OBJECTIVES

**Objective 11:** Development of a high design standard and appearance that responds to and reinforces positive aspects of the local environment and built form.

**Objective 12:** Roads, open spaces, paths, buildings and land uses laid out and linked so that they are easy to understand and navigate.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 14** Buildings should reflect the desired character of the locality while incorporating contemporary designs that have regard to the following:
- (a) building height, mass and proportion;
  - (b) external materials, patterns, colours and decorative elements;
  - (c) roof form and pitch;

- (d) façade articulation and detailing; and
  - (e) verandahs, eaves, parapets and window screens.
- 15** Where a building is sited on or close to a side or rear boundary, the boundary wall should minimise:
- (a) the visual impact of the building as viewed from adjoining properties; and
  - (b) overshadowing of adjoining properties and allow adequate sunlight access to neighbouring buildings.
- 16** The external walls and roofs of buildings should not incorporate highly reflective materials which will result in glare to neighbouring properties, drivers or cyclists.
- 17** Structures located on the roofs of buildings to house plant and equipment should be screened from view and should form an integral part of the building design in relation to external finishes, shaping and colours.
- 18** Balconies should:
- (a) be integrated with the overall form and detail of the building;
  - (b) include balustrade detailing that enables line of sight to the street;
  - (c) be recessed where wind would otherwise make the space unusable; and
  - (d) be self-draining and plumbed to minimise runoff.

### **Development Adjacent to Heritage Places**

- 19** The design of multi-storey buildings should not detract from the form and materials of adjacent State and local heritage places listed in [Table Bur/3](#) – State Heritage Places or in [Table Bur/2](#) – Local Heritage Places.
- 20** Development on land adjacent to a State or local heritage place, as listed in [Table Bur/3](#) – State Heritage Places or in [Table Bur/2](#) – Local Heritage Places, should be sited and designed to reinforce the historic character of the place and maintain its visual prominence.

### **Overshadowing**

- 21** The design and location of buildings should enable direct winter sunlight into adjacent dwellings and private open space and minimise the overshadowing of:
- (a) windows of main internal living areas;
  - (b) upper-level private balconies that provide the primary open space area for a dwelling; and
  - (c) solar collectors (such as solar hot water systems and photovoltaic cells).

### **Visual Privacy**

- 22** Development should minimise direct overlooking of the habitable rooms and private open spaces of dwellings through measures such as:
- (a) appropriate site layout and building orientation;
  - (b) off-setting the location of balconies and windows of habitable rooms with those of other buildings so that views are oblique rather than direct to avoid direct line of sight;

- (c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms;
- (d) screening devices (including fencing, obscure glazing, screens, external ventilation blinds, window hoods and shutters) that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.

### **Relationship to the Street and Public Realm**

- 23** Buildings (other than ancillary buildings, group dwellings or buildings on allotments with a battle axe configuration) should be designed so that the main façade faces the primary street frontage of the land on which they are situated.
- 24** Buildings should be designed and sited to avoid extensive areas of uninterrupted walling facing areas exposed to public view.
- 25** Building design should emphasise pedestrian entry points to provide perceptible and direct access from public street frontages and vehicle parking areas.
- 26** In mixed use and medium and high density residential areas, development facing the street should be designed to provide interesting and pedestrian friendly street frontages by:
  - (a) including features such as frequent doors and display windows, retail shopfronts and/or outdoor eating or dining areas;
  - (b) minimising the frontage for fire escapes, service doors, plant and equipment hatches;
  - (c) avoiding undercroft, semi-basement or ground floor vehicle parking that is visible from the primary street frontage;
  - (d) using colour, vertical and horizontal elements, roof overhangs and other design techniques to provide visual interest and reduce massing;
  - (e) including awnings, eaves, verandah or similar, to the street where setbacks and ground floor uses allow.
- 27** Where zero or minor setbacks are desirable, development should incorporate shelter over footpaths to enhance the quality of the pedestrian environment.

### **Outdoor Storage and Service Areas**

- 28** Outdoor storage, loading and service areas should be:
  - (a) screened from public view by a combination of built form, solid fencing and/or landscaping;
  - (b) conveniently located and designed to enable the manoeuvring of service and delivery vehicles;
  - (c) sited away from sensitive land uses.

### **Building Setbacks from Road Boundaries**

- 29** All setbacks from the road frontage should be additional to the road widening setback established under the *Metropolitan Adelaide Road Widening Plan Act 1972*.

## Environmental Protection

### OBJECTIVES

#### Natural Environment

**Objective 13:** Protection of ecosystems, sites of scientific interest, natural resources, and the ecological functions and quality of air, land and waters.

**Objective 14:** Conservation of energy, water, soil and biological diversity.

#### Water Sensitive Design

**Objective 15:** Development sited and designed to:

- (a) protect natural ecological systems;
- (b) achieve the sustainable use of water;
- (c) protect water quality, including receiving waters;
- (d) reduce runoff and peak flows and prevent the risk of downstream flooding;
- (e) minimise demand on reticulated water supplies;
- (f) maximise the harvest and use of stormwater; and
- (g) protect stormwater from pollution sources.

**Objective 16:** Storage and use of stormwater which avoids adverse impact on public health and safety.

#### Waste

**Objective 17:** Development that, in order of priority, avoids the production of waste, minimises the production of waste, re-uses waste, recycles waste for re-use, treats waste and disposes of waste in an environmentally sound manner.

**Objective 18:** Development that includes the treatment and management of solid and liquid waste to prevent undesired impacts on the environment including, soil, plant and animal biodiversity, human health and the amenity of the locality.

#### Ecologically Sustainable Development

**Objective 19:** Development consistent with the principles of ecologically sustainable development.

The concept of ecologically sustainable development reflects an understanding that the economy and the built or urban environment are interconnected with the natural environment. For the purposes of this Development Plan, the principles of ecologically sustainable development to be applied are:

- (a) providing for both long and short term economic, environmental, and social needs; and
- (b) providing for the economic, social and physical well-being of people and communities, while:
  - (i) sustaining the potential of natural and physical resources to meet the reasonably foreseeable needs of future generations;
  - (ii) safeguarding the life-supporting capacity of air, water, land and ecosystems; and
  - (iii) avoiding, remedying or mitigating any adverse effects of activities on the environment.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Energy Conservation

- 30** Development should be designed to take advantage of renewable sources of energy, especially solar energy, and minimise use of non-renewable sources of energy, including fossil fuels, in construction, and for heating, cooling, lighting and other purposes.
- 31** Development should conserve energy, while providing adequate thermal comfort for the occupants of buildings, by:
- (a) optimal orientation and shape of allotments and the sites of buildings, to maximise access within those buildings to incident solar radiation (especially in relation to habitable rooms in dwellings);
  - (b) the orientation of dwellings and the arrangement of internal spaces and landscaping, to take advantage of climatic factors and maximise absorption of heat from the sun in winter on northern and eastern building surfaces;
  - (c) the pitching and orientation of roofs to facilitate the efficient use of solar energy collection;
  - (d) the sizing, orientation and shading of windows to reduce summer heat load and take advantage of winter sun;
  - (e) the use of deciduous trees, pergolas, eaves, verandas and awnings, to allow penetration of heat from the sun in winter and to provide shade in summer;
  - (f) the use of energy-efficient building materials and the incorporation of energy-efficient methods of lighting, air and water heating and cooling;
  - (g) the provision of adequate ceiling and wall insulation; and
  - (h) openings being designed to maximise the potential for cross-ventilation and use of cooling breezes in the summer months.

### Water Sensitive Design

- 32** Development should be designed to maximise conservation, minimise consumption and encourage re-use of water resources.
- 32** Development should not take place if it results in unsustainable use of surface or underground water resources.
- 33** Development should be sited and designed to:
- (a) capture and re-use stormwater, where practical;
  - (b) minimise surface water runoff;
  - (c) prevent soil erosion and water pollution;
  - (d) protect and enhance natural water flows;
  - (e) protect water quality by providing adequate separation distances from watercourses and other water bodies;
  - (f) not contribute to an increase in salinity levels;
  - (g) avoid the water logging of soil or the release of toxic elements; and

- (h) maintain natural hydrological systems and not adversely affect:
  - (i) the quantity and quality of groundwater;
  - (ii) the depth and directional flow of groundwater;
  - (iii) the quality and function of natural springs.
- 35** Water discharged from a development site should:
  - (a) be of a physical, chemical and biological condition equivalent to or better than its pre-developed state; and
  - (b) not exceed the rate of discharge from the site as it existed in pre-development conditions.
- 36** Development should include stormwater management systems to protect it from damage during a minimum of a 1-in-100 year average return interval flood.
- 37** Development should have adequate provision to control any stormwater over-flow runoff from the site and should be sited and designed to improve the quality of stormwater and minimise pollutant transfer to receiving waters.
- 38** Development should include stormwater management systems to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure the carrying capacities of downstream systems are not overloaded.
- 39** Development should include stormwater management systems to minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system.
- 40** Stormwater management systems should preserve natural drainage systems, including the associated environmental flows.
- 41** Stormwater management systems should:
  - (a) maximise the potential for stormwater harvesting and re-use, either on-site or as close as practicable to the source;
  - (b) utilise, but not be limited to, one or more of the following harvesting methods:
    - (i) the collection of roof water in tanks;
    - (ii) the discharge to open space, landscaping or garden areas, including strips adjacent to car parks;
    - (iii) the incorporation of detention and retention facilities; and
    - (iv) aquifer recharge.
- 42** Where it is not practicable to detain or dispose of stormwater on site, only clean stormwater runoff should enter the public stormwater drainage system.
- 43** Artificial wetland systems, including detention and retention basins, should be sited and designed to:
  - (a) ensure public health and safety is protected; and
  - (b) minimise potential public health risks arising from the breeding of mosquitoes.



**Watercourses**

**44** Development in the vicinity of a watercourse should:

- (a) avoid covering, damaging or encroaching upon the channel, banks and immediate floodplain of the watercourse unless for essential access, maintenance, or flood or water quality management; and
- (b) where appropriate, seek to rehabilitate the natural character and environmental values of the watercourse environs.

**Waste**

**45** Development should be sited and designed to prevent or minimise the generation of waste (including wastewater) by applying the following waste management hierarchy in the order of priority as shown below:

- (a) avoiding the production of waste;
- (b) minimising waste production;
- (c) reusing waste;
- (d) recycling waste;
- (e) recovering part of the waste for re-use;
- (f) treating waste to reduce the potentially degrading impacts; and
- (g) disposing of waste in an environmentally sound manner.

**46** The storage, treatment and disposal of waste materials from any development should be achieved without risk to health or impairment of the environment.

**47** Development should avoid as far as practical, the discharge or deposit of waste (including wastewater) onto land or into any waters (including processes such as seepage, infiltration or carriage by wind, rain, sea spray, stormwater or by the rising of the water table).

**48** Untreated waste should not be discharged to the environment, and in particular to any water body.

**49** Development should include appropriately sized area to facilitate the storage of receptacles that will enable the efficient recycling of waste.

**50** Development that involves the production and/or collection of waste and/or recyclable material should include designated collection and storage area(s) that are:

- (a) screened and separated from adjoining areas;
- (b) located to avoid impacting on adjoining sensitive environments or land uses;
- (c) designed to ensure that wastes do not contaminate stormwater or enter the stormwater collection system;
- (d) located on an impervious sealed area graded to a collection point in order to minimise the movement of any solids or contamination of water;
- (e) protected from wind and stormwater and sealed to prevent leakage and minimise the emission of odours; and

- (f) stored in such a manner that ensures that all waste is contained within the boundaries of the site until disposed of in an appropriate manner.

## Amenity

### OBJECTIVES

- Objective 20:** The amenity of localities not impaired by the appearance of land, buildings and objects, or by noise, light, emissions, traffic-or any other quality, condition or factor.
- Objective 21:** Protection and enhancement of visual amenity by ensuring a high standard of design in respect of the appearance of development, and by the conservation and establishment of vegetation, including trees.
- Objective 22:** Conservation of streetscapes and landscapes of aesthetic merit, and sites and localities of natural beauty.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### General

- 51** Development should not take place in a manner which will cause nuisance, or detract from the amenity of the locality, by:
- (a) the emission of noise, vibration, odour, fumes, smoke, vapour, steam, soot, ash, dust, grit, oil, waste water, waste products, electrical interference, radioactivity, electro-magnetic radiation, reflection or light;
  - (b) the drainage of stormwater or run-off from the land; or
  - (c) the accumulation of materials, or pest plants or animals.
- 52** Development should not result in an unreasonable loss of residential privacy.
- 53** Development should improve or rectify land:
- (a) the use of which is unhealthy, obsolete or interferes with the use of any other land; or
  - (b) which exhibits an unsatisfactory layout.
- 54** No development should impair:
- (a) the natural character of the south Mount Lofty Ranges; or
  - (b) the skyline of the south Mount Lofty Ranges.

#### Visual Amenity

- 55** The design of buildings should be of a high standard and related to adjacent buildings and other features which contribute to streetscape quality.
- 56** Except in the Urban Corridor Zone, to maintain the harmony of built-form character within a streetscape, buildings should:
- (a) seek to maintain the continuity of vistas and existing building set-backs;
  - (b) not be set-back a lesser distance than the nearby buildings with frontage to the same road unless such distance is consistent with the minimum set-back prescribed in the relevant zone and policy area; and

- (c) be set-back a greater distance if the proposed building is of greater bulk or height than other buildings fronting the same road, unless the taller or bulkier portion of a building is positioned towards the rear of its site, or the building is effectively screened, so that it will not dominate views from the road.

**57** The location and design of areas and facilities for:

- (a) the accommodation of plant, including air-conditioning, pool water treatment, electrical and telecommunications plant; and
- (b) the storage and removal of waste materials, should be unobtrusive, and not cause nuisance.

**58** Development should improve the condition and appearance of any:

- (a) land which is derelict or contains unsightly structures, or
- (b) land or buildings in which objects or materials are stored or kept in a manner which is unsightly or prejudicial to the health or safety of the community.

**59** Buildings should be sited in visually unobtrusive locations when viewed from Old Norton Summit Road to ensure such development does not detract from the desired natural character and appearance available from this road.

#### **Noise Generating Activities**

- 60** Development that emits noise (other than music noise) should include noise attenuation measures that achieve the relevant *Environment Protection (Noise) Policy* criteria when assessed at the nearest existing noise sensitive premises.
- 61** Development with the potential to emit significant noise (e.g. industry) should incorporate noise attenuation measures that prevent noise from causing unreasonable interference with the amenity of noise sensitive premises.
- 62** Outdoor areas (such as beer gardens or dining areas) associated with licensed premises should be designed or sited to minimise adverse noise impacts on adjacent existing or future noise sensitive development.
- 63** Development proposing music should include noise attenuation measures that achieve the following desired noise levels:

<b>Noise level assessment location</b>	<b>Desired noise level</b>
Adjacent existing <i>noise sensitive development</i> property boundary	Less than 8 dB above the level of background noise ( $L_{90,15min}$ ) in any octave band of the sound spectrum and Less than 5 dB(A) above the level of background noise ( $LA_{90,15min}$ ) for the overall (sum of all octave bands) A-weighted level
Adjacent <i>land</i> property boundary	Less than 65dB(Lin) at 63Hz and 70dB(Lin) in all other octave bands of the sound spectrum or Less than 8 dB above the level of background noise ( $L_{90,15min}$ ) in any octave band of the sound spectrum and 5 dB(A) overall (sum of all octave bands) A-weighted level

### Air Quality

- 64** Development with the potential to emit harmful or nuisance-generating air pollution should incorporate air pollution control measures to prevent harm to human health or unreasonable interference with the amenity of sensitive uses within the locality.
- 65** Chimneys or exhaust flues associated with commercial development (including cafes, restaurants and fast food outlets) should be designed to ensure they do not cause a nuisance or health concerns to nearby sensitive receivers by:
- (a) incorporating appropriate treatment technology before exhaust emissions are released to the atmosphere; and
  - (b) ensuring that the location and design of chimneys or exhaust flues maximises dispersion and takes into account the location of nearby sensitive uses.

### Landscaping

- 66** Development should incorporate appropriate landscaping which is designed to:
- (a) assist in visual enhancement of the development and its locality;
  - (b) promote optimal micro-climate conditions in and around buildings (for example, by use of deciduous plants to allow penetration of heat from the sun in winter, and provide shade in summer);
  - (c) shade, define and create windbreaks for pedestrian paths and open spaces;
  - (d) screen, shade and enhance the appearance of car parking areas;
  - (e) screen service yards, loading areas and outdoor storage areas;
  - (e) promote conservation of water and biodiversity;
  - (f) minimise risk, and not hinder protection from bushfires;
  - (g) be durable and minimise the need for maintenance;
  - (h) allow appropriate levels of surveillance of car parking areas, service areas and entrances to development to minimise opportunities for crime;
  - (i) ensure safe traffic movement by not obstructing or obscuring the views of motorists and/or pedestrians; and
  - (j) maintain the integrity of buildings, structures or infrastructure.
- 67** Landscaping should be adequately protected from damage by vehicles or pedestrians.
- 68** The selection of plant species should, where appropriate, include:
- (a) species indigenous to the local area, or others which will reinforce a sense of place and contribute to the objectives for the relevant zone and policy area;
  - (b) trees in scale with buildings on the land;
  - (c) taller tree species in localities where such trees are absent or scarce; and
  - (d) species selected and located to minimise debris and leaf fall entering the nearby drainage system.

## Heritage Conservation

### OBJECTIVES

**Objective 23:** The preservation, conservation and enhancement of State and local heritage places identified in [Tables Bur/2 and 3](#) respectively, buildings or sites of scientific or cultural heritage value, and areas valued for their built or environmental character.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 69** A State or local heritage place should be put to a use that supports the conservation of the heritage value of such a place.
- 70** In terms of its visual context, scale, form, siting, and colour, development affecting a building, or other element, of a State or local heritage place should be compatible visually, and not interfere with, the structural integrity of that building or element.
- 71** Where development of a State or local heritage place involves additional construction or part demolition or where alterations are proposed to the building fabric, the development should protect and enhance the heritage value of the place.
- 72** The appropriateness of alterations or additions to an existing building comprised in a State or local heritage place will depend on the specific heritage value and features of the place, including features resulting from previous alterations or additions to the original place, contributing to that value. Generally, additions and alterations to the original external fabric of such a building should not be located to the front of the building or dominate the appearance of the place when viewed from the road or a public reserve.
- 73** An element (or part thereof) contributing to the heritage value of a State or local heritage place, as described in [Table Bur/2 and 3](#) respectively, should not be demolished, removed or concealed unless the condition of that element is seriously unsound and cannot reasonably be rehabilitated.
- 74** A tree designated as a State or local heritage place should only be pruned, lopped or removed (other than in the course of routine maintenance which does not detract from the heritage value of the place) where the tree:
- (a) poses an unacceptable hazard to life or property;
  - (b) is the cause of serious nuisance by obstructing solar access or affecting power supply or the amenity of living areas on adjacent land; or
  - (c) is the cause of serious obstruction of pedestrian or vehicular access, there being no reasonable alternative means of access.
- 75** Multi-storey additions to a State or local heritage place should be compatible with the heritage value of the place through a range of design solutions such as:
- (a) extending into the existing roof space or to the rear of the building;
  - (b) retaining the elements that contribute to the building's heritage value;
  - (c) distinguishing between the existing and new portion of the building; and
  - (d) stepping in parts of the building that are taller than the front facade.

## Trees and Other Vegetation

### OBJECTIVES

#### Indigenous Vegetation

**Objective 24:** The retention and protection of remnant indigenous vegetation.

#### Regulated Trees

**Objective 25:** The conservation of regulated trees that provide important aesthetic and/or environmental benefit.

**Objective 26:** Development in balance with preserving regulated trees that demonstrate one or more of the following attributes:

- (a) significantly contributes to the character or visual amenity of the locality;
- (b) indigenous to the locality;
- (c) a rare or endangered species;
- (d) an important habitat for native fauna.

#### Significant Trees

**Objective 27:** The conservation of significant trees (including significant trees identified in [Table Bur/4](#) and as shown on [Figures Bur\(ST\)/1 to 8](#) inclusive) in Metropolitan Adelaide which provide important aesthetic and environmental benefits.

Trees are a highly valued part of the environment of Metropolitan Adelaide and are important for a number of reasons, including those relating to their high aesthetic value, the conservation of biodiversity, the provision of habitat for fauna, and the conservation of original and remnant vegetation.

While indiscriminate and inappropriate significant tree removal should generally be prevented, the conservation of significant trees should occur in balance with achieving appropriate development.

**Objective 28:** Development sited and undertaken to retain and protect a significant tree or group of significant trees.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Indigenous Vegetation

**76** Development should conserve and enhance vegetation:

- (a) which is remnant vegetation of a species or plant community that is indigenous to the local area;
- (b) providing important habitat for fauna indigenous to the local area;
- (b) of value as a significant landmark;
- (c) of significant amenity value of a kind which would not be adequately replaced by new plantings;
- (d) which contributes significantly to landscape or streetscape quality, or the objectives of the relevant zone and policy area; or

- (e) where removal is likely to:
  - (i) create or contribute to soil erosion or salinity;
  - (ii) decrease soil stability and initiate soil slip; or
  - (iii) lead to a deterioration in water quality,

provided that such conservation and enhancement of vegetation does not create an unacceptable hazard.

**77** Development should promote the long-term conservation of vegetation by:

- (a) avoiding substantial structures, excavations, and filling of land in close proximity to the trunks of trees and beneath their canopies;
- (b) minimising impervious surfaces beneath the canopies of trees; and
- (c) taking other effective and reasonable precautions to protect both vegetation and the integrity of structures and essential services.

**78** Where indigenous trees are to be removed, they should be replaced in a suitable location on the site with trees indigenous to the area.

### **Regulated Trees**

**79** Development should have minimum adverse effects on regulated trees.

**80** A regulated tree should not be removed or damaged other than where it can be demonstrated that one or more of the following apply:

- (a) the tree is diseased and its life expectancy is short;
- (b) the tree represents a material risk to public or private safety;
- (c) the tree is causing damage to a building;
- (d) development that is reasonable and expected would not otherwise be possible;
- (e) the work is required for the removal of dead wood, treatment of disease, or is in the general interests of the health of the tree.

**81** Tree damaging activity other than removal should seek to maintain the health, aesthetic appearance and structural integrity of the tree.

### **Significant Trees**

**82** Land should not be developed where the development would be likely to result in a substantial tree-damaging activity occurring to a significant tree.

**83** Where a significant tree:

- (a) makes an important contribution to the character or amenity of the local area; or
- (b) is indigenous to the local area and its species is listed under the National Parks and Wildlife Act as a rare or endangered native species; or
- (c) represents an important habitat for native fauna; or
- (d) is part of a wildlife corridor or a remnant area of native vegetation; or

- (e) is important to the maintenance of biodiversity in the local environment; or
- (f) forms a notable visual element to the landscape of the local area;

development should preserve these attributes.

- 84** In addition to those significant trees defined by the *Development Regulations 2008*, those indigenous and exotic trees individually identified in [Table Bur/4](#) and as shown on the Significant Trees [Figures Bur\(ST\)/1 to 8](#) inclusive are also declared to be significant trees.

This designation extends to all parts of the root system, trunk, canopy and other parts of each tree, including those parts which have grown since the initial designation of the trees as significant.

- 85** Where development is to take place in respect of, or in close proximity to, a significant tree(s) that tree(s) should be protected by appropriate measures during the course of development. In particular, the area in which the tree's branches and roots are located should be protected by the erection of a secure fence prior to commencement of any work on site to prevent any disturbance to such area, for example by compaction, excavation, filling or contact causing damage to branches.

- 86** Fencing erected for the protection of a tree designated as a significant tree should:

- (a) consist of a 2.0 metre high solid, chain mesh, steel or similar fabrication with posts at 3.0 metre intervals;
- (b) incorporate on all sides a clearly legible sign displaying the words "Tree Protection Area"; and
- (c) not be erected closer to the tree than a distance equal to half of the height of the tree or the full width of the branch spread (whichever is lesser).

- 87** Development should be designed and undertaken to retain and protect significant trees.

- 88** Development should be undertaken with the minimum adverse affect on the health of a significant tree.

- 89** Significant trees should be preserved and tree-damaging activity should not be undertaken unless:

- (a) in the case of tree removal;
  - (1) (i) the tree is diseased and its life expectancy is short; or
  - (ii) the tree represents an unacceptable risk to public or private safety; or
  - (iii) the tree is within 20 metres of a residential, tourist accommodation or otherwise habitable building and is a bushfire hazard within the Bushfire Protection Area shown on [Figure BurBPA/1](#); or
  - (iv) the tree is shown to be causing or threatening to cause, substantial damage to a substantial building or structure of value; and

all other reasonable remedial treatments and measures have been determined to be ineffective.
- (2) it is demonstrated that all reasonable alternative development options and design solutions have been considered to prevent substantial tree-damaging activity occurring.



- (b) in any other case;
  - (i) the work is required for the removal of dead wood, treatment of disease, or is in the general interests of the health of the tree; or
  - (ii) the work is required due to unacceptable risk to public or private safety; or
  - (iii) the tree is within 20 metres of a residential, tourist accommodation or habitable building and is a bushfire hazard within the Bushfire Prone Area shown on [Figure BurBPA/1](#); or
  - (iv) the tree is shown to be causing, or threatening to cause damage to a substantial building or structure of value; or
  - (v) the aesthetic appearance and structural integrity of the tree is maintained; or
  - (vi) it is demonstrated that all reasonable alternative development options and design solutions have been considered to prevent substantial tree-damaging activities occurring.

**90** Development involving ground work activities such as excavation, filling, and sealing of surrounding surfaces (whether such work takes place on the site of a significant tree or otherwise) should only be undertaken where the aesthetic appearance, health and integrity of a significant tree, including its root system, will not be adversely affected.

**91** Land should not be divided or developed where the division or development would be likely to result in a substantial tree-damaging activity occurring to a significant tree.

## Movement and Parking of Vehicles

### OBJECTIVES

#### Transportation System and Facilities

**Objective 29:** Provision for the safe, convenient and efficient movement of people and goods having regard to the road hierarchy, including arterial roads for major traffic movements, shown on [Map Bur/1 \(Overlay 1\)](#).

**Objective 30:** Provision of facilities:

- (a) for public and private transport systems and services; and
- (b) the movement of vehicles, cycles and pedestrians generally

that are comprehensive, integrated, economic, efficient and safe, and which minimise adverse impacts on residential areas and the environment.

**Objective 31:** Encouragement of walking and cycling by provision of:

- (a) safe, convenient and legible movement networks to points of attraction; and
- (b) secure bicycle parking.

**Objective 32:** A compatible arrangement between land uses and the transport system which:

- (a) ensures minimal noise and air pollution;
- (b) protects the amenity of existing and future land uses;
- (c) promotes greater use of public transport;

- (d) provides adequate accessibility; and
- (e) maximises safety in all modes of transport.

**Objective 33:** A form of development adjoining arterial roads which:

- (a) ensures traffic can move efficiently and safely;
- (b) discourages commercial ribbon development;
- (c) prevents high traffic-generating uses outside designated centre zones, or the Office or Urban Corridor Zone;
- (d) provides for adequate off-street parking; and
- (e) provides limited and safe points of access and egress.

**Objective 34:** Within the suburbs of Skye and Auldana, road construction blended with the landscape and in sympathy with the terrain.

### **Parking of Vehicles**

**Objective 35:** Adequate parking for vehicles.

## **PRINCIPLES OF DEVELOPMENT CONTROL**

### **Transportation System and Facilities**

**92** Movement networks should:

- (a) be integrated and cost-effective;
- (b) promote forms of transport with lower impact on the environment such as walking and bicycles; and
- (c) protect the amenity of residential areas.

**93** Development should provide for safe and convenient:

- (a) access for pedestrians, cyclists and vehicles, including emergency and essential service vehicles;
- (b) off-street parking to an extent and in a manner which will minimise interference with the flow of traffic on roads adjoining the site of development; and
- (c) off-street loading, unloading and turning of vehicles, including service vehicles, likely to be required in association with the use of the land.

**94** The number, location and design of points of access to and egress from a road should be such as will minimise:

- (a) interference with the free flow of traffic on roads in the locality;
- (b) interference with the function of any intersection or device for the control of traffic;
- (c) queuing on the road;
- (d) right turn movements;
- (e) the gradient of any exit driveway;

- (f) the intrusion of traffic into any adjacent residential area; and
  - (g) the need to remove street trees.
- 95** Development on sites with frontage to a Primary Arterial Road or Secondary Arterial Road depicted on [Map Bur/1 \(Overlay 1\)](#) should minimise, and where possible, avoid points of access to and egress from such roads, provided the amenity of residential localities is not impaired as a result of use of other roads for site access and egress.
- 96** Development on land abutting a Primary Arterial Road, or a Secondary Arterial Road, shown on [Map Bur/1 \(Overlay 1\)](#), should be designed to ensure that all vehicles can enter and leave the site of that development in a forward direction.
- 97** No point of vehicular access or egress from a road to a non-residential development site should be nearer to another access or egress point than six metres, nor be located within 10 metres of the carriageway of an intersection.
- 98** Land uses that generate large numbers of visitors such as shopping centres, places of employment, schools, hospitals and medium to high density residential uses should be located so that they can be serviced by the public transport network and encourage walking and cycling.
- 99** Development generating high levels of traffic, such as schools, shopping centres and other retail areas, and entertainment and sporting facilities should incorporate passenger pick-up and set-down areas. The design of such areas should minimise interference to existing traffic and give priority to pedestrians, cyclists and public and community transport users.
- 100** The location and design of public and community transport set-down and pick-up points should maximise safety and minimise the isolation and vulnerability of users.
- 101** Development should cater for the safety and convenience of the users of land by providing, where appropriate, pedestrian pathways, ramps and car parking spaces located and designed to foster ease of movement by aged or disabled persons and persons accompanied by children.
- 102** New roads and walkways, should provide for safe and convenient intercommunication for vehicles and pedestrians with neighbouring localities and with existing roads, thoroughfares or walkways.
- 103** The width and design of a road and carriageway should be capable of accommodating satisfactorily the types of vehicles and volume of movement likely to use that road, provide for kerbside parking of vehicles and allow sufficient space to provide for appropriate streetscape features.
- 104** Development should not take place until the carrying out of traffic control works, or other works or facilities associated with vehicular movement, including the construction and restoration of crossovers, required as a direct result of that development is assured.
- 105** Within the suburbs of Skye and Auldana, road construction should be designed to blend with the landscape and be in sympathy with the terrain.

### **Parking of Vehicles**

- 106** Spaces for off-street car parking should be provided with development at the rates prescribed in [Table Bur/5](#) and [Table Bur/6](#), subject to the extent to which other principles of development control concerning provisions for car parking are met, and except where the prescribed rates are in conflict with those prescribed in any part of a zone in which case the provisions for the part of a zone take precedence.
- 107** Development should include the provision of space for off-street car parking sufficient to accommodate the likely needs for such space generated by the development, taking into account:

- (a) the scale and nature of the development and the activities of those who would use the land concerned;
- (b) the availability of space for car parking on land other than the site of the development; and
- (c) the likely use of public and/or non-motorised transport in travel to and from the site of the development.

**108** Development should provide appropriately for the parking of vehicles by disabled persons.

**109** Where appropriate, development should provide safe and secure facilities for the parking of bicycles.

**110** An area for car parking and the manoeuvring of vehicles should:

- (a) incorporate landscaping, including substantial trees and shrubs both on the perimeter and within the parking area, for shade and visual enhancement;
- (b) be set-back not less than two metres from the boundary of a road except in the Urban Corridor Zone;
- (c) be designed, surfaced and graded to facilitate stormwater infiltration and treatment (for example, by surfacing open car parking spaces with materials which allow stormwater infiltration and/or diverting runoff from paved areas to soft landscaped areas, or stormwater infrastructure specifically designed to accommodate on-site infiltration or treatment);
- (d) be located and designed to ensure safe and convenient pedestrian access to and from the parked vehicles and between parked vehicles and the facilities served by the car parking area; and;
- (e) be located and designed to ensure safe and convenient traffic circulation, with minimal conflict with service access and functions; and
- (f) include adequate provision for manoeuvring into and out of parking bays, along aisles and with reversing areas.

**111** The driveway on an allotment leading to an off-street parking area should be as short as practicable.

**112** Loading and unloading areas and parking areas for service or commercial vehicles should have separate ingress and egress points from those for car parking areas, and should be screened from general view.

**113** Individual parking areas should, wherever possible, be located and designed to allow appropriate direct vehicular movement between them without use of public roads.

**114** Opportunities for the shared use of car parking spaces between adjacent uses of land should be exploited to reduce the total extent of car parking areas, provided the availability of such shared parking to each use can be sustained for the duration of that use (or the associated parking demand).

### **Cycling and Walking**

**115** Development should encourage and facilitate cycling as a mode of transport by incorporating end-of-journey facilities including:

- (a) showers, changing facilities and secure lockers;
- (b) signage indicating the location of bicycle facilities; and

- (c) bicycle parking facilities set out in [Table Bur/7](#) – Off-street Bicycle Parking Requirements for the Urban Corridor Zone.

**116** On-site secure bicycle parking facilities should be:

- (a) located in a prominent place;
- (b) located at ground floor level
- (c) located undercover;
- (d) located where surveillance is possible;
- (e) well lit and well signed;
- (f) close to well used entrances; and
- (g) accessible by cycling along a safe, well lit route.

**117** Pedestrian and cycling facilities and networks should be designed and provided in accordance with relevant provisions of the Australian Standards and Austroads Guides.

## Utilities and Infrastructure

### OBJECTIVES

#### Public Utilities and Infrastructure

**Objective 36:** Public utilities and similar infrastructure:

- (a) efficiently serving the needs of communities and specific users; and
- (b) located and designed to be unobtrusive, protect the environment, and avoid unreasonable loss of amenity.

#### Telecommunications Facilities

**Objective 37:** Telecommunications facilities provided to meet the needs of the community.

**Objective 38:** Telecommunications facilities located and designed to minimise visual impact on the amenity of the local environment.

Telecommunications facilities are an essential infrastructure required to meet the rapidly increasing community demand for communications technologies. To meet this demand there will be a need for new telecommunications facilities to be constructed.

The Commonwealth Telecommunications Act 1997 is pre-eminent in relation to telecommunications facilities. The Telecommunications (Low-impact Facilities) Determination 1997 identifies a range of facilities that are exempt from State planning legislation. The development of low impact facilities to achieve necessary coverage is encouraged in all circumstances where possible to minimise visual impacts on local environments.

Where required, the construction of new facilities is encouraged in preferred industrial and commercial and appropriate non-residential zones. Recognising that new facility development will be unavoidable in more sensitive areas in order to achieve coverage for users of communications technologies, facility design and location in such circumstances must ensure visual impacts on the amenity of local environments are minimised.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Public Utilities and Infrastructure

**118** Facilities associated with the supply and maintenance of public utilities, and similar infrastructure or services provided with development, should be:

- (a) unobtrusively sited, and where appropriate, co-located with other facilities and/or placed underground;
- (b) designed to minimise vegetation removal or cutting;
- (c) designed to protect or enhance the character of localities through selection of appropriate colours and finishes, and use of landscaping for screening or visual enhancement; and
- (d) established with sufficient buffers to sensitive uses to protect amenity and human health.

**119** Development (including land division) should:

- (a) not occur unless the site can be provided with an appropriate electricity, gas (if required) and water supply, sewerage or effluent system, telecommunications and stormwater drainage; and
- (b) promote, and be capable of being provided with, economic and effective services such as public transport, waste collection, fire protection and street lighting.

### Telecommunications Facilities

**120** Telecommunications facilities should:

- (a) be located and designed to meet the communication needs of the community;
- (b) utilise materials and finishes that minimise visual impact;
- (c) have antennae located as close as practical to the support structure;
- (d) primarily be located in industrial, commercial, business, office, centre, urban corridor and rural zones;
- (e) incorporate landscaping to screen the development, in particular equipment shelters and huts; and
- (f) be designed and sited to minimise the visual impact on the character and amenity of the local environment, in particular visually prominent areas, main focal points or significant vistas.

**121** Where technically feasible, co-location of telecommunications facilities should primarily occur in industrial, commercial, business, office, centre, urban corridor and rural zones.

**122** Telecommunications facilities in areas of high visitation and community use should utilise, where possible, innovative design techniques, such as sculpture and art, where the facilities would contribute to the character of the area.

**123** Telecommunications facilities should only be located in residential zones if sited and designed so as to minimise visual impact by:

- (a) utilising screening by existing buildings and vegetation;

- (b) where possible being incorporated into, and designed to suit the characteristics of an existing structure that may serve another purpose; and
- (c) taking into account existing size, scale, context and characteristics of existing structures, land forms and vegetation so as to complement the local environment.

**124** Telecommunications facilities should not detrimentally affect the character or amenity of Historic Conservation Zones or Policy Areas, Local Heritage Places, State Heritage Places, or State Heritage Areas.

## Hazards

### OBJECTIVES

#### Environmental Hazards

- Objective 39:** Minimisation of environmental hazards such as those associated with fire, flood, land slip, earthquake, and toxic substances or emissions.
- Objective 40:** The identification and proper remediation and development of contaminated land in order to protect human health and the environment.

#### Bushfire Protection

Bushfire Protection Objectives apply to the General, Medium and High Bushfire Risk areas shown on Bushfire Protection Area [Figures Bur\(BPA\)/1 to 4](#), except where exempted.

- Objective 41:** Development should minimise the threat and impact of bushfires on life and property while protecting the natural and rural character.
- Objective 42:** Buildings and the intensification of non-rural land uses directed away from areas of high bushfire risk.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Environmental Hazards

**125** Development should be located, designed and undertaken with appropriate precautions being taken against fire, flood, landslip, earthquake, toxic emissions, or other hazards.

**126** Development should not take place where:

- (a) a significant risk to life or property from flooding or instability of land is posed; or
- (b) the development would cause, or contribute to, significant risk to life and property from flooding.

**127** Building development should occur on stable land.

**128** Tall buildings:

- (a) should not adversely affect by way of their height and location, the long-term operational, safety and commercial aviation requirements of Adelaide International Airport; and
- (b) if exceeding the heights shown on [Map Bur/1 \(Overlay 2\)](#) and penetrating the obstacle limitation surfaces (OLS), should be designed, marked or lit to ensure the safe operation of aircraft within the airspace around the Adelaide International Airport.

**129** In order to prevent harm to human health or the environment:

- (a) development should not be undertaken on contaminated land or on potentially contaminated land unless the land will be maintained in a condition, or the development will be undertaken in a manner, that will not pose a threat to human health and safety or the environment; and
- (b) where there is reasonable cause to suspect that land may have been contaminated or there is evidence of a prior potentially contaminating activity, development of land should not proceed until precautionary measures, applicable and appropriate to the proposed use of the site, have been undertaken.

### **Bushfire Protection Area**

Bushfire Protection Principles of Development Control apply to the General, Medium and High Bushfire Risk areas shown on Bushfire Protection Area [Figures Bur\(BPA\)/1 to 4](#), except where exempted.

**130** Buildings and structures should be located away from areas that pose an unacceptable bushfire risk as a result of one or more of the following:

- (a) vegetation cover comprising trees and/or shrubs;
- (b) poor access;
- (c) rugged terrain;
- (d) inability to provide an adequate building protection zone; or
- (e) inability to provide an adequate supply of water for fire-fighting purposes.

**131** Residential, tourist accommodation and other habitable buildings should:

- (a) be sited on the flatter portion of allotments and avoid steep slopes, especially upper slopes, narrow ridge crests and the tops of narrow gullies, and slopes with a northerly or westerly aspect;
- (b) be sited in areas with low bushfire hazard vegetation and set back at least 20 metres from existing hazardous vegetation; and
- (c) have a dedicated and accessible water supply available at all times for fire fighting.

**132** Extensions to existing buildings, outbuildings and other ancillary structures should be located and constructed using materials to minimise the threat of fire spread to residential, tourist accommodation and other habitable buildings in the event of bushfire.

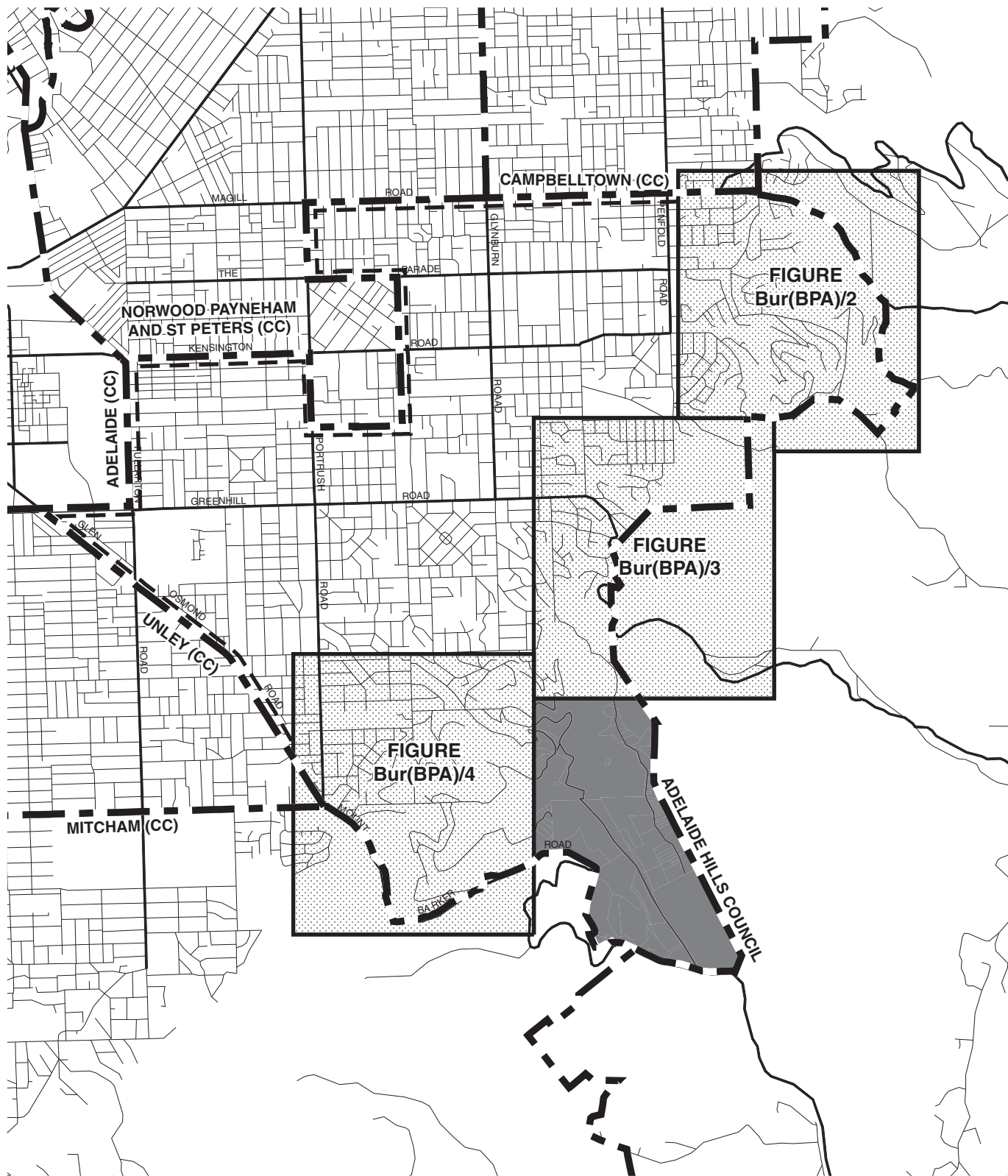
**133** Buildings and structures should be designed and configured to reduce the impact of bushfire through using simple designs that reduce the potential for trapping burning debris against the building or structure, or between the ground and building floor level in the case of transportable buildings.

**134** Land division for residential or tourist accommodation purposes within areas of high bushfire risk should be limited to those areas specifically set aside for these uses.

**135** Where land division does occur it should be designed to:



- (a) minimise the danger to residents, other occupants of buildings and fire fighting personnel;
- (b) minimise the extent of damage to buildings and other property during a bushfire;





Scale 1:50000



-  High Bushfire Risk
-  Excluded Area from Bushfire Protection Planning Provisions
-  Development Plan Boundary

# BURNSIDE (CITY) INDEX TO BUSHFIRE PROTECTION AREA FIGURE Bur(BPA)/1

Consolidated - 19 December 2017






FIGURE Bur(BPA)/1 ADJOINS

FIGURE Bur(BPA)/3 ADJOINS



Scale 1:12000



-  High Bushfire Risk
-  Excluded Area from Bushfire Protection Planning Provisions
-  Development Plan Boundary

# BURNSIDE (CITY) BUSHFIRE PROTECTION AREA FIGURE Bur(BPA)/2

Consolidated - 19 December 2017

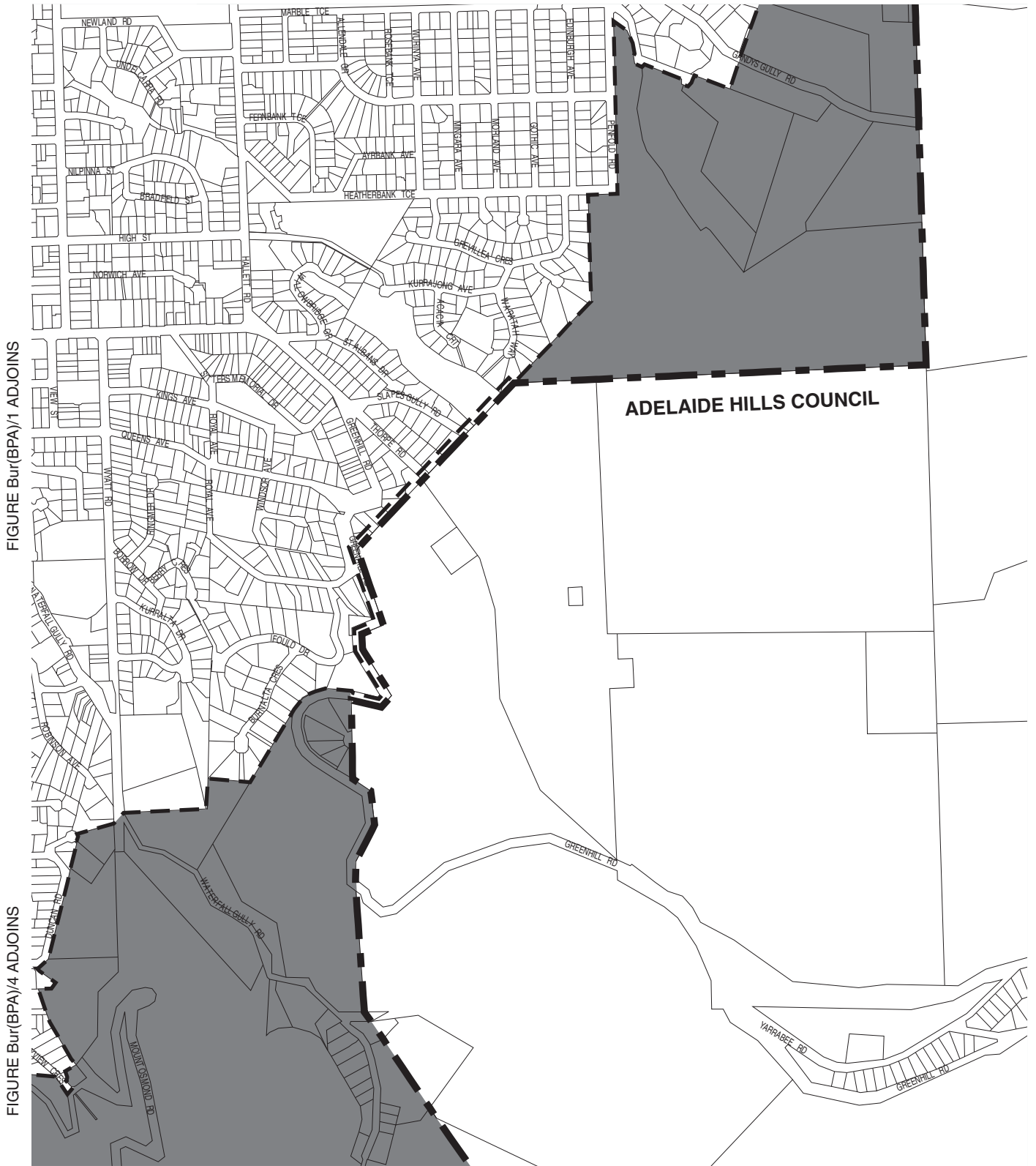
FIGURE Bur(BPA)/1 ADJOINS

FIGURE Bur(BPA)/2 ADJOINS

FIGURE Bur(BPA)/1 ADJOINS

FIGURE Bur(BPA)/4 ADJOINS

FIGURE Bur(BPA)/1 ADJOINS



Scale 1:12000

0 500metres



High Bushfire Risk



Excluded Area from Bushfire Protection Planning Provisions



Development Plan Boundary

# BURNSIDE (CITY) BUSHFIRE PROTECTION AREA FIGURE Bur(BPA)/3

Consolidated - 19 December 2017

FIGURE Bur(BPA)/1 ADJOINS

FIGURE Bur(BPA)/1 ADJOINS

FIGURE Bur(BPA)/3 ADJOINS

FIGURE Bur(BPA)/1 ADJOINS



Scale 1:12000



0  500metres



High Bushfire Risk



Excluded Area from Bushfire Protection Planning Provisions



Development Plan Boundary

# BURNSIDE (CITY) BUSHFIRE PROTECTION AREA FIGURE Bur(BPA)/4

Consolidated - 19 December 2017



- (c) ensure each allotment contains a suitable building site that is located away from vegetation that would pose an unacceptable risk in the event of bushfire; and
  - (d) ensure provision of a fire hazard separation zone isolating residential allotments from areas that pose an unacceptable bushfire risk by containing the allotments within a perimeter road or through other means that achieve an adequate separation.
- 136** Vehicle access and driveways to properties and public roads created by land division should be designed and constructed to:
- (a) facilitate safe and effective operational use for fire-fighting and other emergency vehicles and residents; and
  - (b) provide for two-way vehicular access between areas of fire risk and the nearest public road.
- 137** Development in a Bushfire Protection Area should be in accordance with those provisions of the *Minister's Code: Undertaking development in Bushfire Protection Areas* that are designated as mandatory for Development Plan Consent purposes.

## Waste Disposal (Landfill)

### OBJECTIVES

- Objective 43:** The orderly and economic development of landfill facilities in appropriate locations.
- Objective 44:** Minimisation of environmental impacts from the location, operation, closure and post management of landfill facilities.
- Objective 45:** Landfill facilities to be protected from incompatible development.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 138** Landfill facilities should be located, sited, designed and managed to minimise adverse impacts on surrounding areas due to surface water and ground water pollution, traffic, noise, fumes, odour, dust, vermin, weeds, litter, landfill gas and visual impact.
- 139** Landfill facilities should be appropriately buffered to minimise adverse impacts on the surrounding area and land uses.
- 140** Land uses and activities that are compatible with a landfill facility may be located within any separation distances established.
- 141** Land uses and activities that are not compatible with a landfill facility should not be located within any separation distances established.
- 142** Where appropriate, landfill facilities may include resource recovery facilities, provided there is a sufficient separation distance between potentially incompatible land uses and activities.
- 143** Landfill and associated facilities for the handling of waste should be located at least a distance of 500 metres from the boundaries of the landfill site. A lesser distance may be provided within the landfill site where the landfill facility is considered compatible with the surrounding area, land uses and activities, so that an effective separation distance of 500 metres can be provided and maintained between the landfill facility and potentially incompatible land uses and activities.
- 144** The area of landfill operations on a site should:
- (a) be located a minimum distance of 100 metres from any creek, river or wetland, and not within the area of a 1 in 100 year flood event; and

- (b) not be located on areas with ground slopes of greater than 10 percent, except where the site incorporates a disused quarry; and
  - (c) not be located on land subject to land slipping; and
  - (d) not be located within three kilometres of an airport used by commercial aircraft. If located closer than three kilometres, the landfill facility should incorporate bird control measures to minimise the risk of bird strikes to aircraft.
- 145** The landfill site should be landscaped to screen views of the landfill facilities and operational areas.
- 146** Sufficient area should be provided on a landfill site to ensure on-site containment of potential ground water contaminants and for the diversion of stormwater.
- 147** Where necessary, an acoustic buffer should be provided between any excessive noise generating part of the landfill facility and any development on an adjacent allotment to mitigate potential noise pollution.
- 148** Litter control measures which minimise the incidence of windblown litter should be provided on the site of a landfill facility.
- 149** Leachate from landfill should be contained within the property boundary of the landfill facility site and should not contaminate surface water or ground water.
- 150** The interface between any engineered landfill liner and the natural soil should be:
- (a) greater than 15 metres from unconfined aquifers bearing ground water with a water quality of less than 3000 milligrams per litre of total dissolved salts; or
  - (b) greater than five metres from ground water with a water quality between 3000 milligrams per litre of total dissolved salts and 12 000 milligrams per litre of total dissolved salts; or
  - (c) greater than two metres from ground water with a water quality exceeding 12 000 milligrams per litre of total dissolved salts.
- 151** Surface water run-off from landfill should not cause unacceptable sediment loads in receiving waters.
- 152** Landfill activities that have a total storage capacity exceeding 230 000 cubic metres should sustainably utilise landfill gas emissions. For smaller landfill activities, if the sustainable utilisation of the landfill gas emissions is not practically feasible, then flaring is appropriate to avoid gases being vented directly to the air.
- 153** Chain wire mesh or pre-coated painted metal fencing to a height of two metres should be erected on the perimeter of a landfill site to prevent access other than at appropriate site entries.
- 154** Plant, equipment, or activities that could cause a potential hazard to the public within a landfill site should be enclosed by a security fence.
- 155** Landfill sites should not be located where access to the site using non-arterial roads in adjoining residential areas is required or likely.
- 156** Landfill facilities should be accessed by an appropriately constructed and maintained road.
- 157** Facilities for traffic movement within the landfill facility should be adequate in dimension and construction to support all vehicles hauling waste and to enable entry to and exit from the site in a forward direction.
- 158** Suitable access for emergency vehicles should be provided to a landfill site.

**159** A proposal to establish, extend or amend a landfill facility should include an appropriate Landfill Environment Management Plan that addresses the following:

- (a) the prevention of ground water and surface water contamination;
- (b) litter control, dust control, noise control, the control of fumes and odours, and sanitary conditions generally;
- (c) the monitoring or management of landfill gas;
- (d) fire safety;
- (e) security;
- (f) maintenance of landscaping and the general condition of the site; and
- (g) the post closure monitoring and maintenance of the facility to ensure compatibility with the surrounding landscape and to enable a suitable after-use of the site. This should include a final contour plan, surface water diversion and drainage controls, the design of the final cover, the monitoring of ground water, surface water, leachate and landfill gas.

## Open Space Network

### OBJECTIVES

**Objective 46:** A clearly defined and linked Metropolitan Open Space System (MOSS) of public and privately owned land of an open or natural character in and around metropolitan Adelaide which will:

- (a) provide a visual and scenic contrast to the built urban environment;
- (b) separate different parts of the metropolitan area;
- (c) assist in the conservation of natural or semi-natural habitats and sites of scientific or heritage interest and re-vegetation;
- (d) provide corridors for movement of wildlife;
- (e) accommodate a range of active recreation and sporting facilities of regional or State significance, including facilities which may be used for national and international events;
- (f) accommodate a range of passive recreation and leisure areas; and
- (g) provide for the integration of stormwater management in association with recreation, aquifer recharge and water quantity and quality management.

**Objective 47:** The use of private land within the Metropolitan Open Space System for low-scale uses such as non-intensive agriculture, rural living or low-impact tourist facilities where the emphasis is on retaining or developing the open, natural or rural character and buildings are located and designed in such a way as to blend into the open character of the area.

**Objective 48:** The development of public land within the Metropolitan Open Space System for active and passive recreation, sporting facilities and conservation with emphasis on retaining the open, natural or rural character with wide landscaped buffers around the perimeter of areas where appropriate, areas of conservation significance retained in their natural state and buildings located and designed in such a way as to minimise their impact.

**Objective 49:** The development of open space recreation reserves through land purchases, contributions of open space, and exchanges of land.

**Objective 50:** The face and skyline of the Mount Lofty Ranges not impaired by visually obtrusive development.

Every opportunity should be taken to increase the extent of public open space within strategic locations of the Metropolitan Open Space System, and to provide open space links connecting these locations to residential areas and local reserves (for example, along watercourses or existing wide road verges).

Means of encouraging this include:

- (a) purchase of land by councils, other public authorities and community organisations;
- (b) encouraging developers who are obliged to provide public open space when land is divided, to fulfil that obligation by purchasing an equivalent area of land within the Metropolitan Open Space System in lieu of providing a public reserve within the land being divided;
- (c) agreements with landholders regarding valuation of land; and
- (d) land management agreements.

Regional or district (public) open space, the approximate boundaries of the Metropolitan Open Space System, and key opportunities for creating open space links (by the methods described above and through appropriate provision of pedestrian and/or cyclist trails) are defined on [Map Bur/1 \(Overlay 3\)](#). The elements of the Metropolitan Open Space System in and near the City of Burnside are the Hills Face Zone and the City of Adelaide Parklands.

**Objective 51:** Provision of a network of public open space throughout the City that:

- (a) preserves and enhances significant areas or features of natural or cultural heritage value;
- (b) provides visual relief from the built environment;
- (c) offers diverse recreational and social benefits accessible to, and able to be enjoyed by all members of the community;
- (d) creates opportunities to conserve and restore significant gardens, trees, habitat, watercourses, and stormwater quality; and
- (e) meets expected user requirements and is capable of efficient maintenance having regard to the location, size, shape, and suitability of each open space for recreation or conservation.

This Objective can be achieved by retention and management of existing public land of open space value, and extensions or additions to the open space network (for example, on large sites proposed for land division). Key considerations in assessing the recreational value of a potential addition to the public open space network include opportunities for a diverse range of compatible activities and high quality open space settings (ranging from sports facilities to natural areas) for public enjoyment, and the potential linking, and functional relationship of the proposed open space with the existing network.

## Residential Development

### Introduction

The objectives and principles of development control under this heading relate to the development of dwellings and, where indicated, forms of residential accommodation for the aged, except where these objectives and principles of development control are in conflict with the provisions of the Development Plan for any part of a zone, a State heritage place, or a local heritage place, in which case, those latter provisions take precedence.



## OBJECTIVES

**Objective 52:** A compact metropolitan area.

This objective may be achieved through selective development of infill housing, redevelopment and refurbishment of existing housing, and use of vacant and under-utilised land, with the aim of reducing the social, environmental and economic costs of urban development, and maximising use of community investment in facilities and services in established residential areas. While a compact form of development is generally desirable, recognition must be given to areas of distinctive and sensitive character, or amenity or heritage value, and to environmental or physical constraints which limit the capacity for increased densities in particular localities.

**Objective 53:** A variety and choice of dwelling types to meet the needs and preferences of all sections of the community.

Residential development within the City of Burnside should be based on a flexible approach to the provision of a wide range of dwelling types.

**Objective 54:** Containment of housing costs through the encouragement of a full range of design and development techniques.

This can be achieved by measures such as the economical layout of residential development, the reduction of allotment sizes and street widths, the use of innovative servicing techniques, the encouragement of designs which use space efficiently and effectively, and the provision of medium-density residential development where appropriate. In addition, new building materials and energy saving devices can be used to reduce housing costs.

**Objective 55:** Safe, pleasant, accessible and convenient residential areas.

Achievement of this objective can be assisted by development which is designed to maintain and, where appropriate, enhance residential amenity. Residential development that is well designed takes into account factors such as the bulk, height, set-backs, orientation, and external appearance of a building and its relationship to its site and environs, access needs (inclusive of visitors and people with disabilities), and the privacy, amenity and security of occupants and neighbours.

**Objective 56:** Residential development which moderates adverse climatic conditions, takes advantage of solar energy, does not unreasonably overshadow adjacent development, and protects the natural environment.

Energy requirements for air and water heating, cooling and other purposes can be substantially met by a combination of passive or active solar systems, which in turn helps to limit greenhouse gas emissions. Sunlight access not only benefits amenity, but also is necessary to enable effective use of solar energy collection systems. Such systems are affected by building and allotment orientation and by shadowing from buildings and trees, and accordingly, it is desirable to protect existing collectors and recognise potential for use on sites adjacent to a development site.

**Objective 57:** Medium and high density residential development in areas close to activity centres, public and community transport and public open spaces.

**Objective 58:** The revitalisation of residential areas to support the viability of community services and infrastructure.

**Objective 59:** Affordable housing, student housing and housing for aged persons provided in appropriate locations.

**Objective 60:** Increased affordable housing opportunities through land division and the conversion of buildings to a residential use.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Building Set-backs

**160** Except in the Urban Corridor Zone, buildings should be set-back from the boundary of a road to:

- (a) contribute positively to an attractive existing streetscape character or desired streetscape character, described in an objective for part of a zone;
- (b) provide adequate visual and acoustic privacy by separating habitable rooms from pedestrian and vehicular movement; and
- (c) provide for the efficient use of the land concerned

and in any case, not less than the minimum distances stipulated below:

Type of development	Minimum set-back distance
All parts of a building, including eaves, porches and verandas, (except a fence in the Watercourse Zone, Historic (Conservation) Zone and Hills Face Zone, a retaining wall in the Watercourse Zone and the building exceptions of the kinds listed below):	Six metres, unless otherwise prescribed in part of a zone, with the exception of those listed below:
(a) Dwelling, except on a corner site.	(a) A lesser distance, but no closer to the road boundary than the average of the set-backs from that road of buildings containing dwellings on abutting land on each side.
(b) Dwelling on a corner site.	(b) Three metres from the boundary of the secondary road.
(c) Garage or carport facing the same road as an associated dwelling.	(c) 0.5 metres behind the main face of an associated dwelling, or in line with the main face of the associated dwelling if that dwelling incorporates a veranda, portico or other feature, projecting forward of the face, subject to provision being made for adequate on-site car parking.
(d) Single garage or carport on a corner site facing a secondary road frontage.	(d) One metre from the secondary road frontage.
(e) Double garage or carport on a corner site facing a secondary road frontage.	(e) Two metres from the secondary road frontage.
(f) Garage or carport with access from a rear lane of six metres or less in width.	(f) One metre from the lane, or such greater distance as required for safe and convenient manoeuvring of a vehicle to and from the site.

**161** Except in the Urban Corridor Zone, the outer walls of a building should be of a height and length, and located in relation to the boundaries of its site (other than a boundary of a road), so that:

- (a) they do not cause a significant loss of amenity, in terms of their visual impact, overshadowing effect or access to daylight, to occupants of adjoining land and buildings; and
- (b) the established or desired pattern of space between buildings, as viewed from each road to which the site has frontage, is reinforced;

and in any case (unless prescribed in part of a zone):

- (c) where the floor level of part of the building is more than 1.5 metres above ground level on the site, that portion of the building above that floor level should be set-back not less than four metres from each side boundary of the site and not less than eight metres from the rear boundary; and
- (d) where the floor level of part of the building is 1.5 metres or less above ground level on the site, the building should be set-back not less than 1.5 metres from each side boundary of the site (unless it is built abutting such boundary) and not less than four metres from the rear boundary, except that:
  - (i) a wall of that part of the building, in which there is a window to a habitable room, should be set-back, opposite that window, not less than two metres from a side boundary of the site;
  - (ii) a wall of that part of the building, that is between three metres and six metres high above ground level on the site, should be set-back not less than two metres from a side boundary of the site;
  - (iii) a wall of that part of the building, that is more than six metres high above ground level on the site, should be set-back not less than two metres, plus a distance equivalent to that by which the wall is more than a height of six metres, from a side boundary;
  - (iv) a wall of that part of the building, or a side of a carport, that is built abutting a side boundary of the site, should be not more than three metres above ground level on the site and have a length, along the boundary, of not more than eight metres.

**162** Except in the Urban Corridor Zone, a wall containing a window to a habitable room should be set-back not less than 1.5 metres from driveways and on-site car parking space. This set-back may be reduced to 0.9 metres where there is an intervening solid fence 1.8 metres or more in height, or where the sill height of the window is not less than 1.6 metres above the level of an adjacent driveway.

### Building Height

**163** Unless otherwise prescribed in part of a zone, buildings should not exceed:

- (a) two storeys (where “two storeys” is defined as one habitable floor level directly above all or part of another); and
- (b) a building height of nine metres above natural ground level.

### Site Coverage

**164** Unless otherwise prescribed in part of a zone (including the Urban Corridor Zone), a building or buildings on a site, including any building containing a dwelling or dwellings, a carport, a garage or outbuilding, but excluding any building or part of a building comprising a veranda, or a pergola or other garden structure, should not:

- (a) have a ground floor area, measured from the external faces of the walls of the building or buildings (or, in the case of a carport, from the outer face of supporting columns), of more than 40 percent of the area of the site (excluding the area of the access strip of a battleaxe site); or
- (b) together with impervious driveways and car parking spaces, cover more than 50 percent of the area of that site; or

- (c) have a total floor area, measured from the external faces of the walls of the building, or buildings, (or, in the case of a carport, from the outer face of supporting columns) of more than 50 percent of the area of that site.

### Private Open Space

**165** Private open space areas should be provided, and remain available, with each dwelling.

**166** Part of the private open space for exclusive use with a dwelling should:

- (a) be located and designed to offer reasonable visual privacy to the occupants and access to sunlight (except in the Urban Corridor Zone);
- (b) comprise an outdoor area at ground level with an appropriate surface gradient (except in the Urban Corridor Zone);
- (c) be capable of use in association with the dwelling for entertainment and leisure;
- (d) be accessible from a main living area of the dwelling;
- (e) be equivalent to at least half the total floor area of the dwelling (except in the Urban Corridor Zone);
- (f) have a minimum dimension of 2.5 metres;
- (g) be capable of containing a rectangle measuring not less than five metres by-eight metres, unless different minimum dimensions are prescribed in part of a-zone (except in the Urban Corridor Zone); and
- (h) be accessible by pedestrians for servicing or emergencies without the need to-enter the dwelling, or to traverse land on adjoining sites (except in the Urban-Corridor Zone).

**167** Private open space should not include driveways, effluent drainage areas, rubbish bin storage areas, sites for rainwater tanks and other utility areas, and common areas such as parking areas and communal open space.

**168** Private open space at ground level should be designed to provide a consolidated area of deep soil (an area of natural ground which excludes areas where there is a structure underneath, pools and non-permeable paved areas) to:

- (a) assist with ease of drainage;
- (b) allow for effective deep planting; and
- (c) reduce urban heat loading and improve micro-climatic conditions around sites and buildings.

### Amenity

**169** Building layout and design should minimise the possible transmission of noise into bedrooms by separating or shielding bedrooms from:

- (a) areas provided for active communal recreational use, the parking of vehicles, vehicular access and service equipment; and
- (b) other possible sources of noise in an attached dwelling or on adjacent land.

**170** Plant, such as an air conditioning unit and a swimming pool pump, which has the potential to generate significant noise nuisance to neighbours should be designed, located and shielded to minimise such adverse impact.

**171** Residential development on sites abutting a Primary Arterial Road or Secondary Arterial Road defined on [Map Bur/1 \(Overlay 1\)](#) should ensure that the intrusion of traffic noise will not significantly diminish the amenity of occupants. Accordingly, residential development on such sites should be sited, designed and constructed so that:

- (a) noise transmission into the site and the building is minimised;
- (b) private and (where provided) communal open spaces are shielded by buildings;
- (c) reflection of noise onto surrounding buildings is minimised;
- (d) side boundary fences reduce the angle of incidence to the noise source and minimise reflection onto the facades of dwellings;
- (e) balconies and other external building elements are provided to minimise transmission and the reflection of noise onto the facade of dwellings;
- (f) the layout of rooms is designed to ensure that those rooms which are least sensitive to noise (such as bathrooms, hallways/stairways, storage rooms and garages) are closest to the source of noise; and
- (g) fences and walls supplement the noise attenuation effect of the façade of the building, while providing for:
  - (i) reasonable light penetration and outlook;
  - (ii) continuity and visual interest to the streetscape; and
- (h) landscaping, between the road and dwellings, will be provided to screen and protect the dwellings from dust and adverse visual impacts from the road.

**172** Where residential development abuts non-residential zones or uses, its design and siting should maximise residential amenity. This may be achieved by measures including restriction of vehicular traffic, careful location of access points, and the establishment of buffers of dense landscaping, and of walls to shield noise.

### Privacy

**173** Except in the Urban Corridor Zone, to maintain the reasonable privacy of adjoining residents the design of dwellings should:

- (a) ensure that balconies and windows to habitable rooms do not directly overlook the windows and private open space of adjacent dwellings;
- (b) avoid floor levels which will substantially increase potential overlooking; and
- (c) ensure that balconies and windows maximise their separation from adjoining dwellings.

**174** Except in the Urban Corridor Zone, where direct overlooking of the habitable rooms of adjoining dwellings from a dwelling would otherwise occur, alternative methods of providing daylight to habitable rooms in that dwelling should be adopted, for example, the use of skylights, windows at least 1.6 metres above floor level, and broad window sills.

**175** Except in the Urban Corridor Zone, the potential for overlooking the areas of private open space of adjoining dwellings from the upper storey windows of habitable rooms or from balconies or decks should be minimised. Views into adjoining land may be restricted appropriately by:

- (a) the construction of solid or lattice screens or fencing;
- (b) the planting of evergreen screen landscaping;

- (c) obscure fixed glazing up to 1.6 metres above the upper floor level; or
- (d) the setting of window sill heights 1.6 metres above the upper floor level.

### **Access and On-Site Car Parking**

**176** Access driveways servicing two or more dwellings should conform with the following minimum widths:

- (a) six metres for the first six metres from the road boundary, and at other appropriate locations, so as to provide adequate manoeuvring areas to avoid the need for vehicles to reverse when entering or leaving the site, and provide adequate opportunity for the safe and convenient passing of two vehicles; and
- (b) otherwise:
  - (i) 3.5 metres for a driveway serving up to four dwellings; and
  - (ii) 4.5 metres for a driveway serving five or more dwellings.

**177** Driveways for double garages should be tapered to 4.5 metres in width at the road boundary to allow greater area for front landscaping and (where applicable) retention of existing mature vegetation.

**178** Driveways should:

- (a) not exceed a gradient of 1 in 5 at any point and should have a near level gradient at either end for a length of at least five metres and connect to any existing paved footpath surface at a level that complements the level of that surface;
- (b) be designed, located and constructed in a manner which enables safe and convenient access, with surfaces providing adequate traction for the wheels of vehicles; and
- (c) be designed and located so that they are not constructed closer than 1.5 metres to any street tree or tree to be retained on the site and in a manner that does not impair the visual amenity of the streetscape.

**179** Except in the Urban Corridor Zone, a portion of an allotment capable of containing a dwelling should be capable of accommodating an access driveway, with scope along it for landscape planting that will maintain and enhance the amenity of the locality. The width of this portion of the allotment should be more than:

- (a) five metres within six metres of the road boundary where the allotment is capable of containing one dwelling only;
- (b) six metres within six metres of the road boundary where the allotment is capable of containing two or more dwellings; and
- (c) 3.5 metres beyond six metres from the road boundary.

**180** Adequate on-site space for car parking should be provided to meet the needs of residents and visitors and to avoid on-street parking that would restrict the free flow of traffic (including pedestrian traffic) or cause significant nuisance to nearby residents or other users of land.

**181** In the development of dwellings, other than dwellings designed for aged persons or persons with other special needs where there is a lesser demand for parking or where it is located in the Urban Corridor Zone, there should be provided on the site of any dwelling, sufficient space for the parking of two cars, with one additional car parking space for each two rooms in excess of three rooms in each dwelling that may reasonably be used as bedrooms.

### Access to Sunlight

- 182** Development should not cause significant overshadowing of the windows to habitable rooms in any dwelling (including an adjacent dwelling) or main outdoor living area associated with any dwelling.
- 183** Except in the Urban Corridor Zone, buildings should be designed and located to ensure that on the site of any dwelling:
- (a) at least three hours of sunlight is available to windows to north-facing habitable rooms; and
  - (b) at least two hours of sunlight is available to at least 50 percent of the main outdoor living areas of the dwelling, between 9am and 5pm on the winter solstice (21 June).
- 184** Except in the Urban Corridor Zone, dwellings should generally have living areas (and their windows) orientated northward, and bedrooms orientated southward, where this can be achieved without compromising reasonable privacy.
- 185** Except in the Urban Corridor Zone, west-facing windows should be minimised in size and number, and be protected from the afternoon sun by features such as a carport, veranda, pergola or awnings.

### Domestic Outbuildings

- 186** Outbuildings for use in association with a dwelling should not:
- (a) be obtrusive, or of a size, or in a location which results in their visual dominance of the dwelling to which they relate, or the locality;
  - (b) result in unreasonable overshadowing of the main windows to a habitable room in a dwelling; and
  - (c) be used for a purpose which is likely to cause significant nuisance to neighbours.
- 187** Garages and carports should be compatible with the associated dwelling and adjacent development in terms of scale, roof form and pitch, building materials, colour and detailing.
- 188** Unless otherwise prescribed in part of a zone, the individual or aggregate width of garage or carport doors should not exceed one-third of the width of the site of the dwelling measured at the front alignment of the building, except on sites fronting the head of a cul-de-sac, or on battleaxe or similarly-shaped allotments.

### Fences and Retaining Walls

- 189** Fences should:
- (a) assist in maintaining privacy and security; and
  - (b) add visual interest and not be dominant or large in scale.
- 190** Except on frontages to a major traffic route where acoustic screening to dwellings is warranted, fences to road frontages should not be more than two metres in height above the natural ground level.
- 191** Fences over two metres in height on boundaries to public open space should not be of a solid or opaque form.
- 192** Fences and retaining walls at road intersections should not be higher than one metre for a distance of three metres on either side of the property boundaries which abut the intersecting public roads.

**193** Retaining walls should be set-back from road frontages, stepped, constructed of materials of dark or medium tones and otherwise designed and sited so as to minimise their visual impact on the locality.

### **Safety and Security**

**194** Dwellings should, wherever reasonably practicable, be designed to overlook, and thus allow casual surveillance over, public roads, walkways and open space.

**195** In the development of a site or locality, buildings, fences, landscaping and other features should clearly differentiate public, communal and private areas.

**196** Buildings should be designed to minimise access between roofs, balconies and windows of adjoining dwellings.

**197** Pedestrian access and car parking areas for communal use should be clearly defined and appropriately lit.

### **Site Facilities and Storage**

**198** Development on sites containing more than one dwelling should include:

- (a) a common mail box structure located close to the major pedestrian access to the site;
- (b) garbage and recyclable material collection areas located for efficient collection and requiring minimal maintenance; and
- (c) for dwellings which do not incorporate ground level private open space, readily accessible external clothes drying areas, designed and sited to complement the development and streetscape character.

### **Water Conservation**

**199** Development should incorporate techniques for conserving mains water and appropriately utilising local water resources, including use of rainwater tanks, water efficient plumbing fittings and irrigation systems, and landscaping design.

**200** Development should limit the rate and volume of stormwater discharged from the site, and provide for on-site stormwater detention, retention and use, without causing nuisance or damage to the site, or to adjacent sites. A combination of at least two of the following techniques should be used:

- (a) the collection and direction of roof runoff to a rainwater detention tank with excess flow directed to a rear of allotment drain, an in-ground soakage pit or sump or the street stormwater system;
- (b) provision of an in-ground soakage pit or sump which is sized, located and connected so as to accept and absorb peak roof catchment flows; or
- (c) the unbuilt portion of the site being designed and constructed to allow surface runoff to be dispersed to and detained and absorbed within soft landscaped (unpaved) areas.

### **Affordable Housing**

**201** Affordable housing should be well integrated and complementary in design and appearance to other dwellings within the development.



## Residential Development for the Aged

The ageing of the population and the specific needs of aged people has created substantial demand for purpose built accommodation, often in an aggregated form generally known as retirement villages. This form of development, together with the specific needs of the aged, particularly the very old whose movement and lifestyle may become restricted, creates the need for detailed consideration of the design dwellings for aged people, their location and immediate environment. These considerations should not ignore the specific social, recreational and lifestyle requirements of aged residents.

**202** Residential development for aged people should be located in suitable residential areas, such as areas:

- (a) separated from commercial or industrial land uses which would detract from a pleasant living environment;
- (b) where public transport is reasonably accessible;
- (c) where local shops, services and facilities are reasonably accessible;
- (d) having regard to the long-term needs of the population; and
- (e) where the slope of the terrain is not likely to restrict the movement of aged people.

**203** Retirement villages and other forms of accommodation exclusively for the accommodation of aged people may be developed at residential densities higher than those provided for dwellings in the zone and policy area in which the land is situated, provided:

- (a) the development does not result in an overall site coverage substantially greater than that provided for in the relevant part of a zone;
- (b) the overall bulk, appearance and functions of the development are compatible with the objectives for the relevant part of a zone;
- (c) the demand for garaging and car parks are less than would be required for the development of dwellings; and
- (d) opportunities are provided for significant landscaping, and where appropriate, on-site stormwater management, on the development site.

**204** Retirement villages, hostels and other forms of accommodation for aged people should:

- (a) incorporate:
  - (i) communal and private areas with interesting outlooks;
  - (ii) usable recreation areas for residents and visitors, including children;
  - (iii) spaces to accommodate social needs and activities such as gatherings, gardening or the keeping of birds and animals; and
  - (iv) use of natural lighting;
- (b) limit the scale of buildings in close proximity to the boundaries of the site;
- (c) avoid an institutional style of development;
- (d) provide storage areas for items such as boats, trailers and caravans in association with independent living units;
- (e) provide security for residents including adequate illumination between sunset and sunrise;

- (f) provide a balance between communal areas and private spaces;
- (g) provide adequate living space for a private lifestyle with single person rooms being not less than 16 square metres in area with at least some occupancies incorporating a second habitable space for the accommodation of some items of furniture or similar items of personal value to the occupant;
- (h) avoid multiple floor levels unless provided with a lift;
- (i) avoid the creation of obscure and poorly lit spaces or paths of travel which would create unsafe conditions; and
- (j) provide adequate storage spaces for personal and household items for convenience and avoidance of accidents caused by the clutter of spaces.

**205** In the development of residential accommodation for aged people, the provision of driveways, roads, walkways, and other paths of travel should:

- (a) include resting places and opportunity for social interaction with seats and shelter from sun, rain and wind;
- (b) cover the routes frequently travelled by pedestrians;
- (c) clearly separate pedestrian and vehicular traffic;
- (d) facilitate ease of movement for pedestrians or disabled persons with changes in gradient being clearly identified;
- (e) have a firm, even and slip-resistant paved surface, with a minimal gradient of not more than 1 in 20;
- (f) not include steps with a tread width of less than 600 millimetres and a rise of less than 80 millimetres, or more than 100 millimetres, to facilitate the use of personal mobility aids;
- (g) be provided with continuous hand-rails, or other barriers, where there may be a risk or danger to pedestrians of falling; and
- (h) include provision of both steps and ramps to facilitate the use of all forms of personal mobility.

**206** Space for the parking of vehicles on the site of accommodation for aged people should:

- (a) be provided for residents, staff, service providers and visitors, sufficient to meet the likely demands generated by the development;
- (b) be conveniently located for ease of access and security for residents;
- (c) be designed to minimise the impact on adjoining residential premises due to visual intrusion or the location of driveways and vehicle manoeuvring areas;
- (d) provide covered, secure areas for residents' vehicles;
- (e) be paved with an even, slip-resistant surface with a gradient of not more than 1 in 20;
- (f) provide for the operation and parking of a small bus including a passenger pick-up and set-down area and manoeuvring space; and
- (g) provide car parking spaces for residents designed for ease of access to vehicles and ease of vehicular movement.

## Medium and High Rise Development (3 or More Storeys)

### OBJECTIVES

- Objective 61:** Medium and high rise development that provides housing choice and employment opportunities.
- Objective 62:** Residential development that provides a high standard of amenity and adaptability for a variety of accommodation and living needs.
- Objective 63:** Development that is contextual and responds to its surroundings, having regard to adjacent built form and character of the locality and the Desired Character for the Zone and Policy Area.
- Objective 64:** Development that integrates built form within high quality landscapes to optimize amenity, security and personal safety for occupants and visitors.
- Objective 65:** Development that enhances the public environment, provides activity and interest at street level and a high quality experience for residents, workers and visitors by:
- (a) enlivening building edges;
  - (b) creating attractive, welcoming, safe and vibrant spaces;
  - (c) improving public safety through passive surveillance;
  - (d) creating interesting and lively pedestrian environments;
  - (e) integrating public art into the development where it fronts the street and public spaces;
  - (f) incorporating generous areas of high quality fit for purpose landscaping, green walls and roofs.
- Objective 66:** Commercial, office and retail development that is designed to create a strong visual connection to the public realm and that contributes to the vitality of the locality.
- Objective 67:** Buildings designed and sited to be energy and water efficient.

### PRINCIPLES OF DEVELOPMENT CONTROL

*Note: Some of the following Principles of Development Control (PDC) prescribe a measurable design solution as one way of achieving the intent of the PDC. Where this solution is met, it should be taken as meeting the intent of the principle. Alternative design solutions may also achieve the intent of the PDC and, when proposed should be assessed on their merits.*

#### Design and Appearance

- 207** Buildings should be designed to respond to key features of the prevailing local context within the same zone as the development. This may be achieved through design features such as vertical rhythm, proportions, composition, material use, parapet or balcony height, and use of solid and glass.
- 208** In repetitive building types, such as row housing, the appearance of building facades should provide some variation, but maintain an overall coherent expression such as by using a family of materials, repeated patterns, facade spacings and the like.
- 209** Windows and doors, awnings, eaves, verandas or other similar elements should be used to provide variation of light and shadow and contribute to a sense of depth in the building façade.

**210** Buildings should:

- (a) achieve a comfortable human scale at ground level through the use of elements such as variation in materials and form, building projections and elements that provide shelter (for example awnings, verandas, and tree canopies);
- (b) be designed to reduce visual mass by breaking up the building façade into distinct elements;
- (c) ensure walls on the boundary that are visible from public land include visually interesting treatments to break up large blank facades.

**211** Buildings should reinforce corners through changes in setback, materials or colour, roof form or height.

**212** Materials and finishes should be selected to be durable and age well to minimise ongoing maintenance requirements. This may be achieved through the use of materials such as masonry, natural stone and prefinished materials that minimise staining, discolouring or deterioration.

**213** Balconies should be integrated into the overall architectural form and detail of the development and should:

- (a) utilise sun screens, pergolas, louvres, green facades and openable walls to control sunlight and wind;
- (b) be designed and positioned to respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy;
- (c) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas;
- (d) be of sufficient size, particularly depth, to accommodate outdoor seating.

### **Street Interface**

**214** Development facing the street should be designed to provide attractive, high quality and pedestrian friendly street frontage(s) by:

- (a) incorporating active uses such as shops or offices, prominent entry areas for multi-storey buildings (where it is a common entry), habitable rooms of dwellings, and areas of communal public realm with public art or the like where consistent with the Zone and/or Policy Area provisions;
- (b) providing a well landscaped area that contains a deep soil zone space for a medium to large tree in front of the building (except in a High Street Policy Area or other similar location where a continuous ground floor façade aligned with the front property boundary is desired).

One way of achieving this is to provide a 4 metre x 4 metre deep soil zone area in front of the building;

- (c) designing building façades that are well articulated by creating contrasts between solid elements (such as walls) and voids (for example windows, doors and balcony openings);
- (d) positioning services, plant and mechanical equipment (such as substations, transformers, pumphouses and hydrant boosters, car park ventilation) in discreet locations, screened or integrated with the façade;
- (e) ensuring ground, undercroft, semi-basement and above ground parking does not detract from the streetscape;

- (f) minimising the number and width of driveways and entrances to car parking areas to reduce the visual dominance of vehicle access points and impacts on street trees and pedestrian areas.

**215** Common areas and entry points of the ground floor level of buildings should be designed to enable surveillance from public land to the inside of the building at night.

**216** Entrances to multi-storey buildings should:

- (a) be oriented towards the street;
- (b) be visible and clearly identifiable from the street, and in instances where there are no active or occupied ground floor uses, be designed as a prominent, accentuated and welcoming feature;
- (c) provide shelter, a sense of personal address and transitional space around the entry;
- (d) provide separate access for residential and non-residential land uses;
- (e) be located as close as practicable to the lift and/or lobby access;
- (f) avoid the creation of potential areas of entrapment.

**217** To contribute to direct pedestrian access and street level activation, the finished ground level of buildings should be no more than 1.2 metres above the level of the footpath, except for common entrances to apartment buildings which should be at ground level or universally accessible.

**218** Dwellings located on the ground floor with street frontage should have individual direct pedestrian street access.

**219** The visual privacy of ground floor dwellings within multi-storey buildings should be protected through the use of design features such as orientation, elevation of ground floors above street level, setbacks from street and the location of verandas, windows, porticos or the like.

One way of achieving this is for ground floor level dwellings in multi-storey developments to be raised by up to 1.2 metres (provided access is not compromised where relevant).

### **Building Separation and Outlook**

**220** Residential buildings (or the residential floors of mixed use buildings) should have habitable rooms, windows and balconies designed and positioned with adequate separation and screening from one another to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.

One way of achieving this is to ensure any habitable room windows and/or balconies are separated by at least 6 metres from one another where there is a direct 'line of sight' between them and be at least 3 metres from a side or rear property boundary. Where a lesser separation is proposed, alternative design solutions may be applied (such as changes to orientation, staggering of windows or the provision of screens or blade walls, or locating facing balconies on alternating floors as part of double floor apartments), provided a similar level of occupant visual and acoustic privacy, as well as light access, can be demonstrated.

**221** Living rooms should have a satisfactory short range visual outlook to public, communal or private open space.

### **Dwelling Configuration**

**222** Buildings comprising more than 10 dwellings should provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling.

**223** Dwellings located on the ground floor with street frontage should have habitable rooms with windows overlooking the street or public realm.

**224** Dwellings with 3 or more bedrooms, should, where possible, have the windows of habitable rooms overlooking internal courtyard space or other public space.

### Adaptability

**225** Multi-storey buildings should include a variety of internal designs that will facilitate adaptive reuse, including the conversion of ground floor residential to future commercial use (i.e. by including floor to ceiling heights suitable for commercial use).

### Environmental

**226** Multi-storey buildings should:

- (a) minimise detrimental micro-climatic and solar access impacts on adjacent land or buildings, including effects of patterns of wind, temperature, daylight, sunlight, glare and shadow;
- (b) incorporate roof designs that enable the provision of photovoltaic cells and other features that enhance sustainability (including landscaping).

**227** Green roofs (which can be a substitute for private or communal open space provided they can be accessed by occupants of the building) are encouraged for all new residential commercial or mixed use buildings.

**228** Development of 5 or more storeys, or 21 metres or more in building height (excluding the rooftop location of mechanical plant and equipment), should be designed to minimise the risk of wind tunnelling effects on adjacent streets by adopting one or more of the following:

- (a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street;
- (b) substantial verandas around a building to deflect downward travelling wind flows over pedestrian areas;
- (c) the placement of buildings and use of setbacks to deflect the wind at ground level.

**229** Deep soil zones should be provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies.

One way of achieving this is in accordance with the following table:

Site area	Minimum deep soil area	Minimum dimension	Tree/ deep soil zones
<300m <sup>2</sup>	10m <sup>2</sup>	1.5 metres	1 small tree / 10m <sup>2</sup> deep soil
300-1500m <sup>2</sup>	7% site area	3 metres	1 medium tree / 30m <sup>2</sup> deep soil
>1500m <sup>2</sup>	7% site area	6 metres	1 large or medium tree / 60m <sup>2</sup> deep soil
Tree size and site area definitions			
Small tree	< 6 metres mature height and < less than 4 metres canopy spread		
Medium tree	6-12 metres mature height and 4-8 metres canopy spread		
Large tree	12 metres mature height and > 8 metres canopy spread		
Site area	The total area for development site, not average area per dwelling		

**230** Deep soil zones should be provided with access to natural light to assist in maintaining vegetation health.

### Site Facilities and Storage

**231** Dwellings should provide a covered storage area of not less than 8 cubic metres in one or more of the following areas:

- (a) in the dwelling (but not including a habitable room);
- (b) in a garage, carport, outbuilding or an on-site communal facility and be conveniently located and screened from view from streets and neighbouring properties.

**232** Development should provide a dedicated area for the on-site collection and sorting of recyclable materials and refuse, green organic waste and wash-bay facilities for the ongoing maintenance of bins. This area should be screened from view from public areas so as to not detract from the visual appearance of the ground floor.

**233** Where the number of bins to be collected kerbside is 10 or more at any one time, provision should be made for on-site collection.

**234** The size of lifts, lobbies and corridors should be sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.

### Zone Interface

**235** Unless separated by a public road or reserve, development site(s) adjacent to any zone that has a primary purpose of accommodating low rise (1-2 storey) residential activity should incorporate deep soil zones along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more storeys in height.

One way of achieving this is for development comprising building elements of three or more storeys in height to be setback at least 6 metres from a zone boundary, and incorporate a deep soil zone area capable of accommodating medium to large trees with a canopy spread of not more than 8 metres when fully mature.

## Retailing and Centres

### OBJECTIVES

#### Retailing

**Objective 68:** Shopping, administrative, cultural, community, entertainment, educational, religious, and recreational facilities located in integrated centres and corridor zones.

#### General

**Objective 69:** Centres established and developed in accordance with a hierarchy based on function, so that each type of centre provides a proportion of the total requirement of goods and services commensurate with its role.

**Objective 70:** A hierarchy of centres located in centre zones or areas.

Objectives 68, 69 and 70 apply to the groupings of facilities into centres and the location of those centres.

The grouping of a wide range of facilities in integrated centres will benefit the community by encouraging economic and shared use of facilities, providing a meeting place for communities, and encouraging ready access by both public and private transport.

The hierarchy of centres is based on the principle that each type of centre provides a proportion of the total community requirement for goods and services commensurate with its role.

Centres within the area of metropolitan Adelaide are of the following types:

- (a) The Central Business Area of the City of Adelaide;
- (b) Regional Centre;
- (c) District Centre;
- (d) Neighbourhood Centre; and
- (e) Local Centre.

The degree to which the various facilities can be located within a centre will depend, among other things, upon the size of the centre, the specific policies relating to the centre, the implications of competing centres for the population being served, and the characteristics of the population to be served. Each development proposal for a centre should be evaluated against the defined roles in the centre hierarchy of that centre and other centres.

New development in centres or corridor zones should result in the expansion of the total range of retail goods and services available to the population to be served, have regard to the location and role of other existing and proposed centre zones, and be of a size and type which would not demonstrably lead to the physical deterioration of any existing centre zone.

The identification of each zone in a hierarchy of centres should be such as to:

- (a) cater for the existing and future population's shopping and community needs;
- (b) provide a degree of choice in the location of centre facilities;
- (c) be safely and readily accessible to the population to be served, particularly by public transport, and obviate the need for unscheduled large-scale traffic and transport works;
- (d) have minimal adverse impact on residential areas;
- (e) concentrate development on one side of an arterial road, or one quadrant of an arterial road intersection, and have minimal adverse impact on traffic movement on arterial roads. Linear extension of centre zones or areas along arterial roads is to be minimised;
- (f) reflect the potential to rehabilitate or extend centre zones or areas, and make effective use of existing investment in public infrastructure, utilities and transport, any costs involved being offset by benefits to the population being served;
- (g) be of a size and shape suitable for their functions, and provide car parking facilities;
- (h) have regard to the maintenance of retail employment levels in the area; and
- (i) have regard to the degree to which existing centres satisfy the above objectives.

### Designated Centres

**Objective 71:** District centres served by public transport and including shopping facilities that provide 'convenience' goods and a range of 'comparison' goods to serve the major weekly household shopping needs of the district community, as well as a range of other business and community facilities and services.

**Objective 72:** Retention and reinforcement of the Glenside district centre shown on [Map Bur/1 \(Overlay 1\)](#) as the principal focus of retail facilities, offices and business and community facilities in the City of Burnside.



The size of a district centre and the range of facilities within it, may vary throughout the area of metropolitan Adelaide but should be related to the size and characteristics of the population it serves. The largest district centres should serve a population in the order of 60 000 people.

The following list indicates those facilities which are appropriate in a fully developed district centre:

- Ambulance Station
- Bank
- Child Minding/Child Care Centre
- Cinema
- Civic Centre
- Club/Meeting Hall
- Commercial Development
- Community Health Centre
- Consulting Room
- Day Care Centre
- Further Education
- Hospital
- Hotel/Tavern
- Indoor Recreation Centre
- Library
- Office
- Park
- Place of Worship
- Playing Field
- Police Station
- Pre-school
- School
- Service Station
- Shop (including a Discount Department Store)
- Store
- Special School
- Swimming Pool

**Objective 73:** Neighbourhood centres to include shopping facilities that provide mainly 'convenience' goods to serve the day-to-day needs of the neighbourhood community and a limited range of 'comparison' goods, as well as a narrow range of non-retail facilities and services.

The size of a neighbourhood centre and the range of facilities within it may vary within the area of metropolitan Adelaide but it should be related to the size and characteristics of the population it serves. The largest neighbourhood centres should serve a population in the order of 10 000 people.

The following list indicates those facilities which are appropriate in a fully developed neighbourhood centre:

- Bank
- Branch Library
- Child Minding/Child Care Centre
- Club/Meeting Hall
- Commercial Development
- Community Welfare
- Consulting Room
- Indoor Recreation Centre
- Local Health Centre
- Office
- Park
- Place of Worship
- Playing Field
- Pre-school
- Primary School
- Service Station

Shop (including a Supermarket)  
Squash Court

**Objective 74:** Local centres and corridor zones to include shopping and local facilities and services to serve the day-to-day needs of the local community.

**Objective 75:** Retail showroom development should only be located outside of designated centres or corridor zones if it can be clearly demonstrated that it would be undesirable or impractical to locate them within designated centres.

Retail showrooms, trading in furniture, floor coverings, household appliances and other similar articles of bulky merchandise, require extensive indoor areas for the display of products and exhibit a lower parking demand than convenience shops. Retail showrooms complement the overall provision of facilities in centres and should be located on the periphery of those centres, in corridor zones, or in certain business zones.

**Objective 76:** Retailing development not consistent with facilities envisaged in a centre located and operated so as not to adversely affect any designated centre, commercial, business or residential zones, or areas, or traffic movements on nearby roads.

The diversification of locations for retailing providing goods and services not compatible with the grouping of facilities envisaged for regional, district and neighbourhood centres (including corridor zones) may be considered so long as the integrity of the centre hierarchy is not compromised and the development is compatible with land uses in the locality.

Retail development of this kind should be evaluated having regard to:

- (a) its locational and operational compatibility with existing shopping, business and commercial zones, or areas, including the nature of the goods and materials to be stocked, and the noise levels of vehicles and plant used on, and servicing, the site;
- (b) its effect on adjacent residential development;
- (c) the increased use of local and arterial roads;
- (d) the adequacy of vehicular access and car parking; and
- (e) compliance with building and site development standards for centres.

## PRINCIPLES OF DEVELOPMENT CONTROL

### General

**236** Development located within any centre zone should be designed and located to minimise its impact on existing or potential dwellings in an adjacent zone due to:

- (a) vehicular access, egress and circulation within the site of the development;
- (b) the location and arrangement of service, refuse and waste storage and collection facilities;
- (c) the scale, height and bulk of buildings where located close to the boundaries of the zone;
- (d) unreasonably adverse visual impact when viewed from the site of any dwelling;
- (e) loss of privacy or overshadowing; and
- (f) the generation of noise, odour, light or particulate matter.

**237** Development in a centre zone should:

- (a) accord with the intended role of the centre within the centres hierarchy, and provide for any future expansion needs commensurate with that role;
- (b) provide for multiple use of facilities, sharing of utility spaces, and consolidated, coordinated and convenient parking;
- (c) ensure appropriate integration of facilities and public transport;
- (d) be concentrated and designed for pedestrian convenience, avoiding conflict between pedestrian and vehicular traffic movement;
- (e) produce a close relationship between shops in a “lively” setting;
- (f) enhance the amenity of the site and locally through unified design of buildings and signs, with landscaping forming an integral part of centre design and used to foster human scale, provide shade and visual relief, define spaces, reinforce paths and edges, and screen utility areas; and
- (g) not cause congestion, detract from the safety of users of adjoining roads, or cause a need for a significant expenditure on transport and traffic works or facilities in or outside the locality.

### **Shopping Development**

**238** The development of shops should be as follows:

- (a) a shop or group of shops with a gross leasable area of greater than 250 square metres should be located in the District Centre Zone, a Neighbourhood Centre Zone, or the Urban Corridor Zone;
- (b) a shop or group of shops with a gross leasable area of 250 square metres or less should not be located on an arterial road (as shown on [Map Bur/1 \(Overlay 1\)](#)), except within the District Centre Zone, a Neighbourhood Centre Zone, a Local Centre Zone, or the Urban Corridor Zone;
- (c) a shop or group of shops located outside the District Centre Zone, a Neighbourhood Centre Zone, a Local Centre Zone, or the Urban Corridor Zone should:
  - (i) not hinder the development or function of any of those zones (or a designated centre in any other Council area);
  - (ii) provide retail services of a strictly local nature; and
  - (iii) not diminish the amenity of the locality;
- (d) development in the form of retail showrooms trading in bulky goods merchandise, should provide adequate manoeuvring and circulation areas in order to accommodate truck and trailer movements and safe access points; and
- (e) shopping development should include designated parking space for disabled persons.

### **Hotels and Other Licensed Premises**

**239** Where the development of a hotel, or other facility licensed under the Liquor Licensing Act, 1997, includes a drive-in facility for the sale of liquor and related goods, the facility should be so located on the site of the development that there would be no queuing of vehicles encroaching onto a public road.

## Community Facilities

### OBJECTIVES

**Objective 77:** Community facilities and services conveniently located and designed to meet existing and future needs and minimise adverse effects on residential amenity.

In general, community facilities, other than those provided in association with public open space, will be located in designated centres or Community Use Zones. The changing age structure of the population will affect the range of community facilities required, and therefore flexibility should be a major consideration when considering the design, type and life of buildings.

### PRINCIPLES OF DEVELOPMENT CONTROL

**240** Community facilities (including community centres, meeting halls, places of worship, pre-schools, primary schools, educational establishments, hospitals, indoor recreation centres, nursing homes, rest homes and hostels) should be:

- (a) located and designed for convenient use and access; and
- (b) integrated in function or provided on a co-ordinated basis to promote efficiency in the delivery of services.

**241** Indoor recreation centres and similar facilities should only be developed where:

- (a) the site of the development is of sufficient size, and the development is designed, to provide:
  - (i) substantial physical separation of buildings and activities and adjacent residential development in a manner which prevents unreasonable disruption of the lifestyle of residents within the locality of the development;
  - (ii) landscaped buffers around the perimeter of the site of the development; and
- (b) the site is located where vehicular access to the site is gained directly from an arterial or collector road and is not likely to generate significant traffic volumes in any street in a residential area; and
- (c) noise attenuation measures are incorporated to reduce noise levels external to the site to levels typical of the locality in which the site is situated.

**242** Pre-schools, primary schools, educational establishments and similar community based facilities should:

- (a) when developed in residential areas, only be undertaken on sites where there is no significant adverse impact on the amenity of the locality, and in a manner consistent with the residential character of the locality in terms of bulk, scale, and the appearance of the development viewed from public roads or residential sites; and
- (b) provide on-site:
  - (i) an area or areas for all student or client set-down and pick-up requirements including all vehicular standing and parking demands;
  - (ii) appropriate segregation of vehicular and pedestrian movements (with the exception of vehicular access and egress points over footways); and
  - (iii) substantial landscaping to enhance and soften the appearance of the development including driveway and car parking areas and to provide shade and shelter for pedestrians and vehicles.

## Industrial and Commercial Development

### OBJECTIVES

#### General

**Objective 78:** An adequate supply of suitable and appropriately located land to accommodate current and projected industrial activities.

Industry requires reasonably level, well-drained land, which can be supplied with the appropriate infrastructure and is readily accessible to labour and transport. In choosing suitable locations for industrial land it is also important to consider the effects of industry on surrounding land uses.

While supplies of industrial land are adequate in the short term, Metropolitan Adelaide's stocks of good quality industrial land have been reduced over past years. Industrial land is a valuable economic resource and it is vital that new supplies of suitable, well-located land for industry are provided in Metropolitan Adelaide and that land set aside for industry is not developed for other purposes.

**Objective 79:** Industrial land and activities protected from encroachment by incompatible land uses.

Land earmarked for industrial purposes requires protection from encroachment by incompatible land uses. In particular, residential land uses can encroach upon existing industrial activities over time. As residential development moves closer to these industries, the capacity of industry to operate properly or to expand can be threatened. Similarly, increases in residential densities close to industrial areas can also have implications for industry.

The potential conflicts between existing industry and encroaching non-industrial development, either by the take-up of vacant land or through residential density increases, need to be assessed when rezoning land, particularly for residential uses, or when reviewing zone policies in adjoining areas.

Distances to existing industrial development need to be taken into account when considering the zoning of land for residential or other potentially sensitive land uses. The use of separation areas along zone boundaries and the management of these areas to mitigate impacts and minimise the potential for conflict between industrial land uses and other incompatible land uses, should also be considered when appropriate.

**Objective 80:** Development at the interface between industrial activities and sensitive uses that is compatible with surrounding activities, particularly those in adjoining zones.

Where industrial zones already adjoin residential areas, it is appropriate that those industrial activities with lower potential for off-site impacts be located on the periphery of industrial zones. Some types of commercial development are also suitable on the periphery of industrial areas as they can perform a separation role between housing and industry. Consideration should also be given to the appropriateness of, and design treatments required, for other land uses located in close proximity to industrial locations. Separation distances can be utilised as a trigger for more detailed assessment to ensure that impacts can be minimised.

**Objective 81:** Industrial, commercial, motor repair, servicing, storage, depot and distribution activities suitably located, designed and managed to avoid or substantially reduce adverse effects on residential amenity and the environment.

The City of Burnside contains a small number of industries and other non-retail commercial uses which in other parts of the metropolitan area are often located in an industrial zone. They include long-standing brewery, winery, food processing, pottery and motor repair activities. Such activities are dispersed amongst other uses and often close to housing. Particular attention should be given to improvement of residential amenity and environmental quality when any expansion or redevelopment of existing sites is proposed. Performance standards or definite measurements of noise, smoke, smell, dust, traffic or other adverse impacts can be used to determine whether further development of an existing use would meet acceptable standards for its locality.

## Extractive Industrial Development

**Objective 82:** Existing extractive industries and associated uses and activities:

- (a) protected from encroachment by incompatible uses;
- (b) managed to avoid, or minimise and ameliorate adverse impacts on the environment to acceptable levels; and
- (c) which screen, restore, and provide for a suitable after-use and final landform of, excavated areas.

Quarries in the Hills Face Zone supply aggregate for concrete and roadwork. Some, like the Stonyfell-Greenhill Quarry on the eastern margin of the Council area (extending into the adjoining Council area), are visible from urban areas. As transport costs rise rapidly with distance between the workings and the point of consumption, it is likely that operations close to the city will continue well into the 21st Century. It is undesirable for land to be left exposed or derelict following the extraction of minerals. Accordingly, steps should continue to be taken to progressively restore the land, ensuring where possible that worked areas are not visible from the Adelaide Plain, and ensuring a close correlation between working and after-use of each site. Those areas likely to be adversely affected by ongoing extractive industry operations should be protected from encroachment by residential or other sensitive uses.

## Outdoor Advertisements

**Objective 83:** Advertisement and advertising displays confined to appropriate areas, and designed and located to:

- (a) complement and improve the character and amenity of the area within which it is located, including the appropriate rectification of existing unsatisfactory signage;
- (b) maintain equity of exposure for all business premises;
- (c) avoid creating or contributing to any hazard; and
- (d) be concise and efficient in communicating with the public to:
  - (i) avoid proliferation of confusing and cluttered information; and
  - (ii) minimise the number of advertisements displayed.

## PRINCIPLES OF DEVELOPMENT CONTROL

### General

**243** Development located within any office or business zone should be designed and located to minimise its impact on existing or potential dwellings in an adjacent zone due to:

- (a) vehicular access, egress and circulation within the site of the development;
- (b) the location and arrangement of service, refuse and waste storage and collection facilities;
- (c) the scale, height and bulk of buildings where located close to the boundaries of the zone;
- (d) unreasonably adverse visual impact when viewed from the site of any dwelling;
- (e) loss of privacy or overshadowing; and
- (f) the generation of noise, odour, light or particulate matter.

**244** The development of an industry, motor repair station, warehouse, store, depot, service trade premises or petrol filling station should:

- (a) not impair the amenity of any land where residential uses are established or likely to be established;
- (b) be designed and located in a manner which will avoid significant adverse impact on other premises in the locality due to the emission of noise, vibration, odour, fumes, smoke, vapour, steam, soot, ash, dust, electrical interference, electromagnetic radiation, radioactivity, reflection or light;
- (c) maintain at least 50 percent of the area of the site not covered by building/s;
- (d) ensure that buildings on the site are of a high standard of design and appearance, and set-back:
  - (i) from the road frontage a sufficient distance to allow for landscaping or stormwater soakage area;
  - (ii) a minimum of three metres from one side boundary of the site for access purposes; and
  - (iii) from any boundary of the Residential Zone, a minimum of three metres for a building more than two metres in height, plus 500 millimetres for each metre by which the building height is more than 3.5 metres.

**245** Where development is for a petrol filling or motor repair station:

- (a) fuel pumps and other service facilities should be positioned so that vehicles accessing the facilities will not encroach onto a public road; and
- (b) the distance between access points should be at least 9 metres, and between any access point and an intersecting carriageway, at least 10 metres.

### **Outdoor Advertisements**

**246** Advertisements and advertising displays should:

- (a) convey in simple, clear and concise language, symbols, print style, layout and a small number of colours, the owner/occupier and/or generic type of business, merchandise or services being advertised;
- (b) be few in number to avoid proliferation of advertisements or advertising displays;
- (c) be of a form, style, scale, height and size and in locations which:
  - (i) are appropriate to the character of the locality;
  - (ii) preserve reasonable exposure to the public for all adjacent sites; and
  - (iii) will not obscure a driver's view or distract drivers where demands on concentration are high such as intersections or bends in a road.
- (d) not have an adverse impact on the amenity of adjacent premises and areas from which they are visible;
- (e) rectify or improve existing unsatisfactory signage;
- (f) ensure that pole and other structures with the sole purpose of supporting an advertisement are concealed from view, or of simple design and visually unobtrusive;

- (g) not encroach beyond the boundaries of the subject property and if road widening is applicable, the proposed property boundary realignment;
- (h) be unified in colour, style, placement and proportion to present a co-ordinated theme and design for a site, centre or building;
- (i) be designed, made and presented in a high quality manner, and be maintained in good repair and condition at all times; and
- (j) be designed and located to avoid damage, pruning or lopping of on-site landscaping or street trees.

**247** Free standing advertisements and advertising displays:

- (a) should be limited to only one major identification advertisement or advertising display per site or complex;
- (b) should be of a consistent design with other advertising displays on buildings within the site or complex, if multiple advertisements are appropriate;
- (c) may incorporate the name or nature of each business or activity within the site or complex in one or more panels on the same advertising display, which should be of a coordinated design, in terms of colour and graphics, with the site or complex prominently identified; and
- (d) should be of a scale and size compatible and complementary with development on the site.

**248** An advertisement or advertising display attached to a building should:

- (a) be of appropriate colour, scale and proportion, coordinated with and complementing the architectural form and design of the building that it is attached to; and
- (b) not be located so as to extend in a horizontal direction beyond the walls or other vertical surface of a building, unless the advertising display is appropriately designed to form an integrated and complementary extension of the existing building.

**249** Advertisements or advertising displays erected on or over a veranda, or which project from a building wall should:

- (a) have a minimum clearance over a footway of 2.5 metres;
- (b) where erected on or over a veranda, not protrude past the extremities of the veranda;
- (c) have a minimum clearance of 0.45 metres to the vertical alignment of the road kerb or edge of carriageway; and
- (d) where projecting from a wall, abut the edge of the advertisement or advertising display to the surface of the wall.

**250** Advertisements or advertising displays should not be erected upon:

- (a) a pedestrian accessway;
- (b) a vehicle adapted and exhibited primarily as an advertisement; or
- (c) residential land, unless erected to fulfil a statutory requirement, or as a complying type of advertisement or advertising display associated with the residential use of the land.



**251** Portable, easel or A-frame advertisements (located on land other than a road reserve) should:

- (a) only be displayed:
  - (i) on premises within any centre, office, urban corridor or business zone;
  - (ii) in close proximity to the premises or business advertised;
  - (iii) during the hours the subject business is open for trading; and
  - (iv) where no other appropriate opportunity exists for an adequate co-ordinated and permanent advertisement or advertising display;
- (b) be restricted to a maximum number of one per premises, with one extra provided only if the premises has significant public interfaces along two roads or major pedestrian routes, or it is necessary to identify an additional, major entry point to the premises;
- (c) not obstruct the view of, or infringe the safety of motorists or pedestrians;
- (d) not result in a duplication or proliferation of information or advertisements or advertising displays;
- (e) be coordinated with the design of all other advertisements on the subject site or building;
- (f) not encroach beyond the boundary alignment of the subject site or into car parking areas;
- (g) not cause or require damage to or removal of any landscaping on the site;
- (h) contain a maximum of one square metre in advertisement area per face; and
- (i) be not more than 1.2 metres in high.

**252** Advertisements or advertising displays incorporating flags, bunting, streamers or other attention attracting devices which move or flash or may create undue distraction for motorists should not be displayed.

#### **Advertising in Mixed Use and Corridor Zones**

**253** Advertisements and/or advertising hoardings should be:

- (a) no higher than the height of the finished floor level of the second storey of the building to which it relates;
- (b) where located below canopy level, flush with the wall or projecting horizontally;
- (c) where located at canopy level, in the form of a fascia sign; and
- (d) where located above the canopy, flush with the wall and within the height of the parapet.

**254** Advertisements or advertising hoardings should not exceed 25 per cent of the ground floor wall area on the façade the sign is placed.

## Renewable Energy

### OBJECTIVES

- Objective 84:** The development of renewable energy facilities, such as wind and biomass energy facilities, in appropriate locations.
- Objective 85:** Renewable energy facilities located, sited, designed and operated to avoid or minimise adverse impacts and maximise positive impacts on the environment, local community and the State.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 255** Renewable energy facilities, including wind farms, should be located, sited, designed and operated in a manner which avoids or minimises adverse impacts and maximises positive impacts on the environment, local community and the State.
- 256** Renewable energy facilities, including wind farms, and ancillary developments should be located in areas that maximise efficient generation and supply of electricity.
- 257** Renewable energy facilities, including wind farms, and ancillary development such as substations, maintenance sheds, access roads and connecting power-lines (including to the National Electricity Grid) should be located, sited, designed and operated in a manner which:
- (a) avoids or minimises detracting from the character, landscape quality, visual significance or amenity of the area;
  - (b) utilises elements of the landscape, materials and finishes to minimise visual impact;
  - (c) avoids or minimises adverse impact on areas of native vegetation, conservation, environmental, geological, tourism or built or natural heritage significance;
  - (d) does not impact on the safety of water or air transport and the operation of ports, airfields and designated landing strips;
  - (e) avoids or minimises nuisance or hazard to nearby property owners/occupiers, road users and wildlife by way of:
    - (i) shadowing, flickering, reflection and blade glint impacts;
    - (ii) noise;
    - (iii) interference to television and radio signals;
    - (iv) modification to vegetation, soils and habitats; and
    - (v) bird and bat strike.

## OVERLAYS

### Overlay 1 – Affordable Housing

The following objectives and principles of development control that follow apply to the ‘designated area’ marked on [Map Bur/1 \(Overlay 6\)](#). They are additional to those expressed for the whole of the council area and those expressed for the relevant zone and, if applicable, policy area.

#### INTERPRETATION

Where the Objectives and/or Principles of Development Control that apply in relation to this overlay are in conflict with the relevant Council-wide Objectives and/or Principles of Development Control in the Development Plan, the overlay will prevail.

#### OBJECTIVES

- Objective 1:** Affordable housing that is integrated into residential and mixed use development.
- Objective 2:** Development that comprises a range of affordable dwelling types that caters for a variety of household structures.

#### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development comprising 20 or more dwellings should include a minimum of 15 percent affordable housing.

### Overlay 2 – Strategic Transport Routes

The following objectives and principles of development control apply to the ‘designated area’ marked on [Map Bur/1 \(Overlay 5\)](#). They are additional to those expressed for the whole of the council area and those expressed for the relevant zone and, if applicable, policy area.

#### INTERPRETATION

Where the Objectives and/or Principles of Development Control that apply in relation to this overlay are in conflict with the relevant General Objectives and/or Principles of Development Control in the Development Plan, the overlay will prevail.

#### OBJECTIVES

- Objective 1:** Development that recognises the importance of strategic transport routes and does not impede traffic flow or create hazardous conditions for pedestrians, cyclists or drivers of vehicles, including emergency services vehicles.

#### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development adjacent to a strategic transport route should:
  - (a) avoid the provision of parking on the main carriageway;
  - (b) be accessible via service roads, where possible, that provide:
    - (i) parking off the main carriageway;
    - (ii) a buffer from the main carriageway for pedestrian and cycling activity;
  - (c) not impede the potential for overhead cabling and associated infrastructure to be established in an existing or proposed tram corridor.

- 2 Vehicular site access should not be provided along the main street frontage where an alternative access is available.
- 3 Development adjacent kerbside bus stops should be set back to provide sufficient space for indented bus bays with associated hard stand area, shelter and a minimum 1.2 metre wide continuous accessible path behind the bus shelter.

### Overlay 3 – Noise and Air Emissions

The following objectives and principles of development control that follow apply to the 'designated area' marked on [Map Bur/1 \(Overlay 4\)](#). They are additional to those expressed for the whole of the council area and those expressed for the relevant zone and, if applicable, policy area.

#### INTERPRETATION

Where the Objectives and/or Principles of Development Control that apply in relation to this overlay are in conflict with the relevant General Objectives and/or Principles of Development Control in the Development Plan, the overlay will prevail.

#### OBJECTIVES

- Objective 1:** Protect community health and amenity from adverse impacts of noise and air emissions.

#### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Noise and air quality sensitive development located adjacent to high noise and/or air pollution sources should:
  - (a) shield sensitive uses and areas through one or more of the following measures:
    - (i) placing buildings containing less sensitive uses between the emission source and sensitive land uses and areas;
    - (ii) within individual buildings, place rooms more sensitive to air quality and noise impacts (e.g. bedrooms) further away from the emission source;
    - (iii) erecting noise attenuation barriers provided the requirements for safety, urban design and access can be met;
  - (b) use building design elements such as varying building heights, widths, articulation, setbacks and shapes to increase wind turbulence and the dispersion of air pollutants provided wind impacts on pedestrian amenity are acceptable; and
  - (c) locate ground level private open space, communal open space and outdoor play areas within educational establishments (including childcare centres) away from the emission source.

## RESIDENTIAL ZONE

### Introduction

The objectives and principles of development control that follow apply in the Residential Zone shown on [Maps Bur/3 to 9 and 11](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVES

- Objective 1:** A zone primarily for residential use with a range of dwelling types in appropriate policy areas to accommodate varied socio-economic needs.
- Objective 2:** Protection and enhancement of the amenity of residential areas, with particular reference to the objectives for the relevant policy area.
- Objective 3:** Residential densities varied having regard to topography, the objectives for the relevant policy area, and proximity to centres and major transport routes.
- Objective 4:** Provision of residential and community facilities and services for the aged community.
- Objective 5:** Enhancement of the attractive qualities of streetscapes and particularly areas of cohesive character or visual sensitivity, through good design.
- Objective 6:** A zone accommodating non-residential activities which are small in scale, benign in external impact, and serve the needs of the local community.
- Objective 7:** Reduction of the impact of established non-residential uses on the amenity of residential areas.
- Objective 8:** Use of design, management and other techniques to improve all aspects of the environmental performance of development.

The zone is characterised by:

- (a) a high level of amenity with relatively few non-residential uses causing negative impacts;
- (b) generally low relief, but with steeper, elevated land along the western foothills of the Mount Lofty Ranges affording excellent views of the Adelaide Plains;
- (c) a range of dwelling styles, types and densities with separate (detached) houses predominant in most suburbs, particularly those closer to the foothills;
- (d) attached or group dwelling types (generally of medium density) unevenly distributed; and
- (e) a range of community, educational and health care facilities providing for the needs of residents; and
- (f) well-vegetated public (street and reserve) and private areas, including significant trees of indigenous and introduced species.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Appropriate Development

- 1 The following kinds of development are appropriate in the zone:
  - (a) dwellings as well as accommodation for the aged, students and others with special needs in suitable locations;
  - (b) community facilities such as child care, public open space, recreational, and small-scale health and educational facilities in suitable locations; and

- (c) small-scale offices and consulting rooms associated with a dwelling.

### **Building Appearance and Neighbourhood Character**

#### **2** Development should be designed to:

- (a) preserve existing mature vegetation and other attractive site features;
- (b) permit the establishment and long-term health, growth and stability of substantial landscaping having regard to the dimensions of the site and the scale of existing or proposed buildings;
- (c) avoid highly reflective surfaces likely to cause unreasonable nuisance to residents in the locality; and
- (d) be consistent with and contribute to achievement of the objectives for the relevant policy area, having due regard to:
  - (i) siting;
  - (ii) mass and proportion;
  - (iii) building materials, patterns, textures, colours and decorative elements;
  - (iv) ground floor height above natural ground level;
  - (v) roof form and pitch;
  - (vi) facade articulation and detailing, and window and door locations and proportions;
  - (vii) verandas, eaves and parapets;
  - (viii) fence style and alignment; and
  - (ix) landscaping.

#### **3** Buildings of more than one storey or more than one dwelling should have interesting and varied facades, and avoid featureless walls or monotonous patterns. Buildings should incorporate articulation or other architectural features, as necessary, to reduce bulky appearance and add visual interest.

#### **4** The entrances to dwellings should be apparent from the road access points.

### **Design for Topography**

#### **5** Development and the finished levels on sloping sites should be sited and designed to:

- (a) provide a stable and readily accessible building site, and reduce the visual bulk of the building;
- (b) minimise soil erosion and the extent of excavation and fill; and
- (c) minimise the need for, and height of, retaining walls.

#### **6** Trees, shrubs and groundcovers should be established to stabilise and screen filling and embankments.

### **Non-residential Development**

#### **7** Non-residential development in the zone should:

- (a) be of a nature and scale that does not detrimentally affect the amenity or character of the locality; and

- (b) contain landscaping to maintain the continuity of residential streetscapes and provide visual buffers.
- 8** Expansion of existing retail, commercial and other non-residential uses, or their redevelopment for other non-residential purposes, should protect and enhance the amenity of the locality.
- 9** Advertisements and advertising displays should:
- (a) only be erected on land upon which lawful non-residential land use exists, or in conjunction with a home activity;
  - (b) be sensitive to the nature of the locality;
  - (c) not be illuminated (internally, externally or indirectly), move, flash or rotate;
  - (d) if freestanding on a site, not more than two metres above the ground at any point;
  - (e) be not more than 0.35 square metres in area where advertising a lawfully existing non-residential land use other than a home activity; and
  - (f) be not more than 0.2 square metres in area where advertising a home activity within residential premises.

#### **Hills Face Zone Buffer**

- 10** Development of land shown on [Figure R/1 Parts A, B and C](#) should be sympathetic to, and not detract from the natural character of the Hills Face Zone through inappropriate siting, scale, design, landscaping, or external finishes and colours.

### **Residential Policy Area 1 – Greater Beulah Park**

#### **Introduction**

The following provisions apply to Residential Policy Area 1 as shown on [Maps Bur/13](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

#### **OBJECTIVE**

- Objective 1:** Maintenance and enhancement of a residential character that is derived particularly from low scale, low-to-medium density dwellings, varied in style, including significant groups of relatively small nineteenth century villas and cottages on narrow streets which create attractive and intimate streetscapes.

Acknowledged variations from the predominant, desired character, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) within localities adjacent to the Historic (Conservation) Zone and other localities where nineteenth century cottages and villas, generally sited close to the street frontage with ornate facades and verandas, and shallow, open front gardens, are a significant feature of streetscapes;
- (b) on land with frontage to the western part of Oban Street, including the grounds of the large, historic two-storeyed dwelling at 230 Portrush Road and the nearby electricity sub-station;
- (c) on land with frontage to Magill Road and to Portrush Road; and
- (d) in the interfaces with the Local Business Zone, the Local Centre Zone, the Community Zone and the Historic (Conservation) Zone.

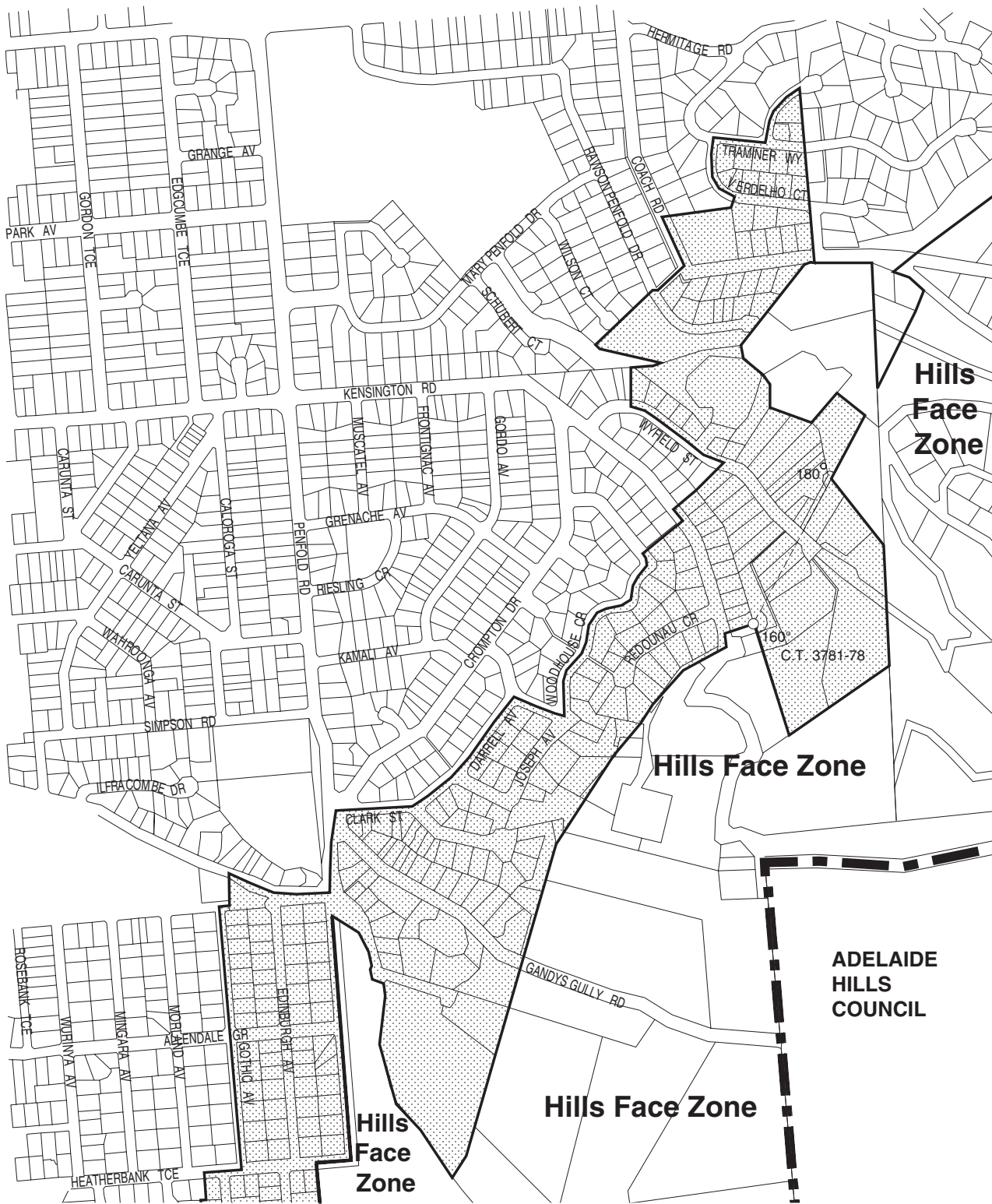
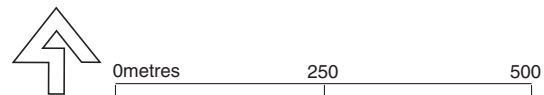


Fig R/1 PART B ADJOINS



**BURNSIDE (CITY)  
RESIDENTIAL ZONE  
HILLS FACE ZONE BUFFER  
CONCEPT PLAN  
Fig R/1 PART A**

 Hills Face Zone Buffer



Fig R/1 PART A ADJOINS

Hills Face Zone

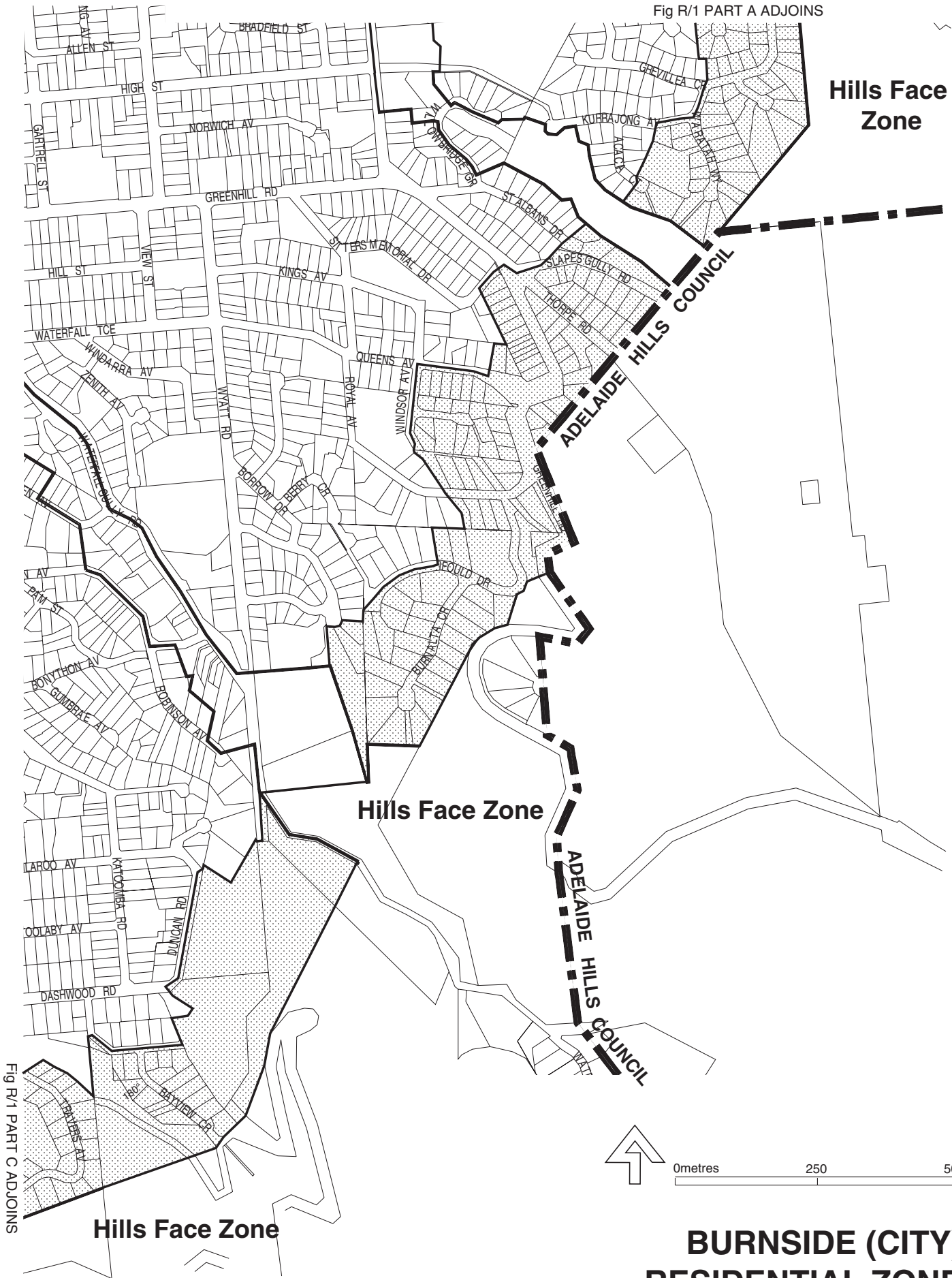


Fig R/1 PART C ADJOINS

Hills Face Zone



0metres 250 500

**BURNSIDE (CITY)  
RESIDENTIAL ZONE  
HILLS FACE ZONE BUFFER  
CONCEPT PLAN  
Fig R/1 PART B**

 Hills Face Zone Buffer



Hills Face Zone

Hills Face Zone

Hills Face Zone



0metres                      250                      500

**BURNSIDE (CITY)  
RESIDENTIAL ZONE  
HILLS FACE ZONE BUFFER  
CONCEPT PLAN  
Fig R/1 PART C**

 Hills Face Zone Buffer

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

- 1 Development should be:
  - (a) compatible with the height, roof-forms and pitches, proportions, siting, architectural style and detailing and materials of the nineteenth century dwellings typical in its locality; and
  - (b) compatible in scale, height, bulk and appearance with buildings that are adjacent in the Historic (Conservation) Zone.
- 2 On the allotments abutting Portrush Road to the south of the electricity sub-station on the corner of Magill Road, up to and including 230 Portrush Road, two-storeyed dwellings are appropriate in conjunction with the retention of significant trees.

### Site Areas and Frontages

- 3 Subject to Principle of Development Control 4, the site area per dwelling of any type (averaged for group dwellings or dwellings in a residential flat building) should be not less than 350 square metres.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 350 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) nine metres for each detached dwelling;
  - (b) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to any dwellings towards the rear of the site;
  - (c) 7.5 metres for each dwelling of any other type.

### Building Height

- 6 Dwellings should be limited to one storey, except where the development involves:
  - (a) sympathetic two-storeyed additions which utilise or extend existing roof space to the rear; or
  - (b) in new dwellings, a second storey within the roof space where the overall building height and scale is compatible with existing single-storeyed development in the locality; or
  - (c) land in the area referred to in Principle of Development Control 2, above.

### Building Set-back

- 7 Buildings should be set-back not less than three metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development".

### Private Open Space

- 8 There should be a part of the total area of private open space that should be provided with each dwelling, being an outdoor area at ground level that is capable of containing a rectangle measuring not less than four metres by six metres.

## Non-complying Development

### 9 The following kinds of development are **non-complying**:

The change of land use to, or building work for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above the natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly-owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel (unless on a site fronting Portrush Road)

Office

Office and Dwelling where the total floor area of the office is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store

Theatre

Timber Yard

Transmitting Station

Used Car Lot  
Warehouse  
Welfare Institution

### Public Notification

**10** The following kinds of development are assigned to **Category 1**:

Dwelling  
Fence  
Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**11** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 2 – Northern

### Introduction

The following provisions apply to Residential Policy Area 2 as shown on [Maps Bur/13 and 14](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of a residential character that is derived particularly from:

- (a) dwellings of low-scale and low to medium density, widely varied in age but predominantly of the interwar and post-war periods; and
- (b) single-storeyed, detached dwellings and semi-detached dwellings, moderately set-back from road boundaries and similar in scale, that are the dominant built-form features in most streetscapes.

Acknowledged significant variations from the predominant, desired character, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) in an area of recent housing south of Lossie Street, west of Toowong Avenue and north of Beulah Road; and
- (b) on land with frontage to Magill Road and to Glynburn Road; and
- (c) adjacent to the Local Business Zone, the Local Centre Zone and the Community Zone.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

- 1 Development should complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

### Site Areas and Frontages

- 2 Subject to Principle of Development Control 3, the site area per dwelling of any type (averaged for group dwellings or dwellings in a residential flat building) should be not less than 375 square metres.
- 3 A battleaxe, or similarly shaped, allotment should only be created if the head of that allotment has an area of not less than 375 square metres.
- 4 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 12 metres for each detached dwelling;
  - (b) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to any dwellings towards the rear of the site;
  - (c) nine metres for each dwelling of any other type.

### Private Open Space

- 5 There should be a part of the total area of private open space that should be provided with each dwelling, being an outdoor area at ground level that is capable of containing a rectangle measuring not less than four metres by six metres.

### Non-complying Development

- 6 The following kinds of development are **non-complying**:

The change of land use to, or building work for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office  
 Office and Dwelling where the total floor area of the office is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**7** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**8** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 3 – Magill (Chapel)

### Introduction

The following provisions apply to Residential Policy Area 3 as shown on [Map Bur/14](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

- Objective 1:** Maintenance and enhancement of the low scale, low-to-medium density residential character that is derived particularly from single-storeyed dwellings in a wide variety of types and styles, generally located close to frontages with narrow streets, and recognition of the “village” character of the early settlement of Magill.

Acknowledged significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) within the north-eastern portions of the Policy Area (east and west of Penfold Road) that contain small villas and cottages of historic character associated with the early settlement of Magill;
- (b) on the sites of the cemetery, church and Bennetts Magill Pottery;
- (c) within the “Vintage Estate” (centred on Vintage Court), an area of more recent housing where specific land management agreement provisions apply;
- (d) on land with frontage to Magill Road and to Penfold Road;
- (e) in the interfaces with the Neighbourhood Centre Zone and the Community Zone; and
- (f) adjacent to Magill Road and the Neighbourhood Centre Zone, where greater intensity of activity and movement occurs.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

- 1 Development should:
  - (a) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists; and
  - (b) conserve and enhance the buildings of historic character associated with the early settlement of Magill.

#### Site Areas and Frontages

- 2 Subject to Principle of Development Control 3, the site area per dwelling of any type (averaged for group dwellings or dwellings in a residential flat building) should be not less than 325 square metres.
- 3 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 325 square metres.
- 4 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 12 metres for each detached dwelling;



- (b) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
- (c) nine metres for each dwelling of any other type.

### Building Height

- 5 Dwellings should be limited to one storey, except where the development involves:
- (a) sympathetic two-storeyed additions which utilise or extend existing roof space to the rear; or
  - (b) in new dwellings, a second storey within the roof space where the overall building height and scale is compatible with existing single-storeyed development in the locality; or
  - (c) dwellings adjacent to Magill Road and the Neighbourhood Centre Zone.

### Building Set-back

- 6 Buildings should be set-back not less than four metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development".

### Private Open Space

- 7 There should be a part of the total area of private open space that should be provided with each dwelling, being an outdoor area at ground level that is capable of containing a rectangle measuring not less than four metres by six metres.

### Non-complying Development

- 8 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**9** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above the existing natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**10** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 4 – Magill (Romalo)

### Introduction

The following provisions apply to Residential Policy Area 4 as shown on [Map Bur/14](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVES

**Objective 1:** Maintenance and enhancement of the low density, residential character that is derived from primarily detached dwellings of one storey (or, on elevated sites, two storeys), typically of conventional and other post-war styles, with moderate building set-backs and well-landscaped, open front gardens.

Acknowledged significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) within the Romalo Avenue and Ormond Avenue area, where stands of indigenous and tall introduced trees make an important contribution to the desired character;
- (b) within the “Grange Estate” (centred on Henry Martin Square and Warburton Street), an area of more recent housing, where specific land management agreement provisions apply;
- (c) on land with frontage to Magill Road and to Penfold Road; and
- (d) adjacent to the Winery (Magill Estate) Zone and Community Zone.

**Objective 2:** Protection and enhancement of the significant trees and densely vegetated character of the Romalo Avenue and Ormond Avenue area.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

- 1 Development should:
  - (a) conserve and enhance the character of the Policy Area, described in Objective 1, and its significant trees, such as those in the vicinity of Romalo Avenue and Ormond Avenue; and
  - (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

#### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 550 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 425 square metres.
- 4 A battleaxe, or similarly shaped, allotment should only be created if the head of that allotment has an area of not less than 550 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;

- (b) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to any dwellings towards the rear of the site;
- (c) nine metres for each dwelling of any other type.

### Non-complying Development

#### 6 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

7 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

8 Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 5 – Kensington Park (South-West)

### Introduction

The following provisions apply to Residential Policy Area 5 as shown on [Map Bur/13](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of a low scale, low-to-medium density residential character that is derived particularly from:

- (a) nineteenth century cottages, villas, maisonettes and row dwellings, at residential densities higher than those in adjacent parts of Kensington Park (Residential Policy Area 6), including cohesive groups of small or medium scaled dwellings with ornate facades, often sited well to the front of their sites; and
- (b) attractive and intimate streetscapes, created by shallow, open, front gardens, and some verandas close to the street.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) on allotments sharing boundaries with both May Terrace and Uxbridge Street, where there are opportunities for development of one-storeyed or two-storeyed dwellings facing Uxbridge Terrace, in lieu of unattractive rear fencing and sheds;
- (b) on land with frontage to Kensington Road; and
- (c) adjacent to the Neighbourhood Centre Zone, the Community Zone and non-residential premises to the west of Shipsters Road.

## **PRINCIPLES OF DEVELOPMENT CONTROL**

### **Local Compatibility**

#### **1 Development should:**

- (a) conserve and enhance the character of the Policy Area, described in Objective 1, and its nineteenth century dwellings; and
- (b) be compatible with the height, roof-forms and pitches, proportions, siting, architectural style and detailing, materials, and frontage patterns of the predominant housing stock in its locality.

### **Site Areas and Frontages**

- 2** Subject to principle of development control 3, the site area per dwelling of any type (but averaged for group dwellings or dwellings in a residential flat building) should be not less than 350 square metres.
- 3** A battleaxe, or similarly shaped, allotment should only be created if the head of that allotment has an area of not less than 350 square metres.
- 4** A site for the development of a dwelling of any type should have a frontage to a public road of not less than nine metres.

### **Building Height**

#### **5 Dwellings should be limited to one storey, except where the development involves:**

- (a) sympathetic two-storeyed additions which utilise or extend existing roof space to the rear; or
- (b) in new dwellings, a second storey within the roof space, where the overall building height and scale is compatible with existing development in the locality; or
- (c) the replacement of unattractive fencing and sheds along the eastern side of Uxbridge Street.

### **Building Set-back**

- 6** Buildings should be set-back not less than three metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development".

### **Private Open Space**

- 7** There should be a part of the total area of private open space that should be provided with each dwelling, being an outdoor area at ground level that is capable of containing a rectangle measuring not less than four metres by six metres.

## Non-complying Development

### 8 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store

Theatre

Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

9 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

10 Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 6 – Greater Kensington Park

### Introduction

The following provisions apply to Residential Policy Area 6 as shown on [Map Bur/13](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of the low density residential character that is derived particularly from:

- (a) low density, single-storeyed, and substantial detached dwellings of a variety of styles, with low-scale, medium-density dwellings of other types being generally a less dominant feature;
- (b) an open and attractive streetscape character created by moderate building set-backs from street frontages, well-landscaped front gardens with low or open fencing, and extensive grassed verges; and
- (c) mature vegetation such as indigenous eucalypts.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) within Kensington Park Reserve (former Olympic Sports Field), a significant landscape feature and public open space;



- (b) on land with frontage to Kensington Road, to Glynburn Road and to The Parade; and
- (c) adjacent to the Neighbourhood Centre Zone and the campuses of Pembroke School in the Community Zone.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

- 1 Development should:
  - (a) conserve and enhance the character of the Policy Area, described in Objective 1, and significant trees therein; and
  - (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 550 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 500 square metres.
- 4 A battleaxe, or similarly shaped, allotment should only be created if the head of that allotment has an area of not less than 550 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 18 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) 10 metres for each dwelling of any other type.

### Non-complying Development

- 6 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall  
 Amusement Machine Centre  
 Auction Room  
 Bank  
 Builder's Yard

Building where the building height above natural ground level is more than 12 metres  
 Bus Depot  
 Bus Station  
 Caravan Park  
 Concert Hall  
 Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres  
 Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

7 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;

- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**8** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 7 – Greater Kensington Gardens

### Introduction

The following provisions apply to Residential Policy Area 7 as shown on [Maps Bur/13 and 14](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVES

**Objective 1:** Maintenance and enhancement of the low density residential character that is derived particularly from:

- (a) low density, single-storey detached dwellings interspersed with single-storey medium density dwellings of other types;
- (b) substantial bungalows and detached dwellings of other styles (mainly of the inter-war period), commonly set well back from street frontages in spacious, well-landscaped gardens that create an open and attractive character; and
- (c) mature trees, particularly indigenous eucalypts, the open banks and channel of Stonyfell Creek, extensive grassed verges, and hedges.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) within Kensington Gardens Reserve, a large, well-vegetated, centrally located open space;
- (b) on land with frontage to Kensington Road and to The Parade; and
- (c) adjacent to the Local Centre Zone.

**Objective 2:** Protection and enhancement of the natural features of Stonyfell Creek, its environs, and associated trees.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility and Use

**1** Development should:

- (a) conserve and enhance the character of the Policy Area, described in Objective 1, and significant trees therein; and
- (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 625 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 600 square metres.
- 4 A battleaxe, or similarly shaped, allotment should only be created if the head of that allotment has an area of not less than 625 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 18 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) 10 metres for each dwelling of any other type.

### Building Set-back

- 6 Buildings should be set-back not less than eight metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development".

### Watercourse

- 7 Development should be sited and designed to minimise risk of flooding from Stonyfell Creek, with buildings well set-back from, and not encroaching unnecessarily upon, the creek.

### Non-complying Development

- 8 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

9 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above the natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

10 Land division creating four or more additional allotments is assigned to **Category 2**

## Residential Policy Area 8 – Rosslyn Park

### Introduction

The following provisions apply to Residential Policy Area 8 as shown on [Map Bur/14](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of the low scale, low density residential character that is derived particularly from:

- (a) primarily low density, single-storeyed, detached dwellings in a variety of architectural styles (mainly from the post-war period, but with some from the inter-war period in the west); and
- (b) open front gardens, moderate to deep building set-backs, mature vegetation (particularly significant eucalypts in the south west and along Edgecumbe Terrace) and extensive grassed verges.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) on land with frontage to Kensington Road, to Penfold Road, and to The Parade, (including the sites of several non-residential uses with frontage to The Parade); and
- (b) adjacent to the Local Centre Zone.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

- 1 Development should:
  - (a) conserve and enhance the character of the Policy Area, described in Objective 1, and significant trees therein; and
  - (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

#### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 550 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 500 square metres.
- 4 A battleaxe, or similarly shaped, allotment should only be created if the head of that allotment has an area of not less than 550 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 18 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) 10 metres for each dwelling of any other type.

## Non-complying Development

### 6 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store

Theatre

Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

7 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

8 Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 9 – Northern Foothills

### Introduction

The following provisions apply to Residential Policy Area 9 as shown on [Map Bur/14](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVES

**Objective 1:** Enhancement of the low density, open, residential and foothills character that is derived from:

- (a) the topographic and other natural features of the foothills location, and low density dwellings in a variety of architectural styles (typically, dwellings that are detached, medium to large in scale, and split-level or multi-storeyed);
- (b) many dwellings on elevated land, orientated to take advantage of views across the Adelaide Plains; and
- (c) moderate to deep building set-backs, well vegetated and generally unfenced front gardens, and the natural character of the adjoining Hills Face Zone.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be enhanced, are found:

- (a) on land which, due to its elevation, gradient and aspect, is visible from the Adelaide plains or main public vantage points in the foothills;



- (b) on land adjacent to the Hills Face Zone, or other open land where there may be significant risk of bushfire;
- (c) on filled land near, and to the south east, of the terminus of Wyfield Street, and remnant native vegetation in its vicinity;
- (d) within the “Penfold Estate” (generally east of Penfold Road and north of Kensington Road) located partly on the plains and where specific encumbrance provisions apply;
- (e) on land with frontage to Penfold Road; and
- (f) adjacent to the Winery (Magill Estate) Zone.

**Objective 2:** Development designed and sited so that the appearance of the foothills visible from the Adelaide Plains is not impaired.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

#### 1 Development should:

- (a) conserve and enhance the character of the Policy Area, described in Objective 1, and significant trees therein; and
- (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

#### 2 In the Hills Face Zone Buffer, development should:

- (a) if likely to be visible from the Adelaide Plains or significant public vantage points in the foothills:
  - (i) be carefully sited and designed to reduce visual bulk; and
  - (ii) avoid reflective, light-coloured or bright surfaces; and
- (b) ensure that buildings are:
  - (i) located on stable sites, and
  - (ii) sited and designed to minimise the visible extent of earthworks and in a manner which avoids or minimises disturbance of indigenous vegetation.

### Site Areas and Frontages

- 3 Subject to Principle of Development Control 4, the site area per dwelling of any type (averaged for group dwellings or dwellings in a residential flat building) should be not less than 750 square metres.
- 4 A battleaxe, or similarly shaped, allotment should only be created if the head of that allotment has an area of not less than 750 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 25 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (b) 20 metres for each dwelling of any other type.

### Site Coverage

- 6 The total floor area of buildings (including any carport or garage, but not including any veranda, pergola or other garden structure) at ground level (measured from the external faces of the walls of each building, or, with a carport, the outer faces of columns) should not be more than 33 percent of the area of the site of a dwelling (excluding the area of the access strip of a battleaxe site).

### Building Set-back

- 7 Buildings should be set-back not less than eight metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development".

### Non-complying Development

- 8 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

9 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

10 Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 10 – Leabrook (North)

### Introduction

The following provisions apply to Residential Policy Area 10 as shown on [Map Bur/13](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVES

**Objective 1:** Maintenance and enhancement of the low scale, low density residential character that is derived particularly from:

- (a) detached dwellings of low density, in a variety of styles (including villa, cottage, bungalow, Tudor and modern styles);

- (b) in some parts of the Policy Area, a significant number of medium-density residential flat buildings and aged persons accommodation of one or more storeys;
- (c) substantial dwellings (some two-storeyed), set-back a significant distance from the frontage street, and with spacious, well vegetated, generally open, front gardens; and
- (d) open and attractive streetscapes along relatively wide streets with extensive grassed verges.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) along the open course and well vegetated environs of Second Creek, within which there is a dense corridor of trees, including many large, indigenous eucalypt trees;
- (b) on land with frontage to Kensington Road and to Glynburn Road; and
- (c) adjacent to the Neighbourhood Centre Zone and Policy Area 2 of the Watercourse Zone.

**Objective 2:** Accommodation of community and health care facilities to meet the current and future needs of residents in a manner that does not adversely affect the use and enjoyment of adjoining land.

**Objective 3:** Protection and enhancement of the natural features of Second Creek, its environs, and associated trees.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

1 Development should:

- (a) conserve and enhance the character of the Policy Area, described in Objective 1, and significant trees therein; and
- (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 625 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 600 square metres, except for sites fronting Perry Lane which should have an area of not less than 500 square metres.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 625 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 18 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) 12 metres for each dwelling of any other type.

### Building Set-back

- 6 Buildings should be set-back not less than eight metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development".

### Non-complying Development

- 7 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except on the site of accommodation for aged persons, and otherwise except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**8** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**9** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 11 – Leabrook (South)

### Introduction

The following provisions apply to Residential Policy Area 11 as shown on [Map Bur/13](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVES

**Objective 1:** Maintenance and enhancement of the low scale, low density residential character that is derived particularly from:

- (a) single-storeyed detached dwellings of various (generally low) densities, from the interwar period and earlier, in well-landscaped gardens, with much of the remaining original nineteenth century housing stock dominating the built-form character of some streets;
- (b) varied front building set-backs (those in eastern Knightsbridge Road, Rochester Street and Rodger Avenue, being generally less than in surrounding areas);

- (c) buildings in Rodger Avenue that are State heritage places, notable for their consistent design and siting; and
- (d) large, indigenous eucalypt trees.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) on land with frontage to Glynburn Road; and
- (b) adjacent to the Local Centre Zone.

**Objective 2:** Protection and enhancement of the natural features of Second Creek, its environs, and associated trees.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

- 1 Development should:
  - (a) conserve and enhance the character of the Policy Area, described in Objective 1, and significant trees therein; and
  - (b) be compatible with the height, roof-forms and pitches, proportions, siting, architectural style and detailing, materials, and frontage patterns of the typical housing stock in the locality.

### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 550 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 500 square metres.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 550 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 15 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) 10 metres for each dwelling of any other type.

### Non-complying Development

- 6 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store

Theatre

Timber Yard

Transmitting Station

Used Car Lot

Warehouse

Welfare Institution



## Public Notification

7 The following kinds of development are assigned to **Category 1**:

Dwelling  
Fence  
Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

8 Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 12 – Erindale

### Introduction

The following provisions apply to Residential Policy Area 12 as shown on [Maps Bur/13 and 14](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Enhancement of the low scale residential character that is derived particularly from:

- (a) primarily single-storeyed detached dwellings, at low density, in a variety of styles (mainly post-war conventional styles, but with a relatively smaller number of inter-war bungalows); and
- (b) well-established, open, front gardens and grassed verges.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be enhanced, are found:

- (a) on land with frontage to Kensington Road and to Glynburn Road; and
- (b) adjacent to the Local Centre Zone.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

1 Development should complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 625 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 500 square metres.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 625 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 15 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) 10 metres for each dwelling of any other type.

### Building Set-back

- 6 South of Godfrey Terrace, buildings should be set-back not less than eight metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council wide principle of development control under the heading "Residential Development".

### Non-complying Development

- 7 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**8** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where "two storeys" is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**9** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 13 – Dulwich

### Introduction

The following provisions apply to Residential Policy Area 13 as shown on [Maps Bur/12 and 15](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of the low scale, low-to-medium density residential character derived particularly from:

- (a) low-to-medium density dwellings of the late nineteenth century and early twentieth century; and
- (b) single-storeyed cottages, villas and bungalows of relatively consistent scale and sited well to the front of their allotments, with ornate facades, well-established, open, front gardens and street trees that create attractive, intimate and cohesive streetscapes.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) on land with frontage to Dulwich Avenue and to Stuart Road, busy local roads carrying relatively high volumes of traffic, where further low intensity, home-based business activities compatible with a predominantly residential character may be appropriate;
- (b) on the sites of churches adjacent to the Local Centre Zone at the intersection of Dulwich Avenue, Stuart Road and Grandview Grove;
- (c) in Tudor Street and the adjacent part of Kitchener Avenue, where built-form character has been substantially modified by two-storeyed residential buildings or (in the latter street) by carports in front of original dwellings;
- (d) on land with frontage to Greenhill Road; and
- (e) adjacent to the Local Business Zone, the Local Centre Zone, the Office Zone and the Historic (Conservation) Zone.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

1 Development should:

- (a) conserve and enhance the character of the Policy Area, described in Objective 1;
- (b) be compatible with the height, roof-forms and pitches, proportions, siting, architectural style and detailing, materials, and frontage patterns of the predominant one-storey housing stock in the locality; and
- (c) be compatible in scale, height, bulk and appearance with buildings that are adjacent in the Historic (Conservation) Zone.

#### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 450 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 400 square metres.

- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 450 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) nine metres for each dwelling of any other type.

### Building Height

- 6 Development should be limited to one storey, except where the development involves:
  - (a) sympathetic two-storeyed additions which utilise or extend existing roof space to the rear; or
  - (b) in new dwellings, a second storey within the roof space where the overall building height and scale is compatible with existing single-storeyed development in the locality; or
  - (c) a two-storeyed dwelling in Tudor Street, Kitchener Street south of its intersection with Albert Street or adjoining the Local Centre Zone.

### Building Set-back

- 7 Dwellings should be set-back not less than four metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development".

### Non-complying Development

- 8 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**9** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Residential outbuilding

except where:

- (a) the dwelling or residential outbuilding is two or more storeys in height (where "two storeys" is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or residential outbuilding, or adjacent outdoor paved level, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**10** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 14 – Toorak Gardens (South East)

### Introduction

The following provisions apply to Residential Policy Area 14 as shown on [Maps Bur/12, 13 and 16](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Enhancement of the low-to-medium density residential character that is derived particularly from:

- (a) residential development, that includes detached dwellings in a wide variety of styles, interspersed with medium-density dwellings, with provision for a greater range and density of residential development than exists in Historic Conservation Policy Areas 6 and 7, given its less consistent character, and its proximity and ready pedestrian access to the District Centre Zone; and
- (b) grassed verges, avenues of mature street trees, generally open, well-established, front gardens, and moderate building set-backs.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be enhanced, are found:

- (a) on land with frontage to Portrush Road and to Greenhill Road; and
- (b) adjacent to the District Centre Zone.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

- 1 Development should complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

#### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 450 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 400 square metres.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 450 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) nine metres for each dwelling of any other type.

## Non-complying Development

### 6 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel (unless on a site fronting Portrush Road)

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area, except on sites with a road frontage located within 50 metres of the District Centre Zone

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store



Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**7** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**8** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 15 – First Creek

### Introduction

The following provisions apply to Residential Policy Area 15 as shown on [Maps Bur/13 and 16](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVES

**Objective 1:** Maintenance and enhancement of a low density residential character that is derived particularly from:

- (a) primarily single-storeyed detached dwellings, from the interwar and post-war periods, near First Creek and surrounding the Hazelwood Park reserve, with concentrations of single-storeyed medium-density dwellings in Tusmore Avenue and a number of scattered two-storeyed dwellings; and
- (b) grassed verges, moderate to deep building set-backs, well-landscaped gardens, and indigenous eucalypt trees.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) on land with frontage to Greenhill Road; and
- (b) adjacent to the Local Business Zone and the Local Centre Zone.

**Objective 2:** Protection and enhancement of the natural features of First Creek, its environs, and associated tree cover.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

- 1 Development should:
  - (a) conserve and enhance the character of the Policy Area, described in Objective 1, and the significant trees therein; and
  - (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 625 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 600 square metres.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 625 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 18 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) 12 metres for each dwelling of any other type.
- 6 Buildings should be set-back not less than eight metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "*Residential Development*".

### Non-complying Development

- 7 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall  
Amusement Machine Centre  
Auction Room

Bank  
 Builder's Yard  
 Building where the building height above natural ground level is more than 12 metres  
 Bus Depot  
 Bus Station  
 Caravan Park  
 Concert Hall  
 Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres  
 Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**8** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where "two storeys" is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;

- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**9** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 16 – Burnside (North)

### Introduction

The following provisions apply to Residential Policy Area 16 as shown on [Maps Bur/13, 14, 16 and 17](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of the low-to-medium density residential character that is derived particularly from:

- (a) low-to-medium density, primarily detached, and interwar or post-war, dwellings in a variety of styles, interspersed with dwellings of other types or earlier origin;
- (b) split-level or two-storeyed detached dwellings, predominant in the south east of the Policy Area (generally south of Greenhill Road and east of Wyatt Road), taking advantage of views from elevated sites; and
- (c) north of Greenhill Road, a greater mix of dwelling types, styles and densities.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) on the sites of churches on Glynburn Road and Lockwood Road, and of the Fernilee Lodge function centre on Greenhill Road;
- (b) south of Greenhill Road and east of Wyatt Road, where indigenous eucalypts, local reserves and minor watercourses, and the generally open, well-vegetated appearance of front gardens, are important elements of the desired character;
- (c) near the intersection of Lockwood Road and High Street, where nineteenth century buildings sited on or close to road boundaries contribute to the “village” character of the early settlement of Burnside;
- (d) on land with frontage to Greenhill Road and to Glynburn Road; and
- (e) adjacent to the Community Zone and the Local Business Zone.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

**1** Development should:

- (a) conserve and enhance the character of the Policy Area, described in Objective 1, and the significant trees therein; and

- (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists, as around the intersection of Lockwood Road and High Street.

### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 550 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 425 square metres.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 550 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) nine metres for each dwelling of any other type.

### Non-complying Development

- 7 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

8 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

9 Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 17 – Ferguson

### Introduction

The following provisions apply to Residential Policy Area 17 as shown on [Maps Bur/13, 14 and 17](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVES

**Objective 1:** Maintenance and enhancement of a low density, well-vegetated residential character that is derived particularly from:

- (a) detached, post-war dwellings, in a variety of architectural styles; the topographic and other natural features of the foothills location, including stands of indigenous and other taller trees covering a large part of the Policy Area;
- (b) moderate to deep building set-backs from streets;
- (c) open, well-vegetated, front gardens;
- (d) in some localities, predominantly split-level or two-storeyed dwellings which, by retaining open space of sufficient size and location, promote the conservation of trees (as well as being visually compatible with their height).

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) in the natural vegetation and features of Ferguson Conservation Park and local reserves;
- (b) in the vicinity of Stonyfell/Greenhill Quarry and the Stonyfell winery complex, where residential amenity may, respectively, be affected by the existing extractive industries and adjacent activities;
- (c) in the area generally to the south of Heatherbank Terrace and east of Hallett Road, where various encumbrance or land management agreement provisions apply;
- (d) on land adjacent to the Hills Face Zone, where there may be significant risk of bushfire;
- (e) on land with frontage to Greenhill Road; and
- (f) adjacent to the Local Centre Zone.

**Objective 2:** Protection and enhancement of trees, and the natural features and open character of creeks, Ferguson Conservation Park, and local reserves.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

- 1 Development should:
  - (a) conserve and enhance the character of the Policy Area, described in Objective 1, the natural features of Ferguson Park, and significant trees; and
  - (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.
- 2 Development of the former Stonyfell winery may be for restaurant, tourism or business activities provided they do not impair the current amenity of residential areas.

- 3 Residential development should not occur in the vicinity of the main entrance to Stonyfell Quarry unless appropriate measures are taken to minimise adverse impacts on residential amenity.

#### Hills Face Zone Buffer

- 4 In the Hills Face Zone Buffer, development should:
- (a) if likely to be visible from the Adelaide Plains or significant public vantage points in the foothills:
    - (i) be carefully sited and designed to reduce visual bulk; and
    - (ii) avoid highly-reflective, light-coloured or bright surfaces; and
  - (b) ensure that buildings are:
    - (i) located on stable sites, and
    - (ii) sited and designed to minimise the visible extent of earthworks and in a manner which avoids or minimises disturbance of indigenous vegetation.

#### Site Areas and Frontages

- 5 Subject to Principle of Development Control 6, the site area per dwelling of any type (averaged for group dwellings or dwellings in a residential flat building) should be not less than:
- (a) 625 square metres, in the parts of the Policy Area north of Heatherbank Terrace and west of Hallett Road;
  - (b) 750 square metres, in other parts of the Policy Area.
- 6 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than:
- (a) 625 square metres, in the parts of the Policy Area north of Heatherbank Terrace and west of Hallett Road;
  - (b) 750 square metres, in other parts of the Policy Area.
- 7 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
- (a) 18 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (b) 15 metres for each dwelling of any other type.

#### Site Coverage

- 8 A building or buildings on a site, including any building containing a dwelling or dwellings, a carport, a garage or outbuilding, but excluding any building or part of a building comprising a veranda, or a pergola or other garden structure, should not have a ground floor area, measured from the external faces of the walls of the building or buildings (or, in the case of a carport, from the outer edge of supporting columns) of more than:
- (a) 40 percent of the area of the site of each dwelling in the parts of the Policy Area north of Heatherbank Terrace and west of Hallett Road (excluding the area of the access strip of a battleaxe site);
  - (b) 30 percent of the area of the site of each dwelling in other parts of the Policy Area (excluding the area of the access strip of a battleaxe site).



### Building Set-back

- 9 Buildings should be set-back not less than eight metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development".

### Non-complying Development

- 10 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

11 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

12 Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 18 – Eastwood

### Introduction

The following provisions apply to Residential Policy Area 18 as shown on [Map Bur/15](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of a residential character that is derived particularly from low scale, low-to-medium density dwellings, primarily detached dwellings of the late nineteenth century or early twentieth century, and more recent housing of complementary styles on the northern side of Hauteville Terrace.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

1 Development should:

- (a) conserve and enhance the character of the Policy Area, described in Objective 1, and the nineteenth century dwellings therein;

- (b) be compatible with the height, roof-forms and pitches, proportions, siting, architectural style and detailing, materials, and frontage patterns of the typical housing stock in the locality of the development; and
- (c) minimise any adverse impact on residential amenity from non-residential use and built-form on adjacent land to the north and east of the Policy Area.

**2** Development adjacent to the Historic (Conservation) Zone:

- (a) should be compatible in scale, height, bulk and appearance with nearby buildings in that zone; and
- (b) may rely solely on access from a rear lane.

**Site Areas and Frontages**

- 3** Subject to Principle of Development Control 4, the site area per dwelling of any type (averaged for group dwellings or dwellings in a residential flat building) should be not less than 350 square metres.
- 4** A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 350 square metres.
- 5** A site for the development of group dwellings or dwellings in a residential flat building, or for each dwelling of any other type, should have a frontage of not less than 10 metres to a public road.

**Site Coverage**

- 6** A building or buildings on a site, including any building containing a dwelling or dwellings, a carport, a garage or outbuilding, but excluding any building or portion of a building comprising a veranda, or a pergola or other garden structure, should not have a total ground floor area, measured from the external faces of the walls of the building or buildings (or, in the case of a carport, from the outer edge of supporting columns), of more than 50 percent of the area of the site of each dwelling (excluding the area of the access strip of a battleaxe site).

**Building Height**

- 7** Buildings should be limited to one-storey, except where the development involves:
  - (a) sympathetic two-storeyed additions which utilise or extend existing roof space to the rear of the site; or
  - (b) in new dwellings, a second storey within the roof space where the overall building height and scale is compatible with existing single-storeyed buildings in the locality.

**Building Set-back**

- 8** Buildings should be set-back not less than four metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development".

**Private Open Space**

- 9** There should be a part of the total area of private open space that should be provided with each dwelling, being an outdoor area at ground level that is capable of containing a rectangle measuring not less than four metres by six metres.

## Non-complying Development

### 10 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store

Theatre

Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**11** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**12** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 19 – Glenside (West)

### Introduction

The following provisions apply to Residential Policy Area 19 as shown on [Map Bur/15](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** An area primarily for medium density residential development forming high quality and distinctive living environments, with good access to local facilities, having a character derived from:

- (a) a mixture of housing types and densities, including two-storeyed residential development at densities of up to 40 dwellings per hectare; and
- (b) an open, vegetated streetscape, with substantial trees conserved or planted wherever possible (for example, in reserves).

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is sought, are found:

- (a) in the area centred on Cedar Crescent and Plane Tree Avenue, where specific encumbrance provisions apply;
- (b) on land with frontage to Greenhill Road; and
- (c) adjacent to the Mixed Use (Glenside) Zone, the Neighbourhood Centre Zone and the Local Business Zone.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

- 1 Development should respect the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

### Site Areas and Frontages

- 2 The site area per dwelling of any type (but averaged for group dwellings or dwellings in a residential flat building) should be not less than 160 square metres.
- 3 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 13 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (b) eight metres for each dwelling of any other type.

### Site Coverage

- 4 A building or buildings on a site, including any building containing a dwelling or dwellings, a carport, a garage or outbuilding, but excluding any building or part of a building comprising a veranda, or a pergola or other garden structure, should not:
  - (a) have a ground floor area, measured from the external faces of the walls of the building, or buildings (or in the case of a carport, the outer edge of supporting columns) of more than 60 percent of the area of the site; and
  - (b) have a total floor area, measured from the external faces of the walls of the building, or buildings (or in the case of a carport, the outer face of supporting columns), of more than 100 percent of the area of that site.

### Building Set-back

- 5 Buildings should be set-back not less than:
  - (a) eight metres from the boundary of Greenhill Road; and
  - (b) three metres from the boundary of any other road,

subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development".

### Private Open Space

- 6 There should be a part of the total area of private open space that should be provided with each dwelling, being an outdoor area at ground level that is capable of containing a rectangle measuring not less than four metres by six metres.

### Non-complying Development

- 7 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store

Theatre

Timber Yard

Transmitting Station

Used Car Lot

Warehouse

Welfare Institution

## Public Notification

- 8 Those kinds of development listed in [Table Bur/8](#), together with the following kinds of development, are assigned to **Category 1**:

Dwelling  
Fence  
Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

- 9 Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 20 – Glenside (Village)

### Introduction

The following provisions apply to Residential Policy Area 20 as shown on [Maps Bur/15 and 16](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Enhancement of the low-to-medium density residential character that is derived particularly from:

- (a) a wide variety of dwellings, in terms of their types, heights, periods and styles, with multi-storey residential flat buildings to the south of the District Centre; and
- (b) continuing provision being made for a greater range and increased density of residential development, given the proximity of the Policy Area, and its ready pedestrian access, to the District Centre Zone and to public transport services.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be enhanced, are found:

- (a) on land with frontage to Portrush Road and to Greenhill Road;
- (b) in the interfaces with the District Centre Zone, the Mixed Use (Glenside) Zone and the Local Centre Zone; and
- (c) within 150 metres of Portrush Road and the District Centre Zone, where greater intensity of activity and movement occurs.



## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

- 1 Development should complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

### Site Areas and Frontages

- 2 Subject to Principles of Development Control 3, 4 and 8, the site for a detached dwelling should have an area of not less than 450 square metres and a frontage to a public road of not less than 15 metres.
- 3 Subject to Principle of Development Control 8, the site for a detached dwelling, developed on a parcel of land located on the corner of two roads, should have an area of not less than 350 square metres and a frontage to a public road of not less than 15 metres, except where that parcel of land has a frontage to Greenhill Road or Portrush Road.
- 4 Subject to Principle of Development Control 8, the site for a detached dwelling, developed on a parcel of land having an area of more than 1200 square metres, should have an area of not less than 360 square metres and a frontage to a public road of not less than 12 metres, except where that parcel of land has a frontage to Greenhill Road or Portrush Road.
- 5 The site for a semi-detached dwelling or row dwelling should have an area of not less than 400 square metres and a frontage to a public road of not less than nine metres, except where that site is developed on a parcel of land having an area of more than 1200 square metres.
- 6 The site area for a semi-detached dwelling or row dwelling, developed on a parcel of land having an area of more than 1200 square metres, should have an area of not less than 320 square metres and a frontage to a public road of not less than nine metres, except where that parcel of land has a frontage to Greenhill Road or Portrush Road.
- 7 The site area per dwelling of any type, other than a detached dwelling, semi-detached dwelling or row dwelling, (averaged for group dwellings or dwellings in a residential flat building), should be not less than 400 square metres.
- 8 A battleaxe allotment, or similarly-shaped allotment, should only be created if the head of that allotment has an area of not less than 450 square metres.
- 9 A site for the development of a dwelling of any type, other than a detached dwelling, semi-detached dwelling or row dwelling, should have a frontage to a public road of not less than:
  - (a) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (b) nine metres for each dwelling of any other type.

### Non-complying Development

- 10 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or

- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall  
 Amusement Machine Centre  
 Auction Room  
 Bank  
 Builder's Yard  
 Building where the building height above natural ground level is more than 12 metres  
 Bus Depot  
 Bus Station  
 Caravan Park  
 Concert Hall  
 Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres  
 Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel (unless on a site fronting Portrush Road)  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area, except on sites with a road frontage located within 50 metres of the District Centre Zone  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

- 11 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**12** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 21 – Linden Park

### Introduction

The following provisions apply to Residential Policy Area 21 as shown on [Map Bur/16](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of the low scale and low-to-medium density residential character that is derived particularly from:

- (a) residential development, including detached dwellings, in a wide variety of styles, predominantly of the interwar period, near Greenhill Road, and the post-war period;
- (b) limited opportunity for a greater range and increased density of residential development, notwithstanding the proximity of the Policy Area to the District Centre Zone and to public transport services;
- (c) moderate building set-backs to streets; and
- (d) generally open, well-established, front gardens, and grassed verges.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) on land with frontage to Portrush Road and to Greenhill Road, including the two unbuilt-on and partly landscaped allotments of Council-owned on the corner of those roads; and
- (b) in the interface with the Local Centre Zone.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

- 1** Development should complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

### Site Areas and Frontages

- 2 Subject to Principles of Development Control 3, 4, 5 and 9, the site for a detached dwelling should have an area of not less than 425 square metres and a frontage to a public road of not less than 12 metres.
- 3 Subject to Principle of Development Control 9, the site for a detached dwelling with frontage to Greenhill Road or Portrush Road should have an area of not less than 450 square metres and a frontage to a public road of not less than 15 metres
- 4 Subject to Principle of Development Control 9, the site for a detached dwelling, developed on a parcel of land located on the corner of two roads, should have an area of not less than 350 square metres and a frontage to a public road of not less than 15 metres, except where that parcel of land has a frontage to Greenhill Road or Portrush Road.
- 5 Subject to Principle of Development Control 9, the site for a detached dwelling, developed on a parcel of land having an area greater than 1200 square metres, should have an area of not less than 360 square metres and a frontage to a public road of not less than 12 metres, except where that parcel of land has a frontage to Greenhill Road or Portrush Road.
- 6 The site for a semi-detached dwelling or row dwelling should have an area of not less than 400 square metres and a frontage to a public road of not less than nine metres, except where that site is developed on a parcel of land having an area greater than 1200 square metres.
- 7 The site area for a semi-detached dwelling or row dwelling, developed on a parcel of land having an area of more than 1200 square metres, should have an area of not less than 320 square metres and a frontage to a public road of not less than nine metres, except where that parcel of land has a frontage to Greenhill Road or Portrush Road.
- 8 The site area per dwelling of any type, other than a detached dwelling, semi-detached dwelling or row dwelling, (averaged for group dwellings or dwellings in a residential flat building), should be not less than 400 square metres.
- 9 A battleaxe allotment, or similarly-shaped allotment, should only be created if the head of that allotment has an area of not less than 425 square metres.
- 10 A site for the development of a dwelling of any type, other than a detached dwelling, semi-detached dwelling or row dwelling, should have a frontage to a public road of not less than:
  - (a) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (b) nine metres for each dwelling of any other type.

### Non-complying Development

- 11 The following kinds of development are **non-complying**:

All development of Allotment 303 in Filed Plan 18510 (Certificate of Title Register Book Number 5167 Folio 922) and Allotment 304 in Filed Plan 18510 (Certificate of Title Register Book Number 5728 Folio 541) on the corner of Greenhill Road and Portrush Road, except as a Recreation Area.

The change of land use to, or building work for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or

- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall  
 Amusement Machine Centre  
 Auction Room  
 Bank  
 Builder's Yard  
 Building, where the building height above natural ground level is more than 12 metres  
 Bus Depot  
 Bus Station  
 Caravan Park  
 Concert Hall  
 Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres  
 Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre, except located in a publicly-owned open space  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel, except on a site fronting Portrush Road  
 Office  
 Office and Dwelling, where the total floor area of the office component is more than 40 square metres  
 Parking Area, except on sites with a road frontage located within 50 metres of the District Centre Zone  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**12** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**13** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 22 – Beaumont Common

### Introduction

The following provisions apply to Residential Policy Area 22 as shown on [Maps Bur/16 and 17](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of the low scale, low density residential character that is derived particularly from:

- (a) one-storeyed, detached dwellings, predominantly from the post-war period, in a variety of styles, with more recently built dwellings, of one or two storeys, on rising ground towards the south-eastern corner;
- (b) streetscapes enhanced by open, well-established, front gardens, grassed verges, and views of public open space;
- (c) the existence of Beaumont Common and stands of indigenous trees throughout much of the eastern part of the Policy Area.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are to be found:

- (a) on Beaumont Common, a large open space significant as a landscape feature and for its remnant indigenous vegetation;
- (b) on the site of Beaumont House, State heritage place; and
- (c) on land with frontage to Greenhill Road.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

**1** Development should:

- (a) conserve and enhance the character of the Policy Area, described in Objective 1, and significant trees therein; and

- (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

- 2 Development of Beaumont House and its grounds should conserve, complement and ensure the ongoing viable use of, the heritage building in a manner compatible with residential amenity.

### Site Areas and Frontages

- 3 Subject to Principle of Development Control 5, the site area for a detached dwelling should be not less than 550 square metres.
- 4 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 425 square metres.
- 5 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 550 square metres.
- 6 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 15 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) 10 metres for each dwelling of any other type.

### Building Set-back

- 7 Buildings should be set-back not less than eight metres from the boundary of Beaumont Common.

### Non-complying Development

- 8 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**9** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**10** Land division creating four or more additional allotments is assigned to **Category 2**.



## Residential Policy Area 23 – Frewville

### Introduction

The following provisions apply to Residential Policy Area 23 as shown on [Map Bur/15](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Enhancement of the low-to-medium density residential character that is derived particularly from:

- (a) one-storeyed and two-storeyed dwellings of various types, ages and styles; and
- (b) moderate building set-backs from roads, providing for landscaped, and generally open, front gardens.

Acknowledged, significant variations from the desired character, or the prevailing character, forming, nevertheless, part of the existing character that is to be enhanced, are found adjacent to the Business (Glen Osmond Road) Zone, the Neighbourhood Centre Zone and the Community Zone.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

- 1 Development should respect the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

#### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 400 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 350 square metres.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 400 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) nine metres for each dwelling of any other type.

#### Private Open Space

- 6 The total area of private open space that should be provided with each dwelling, should include an outdoor area at ground level that is capable of containing a rectangle measuring not less than four metres by six metres.

## Non-complying Development

### 7 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store

Theatre

Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**8** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**9** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 24 – Glenunga (North)

### Introduction

The following provisions apply to Residential Policy Area 24 as shown on [Maps Bur/15 and 16](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Enhancement of the low scale, low density residential character that is derived particularly from:

- (a) one-storeyed detached dwellings in a wide variety of styles, but predominantly from the interwar and post-war periods; and
- (b) moderate building set-backs from roads, open front gardens and grassed verges.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be enhanced, are found:

- (a) in Webb Oval and Margaret Bond Reserve, large open spaces catering for a range of passive and active recreation;
- (b) on land with frontage to Portrush Road and to Glen Osmond Road; and
- (c) adjacent to the Business (Glen Osmond Road) Zone, the Local Centre Zone and the Community Zone.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

- 1 Development should respect the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

### Site Areas and Frontages

- 2 Subject to Principles of Development Control 3, 4 and 8, the site for a detached dwelling should have an area of not less than 550 square metres and a frontage to a public road of not less than 15 metres.
- 3 Subject to Principle of Development Control 8, the site for a detached dwelling, developed on a parcel of land located on the corner of two roads, should have an area of not less than 440 square metres and a frontage to a public road of not less than 15 metres, except where that parcel of land has a frontage to Greenhill Road or Portrush Road.
- 4 Subject to Principle of Development Control 8, the site for a detached dwelling, developed on a parcel of land having an area greater than 1200 square metres, should have an area of not less than 440 square metres and a frontage to a public road of not less than 12 metres, except where that parcel of land has a frontage to Greenhill Road or Portrush Road.
- 5 The site for a semi-detached dwelling or row dwelling should have an area of not less than 500 square metres and a frontage to a public road of not less than 10 metres, except where that site is developed on a parcel of land having an area of more than 1200 square metres.
- 6 The site area for a semi-detached dwelling or row dwelling, developed on a parcel of land having an area of more than 1200 square metres, should have an area of not less than 400 square metres and a frontage to a public road of not less than 10 metres, except where that parcel of land has a frontage to Greenhill Road or Portrush Road.
- 7 The site area per dwelling of any type, other than a detached dwelling, semi-detached dwelling or row dwelling, (averaged for group dwellings or dwellings in a residential flat building), should be not less than 500 square metres.
- 8 A battleaxe allotment, or similarly-shaped allotment, should only be created if the head of that allotment has an area of not less than 550 square metres.
- 9 A site for the development of a dwelling of any type, other than a detached dwelling, semi-detached dwelling or row dwelling, should have a frontage to a public road of not less than:
  - (a) 15 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (b) 10 metres for each dwelling of any other type.

### Non-complying Development

- 10 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or

- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall  
 Amusement Machine Centre  
 Auction Room  
 Bank  
 Builder's Yard  
 Building where the building height above natural ground level is more than 12 metres  
 Bus Depot  
 Bus Station  
 Caravan Park  
 Concert Hall  
 Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres  
 Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel (unless on a site fronting Portrush Road)  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

11 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

**12** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 25 – St Georges

### Introduction

The following provisions apply to Residential Policy Area 25 as shown on [Map Bur/16](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of the low scale, low density residential character that is derived particularly from:

- (a) primarily one-storeyed, or split-level, detached dwellings in a variety of post-war period styles (typically conventional);
- (b) streetscapes enhanced by well-established, open, front gardens, and grassed verges; and
- (c) in certain areas, tall trees, including indigenous eucalypts.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) along eastern Woottona Terrace and Olde Coach Lane, where bulky, recently built, two-storeyed dwellings dominate the streetscape, contrasting with older substantial single-storeyed dwellings with a lower floor area ratio and height;
- (b) on land with frontage to Portrush Road; and
- (c) adjacent to the Community Zone and the Historic (Conservation) Zone.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

**1** Development should:

- (a) conserve and enhance the character of the Policy Area, described in Objective 1, and significant trees therein;

- (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists; and
- (c) be compatible in scale, height, bulk and appearance with buildings that are adjacent in the Historic (Conservation) Zone.

### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 550 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than 450 square metres.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 550 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 18 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) 10 metres for each dwelling of any other type.

### Non-complying Development

- 6 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly);
- (b) moves, flashes or rotates;
- (c) if free-standing, is more than two metres above the ground at any point;
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel (unless on a site fronting Portrush Road)  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

7 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where "two storeys" is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

8 Land division creating four or more additional allotments is assigned to **Category 2**.



## Residential Policy Area 26 – Glenunga (South)

### Introduction

The following provisions apply to Residential Policy Area 26 as shown on [Maps Bur/15 and 16](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of the low scale, low density residential character that is derived particularly from:

- (a) detached dwellings in a variety of styles, predominantly of the interwar and postwar periods (and some earlier villas), including substantial bungalow-style dwellings on larger allotments in some localities;
- (b) streetscapes enhanced by well-landscaped gardens and mature trees (such as the significant avenue of eucalypts in Taminga Avenue); and
- (c) generally moderate to deep building set-backs from roads.

Acknowledged, significant variations from the desired character, or the prevailing character, forming, nevertheless, part of the character that is to be maintained and enhanced, are found on land with frontage to Glen Osmond Road and Portrush Road.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

- 1 Development should:
  - (a) conserve and enhance the character of the Policy Area, described in Objective 1, and significant trees therein; and
  - (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

#### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than 550 square metres.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than:
  - (a) 375 square metres on land adjoining Glen Osmond Road;
  - (b) 550 square metres in the balance of the Policy Area.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than 550 square metres.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 18 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) 10 metres for each dwelling of any other type.

## Non-complying Development

### 6 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel (unless on a site fronting Glen Osmond Road or Portrush Road)

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store

Theatre

Timber Yard

Transmitting Station  
Used Car Lot  
Warehouse  
Welfare Institution

### Public Notification

7 The following kinds of development are assigned to **Category 1**:

Dwelling  
Fence  
Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

8 Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 27 – Southern Foothills

### Introduction

The following provisions apply to Residential Policy Area 27 as shown on [Maps Bur/16, 17 and 18](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVES

**Objective 1:** Enhancement of the low density, open residential and foothills character that is derived from:

- (a) the topographic and other natural features of the foothills location, and dwellings in a variety of architectural styles (typically, detached dwellings, medium-to-large in scale, with split-level or multi-storeyed construction);
- (b) many dwellings on elevated land and orientated to take advantage of views across the Adelaide Plains;
- (c) moderate to deep building set-backs from roads, well-vegetated and generally unfenced front gardens;
- (d) proximity to the natural character of the adjoining Hills Face Zone;
- (e) a pattern of development, including the division of land, that varies considerably with the topography (the Policy Area contains some of the steepest land in the Council area), commonly imposing significant constraints on efficient development, access and servicing (to the extent that on some steep sites, a carport may need to be located between a dwelling and the road, subject to siting and design to minimise visual impact); and

- (f) a transition in character and dwelling density between steep land near the Hills Face Zone, where allotments are large and irregularly-shaped, and lower slopes, where there are more regular, compact patterns of land division and generally consistent building set-backs and orientation towards roads.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be enhanced, are found:

- (a) on land which, due to its elevation, gradient and aspect, is visible from the Adelaide Plains or main public vantage points in the foothills;
- (b) on land adjacent to the Hills Face Zone, or other open land where there may be significant risk of bushfire;
- (c) on sites containing or affected by historic mining works;
- (d) on filled land, such as the former Dashwood Road Dump at Beaumont;
- (e) on land containing remnant indigenous vegetation;
- (f) on steep land with limited development and access opportunities, in particular, land fronting the section of Sunnyside Road between Gill Terrace and Wheal Gawler Street, on the eastern side of Wheal Gawler Street; and
- (g) in the "Burnside Park Estate" (centred on Ifould Drive and Burnalta Crescent), where specific encumbrance provisions apply.

**Objective 2:** Development designed and sited so that the appearance of the foothills visible from the Adelaide Plains is not impaired.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

#### 1 Development should:

- (a) conserve and enhance the character of the Policy Area, described in Objective 1, and the significant trees therein; and
- (b) complement the scale, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.

#### 2 In the Hills Face Zone Buffer, development should:

- (a) if likely to be visible from the Adelaide Plains or significant public vantage points in the foothills:
  - (i) be carefully sited and designed to reduce visual bulk; and
  - (ii) avoid reflective, light-coloured or bright surfaces; and
- (b) ensure that buildings are:
  - (i) located on stable sites, and
  - (ii) sited and designed to minimise the visible extent of earthworks and in a manner which avoids or minimises disturbance of indigenous vegetation.

### Site Areas and Frontages

- 3 Subject to Principle of Development Control 4, the site area per dwelling of any type (averaged for group dwellings or dwellings in a residential flat building) should be not less than:
- (a) 2000 square metres on land with frontage to the section of Sunnyside Road between Gill Terrace and Wheal Gawler Street and on the southern side of Wheal Gawler Street;
  - (b) 750 square metres in all other parts of the Policy Area.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than:
- (a) 2000 square metres on land with frontage to the section of Sunnyside Road between Gill Terrace and Wheal Gawler Street and on the southern side of Wheal Gawler Street;
  - (b) 750 square metres in all other parts of the Policy Area.
- 5 A site for the development of group dwellings and dwellings in residential flat buildings, and for each dwelling of any other type, should have a frontage to a public road of not less than 20 metres, except on land with frontage to the section of Sunnyside Road between Gill Terrace and Wheal Gawler Street and on the southern side of Wheal Gawler Street, where a site frontage of not less than 25 metres applies.

### Site Coverage

- 6 The total floor area of buildings (including any carport or garage, but not including any veranda, pergola or other garden structure) at ground level (measured from the external faces of the walls of each building, or, in the case of a carport, from the outer faces of supporting columns) should be not more than 33 percent of the area of the site of development (excluding the area of the access strip of a battleaxe site).

### Building Set-back

- 7 Buildings should be set-back not less than eight metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development", except on steep land (generally a site gradient of 1 in 3, or more), where parts of a building (including a carport or garage) may be set-back a lesser distance provided the top of the roof of that building is below the level of the carriageway of the adjacent road.

### Access

- 8 Land with frontage to the section of Sunnyside Road between Gill Terrace and Wheal Gawler Street, and on the southern side of Wheal Gawler Street, should be divided, as necessary, to provide for safe and convenient access.

### Non-complying Development

- 9 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or

- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall  
 Amusement Machine Centre  
 Auction Room  
 Bank  
 Builder's Yard  
 Building where the building height above natural ground level is more than 12 metres  
 Bus Depot  
 Bus Station  
 Caravan Park  
 Concert Hall  
 Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres  
 Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

**10** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

- 11** Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 28 – Glen Osmond

### Introduction

The following provisions apply to Residential Policy Area 28 as shown on [Maps Bur/15, 16 and 18](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVE

**Objective 1:** Maintenance and enhancement of a low scale, and low or medium density residential character that is derived particularly from:

- (a) dwellings of various types and ages and predominantly of post-war styles, interspersed with occasional nineteenth century dwellings, or interwar bungalows, significantly enhanced by mature, generally well-landscaped gardens, trees and hedges;
- (b) a generally higher dwelling density west of Portrush Road, with streetscapes more enclosed (due to the narrower roads, tall fencing, vegetation, and/or buildings closer to the street);
- (c) more open streetscapes in the remainder of the Policy Area, with some domination of localities in the eastern part of the Policy Area by recently built two storeyed and split-level dwellings.

Acknowledged, significant variations from the desired character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) on the sites of various buildings and of historic character, associated with the early settlement of Glen Osmond, interspersed with more recent development;
- (b) on land with frontage to Portrush Road and to Glen Osmond Road, these roads being major “gateways” to Adelaide for traffic entering from the South-Eastern Freeway; and
- (c) adjacent to the Local Business Zone, the Local Centre Zone and the Community Zone.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

- 1 Development should:
  - (a) conserve and enhance the character of the Policy Area, described in Objective 1, and the significant vegetation therein;
  - (b) complement the scale, form, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists, and any buildings and elements of historic character associated with the early settlement of Glen Osmond; and
  - (c) contribute to the visual enhancement of the main road corridors along Glen Osmond Road and Portrush Road, and their coordinated improvement as visual “gateways” to Adelaide.

### Site Areas and Frontages

- 2 Subject to Principle of Development Control 4, the site area for a detached dwelling should be not less than:
  - (a) 450 square metres west of Portrush Road;
  - (b) 550 square metres east of Portrush Road.
- 3 The site area per dwelling of any type, other than a detached dwelling, (averaged for group dwellings or dwellings in a residential flat building) should be not less than:
  - (a) 400 square metres west of Portrush Road;
  - (b) 500 square metres east of Portrush Road.
- 4 A battleaxe or similarly shaped allotment should only be created if the head of that allotment has an area of not less than:
  - (a) 450 square metres west of Portrush Road;
  - (b) 550 square metres east of Portrush Road.
- 5 A site for the development of a dwelling or dwellings should have a frontage to a public road of not less than:
  - (a) 15 metres for each detached dwelling;
  - (b) 14 metres for group dwellings and residential flat buildings, to allow vehicular access to dwellings towards the rear of the site;
  - (c) nine metres for each dwelling of any other type.

### Non-complying Development

- 6 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:



Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Auction Room

Bank

Builder's Yard

Building where the building height above natural ground level is more than 12 metres

Bus Depot

Bus Station

Caravan Park

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Educational Establishment

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Horsekeeping

Hospital

Hotel

Indoor Recreation Centre (except located in a publicly owned open space)

Industry

Intensive Animal Keeping

Junk Yard

Licensed Entertainment Venue

Major Public Service Depot

Motel (unless on a site fronting Glen Osmond Road or Portrush Road)

Office

Office and Dwelling where the total floor area of the office component is more than 40 square metres

Parking Area

Petrol Filling Station

Place of Worship

Radio or Television Station

Road Transport Terminal

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store

Theatre

Timber Yard

Transmitting Station

Used Car Lot

Warehouse

Welfare Institution

## Public Notification

7 The following kinds of development are assigned to **Category 1**:

Dwelling  
Fence  
Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of the dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

8 Land division creating four or more additional allotments is assigned to **Category 2**.

## Residential Policy Area 29 – Skye and Auldana

### Introduction

The following provisions apply to Residential Policy Area 29 as shown on [Maps Bur/14 and 20](#). They are additional to those expressed for the whole of the Residential Zone and for the whole of the Council area.

### OBJECTIVES

**Objective 1:** Maintenance and enhancement of the low density, open, residential and foothills character that is derived particularly from:

- (a) the topographic and other natural features of the foothills location;
- (b) detached dwellings at low densities on individual allotments;
- (c) many dwellings on elevated land, orientated to take advantage of views across the Adelaide Plains; and
- (d) moderate to deep building set-backs, well vegetated and generally unfenced front gardens, and the natural character of the adjoining Hills Face Zone.

**Objective 2:** A policy area which encourages development that protects the visual and environmental assets characteristic of the zone by ensuring that:

- (a) buildings are designed with form consistent with the natural environment;
- (b) buildings are low profile and unobtrusive with bulk and scale in keeping with the natural environment;
- (c) buildings are designed with colours and textures consistent with the surrounding environment; and
- (d) development does not impinge upon the amenity and privacy of existing residences.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Local Compatibility

- 1 Development undertaken should be detached dwellings at low densities on individual allotments.
- 2 Development should:
  - (a) conserve and enhance the character of the Policy Area, described in Objective 1, and significant trees therein; and
  - (b) complement the scale, height, bulk, siting and positive elements of existing dwellings where a distinctive and attractive streetscape character exists.
- 3 The external appearance of buildings, including their form, height and bulk should not detract from the character and amenity of the locality within which they are situated.

### Design for Topography

- 4 Land division should not occur where the allotment(s) would require significant alteration of the natural slope of the land to accommodate a dwelling.
- 5 Land should not be divided unless the overall natural slope of the land in any proposed allotment is less than or equal to a gradient of 1 in 4.
- 6 Development should not be undertaken where the overall natural slope of the allotment is greater than 1 in 4.
- 7 Development should:
  - (a) minimise any bushfire hazard through appropriate design, siting, landscaping, provision of access, and land management measures;
  - (b) be carefully designed and sited through the use of roof lines and floor plans which complement the natural contours and form of the land to minimise bulk, scale and obtrusiveness;
  - (c) be located on the lower portions of the allotment;
  - (d) avoid the use of reflective, light-coloured or bright surfaces; and
  - (e) ensure that buildings are:
    - (i) located on stable sites, and
    - (ii) sited and designed to minimise the visible extent of earthworks and in a manner which avoids or minimises disturbance of indigenous vegetation
- 8 The excavation and/or filling of land should:
  - (a) be kept to a minimum and be limited to no greater than 1.5 metres to preserve the natural form of the land and the native vegetation;
  - (b) only be undertaken to reduce the visual impact of buildings, including structure, or to construct water storage facilities for use on the allotment;
  - (c) not result in steep slopes or high retaining walls;
  - (d) be setback from property boundaries so as to reduce impact and to ensure stabilisation of slopes;
  - (e) only be undertaken if the resultant slope can be stabilised to prevent erosion; and

- (f) result in stable scree slopes which are covered with top soil and landscaped to preserve and enhance the natural character or assist in the re-establishment of the natural character.
- 9 Additions to buildings should maintain the profile of the existing building and should be located on the side of the dwelling to minimise the obtrusiveness of the completed building.
  - 10 Separate vehicle storage areas should be designed to minimise the mass of buildings.
  - 11 Fences should be located to minimise their visual impact. Fences should be constructed of materials which are of a low light-reflective nature and of dark natural colours so as to blend with a natural landscape and minimise any visual intrusion.
  - 12 Retaining walls should:
    - (a) be located to minimise their visual impact;
    - (b) be designed in a stepped nature rather than on one unbroken vertical plane;
    - (c) be softened by landscaping and screen planting;
    - (d) not detract from the amenity of adjoining or adjacent properties;
    - (e) have a height of not more than one metre above the natural ground level and finished ground level of the site;
    - (f) not result in overshadowing, cutting off light or views to adjoining or adjacent properties; and
    - (g) not create the potential for overlooking.

### Site Areas and Frontages

- 13 The site area for a dwelling should be not less than 1000 square metres.
- 14 A site for the development of a dwelling should have a frontage to a public road of not less than 21 metres.
- 15 Land should not be divided unless each allotment has an area of not less than 1000 square metres and a width of not less than 21 metres.

### Site Coverage

- 16 The total floor area of buildings (including any carport or garage, but not including any veranda, pergola or other garden structure) at ground level (measured from the external faces of the walls of each building, or, with a carport, the outer faces of columns) should not be more than 40 percent of the area of the site of a dwelling (excluding the area of the access strip of a battleaxe site).

### Building Set-back

- 17 Buildings should be set-back:
  - (a) not less than six metres from the boundary of a road, subject to the exceptions from the minimum set-back distance from a road listed in the relevant Council Wide principle of development control under the heading "Residential Development"; and
  - (b) a minimum of four metres from one side or rear boundary, and a minimum of two metres from all other side and rear boundaries, so as to have minimal impact upon adjacent development in terms of overshadowing, overlooking or visual intrusion and provide for open space.

### Building Height

- 18 Buildings should be no more than 6 metres in height and designed to be unobtrusive and not detract from the desired natural character of the Policy Area.

### Movement of People and Goods

- 19 Roads and driveways should follow the contours of the land so as to reduce their visual impact and erosion from water run-off.
- 20 Direct access and egress from individual properties onto Old Norton Summit Road should be avoided.

### Non-Complying Development

- 21 The following kinds of development are **non-complying**:

The change of land use to, or the erection, construction, conversion, alteration or addition to a building for the purpose of, any of the following, except where the total floor area of a lawful use existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use:

Advertisement or advertising display that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) is free-standing, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

Amusement Hall

Amusement Machine Centre

Amusement Park

Auction Room

Bank

Boarding House

Builder's Yard

Bus Depot

Bus Station

Caravan Park

Community Centre

Concert Hall

Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres

Crematorium

Dance Hall

Dwelling where:

- (a) the scale and design is such that the vertical distance between any point at the top of any external wall and finished ground level immediately below the point on the wall exceeds six metres, other than gable ends of the dwelling where the distance exceeds eight metres; or
- (b) the dwelling is to be constructed on an allotment on which a dwelling already exists

Educational Establishment

Electricity Generating Station

Farming

Fire Station

Fuel Depot

Fun Fair

Golf Driving Range

Group Dwelling  
 Gymnasium  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Land Division resulting in the creation of an allotment of less than 1000 square metres, where the allotment is to be used for residential purposes  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Motor Repair Station  
 Motor Showroom  
 Multiple Dwelling  
 Non-residential Club  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station  
 Place of Worship  
 Plant Nursery  
 Post Office  
 Private Hotel  
 Radio or Television Station  
 Residential Club  
 Residential Flat Building  
 Restaurant  
 Road Transport Terminal  
 Row Dwelling  
 Semi-detached Dwelling  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Squash Court  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Waste Transfer Station  
 Welfare Institution

### Public Notification

**22** The following kinds of development are assigned to **Category 1**:

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above ground level;

- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;
- (e) the development involves the demolition of a State or local heritage place;

in which case the development is assigned to **Category 2**.

- 23** Land division creating four or more additional allotments is assigned to **Category 2**.

## COMMUNITY ZONE

The objectives and principles of development control that follow, apply in the Community Zone shown on [Maps Bur/3 to 8](#). They are additional to those expressed for the whole council area.

### OBJECTIVES

- Objective 1:** A zone to accommodate community, educational and health care facilities.
- Objective 2:** Provision for the current and identifiable future needs of such institutions in a manner that does not adversely affect the use and enjoyment of adjoining land.
- Objective 3:** Residential development as an alternative land use within the zone.

### GENERAL PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development of land for community based purposes in a manner that minimises adverse affect on adjoining development.
- 2 Vehicular access points should be sited to create minimum disturbance to adjoining residential development.
- 3 Educational facilities should provide safe and convenient vehicle pick-up and set-down areas for parents and students, sited to create minimum interference to existing traffic.
- 4 Development should provide adequate off-street areas for vehicle manoeuvring and loading and unloading of goods.
- 5 Activities likely to create higher levels of noise than would normally be experienced in residential areas, should be screened from adjoining residences to minimise any disturbance.
- 6 Buildings should be designed so that their siting, scale and appearance create minimal adverse affect on the character and amenity of adjoining residential areas.
- 7 Development should respect the integrity of buildings of heritage significance in terms of siting and architectural style.
- 8 Any development comprising dwellings in configuration (including a carport, garage, shed or like building but not including any verandah, pergola or other garden structure) should:
  - (a) when constructed along or near boundaries of the Community Zone:
    - (i) have a bulk, height, floor space and site frontage appropriate to the character and amenity of the locality abutting that part of the zone; and
    - (ii) provide space around buildings in a manner which will reasonably maintain and enhance the predominant character and amenity of the locality abutting that part of the zone and provide landscaping opportunities consistent with that character and amenity; and
    - (iii) in no circumstances cover more than 40 percent of the site of each dwelling; and
  - (b) when constructed internally within any part or policy area of the Community Zone should:
    - (i) be undertaken at medium densities;
    - (ii) incorporate a high standard of architectural and urban design and energy efficiency;



- (iii) substantial landscaping of streetscapes and unbuilt spaces;
- (iv) maximise the benefits of outlook from dwellings onto public or common areas of open space;
- (v) be designed to maximise public safety and convenience;
- (vi) where public or common open space would otherwise be deficient within the locality of the development, provide open space of an area sufficient to meet the recreational and lifestyle needs of residents;
- (vii) incorporate outdoor living areas of a size relevant to the size of the dwelling to which it related and which is for the exclusive use and enjoyment of the occupants of that dwelling; and
- (viii) buildings may extend to three storeys in height where they are located at sufficient distance from adjacent or nearby dwelling to avoid detrimental impact on those dwellings due to the height, scale or bulk of the development.

**9** The following kinds of development are **non-complying** in the Community Zone:

Amusement Hall  
 Amusement Machine Centre  
 Amusement Park  
 Auction Room  
 Bank  
 Bowling Alley  
 Builder's Yard  
 Dance Hall  
 General Industry  
 Fire Station  
 Fun Fair  
 Hotel  
 Industry  
 Junk Yard  
 Motel  
 Motor Repair Station  
 Motor Showroom  
 Non-residential Club  
 Office  
 Office and Dwelling  
 Petrol Filling Station  
 Plant Nursery  
 Private Hotel  
 Radio or TV Studio  
 Residential Club  
 Service Industry  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Special Industry  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse

## Public Notification

10 The following kinds of development are assigned to **Category 1**:

Dwelling  
Fence  
Outbuilding for use in relation to a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of the dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

11 Land division creating four or more additional allotments is assigned to **Category 2**.

In addition to the above general principles of development control, the following principles of development control apply to the areas specified:

### Community Policy Area 1 – War Memorial Hospital

- 1 Buildings greater than 12.5 metres in height from natural ground level should not be developed.
- 2 Buildings greater than eight metres in height should be set-back from the boundaries of the site to a degree sufficient to ensure that the amenity of the surrounding residential areas will not be impaired.
- 3 Vehicular movements and parking should wherever possible be rationalized within the hospital site and access points should be located to limit vehicular movements in adjacent residential streets.
- 4 There should not be more than one principal vehicular access point onto Hewitt Avenue and two vehicular access points onto Kensington Road with no access being provided from Giles Street.
- 5 Development other than that for the purpose of public recreational use of the land should not intrude westwards of the alignment of the existing hospital buildings in the area known as Attunga Gardens.

### Community Policy Area 2 – Pembroke School

- 1 Land owned by Pembroke School on the western side of Dunstan Avenue should not be developed to a scale out of character with residences on the eastern side of Dunstan Avenue.
- 2 Any vehicular access point onto Dunstan Avenue should not create a significant increase in traffic volume in that street.
- 3 Principle vehicular access to Pembroke School land north of The Parade should be from The Parade.

- 4 Development of the southern most end of the Kings Campus should match the scale of abutting single-storey dwellings.
- 5 Buildings or structures on that part of the Pembroke School campus located between Holden Street and Walsall Street should:
  - (a) be designed in a manner which is compatible with and which maintains the residential character of the street on which they front;
  - (b) be set-back not less than six metres from the Walsall Street and 16 metres from Holden Street; and
  - (c) reduce in scale from the centre of the campus towards the street boundaries of the land and:
    - (i) not exceed one-storey in height if located within 16 metres of a street boundary; and
    - (ii) not exceed two storeys and ten metres in height on any part of the land.
- 6 Development should not take place on the playing fields on the eastern side of Walsall Street.

### **Community Policy Area 3 – Queen Victoria Hospital**

- 1 Development should comprise hospital and related health care facilities unless required for residential purposes.
- 2 Buildings should:
  - (a) not exceed 12.5 metres in height;
  - (b) located and designed to minimise overshadowing of premises in an adjoining Residential or Historic (Conservation) Zones by limiting the height of any building adjacent to the boundary of such zones to a dimension equal to the distance that the building is set-back from such zone boundaries; and
  - (c) be designed to avoid overlooking of premises in an adjoining Residential or Historic (Conservation) Zones.
- 3 New buildings or additions to the east of the main hospital building should be designed and constructed in a manner sympathetic to adjoining residential development in terms of architectural style, materials, colours and texture.
- 4 Vehicular access points should be located as close as is safe, convenient and practicable to Fullarton Road with the number of such access points being minimised and shared between facilities wherever possible.

## HISTORIC (CONSERVATION) ZONE

### Introduction

The Historic (Conservation) Zone reflects the historic residential development of the City of Burnside. It contains a variety of buildings including a number of State Heritage Places (refer [Table Bur/3](#)), Local Heritage Places (refer [Table Bur/2](#)), and items which are identified as contributing to the character of the zone (Contributory Items).

The Historic (Conservation) Zone is divided into the following Policy Areas as shown on [Maps Bur/12, 13, 14, 15 and 16](#):

- Historic Conservation Policy Area 1 – Rose Park
- Historic Conservation Policy Area 2 – Eastwood
- Historic Conservation Policy Area 3 – St Georges (Wootoona Terrace)
- Historic Conservation Policy Area 4 – Beulah Park
- Historic Conservation Policy Area 5 – Tusmore
- Historic Conservation Policy Area 6 – Toorak Gardens (North)
- Historic Conservation Policy Area 7 – Toorak Gardens (Fergusson Square)
- Historic Conservation Policy Area 8 – Glenunga Park
- Historic Conservation Policy Area 9 – Kensington Gardens (Reserve)

The following objectives and principles of development control apply to the whole of the Historic (Conservation) Zone shown on [Maps Bur/3, 4, 5, 6 and 7](#). They are additional to those expressed for the whole of the Council area, in addition, each Policy Area has specific objectives and principles of development control.

### OBJECTIVES

- Objective 1:** The conservation and enhancement of the historic character of the relevant Policy Area.
- Objective 2:** The retention and conservation of land, buildings, outbuildings, structures, and landscape elements that contribute positively to the established historic character of a Policy Area.
- Objective 3:** Development accommodating those housing types which are compatible with the historic character of the zone.
- Objective 4:** Development which conserves and enhances the historic character of the relevant Policy Areas of the zone, in terms of:
  - (a) overall and detailed design of buildings;
  - (b) dwelling type and overall form;
  - (c) allotment dimensions and proportions;
  - (d) placement of buildings on the allotment and alignment to the street;
  - (e) layout of the site and the type and height of fencing;
  - (f) streetscapes, verge treatment and street planting; and
  - (g) curtilages and garden areas.
- Objective 5:** A zone where the majority of the existing housing stock is maintained through the retention of items which contribute positively to the character of the Policy Areas, and the number of dwellings is increased primarily through:
  - (a) the replacement of dwellings that are not identified as contributory items, and

- (b) the appropriate development of vacant sites.

## PRINCIPLES OF DEVELOPMENT CONTROL

The following principles of development control apply to all Policy Areas within the Historic (Conservation) Zone:

### General

- 1 The overall character, scale and detailing of development should conserve and enhance the historic character of a Policy Area.
- 2 There should be no alteration of, or addition to, or demolition of, any part of any building which contributes significantly to the historic character of the zone in a manner or to an extent which will diminish significantly the amount of that contribution.
- 3 The introduction of new dwellings in the zone should only occur where either of the following applies:
  - (a) land is vacant and zoned for residential use;
  - (b) it is proposed to replace a building that does not contribute to the heritage value and historic character of the zone.
- 4 Development should be carried out in accordance with the conservation and development guidelines set out in [Table Bur/1](#).
- 5 Development should complement the identified heritage values of the zone as well as specifically identified State Heritage Places, Local Heritage Places, and Contributory Items as identified in the Figure relevant to that Historic Conservation Policy Area shown in [Figures Bur/HCPA 1 to 9](#).

### Appearance of Land and Buildings

- 6 In the development of any building, any facade that faces a street should be of a design consistent with the historic character of the Policy Area in which the building is located.
- 7 Roof pitches should match the principal roof pitches of buildings within the relevant Historic Conservation Policy Area and the immediate vicinity.
- 8 Alterations, additions and new buildings should be limited to one-storey, except where the alterations, additions and new buildings involves a sympathetic second storey which:
  - (a) utilises roof space to the rear of the site, and/or
  - (b) is set back not to interfere with the streetscape quality of the repetition of single-storeyed houses, and
  - (c) is designed to complement the existing scale and architectural character of the Policy Area, and
  - (d) has an overall building height and scale which is compatible with existing single-storeyed dwellings in the Policy Area, and
  - (e) in the case of alterations and additions to an existing building, has an overall building height and scale which is not at odds with the character of the existing building.
- 9 Any application for erection of a new dwelling, additions or alterations in a Policy Area should be accompanied by site plans and elevations that show the relationship between the proposed development and adjoining properties.
- 10 Fences should be consistent with the historic character of the particular Policy Area and in accordance with the conservation and development guidelines set out in [Table Bur/1](#).

- 11 Vehicle parking on site should not incorporate undercroft parking, or other parking or access arrangements that are not in keeping with the heritage character of the particular Policy Area.
- 12 Driveways commencing from a primary street frontage and terminating at or near the rear of allotments should be located, landscaped and fenced to minimize detrimental impact on the streetscape appearance and the amenity of neighbouring residential properties.
- 13 Land division should complement the existing historic character of the Policy Area in terms of allotment size and pattern of subdivision, and should avoid the repetition of driveways immediately adjacent to each other.
- 14 Land division that will not detrimentally impact on the historical character of the area may be appropriate where consistent with the existing established character of the particular Policy Area, provided that any allotment with a site for a dwelling has a minimum area of not less than the minimum allotment size required in the particular Policy Area, or in the case of a battle axe or similar shaped allotment:
  - (a) has an allotment head area not less than the minimum allotment size required in the particular Policy Area, and
  - (b) any access driveway required, has a width not less than 4.5 metres to enable the provision of appropriate landscaping on both sides of the driveway for its full length.
- 15 Landscaping of sites should be compatible with the historic character of the particular Policy Area in terms of plant species and planting layout. Street planting should continue the established species.

#### **Alterations and Additions**

- 16 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items should be undertaken in a manner which retains and reinforces the original appearance of the dwellings and conforms to the overall character of the Policy Area.
- 17 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items should be positioned so that they are not prominently visible from the street. If visible from the street they should be set back behind the existing building alignment so as not to interfere with the streetscape quality of the repetition of houses, and should be designed to complement the existing architectural character.
- 18 Any alteration or addition to State Heritage Places, Local Heritage Places and Contributory Items at ground level or upper level should be setback from side and rear boundaries to ensure that they will not detrimentally impact upon the value of the State Heritage Place, Local Heritage Place or Contributory Item.

#### **New Buildings**

- 19 Any new buildings on sites which presently do not contribute to the historic character of the Policy Area should be designed and constructed to complement and reinforce the historic character of the Policy Area.
- 20 Front, side and rear set-backs of new buildings from allotment boundaries should be consistent with adjacent State Heritage Places, Local Heritage Places and Contributory Items and with the existing historic character of the Policy Area.
- 21 New buildings which form portion of a streetscape or group of buildings of a particular historic character, should be constructed of materials and of a style, form and scale consistent with that character.
- 22 New buildings which copy domestic architectural styles of an historic period which is at odds with the date of original subdivision and initial residential development of the Policy Area are not appropriate.

## Demolition

- 23** Demolition of any building contributing to the character of the zone should not occur unless:
- (a) the development to replace the item to be demolished is of a scale and character compatible with the scale and character of development on the site and in the area, and designed to a high functional and architectural standard; and
  - (b) replacement development has been given approval; and
  - (c) the approval includes a legal commitment that the approved building will be constructed.

## Complying Development

- 24** No development is **complying**.

## Non-complying Development

- 25** The following kinds of development are **non-complying**:

Amusement Hall  
 Amusement Machine Centre  
 Auction Room  
 Bank  
 Builder's Yard  
 Building where the building height above natural ground level is more than 9 metres  
 Bus Depot  
 Bus Station  
 Caravan Park  
 Concert Hall  
 Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres  
 Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Group Dwelling  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except located in a publicly owned open space)  
 Industry  
 Intensive Animal Keeping  
 Junk Yard  
 Land Division creating an additional allotment (HCPA 3 only)  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 More than one dwelling or building capable of habitation on an allotment (HCPA 3 only)  
 Motel  
 Motor Repair Station  
 Motor Showroom  
 Nursing Home  
 Office  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Parking Area  
 Petrol Filling Station

Place of Worship  
 Radio or Television Station  
 Residential Flat Building  
 Restaurant  
 Road Transport Terminal  
 Row Dwelling (excluding HPCA 2 and HPCA 4)  
 Semi-detached Dwelling (excluding HCPA 1, HPCA 2, HCPA 4, HPCA 5, HCPA 6, HPCA 7 and HPCA 8)  
 Service Industry  
 Service Trade Premises  
 Shop  
 Shop and Dwelling  
 Showroom  
 Stadium  
 Store  
 Telecommunication Station  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse  
 Welfare Institution

### Public Notification

- 26** The categorisation of development shall be determined by reference to Schedule 9 of the Development Regulations 2008 and Section 38 of the Development Act 1993, except where specifically designated below.

#### Category 1 Development

Demolition of a building or structure, which is not:

- (a) listed in [Tables Bur/2 and 3](#); or
- (b) identified as a Contributory Item in Historic (Conservation) Zone Policy Area [Figures Bur HCPA/1 to 9](#)

Dwelling  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of the dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case the development is assigned to **Category 2**.

#### Category 2

The following development is assigned to Category 2 pursuant to Section 38 of the Development Act 1993, and accordingly will be subject to the public notification requirements applying to Category 2 development:



Demolition of a building or structure listed in [Table Bur/2](#) or identified as a Contributory Item in Historic (Conservation) Zone Policy Area [Figures Bur HCPA/1 to 9](#)  
Land division creating four or more additional allotments

## Historic Conservation Policy Area 1 – Rose Park

### Introduction

The objectives and principles of development control that follow apply to that part of the Historic (Conservation) Zone shown as Historic Conservation Policy Area 1 – Rose Park on [Map Bur/12](#). They are additional to those expressed for the whole of the Historic (Conservation) Zone and for the Council area as a whole.

### Established Historic Character

Rose Park is one of Burnside's most intact historical 19<sup>th</sup> Century suburbs, comprising stone villas and cottages of predominantly single storey scale. The streetscapes of Rose Park, with substantial avenues, trees and gardens, are of importance in the public amenity of the suburb. The Policy Area includes churches, mews cottages and other community facilities.

The Established Historic Character of Historic Conservation Policy Area 1 – Rose Park derives from:

- (a) late 19<sup>th</sup> and early 20<sup>th</sup> Century detached dwellings;
- (b) substantial bluestone or freestone villas and cottages, often with brick quoinwork, elaborate window dressings and return verandahs;
- (c) vehicular access from rear lanes;
- (d) established front gardens and street set-backs of five metres to eight metres; and
- (e) the double rows of mature trees planted along Alexandra Avenue and Prescott Terrace as a war memorial.

There are also a number of bungalows, dating from the 1920s and 1930s. Few intrusive elements disrupt the fairly consistent character of this zone.

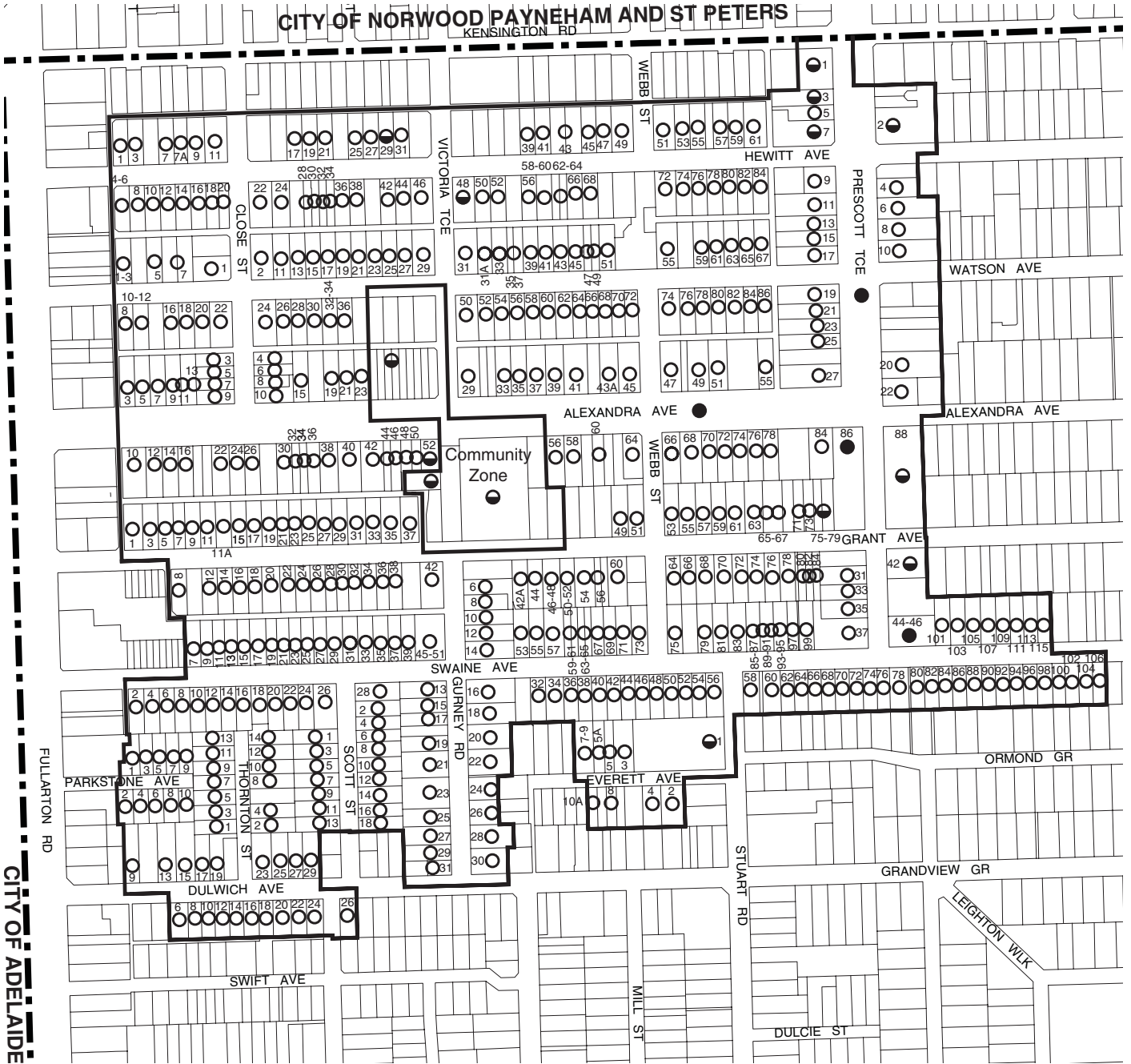
### OBJECTIVES

- Objective 1:** Development that conserves and enhances the Established Historic Character.
- Objective 2:** Development primarily accommodating detached and semi-detached dwellings.
- Objective 3:** Maintenance and enhancement of the low scale, low and medium density residential character.
- Objective 4:** Single-storey buildings, except for the eastern and western side of Prescott Terrace, where two-storey buildings may be appropriate.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Items identified in [Fig HCPA/1](#) as contributing to the historic character of the Policy Area should be conserved and enhanced.
- 2 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items within the Policy Area should reflect or complement the existing original style, design and features of those Places and Items.
- 3 Development should be carried out in accordance with the conservation and development guidelines set out in [Table Bur/1](#).

CITY OF NORWOOD PAYNEHAM AND ST PETERS



CITY OF ADELAIDE



**BURNSIDE (CITY)  
POLICY AREAS OF  
THE HISTORIC CONSERVATION ZONE  
HISTORIC CONSERVATION  
POLICY AREA 1  
-ROSE PARK  
Fig Bur HCPA/1**

- State Heritage Place
- ◐ Local Heritage Place
- Contributory Item
- 23 House / Property Number
- Policy Area 1 Boundary
- - - Development Plan Boundary

- 4 Development should complement the Established Historic Character of the Policy Area in terms of siting, scale, massing, proportions, building form, roof-forms and pitches, boundary setback, materials and external finishes.
- 5 Any site for the accommodation of a detached dwelling should be not less than 750 square metres and should have a frontage to a public road of not less than 15 metres.
- 6 Any site for the accommodation of a semi-detached dwelling should be not less than 450 square metres and should have a frontage to a public road of not less than nine metres.
- 7 Any building or part of a building should be set back not less than eight metres from the boundary of a road.
- 8 Other than pergolas or landscaping structures, all buildings on the site of a dwelling should not occupy more than 40 percent of the site of that dwelling.
- 9 No dwelling, other than a semi-detached dwelling, should be developed on a site having its only frontage to a road less than ten metres in width.

## Historic Conservation Policy Area 2 – Eastwood

### Introduction

The objectives and principles of development control that follow apply to that part of the Historic (Conservation) Zone shown as Historic Conservation Policy Area 2 – Eastwood, on [Map Bur/15](#). They are additional to those expressed for the whole of the Historic (Conservation) Zone and for the Council area as a whole.

### Established Historic Character

Eastwood was largely built-up in the 1880s in an irregular pattern of subdivision with many worker's houses in the form of single-fronted, semi-detached and row dwellings. The interior of Eastwood retains most of its original housing stock and has an intimate scale, with pocket parks and bluestone kerbing. Many residences are built to the street and side boundaries, on small narrow allotments.

The Established Historic Character of Historic Conservation Policy Area 2 – Eastwood derives from:

- (a) late 19<sup>th</sup> Century single-fronted, semi-detached and row dwellings;
- (b) small single and double fronted worker houses on narrow allotments deriving from traditional subdivision patterns.

The green area of the small park in the centre of the Policy Area is an important community facility.

### OBJECTIVES

- Objective 1:** Development that conserves and enhances the Established Historic Character.
- Objective 2:** Development accommodating detached and semi-detached dwellings and row dwellings.
- Objective 3:** Maintenance and enhancement of the low scale, medium density residential character.
- Objective 4:** The establishment of single-storey dwellings.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Items identified in [Fig HCPA/2](#) as contributing to the historic character of the Policy Area should be conserved and enhanced.



0metres 100 200

**BURNSIDE (CITY)  
POLICY AREAS OF  
THE HISTORIC CONSERVATION ZONE  
HISTORIC CONSERVATION  
POLICY AREA 2  
-EASTWOOD  
Fig Bur HCPA/2**

- Local Heritage Place
- Contributory Item
- 23 House / Property Number
- Policy Area 2 Boundary
- - - Development Plan Boundary

- 2 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items within the Policy Area should reflect or complement the existing original style, design and features.
- 3 Development should be carried out in accordance with the conservation and development guidelines set out in [Table Bur/1](#).
- 4 Development should complement the Established Historic Character of the Policy Area in terms of siting, scale, massing, proportions, building form, roof-forms and pitches, boundary setback, materials and external finishes.
- 5 Any site for the accommodation of a detached dwelling should be not less than 350 square metres and should have a frontage to a public road of not less than eight metres.
- 6 Any site for the accommodation of a semi-detached dwelling or row dwellings should be not less than 350 square metres and should have a frontage to a public road of not less than eight metres.
- 7 Other than pergolas or landscaping structures, all buildings on the site of a detached dwelling, semi-detached dwelling or row dwelling should not occupy more than 50 percent of the site of that dwelling.
- 8 No dwelling should be developed on a site having its only road frontage to a road less than six metres in width.

### **Historic Conservation Policy Area 3 – St Georges (Wootoona Terrace)**

#### **Introduction**

The objectives and principles of development control that follow apply to that part of the Historic (Conservation) Zone shown as Historic Conservation Policy Area 3 – St Georges (Wootoona Terrace), on [Map Bur/16](#). They are additional to those expressed for the whole of the Historic (Conservation) Zone and for the Council area as a whole.

#### **Established Historic Character**

Wootoona Terrace was first subdivided in 1916, and restrictions were imposed on the value and building materials of houses to ensure that substantial dwellings were built. This resulted in a street of very large dwellings on large blocks of land, with extensive gardens.

The Established Historic Character of Historic Conservation Policy Area 3 – St Georges (Wootoona Terrace) derives from:

- (a) large wide allotments, as established by the original subdivision pattern and residential development;
- (b) large houses which are set further from the street and side boundaries than is usual in the area;
- (c) early 20<sup>th</sup> Century houses built in a range of styles;
- (d) a number of houses which are multi-storey;
- (e) several houses which have facilities such as tennis courts and swimming pools;
- (f) significant front landscaped gardens;
- (g) mature ash and white cedar street-trees which form a particularly even and impressive streetscape.

## OBJECTIVES

**Objective 1:** Development that conserves and enhances the Established Historic Character.

**Objective 2:** Development accommodating detached dwellings on large allotments.

## PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Items identified in [Fig HCPA/3](#) as contributing to the historic character of the Policy Area should be conserved and enhanced.
- 2 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items within the Policy Area should reflect or complement the existing original style, design and features.
- 3 Development should be carried out in accordance with the conservation and development guidelines set out in [Table Bur/1](#).
- 4 Development should complement the Established Historic Character of the Policy Area in terms of siting, scale, massing, proportions, building form, roof-forms and pitches, boundary setback, materials and external finishes.
- 5 Any building or part of a building should be set-back not less than three metres from the side and rear boundaries of its allotment.
- 6 Any building or part of a building should be set back not less than 18 metres from the boundary of a road.
- 7 Other than pergolas or landscaping structures, all buildings on the site of a detached dwelling should not occupy more than 33 $\frac{1}{3}$  percent of its allotment.

## Historic Conservation Policy Area 4 – Beulah Park

### Introduction

The objectives and principles of development control that follow apply to that part of the Historic (Conservation) Zone shown as Historic Conservation Policy Area 4 – Beulah Park, on [Map Bur/13](#). They are additional to those expressed for the whole of the Historic (Conservation) Zone and for the Council area as a whole.

### Established Historic Character

Subdivision of Section 288 into Beulah Park took place from 1851 onwards with small villages such as North Kensington planned between farm paddocks. The most intensive period of development was during the late 1870s when narrow streets were created from farmland and workers cottages were constructed. The general pattern that developed was one of modest worker housing in narrow streets, with stone and brick cottages, many using locally made bricks from Reedy's brickyard in Howard Street.

A notable feature of the area is the collection of cottages and other buildings built by Edward Pemberton, in red brick with decorative white tiles and friezes ornamenting walls, gables and eaves. Union Street and Dimboola Street contain rows of small single-fronted cottages that are virtually identical in design and set-back. There are several more substantial villas with fine detailing in Howard Street and a few other locations.

The Established Historic Character of Historic Conservation Policy Area 4 – Beulah Park derives from:

- (a) modest housing on small allotments created by the original subdivision pattern of the area;
- (b) late Victorian houses constructed in the 1890s and 1900s, with a few later bungalows;



**BURNSIDE (CITY)  
POLICY AREAS OF  
THE HISTORIC CONSERVATION ZONE  
HISTORIC CONSERVATION  
POLICY AREA 3  
-St GEORGES (WOOTOONA TCE)  
Fig Bur HCPA/3**

- Local Heritage Place
- Contributory Item
- 23 House / Property Number
- Policy Area 3 Boundary



- (c) dwellings generally modest in scale including small single fronted cottages which create the intimate scale and historic character of many of the streets within the Policy Area.

## OBJECTIVES

- Objective 1:** Development that conserves and enhances the Established Historic Character.
- Objective 2:** Development primarily consisting of detached and semi-detached dwellings.
- Objective 3:** Maintenance and enhancement of the low scale, low and medium density residential character.
- Objective 4:** The establishment of single-storey dwellings.

## PRINCIPLES OF DEVELOPMENT CONTROL

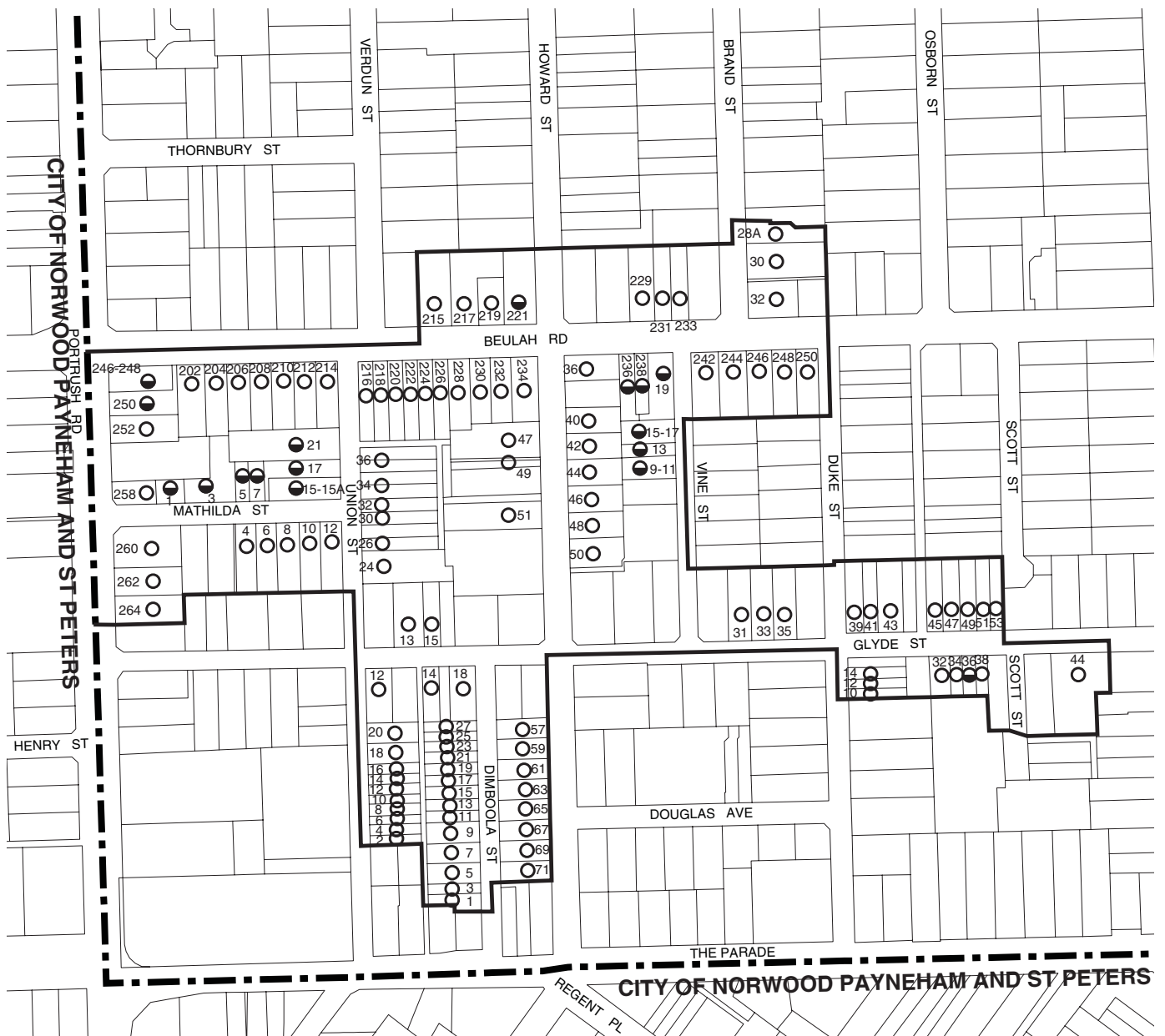
- 1 Items identified in [Fig HCPA/4](#) as contributing to the historic character of the Policy Area should be conserved and enhanced.
- 2 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items within the Policy Area should reflect or complement the existing original style, design and features.
- 3 Development should be carried out in accordance with the conservation and development guidelines set out in [Table Bur/1](#).
- 4 Development should complement the Established Historic Character of the Policy Area in terms of siting, scale, massing, proportions, building form, roof-forms and pitches, boundary setback, materials and external finishes.
- 5 Any site for the accommodation of a detached dwelling should be not less than 350 square metres and should have a frontage to a public road of not less than nine metres.
- 6 Any site for the accommodation of a semi-detached dwelling or row dwelling should be not less than 350 square metres and should have a frontage to a public road of not less than eight metres.
- 7 In that part of the Policy Area north of Glyde Street:
  - (a) any building or part of a building should be set back not less than five metres from the boundary of a road.
- 8 In that part of the Policy Area between Union and Dimboola Streets:
  - (a) any building or part of a building should be set back not less than 1.5 metres from the boundary of a road.
- 9 Other than pergolas or landscaping structures, all buildings on the site of a detached dwelling, semi-detached dwelling or row dwelling should not occupy more than 50 percent of its allotment.

## Historic Conservation Policy Area 5 – Tusmore

### Introduction

The objectives and principles of development control that follow apply to that part of the Historic (Conservation) Zone shown as Historic Conservation Policy Area 5 – Tusmore on [Maps Bur/13 and 16](#). They are additional to those expressed for the whole of the Historic (Conservation) Zone and for the council area as a whole.





0metres 100 200

**BURNSIDE (CITY)  
POLICY AREAS OF  
THE HISTORIC CONSERVATION ZONE  
HISTORIC CONSERVATION  
POLICY AREA 4  
-BEULAH PARK  
Fig Bur HCPA/4  
Consolidated - 19 December 2017**

- Local Heritage Place
- Contributory Item
- 23 House / Property Number
- Policy Area 4 Boundary
- - - Development Plan Boundary

### Established Historic Character

Tusmore is one of the main early 20<sup>th</sup> Century suburbs in Burnside and the consistent and repetitive qualities of the design of the residential development reflect the original subdivision pattern and the house styles of the era. Tusmore (in Section 291) was originally a farm. William Rogers took out a lease of this section from the South Australian Company which his family held until 1889, when the lease was taken over by Edward Treacy, a dairyman. The South Australian Company proceeded to subdivide and sell most of the Section in 1913, 1919 and 1920. Treacy retained two of the large allotments and subsequently created Treacy Street after 1924. The Burnside Council Offices and Town Hall are constructed on Allotment 5 in the south west corner of this Section.

Tusmore is characterized by a high concentration of Californian Bungalows and Tudor Revival style residences, mostly constructed during the late 1920s and early 1930s. Tusmore is one of the most intact and representative residential areas in the whole Adelaide region. It is a consistent suburb of Bungalows and Tudors, with few intrusive elements apart from later 1930s-1940s residences. The street planting also represents the town planning fashions of the time, with jacarandas, ashes and some flowering gums replacing oaks, elms and plane trees common in earlier subdivisions.

The Established Historic Character of Historic Conservation Policy Area 5 – Tusmore derives from:

- (a) the repetition and consistency of detached, single-storeyed, interwar houses, generally of Tudor Revival or Californian Bungalow design, of similar scale, siting, design and appearance, as well as some later 1930-40s houses which are of similar quality and do not detract from the dominant architectural style of the subdivision;
- (b) the grid pattern and house allotment size providing a regularity, and consistency within the subdivision;
- (c) the consistent set back of residences from the front property boundaries;
- (d) the consistent rows of Bungalows with similar roof and verandah form and detail, such as in sections of Brandreth, Barr Smith, Hyde and Lynington Streets;
- (e) in some streets, a predominance of high gabled roofs specifically associated with the Tudor style, and which are particularly striking when positioned in identical locations on building blocks and when part of a long run of identical houses such as in Kennaway Street and Burke Street;
- (f) the established street trees, generally mature Jacaranda or Ash trees, and the grassed verges;
- (g) the consistent low fences and well planted gardens which provide a green environment in this suburb as a setting for the intactness of the houses within the subdivision.  
Acknowledged, high, solid fences have been constructed to many houses along Portrush Road, nevertheless, the contributory nature of the residences is still intact.

### OBJECTIVES

- Objective 1:** Development that conserves and enhances the Established Historic Character.
- Objective 2:** Development accommodating detached dwellings on large allotments.
- Objective 3:** Maintenance and enhancement of the low scale, low density residential character.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Items identified in [Fig HCPA/5](#) as contributing to the historic character of the Policy Area should be conserved and enhanced.
- 2 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items within the Policy Area should reflect or complement the existing original style, design and features of those Places and Items.

- 3 Development should be carried out in accordance with the conservation and development guidelines set out in [Table Bur/1](#).
- 4 Development should complement the Established Historic Character of the Policy Area in terms of siting, scale, massing, proportions, building form, roof-forms and pitches, boundary setback, materials and external finishes.
- 5 Any site for the accommodation of a detached dwelling should be not less than 750 square metres and should have a frontage to a public road of not less than 15 metres.
- 6 Any site for the accommodation of a semi-detached dwelling should be not less than 550 square metres and should have a frontage to a public road of not less than 10 metres.
- 7 Any building or part of a building should be set back not less than eight metres from the boundary of a road.
- 8 Other than pergolas or landscaping structures, all buildings on the site of a dwelling should not occupy more than 40 percent of the site of that dwelling.

## Historic Conservation Policy Area 6 – Toorak Gardens (North)

### Introduction

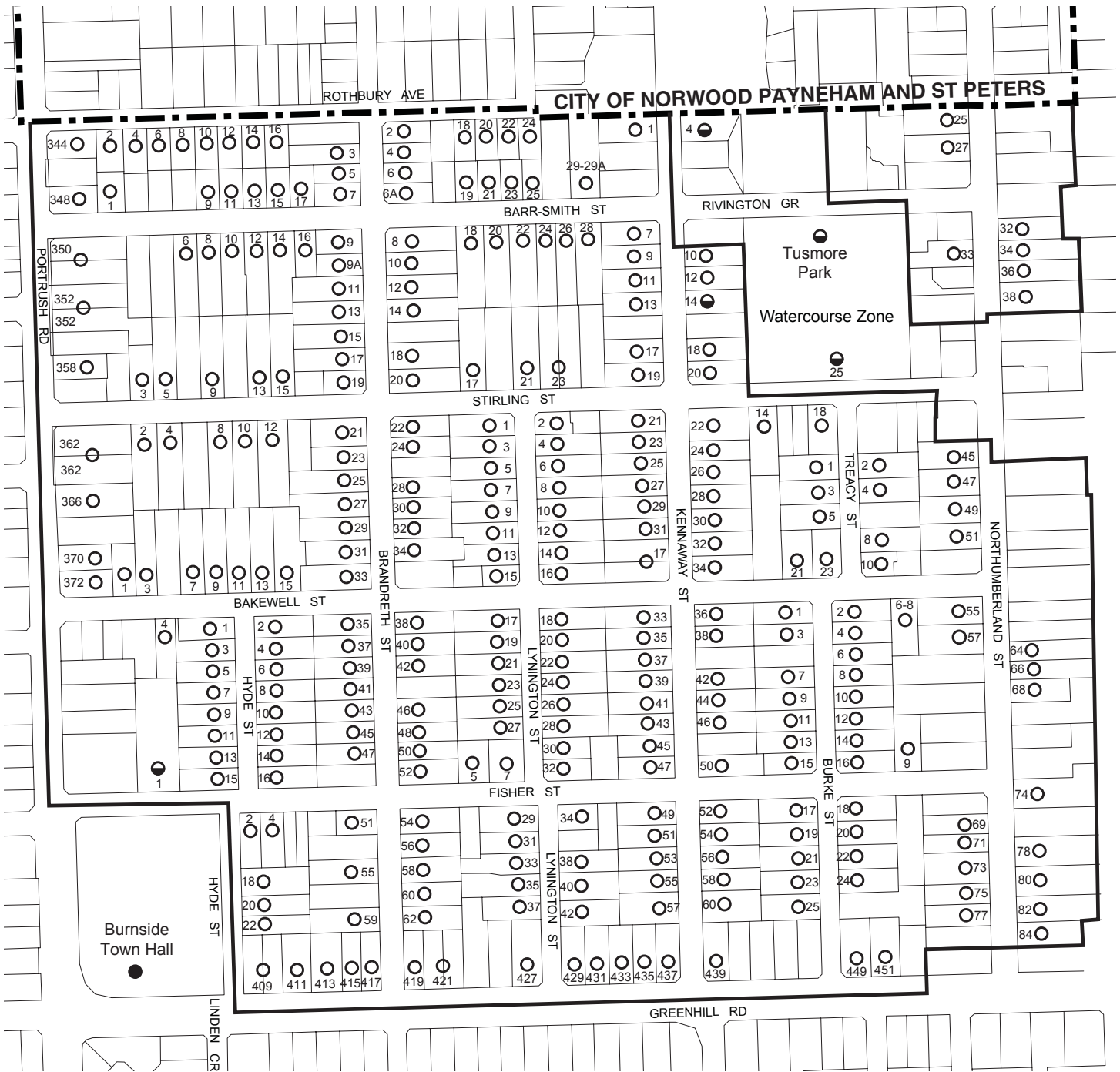
The objectives and principles of development control that follow apply to that part of the Historic (Conservation) Zone shown as Historic Conservation Policy Area 6 – Toorak Gardens (North) on [Maps Bur/12 and 13](#). They are additional to those expressed for the whole of the Historic (Conservation) Zone and for the Council area as a whole.

### Established Historic Character

Toorak [Gardens] subdivision was laid out in Section 275 within the eastern half of the Prescott Farm which ran through to Rose Park. It was initially divided into large blocks in 1909, which established the street pattern and the roads between Prescott Terrace and Portrush Road, north of Swaine Avenue to Kensington Road. The first subdivision of the areas within the blocks was undertaken in 1912. The area was popular with architects and several designed their own homes in Toorak Gardens.

The Established Historic Character of Historic Conservation Policy Area 6 – Toorak Gardens (North) derives from:

- (a) the large number of residences, dating from the period of original subdivision in 1909-1912, and which are characterised by generally large single storey detached dwellings constructed in stone or brick with large simple roof planes and broad eaves;
- (b) the residential architectural style which is predominantly Tudor Revival, Californian Bungalow or Old English sources, where most residences are fine examples of interwar domestic architecture with matching outbuildings;
- (c) residences located on large, wide, allotments;
- (d) the built form, materials and design of dwellings which gives evidence to the development controls which prevailed at the time of original subdivision;
- (e) the consistent scale and setback of the major residences;
- (f) the mature gardens and high hedging to many houses;
- (g) the mature street trees and nature strip planting which create a leafy landscaped ambience across the area.



0metres 125 250

# BURNSIDE (CITY) POLICY AREAS OF THE HISTORIC CONSERVATION ZONE HISTORIC CONSERVATION POLICY AREA 5 -TUSMORE

## Fig Bur HCPA/5

Consolidated - 19 December 2017

- State Heritage Place
- Local Heritage Place
- Contributory Item
- 23 House / Property Number
- Policy Area 5 Boundary
- - - Development Plan Boundary

## OBJECTIVES

- Objective 1:** Development that conserves and enhances the Established Historic Character.
- Objective 2:** Development accommodating detached dwellings on large allotments.
- Objective 3:** Maintenance and enhancement of the low scale, low density residential character.

## PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Items identified in [Fig HCPA/6](#) as contributing to the historic character of the Policy Area should be conserved and enhanced.
- 2 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items within the Policy Area should reflect or complement the existing original style, design and features of those Places and Items.
- 3 Development should be carried out in accordance with the conservation and development guidelines set out in [Table Bur/1](#).
- 4 Development should complement the Established Historic Character of the Policy Area in terms of siting, scale, massing, proportions, building form, roof-forms and pitches, boundary setback, materials and external finishes.
- 5 Any site for the accommodation of a detached dwelling should be not less than 750 square metres and should have a frontage to a public road of not less than 15 metres.
- 6 Any site for the accommodation of a semi-detached dwelling should be not less than 600 square metres and should have a frontage to a public road of not less than 12 metres.
- 7 Any building or part of a building should be set back not less than eight metres from the boundary of a road.
- 8 Other than pergolas or landscaping structures, all buildings on the site of a dwelling should not occupy more than 40 percent of the site of that dwelling.
- 9 No site of development should have its only frontage to Von Rieben Lane.

## Historic Conservation Policy Area 7 – Toorak Gardens (Fergusson Square)

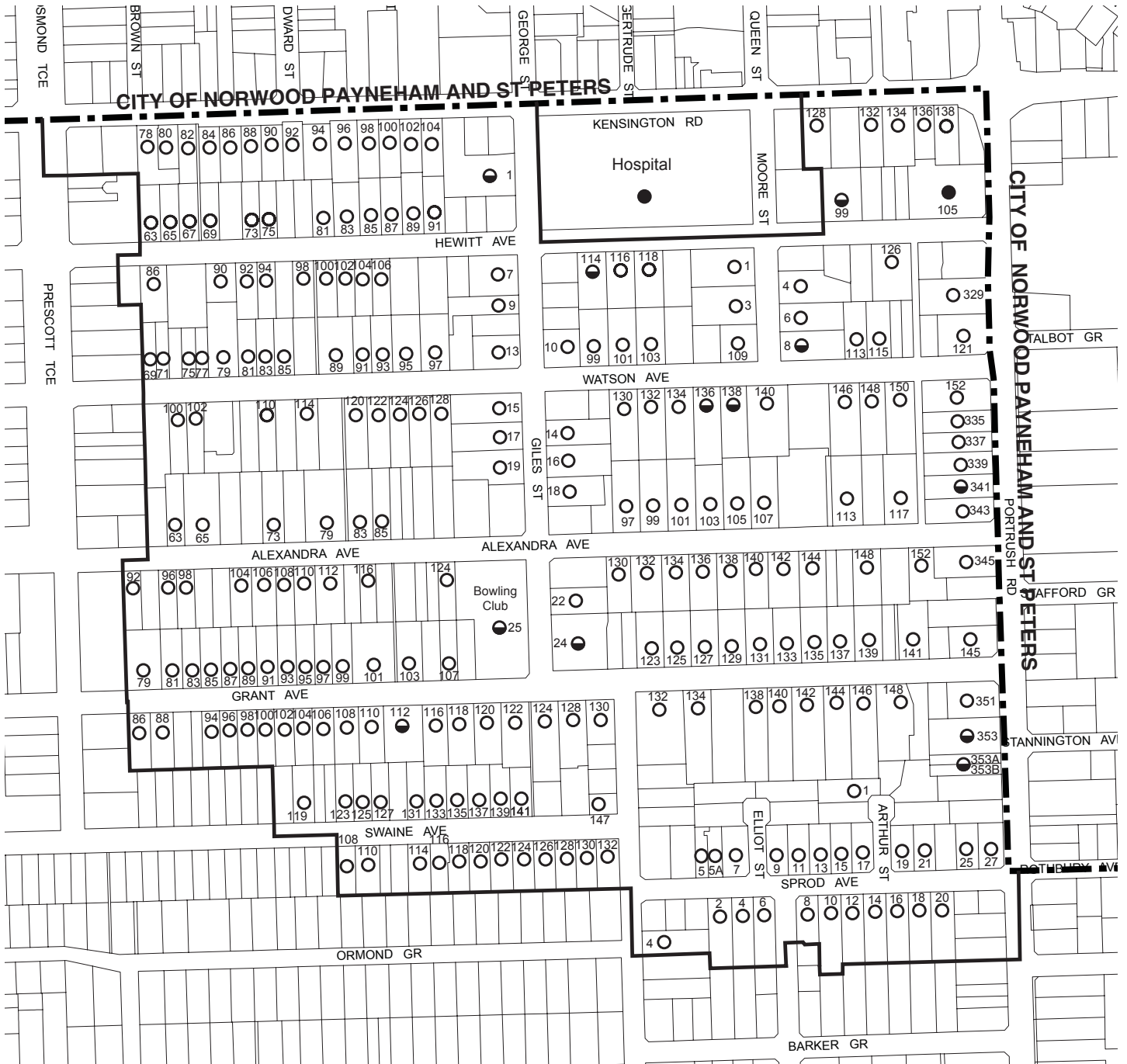
### Introduction

The objectives and principles of development control that follow apply to that part of the Historic (Conservation) Zone shown as Historic Conservation Policy Area 7 – Toorak Gardens (Fergusson Square) on [Maps Bur/12, 15 and 16](#). They are additional to those expressed for the whole of the Historic (Conservation) Zone and for the Council area as a whole.

### Established Historic Character

This section of Toorak Gardens was closely built up during the 1920s when it was advertised as a 'New Garden Suburb' and was described as 'having a fine type of bungalow being erected'. The area is dominated by large residences on generous allotments, reflecting the original subdivision pattern and development.

Fergusson Square sits within Section 274 and forms a central element of the initial subdivision of Monreith Farm. The farm belonged to Andrew and Margaret Fergusson who came from Monreith in the County of Wigtown, Scotland. This Section was subdivided in 1917 by a Melbourne syndicate represented in Adelaide by Edward Solomon and the local real estate Agents were Parsons and Willcox. The Square is nearly two acres in size and is a reservation at the centre of the subdivision with four streets radiating from the corners. The Square initially was used for tennis, but by the wish of the local Progress Association of the 1920s, was changed to a formal garden.



**BURNSIDE (CITY)  
POLICY AREAS OF  
THE HISTORIC CONSERVATION ZONE  
HISTORIC CONSERVATION  
POLICY AREA 6  
-TOORAK GARDENS (NORTH)  
Fig Bur HCPA/6**

- State Heritage Place
- Local Heritage Place
- Contributory Item
- 23 House / Property Number
- Policy Area 6 Boundary
- - - Development Plan Boundary



The Established Historic Character of Historic Conservation Policy Area 7 – Toorak Gardens (Fergusson Square) derives from:

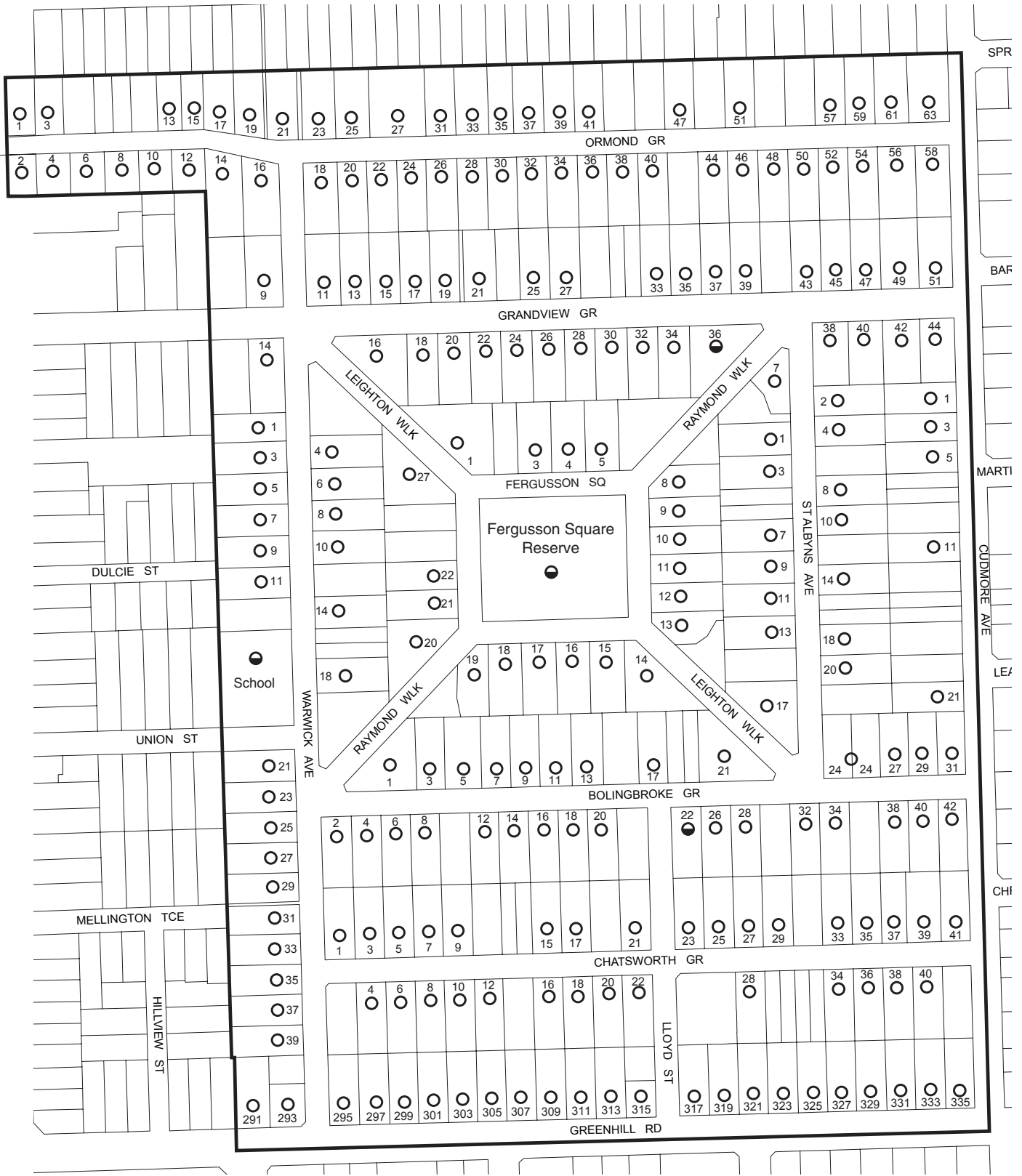
- (a) detached dwellings, predominantly interwar Bungalows (some Tudor style) of consistent height, scale, set-back and appearance;
- (b) houses set on generous allotments, well set-back with uniform set-backs and generous side boundaries;
- (c) the repetition and consistency of the residential style of houses in Fergusson Square, generally of historically intact Tudor Revival or Bungalow design, of one or two storeys;
- (d) the grid pattern and house allotment size which provides regularity and consistency all around the Square;
- (e) the character of the streets facing Fergusson Square with all of the residences taking advantage of the vistas across the Square;
- (f) the consistent low fences, including some original masonry fences, and well planted gardens landscaped in an informal English style with mature shrubs and trees which provide an extremely attractive green environment around the Square as a setting of the intactness of the housing styles;
- (g) the established street trees, which are generally mature *prunus*, and the generous grassed verges.

## OBJECTIVES

- Objective 1:** Development that conserves and enhances the Established Historic Character.
- Objective 2:** Development accommodating detached dwellings on large allotments.
- Objective 3:** Maintenance and enhancement of the low scale, low density residential character.

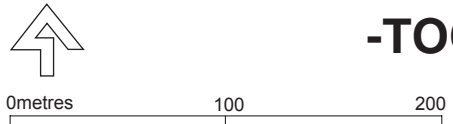
## PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Items identified in [Fig HCPA/7](#) as contributing to the historic character of the Policy Area should be conserved and enhanced.
- 2 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items within the Policy Area should reflect or complement the existing original style, design and features of those Places and Items.
- 3 Development should be carried out in accordance with the conservation and development guidelines set out in [Table Bur/1](#).
- 4 Development should complement the Established Historic Character of the Policy Area in terms of siting, scale, massing, proportions, building form, roof-forms and pitches, boundary setback, materials and external finishes.
- 5 Any site for the accommodation of a detached dwelling should be not less than 750 square metres and should have a frontage to a public road of not less than 15 metres.
- 6 Any site for the accommodation of a semi-detached dwelling should be not less than 600 square metres and should have a frontage to a public road of not less than 12 metres.
- 7 Any building or part of a building should be set back not less than eight metres from the boundary of a road.
- 8 Other than pergolas or landscaping structures, all buildings on the site of a dwelling should not occupy more than 40 percent of the site of that dwelling.



- Local Heritage Place
- Contributory Item
- 23 House / Property Number
- Policy Area 7 Boundary

**BURNSIDE (CITY)  
POLICY AREAS OF  
THE HISTORIC CONSERVATION ZONE  
HISTORIC CONSERVATION  
POLICY AREA 7  
-TOORAK GARDENS (FERGUSSON SQUARE)  
Fig Bur HCPA/7**





## Historic Conservation Policy Area 8 – Glenunga Park

### Introduction

The objectives and principles of development control that follow apply to that part of the Historic (Conservation) Zone shown as Historic Conservation Policy Area 8 – Glenunga Park on [Maps Bur/15 and 16](#). They are additional to those expressed for the whole of the Historic (Conservation) Zone and for the Council area as a whole.

### Established Historic Character

The suburb of Glenunga was subdivided from the farm of Daniel Ferguson which was established in the late 1840s on Section 271. The farm was divided into substantial blocks in 1893 and Albert Selmar Conrad, a notable architect who designed a variety of buildings in the locality, purchased 24 acres between Glenunga Avenue and Fowlers Road. This area remained undeveloped until 1912 when Conrad began to subdivide his land. The first subdivision of 53 allotments was on the western side of the section and created Trevorten, Bethune and Dalaston Avenues. This subdivision was initially known as Glenunga Park. Conrad built himself a large house in the eastern section facing the new Bethune Avenue and subdivided through to Portrush Road soon after. In 1922, after he had purchased the old Glenunga farmhouse, he subdivided the area south of his original subdivision into 13 allotments. The area north of Bevington Road was subdivided separately by others and developed at various stages.

The houses within the subdivision were built from 1916 onwards and reflect the architectural design idiom of the time. Only the core section of Glenunga Park retains a consistent grouping of houses from 1916-1926, many of which were designed by Conrad.

Historic Conservation Policy Area 8 – Glenunga Park sits within the 1912 subdivision of Glenunga Park. The Established Historic Character of Historic Conservation Policy Area 8 – Glenunga Park derives from:

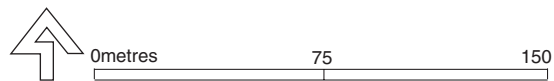
- (a) the core grouping of houses from the early 20<sup>th</sup> Century, in Bevington Road, Glenunga Avenue and Trevorten Avenue, which are predominantly consistent Federation Bungalow style houses, one and two storeys, generally with original detailing intact, situated on regularly sized allotments (75 x 170 feet on average), some with original fences;
- (b) the predominance of pitched roofs, dominant chimneys and timber framed windows and doors, with the use of verandahs a significant element in the design of the houses;
- (c) consistent and generous front and side set-backs of houses within the Policy Area;
- (d) the landscaped quality of the area with avenues of white cedar trees (*Melia azedarach*) lining most of the streets, and grassed nature strips providing a generally consistent streetscape character.

### OBJECTIVES

- Objective 1:** Development that conserves and enhances the Established Historic Character.
- Objective 2:** Development accommodating detached dwellings on large allotments.
- Objective 3:** Maintenance and enhancement of the low scale, low density residential character.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Items identified in [Fig HCPA/8](#) as contributing to the historic character of the Policy Area should be conserved and enhanced.



**BURNSIDE (CITY)**  
**POLICY AREAS OF**  
**THE HISTORIC CONSERVATION ZONE**  
**HISTORIC CONSERVATION**  
**POLICY AREA 8**  
**-GLENUNGA PARK**  
**Fig Bur HCPA/8**

- Local Heritage Place
- Contributory Item
- 23 House / Property Number
- Policy Area 8 Boundary
- - - Development Plan Boundary

- 2 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items within the Policy Area should reflect or complement the existing original style, design and features of those Places and Items.
- 3 Development should be carried out in accordance with the conservation and development guidelines set out in [Table Bur/1](#).
- 4 Development should complement the Established Historic Character of the Policy Area in terms of siting, scale, massing, proportions, building form, roof-forms and pitches, boundary setback, materials and external finishes.
- 5 Any site for the accommodation of a detached dwelling should be not less than 750 square metres and should have a frontage to a public road of not less than 15 metres.
- 6 Any site for the accommodation of a semi-detached dwelling should be not less than 550 square metres and should have a frontage to a public road of not less than 10 metres.
- 7 Any building or part of a building should be set back not less than eight metres from the boundary of a road.
- 8 Other than pergolas or landscaping structures, all buildings on the site of a dwelling should not occupy more than 40 percent of the site of that dwelling.

## Historic Conservation Policy Area 9 – Kensington Gardens (Reserve)

### Introduction

The objectives and principles of development control that follow apply to that part of the Historic (Conservation) Zone shown as Historic Conservation Policy Area 9 – Kensington Gardens (Reserve) on [Maps Bur/13 and 14](#). They are additional to those expressed for the whole of the Historic (Conservation) Zone and for the Council area as a whole.

### Established Historic Character

The Kensington Gardens reserve is surrounded by an encircling subdivision which reflects its early 20<sup>th</sup> Century date of establishment. The suburb of Kensington Gardens was created through the subdivision of parts of Sections 270, 271 and 2040. The allotments were set out around the Kensington Gardens Reserve, originally known as Pile's Paddock. The first sale of land in the subdivision of Kensington Gardens was held in 1909 through a company known as Kensington Gardens Limited, whose chairman was Henry J. Holden, the Mayor of Kensington and Norwood Council at the time.

The land was sold incrementally from the time of initial subdivision, and by 1912 more than half of the allotments had been sold. The prime real estate was the allotments facing the Park, on the streets known as North, South, East and West Terrace. North Terrace later became consistently named The Parade. The allotments closest to the Park were larger than those to the north of North Terrace (The Parade).

The Established Historic Character of Historic Conservation Policy Area 9 – Kensington Gardens (Reserve) derives from:

- (a) the many large houses from the initial period of development in the early 20<sup>th</sup> Century, which are one and two storey, generally with intact detailing. This includes the State Heritage Place at 40 East Terrace, formerly the home of E W Holden;
- (b) the consistent design idiom of the 'gentlemen's bungalow' form using terra cotta Marseilles tiled pitched roofs, often with ridge cresting, rock faced stone or face brick walls, expansive verandahs, incorporation of second storeys into the roof form and other typical design elements;

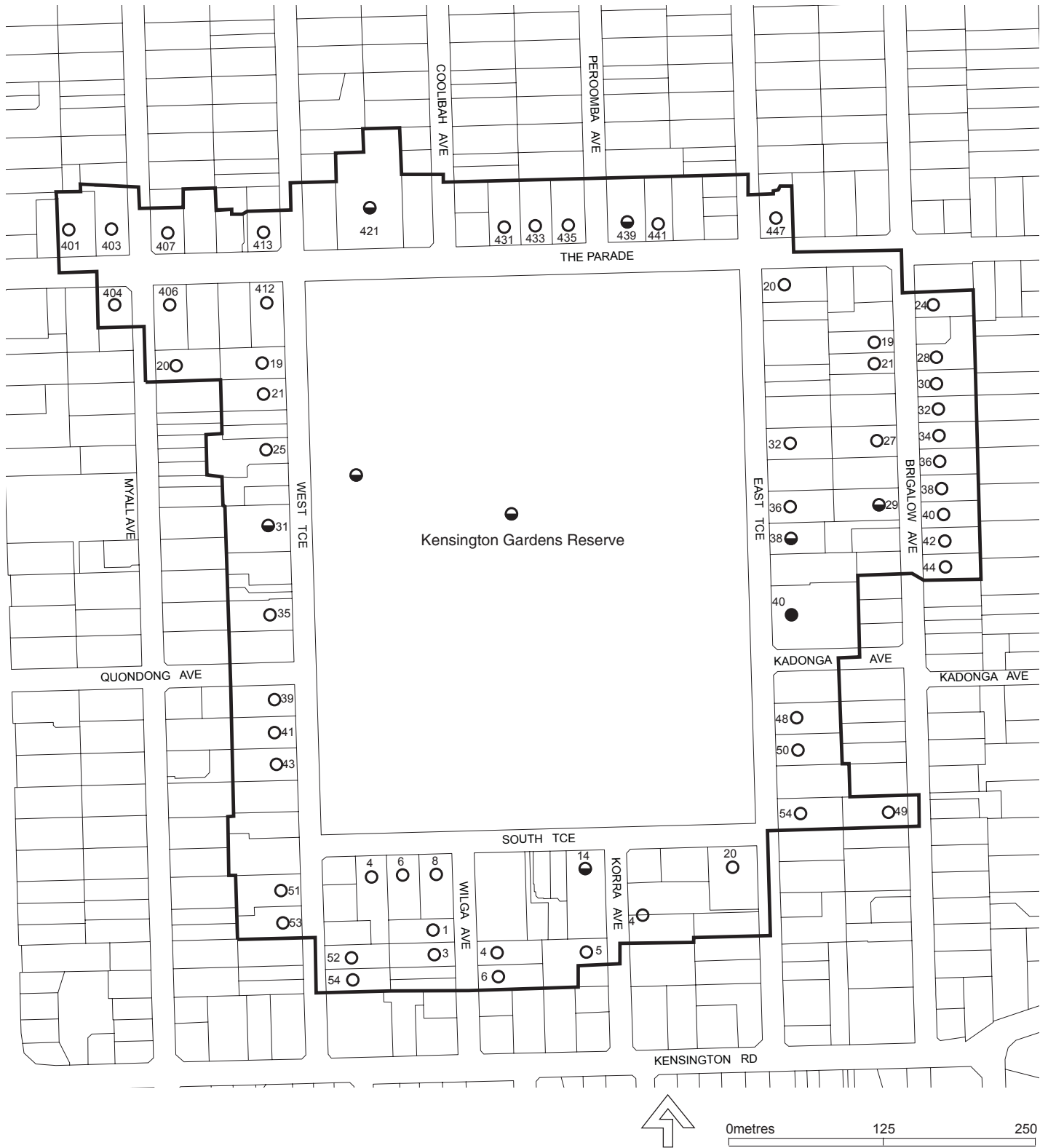
- (c) the landscaped quality of the street frontages with substantial, mature trees, generally white cedars and eucalypts, and wide grassed verges, establishing the streetscape character;
- (d) the focus of residential development of the central reserve with the houses along the Terraces addressing the substantial Kensington Gardens reserve;
- (e) the consistent row of 1914-16 houses in Brigalow Avenue, all of similar modest scale, materials and detailing, which provide an additional significant grouping of early twentieth century dwellings in the subdivision, and were constructed by the Ferro Concrete Company of South Australia;
- (f) the distinctly Australian character of the Kensington Gardens reserve with informal areas of natural vegetation, groupings of mature eucalypts and the creek line, as well as more formally sited sporting facilities scattered throughout;
- (g) the open banks and channel of Stonyfell Creek;
- (h) continuous fencing or hedging along the street frontages, which varies from low open masonry fencing to higher brushwood or masonry walling. Some original masonry and iron fences survive. Some of the large houses retain Cypress hedges. *Duranta repens* hedges are common. Due to the substantial set-back of the houses, the area retains an openness and attractive visual quality with a high degree of pedestrian amenity.

## OBJECTIVES

- Objective 1:** Development that conserves and enhances the Established Historic Character.
- Objective 2:** Development accommodating detached dwellings on large allotments.
- Objective 3:** Maintenance and enhancement of the low scale, low density residential character.
- Objective 4:** Protection and enhancement of the natural features of Stonyfell Creek, its environs, and associated trees.

## PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Items identified in [Fig HCPA/9](#) as contributing to the historic character of the Policy Area should be conserved and enhanced.
- 2 Alterations and additions to State Heritage Places, Local Heritage Places and Contributory Items within the Policy Area should reflect or complement the existing original style, design and features of those Places and Items.
- 3 Development should be carried out in accordance with the conservation and development guidelines set out in [Table Bur/1](#).
- 4 Development should complement the Established Historic Character of the Policy Area in terms of siting, scale, massing, proportions, building form, roof-forms and pitches, boundary setback, materials and external finishes.
- 5 Any site for the accommodation of a dwelling should be not less than 750 square metres and should have a frontage to a public road of not less than 15 metres.
- 6 Any building or part of a building should be set back not less than eight metres from the boundary of a road.
- 7 Other than pergolas or landscaping structures, all buildings on the site of a dwelling should not occupy more than 40 percent of the site of that dwelling.
- 8 Development should be sited and designed to minimise risk of flooding from Stonyfell Creek, with buildings well set-back from, and not encroaching unnecessarily upon, the creek.



**BURNSIDE (CITY)**  
**POLICY AREAS OF**  
**THE HISTORIC CONSERVATION ZONE**  
**HISTORIC CONSERVATION**  
**POLICY AREA 9**  
**-KENSINGTON GARDENS**  
**(RESERVE)**

**Fig Bur HCPA/9**

Consolidated - 19 December 2017

- State Heritage Place
- Local Heritage Place
- Contributory Item
- 23 House / Property Number
- Policy Area 9 Boundary

**9** In Kensington Gardens Reserve:

- (a) a range of facilities for active and passive recreation, consistent with the present function of the reserve, should be provided;
- (b) the natural features of the reserve (in particular, the creek and stands of indigenous eucalypts) and the character of its landscaped open space should be preserved and enhanced; and
- (c) buildings should be rationalised, and designed and sited in harmony with the character of the landscaped open space.

## DISTRICT CENTRE ZONE

### Introduction

The objectives and principles of development control that follow apply in the District Centre Zone shown on [Map Bur/7](#). They are additional to those expressed for the council area as a whole.

The District Centre Zone contains the following Policy Areas shown on [Map Bur/16](#):

- District Centre – Policy Area 1
- District Centre – Policy Area 2
- District Centre – Policy Area 3

### OBJECTIVES

**Objective 1:** A zone providing the principal civic, community, cultural, retailing, business, service entertainment and recreational focus for the City of Burnside in a manner appropriate to the district it serves.

**Objective 2:** A middle-order district centre developed in a manner:

- (a) to provide an identity for the City of Burnside;
- (b) in which the various functions of the centre are grouped within areas; and
- (c) which retains, enhances and extends the village-like atmosphere of the centre.

The district centre should fulfil the function of a compact middle-order district centre providing a range of centre type uses at a scale appropriate to the needs of the community it serves.

Development should be further concentrated within the centre in a manner which:

- (a) avoids fragmentation of the centre and conflict with adjoining residential land uses by confining it with the designated boundaries; and
- (b) minimise the impact of traffic generated by the centre on nearby residential streets.

The district centre should be developed with a distinct character and function within each precinct to concentrate appropriate uses in the various quadrants of the Greenhill and Portrush Roads intersection. This arrangement of functions within the centre will minimise fragmentation of compatible uses and interference with the function of those roads and should reflect that shown in [Fig DCe/1](#).

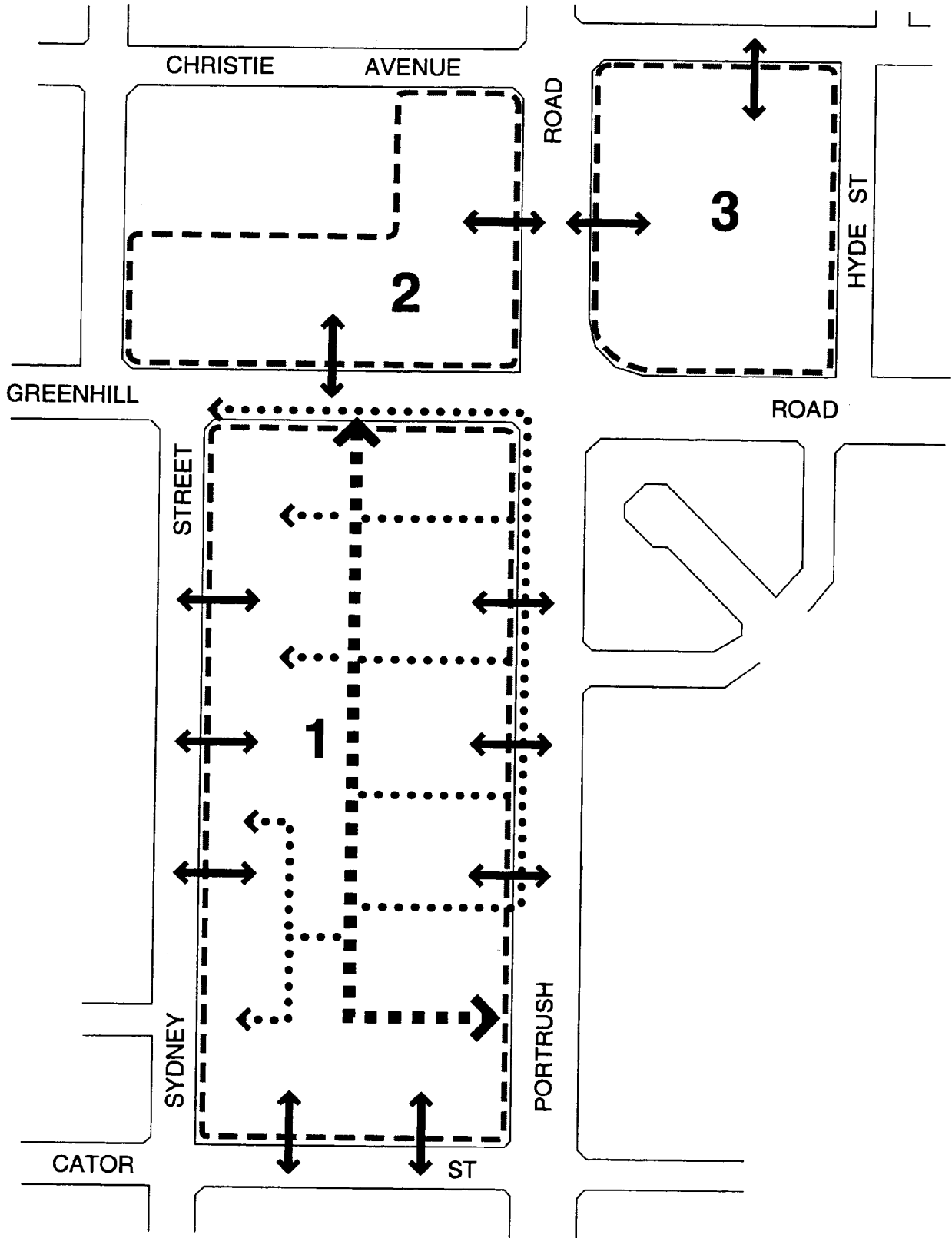
**Objective 3:** Limited residential development undertaken in a manner which complements non-residential development and which does not prevent the attainment of non-residential objectives for the zone.

**Objective 4:** A built-form and character in Policy Area 1 based upon the continuation of the open pedestrian mall on the north/south axis with supporting pedestrian access ways which:

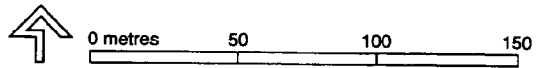
- (a) are free of vehicular traffic; and
- (b) incorporate places suitable for the undertaking of social and cultural activities.

**Objective 5:** Development within the zone which:

- (a) retains a village-like scale, form and character particularly within Policy Area 1;
- (b) provides a built-form which retains and promotes an intimate human scale;
- (c) incorporates a high standard of urban design; and



- 1 Retail, Service, Entertainment and Recreation
- 2 Office, Consulting and Community Services
- 3 Civic, Community and Cultural
- Vehicle Links
- Policy Area Boundary
- Open Pedestrian Mall
- Pedestrian Links



**BURNSIDE (CITY)  
DISTRICT CENTRE  
CONCEPT PLAN  
Fig DCe/1**



- (d) incorporates buildings on the western side of the Greenhill and Portrush Roads intersection which are of a form, scale, design and quality to complement the landmark created by the City of Burnside Town Hall building.

**Objective 6:** Development undertaken in a manner which minimises:

- (a) the interference of the free flow of traffic on arterial roads; and
- (b) traffic volumes in streets in adjoining residential areas.

## PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development within the District Centre Zone should provide for the civic, community, cultural, retailing, business, service, entertainment and recreational focus for the City of Burnside in a manner appropriate to the district it serves and in accordance with the objectives for each precinct contained within the zone.
- 2 Development should be of a type and scale which facilitates the provision of a wide range of services and facilities in accordance with the objectives of the zone without creating a need to further expand the boundaries of the zone.
- 3 Development should incorporate a high standard of architectural and urban design to maximise the visual amenity of the district centre both internally and externally.
- 4 Development immediately west of Portrush Road on the Portrush and Greenhill Roads intersection should be of a scale and appearance to create landmarks which establish a sense of town centre around that intersection.
- 5 Development should provide pedestrian paths of travel which reasonably align with pedestrian ways over Greenhill and Portrush Roads to improve pedestrian linkages between Policy Area 1, Policy Area 2 and Policy Area 3 of the zone.
- 6 Dwellings may be incorporated within development where:
  - (a) attainment of the primary objectives for the zone are not prejudiced;
  - (b) the dwellings are developed in association with and are located above non-residential land uses;
  - (c) one covered, secured car parking space is available for the exclusive use of each dwelling; and
  - (d) an open deck with access to sunlight is provided at the floor level of the dwelling providing a private space of not less than ten square metres per dwelling for the exclusive use of the occupants of the dwelling to which it relates.
- 7 Development should be of a design and scale which:
  - (a) is compatible with the scale of existing development within the centre;
  - (b) does not compete for visual dominance with any landmark development which may occur on the intersection of Greenhill and Portrush Roads;
  - (c) retains the village like scale, form and character of Policy Area 1; and
  - (d) does not unreasonably overlook nearby dwellings.
- 8 Upper level car parking should not occur unless:
  - (a) access ramps are screened from view from public roads but with access points being clearly visible to motorists;
  - (b) parked vehicles are screened from view from ground level; and

- (c) landscaping is provided:
  - (i) around the perimeter utilizing trees of sufficient mature height to reach above the levels at which vehicles are parked; and
  - (ii) planter boxes or the like are used to provide landscaping at the level on which vehicles are parked in a manner which visually enhances that parking area and provides shade.

- 9 Outdoor advertising within the zone should be a co-ordinated character throughout the District Centre Zone utilizing common colours, lettering style and forms of signage.
- 10 Vehicle parking should be provided in accordance with the applicable rates as set out in [Table Bur/5](#) - Off-Street Vehicular Parking Requirements or [Table Bur/6](#) - Off-street Vehicle Parking Requirements for Designated Areas (whichever applies).

### Complying Development

- 11 Complying developments are prescribed in schedule 4 of the *Development Regulations 2008*. In addition, the following forms of development (except where the development is non-complying) are complying:

Advertisement or advertising display, other than in respect to a State or local heritage place and subject to compliance with the conditions set out in [Table Bur/8](#), where applicable.

A change of use to a shop, office, consulting room or any combination of these uses where all of the following are achieved:

- (a) the area to be occupied by the proposed development is located in an existing building and is currently used as a shop, office, consulting room or any combination of these uses;
- (b) the development is located inside any of the following area(s):
  - District Centre Policy Area 1
  - District Centre Policy Area 2
- (c) the building is not a State heritage place;
- (d) it will not involve any alterations or additions to the external appearance of a local heritage place as viewed from a public road or public space;
- (e) if the proposed change of use is for a shop that primarily involves the handling and sale of foodstuffs, it achieves either (i) or (ii):
  - (i) all of the following:
    - (A) areas used for the storage and collection of refuse are sited at least 10 metres from any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop);
    - (B) if the shop involves the heating and cooking of foodstuffs in a commercial kitchen and is within 30 metres of any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop), an exhaust duct and stack (chimney) exists or is capable of being installed for discharging exhaust emissions;
  - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the development is to be undertaken and operated in accordance with the conditions attached to the previously approved development;

- (f) if the change in use is for a shop with a gross leasable floor area greater than 250 square metres and has direct frontage to an arterial road, it achieves either (i) or (ii):
  - (i) the primary vehicle access (being the access where the majority of vehicles access/egress the site of the proposed development) is from a road that is not an arterial road;
  - (ii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared;
- (g) off-street vehicular parking is provided in accordance with the rate(s) specified in [Table Bur/5](#) - Off Street Vehicle Parking Requirements or the desired minimum rate in [Table Bur/6](#) - Off Street Vehicle Parking Requirements for Designated Areas (whichever table applies) to the nearest whole number, except in any one or more of the following circumstances:
  - (i) the building is a local heritage place;
  - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the number and location of parking spaces is the same or substantially the same as that which was previously approved;
  - (iii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.

### Non-complying Development

**12** The following kinds of development are **non-complying** in the District Centre Zone:

Advertisement or advertising display that:

- (a) if freestanding, is more than six metres above natural ground level at any point; or
- (b) is attached to a building and protrudes above the highest level of that building

Amusement Park

Caravan Park

Fun Fair

Gas Holder

General Industry

Hospital - but not including Lots 9 Portrush Road and 8 & 9 Christie Avenue, Toorak Gardens occupied by Monreith Private Hospital

Light Industry

Major Public Service Depot

Motor Repair Station

Plant Nursery

Special Industry

Stadium

Transmitting Station above 30 metres in height

### Public Notification

**13** Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

## District Centre – Policy Area 1

### Introduction

The objectives and principles of development control that follow apply to that part of the District Centre Zone shown as Policy Area 1 on [Map Bur/16](#). They are additional to those expressed for the whole of the District Centre Zone and for the council area as a whole.

### OBJECTIVES

- Objective 1:** An area which provides the focus for retailing, service, entertainment and recreational activities within the district centre.
- Objective 2:** The retention and enhancement of the village like character and atmosphere of the area.
- Objective 3:** Development which further develops a well landscaped open mall and clearly defined pedestrian linkages.

### PROPOSAL

Council proposes to accept contributions to a car parking fund in appropriate circumstances in lieu of off-street car parking spaces where this will facilitate maximisation of public car parking areas in accordance with the needs of the centre either on council owned land or in conjunction with private development.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development within Policy Area 1 should provide the focus for retailing, service, entertainment and recreational activities within the district centre.
- 2** Development between the existing supermarket complex in the south-western corner of the area and development fronting Greenhill Road should not occur unless:
  - (a) car parking is provided throughout the development as a linked undercroft or basement extension of the basement car parking of the existing supermarket complex; and
  - (b) all car parking areas fronting Sydney Street are set-back not less than two metres from the boundary of that street to provide a strip of land which should be landscaped in a manner to significantly enhance and soften the appearance of the development as viewed from Sydney Street.
- 3** Development in the eastern side of the area should incorporate:
  - (a) buildings set-back from the junction of Cator Street and Portrush Road; and
  - (b) a mix of buildings and limited car parking areas fronting Portrush Road in which:
    - (i) buildings of a high standard of design provide relief from expanses of car parking and positively contribute to the streetscape;
    - (ii) car parking and vehicular and pedestrian access ways provide views into the central part of the area and indicate the availability of internal car parking facilities and business and community features; and
    - (iii) car parking areas and access ways are substantially landscaped incorporating tall trees to visually enhance the area and provide shade for vehicles and people.

- 4** Development should retain and extend the existing open mall in a manner which:
- (a) provides a north to south spine for the area through the continuation of the open pedestrian mall and a prominent access point from Portrush Road as shown in Structure Plan, [Fig DCe/1](#);
  - (b) ensure the mall:
    - (i) accommodates the primary north to south pedestrian movement in the area; and
    - (ii) accommodates the primary east to west pedestrian movement in the southern end of the area;
  - (c) locates small speciality shops, restaurants and other food shops along the mall;
  - (d) incorporates extensive landscaping with brick paving, planter boxes, vine covered trellises and pergolas, terracotta pots, ground covers, and low bushes;
  - (e) incorporates meeting and resting places, water features and items of interest in public areas and spaces capable of accommodating special activities of a seasonal, casual or specific social or cultural nature;
  - (f) is free of vehicular traffic;
  - (g) provides shelter for pedestrians from sun, wind and rain;
  - (h) buildings facing the mall are designed to create an impression of enclosure and physical continuity;
  - (i) incorporates lighting, visual accessibility and other measures to enhance personal safety of users of the mall; and
  - (j) provides an open and readily visible access from Greenhill Road into the mall which incorporates shelter and seating for users of public transport.
- 5** Development should provide a system of pedestrian pathways which:
- (a) link or facilitate linkages between surrounding roads and car parking areas and the central open mall;
  - (b) are secondary in function to the open mall;
  - (c) are clearly defined and minimise conflict between pedestrian and vehicular movements;
  - (d) should where possible incorporate shelter from sun and rain for pedestrians;
  - (e) should incorporate resting places where distances may be excessive for physically impaired persons; and
  - (f) should be designed and constructed to facilitate ease of movement for the disabled.
- 6** Buildings should incorporate such design, scale and bulk as is compatible with the character of the district centre and should enclose mechanical equipment within such buildings.
- 7** Materials and finishes of buildings should:
- (a) require a minimum of maintenance; and
  - (b) incorporate only colours which are neutral and avoid high contrast or strident or multiple colours.

- 8** Larger facilities such as supermarkets or discount department stores should:
- (a) be accommodated in buildings which have substantial architecture merit in terms of external appearance and which do not incorporate large blank walls;
  - (b) be located in a manner which complement existing facilities and generates interest and passing trade for smaller shops; and
  - (c) incorporate facilities for the comfort and needs of parents and young children.
- 9** Development on the Greenhill and Portrush Roads intersection should incorporate a landmark building of a form, scale and appearance complementary to the town hall building in Policy Area 3.

## District Centre – Policy Area 2

### Introduction

The objectives and principles of development control that follow apply to that part the District Centre Zone shown as Policy Area 2 on [Map Bur/16](#). They are additional to those expressed for the whole of the District Centre Zone and for the council area as a whole.

### OBJECTIVES

- Objective 1:** An area accommodating offices, consulting rooms, small service industries and small-scale community service facilities.
- Objective 2:** The creation of a landmark building on the Greenhill and Portrush Roads corner to complement a similar building in Policy Area 1 and the town hall building in Policy Area 3.
- Objective 3:** To improve the provision of and accessibility to car parking within the area.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development in Policy Area 2 should be limited to offices, consulting rooms small service industries and small-scale community facilities.
- 2** Shops other than small-scale premises in association with other land uses which do not adversely affect the attainment of the objectives of Policy Area 1 should not be developed.
- 3** Development for retailing or service industry should not occur on land fronting Christie Avenue occupied by Monrieth Private Hospital.
- 4** Buildings should be sited towards the Greenhill Road boundary alignment to maximise land area available for car parking at the rear of the premises.
- 5** All car parking areas should be linked or make provisions for future linkages to adjoining or nearby car parking areas in a manner which minimises vehicular access and egress points and which maximise the function of car parking facilities within the area.
- 6** Development on the Greenhill and Portrush Roads intersection should incorporate a landmark building of a form, scale and appearance complimentary to the town hall building in Policy Area 3.

## District Centre – Policy Area 3

### Introduction

The objectives and principles of development control that follow apply to that part of the District Centre Zone shown as Policy Area 3 on [Map Bur/16](#). They are additional to those expressed for the whole of the District Centre Zone and for the council areas as a whole.

### OBJECTIVES

- Objective 1:** An area providing the focus for civic, community, cultural and community service functions of the District Centre Zone.
- Objective 2:** Development of a scale and character compatible with existing civic buildings located on the corner of Greenhill and Portrush Roads.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development within Policy Area 3 should provide the focus for civic, community, cultural and community service functions within the District Centre Zone.
- 2 Buildings should be constructed of a scale, style, materials and colours which will be compatible with the existing Town Hall building.
- 3 Development should primarily consist of offices, consulting rooms and buildings for the administration of the council area, delivery of government or community services and community use.
- 4 The number and location of vehicular access and egress points should minimise interference with the free flow of traffic on Greenhill and Portrush Roads.
- 5 Significant areas of un-built space should be retained to:
  - (a) facilitate significant landscaping in and around the development and particularly along the Greenhill and Portrush Roads frontages of the area;
  - (b) provide internal courtyards, interesting public meeting places and clearly defined and landscaped pedestrian ways; and
  - (c) areas provided with shelter from sun, rain and wind to act as resting and meeting places.
- 6 Vehicular pathways and parking facilities should be adequate for:
  - (a) the manoeuvring and parking of buses to key pick-up or set-down areas; and
  - (b) ease of movement by the aged and physically impaired persons.
- 7 Development should be well lit and designed to minimise unsafe areas to enhance personal safety of users of the area.
- 8 Car parking spaces should generally be provided at the rate prescribed in the relevant principles of development control, however where development is of a type that is likely to generate its maximum demand for car parking at times when other facilities generate low demand, reduced provisions of car parking spaces and the sharing of parking facilities should be considered.

## NEIGHBOURHOOD CENTRE ZONE

### Introduction

The objectives and principles of development control that follow apply in the Neighbourhood Centre Zone shown on [Maps Bur/4 to 6](#). They are additional to those expressed for the council area as a whole.

The Neighbourhood Centres Zone contains the following Policy Areas shown on [Maps Bur/13 to 15](#):

- Neighbourhood Centre - Policy Area 1
- Neighbourhood Centre - Policy Area 2
- Neighbourhood Centre - Policy Area 3

### OBJECTIVES

- Objective 1:** A zone accommodating a range of shops, restaurants, offices, consulting rooms and commercial and community facilities serving the needs of a wider area than that of a Local Centre Zone but of a lesser area than the District Centre Zone.
- Objective 2:** Dwellings developed in association with non-residential development in a manner which does not conflict with the attainment of non-residential objectives for the zone.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development within the Neighbourhood Centre Zone should accommodate a range of shops, supermarkets, office, consulting rooms and other commercial and community facilities suited to serving a wider area than a Local Centre Zone but of a smaller scale than that suited to a District Centre Zone.
- 2 Buildings should not exceed 8.5 metres in height above the adjacent public footway level and should not contain more than one floor level directly above another floor level.
- 3 Undercroft vehicle parking areas should:
  - (a) be reasonably screened from view from public roads by the use of landscaping or other means which enhance the external appearance of the land and buildings; and
  - (b) have a floor level located not less than one metre below the predominant natural ground level of the site.
- 4 Development should limit direct vehicular access onto arterial roads.
- 5 Landscaping should be incorporated as a design feature in development.
- 6 Development should provide an interesting and attractive environment including:
  - (a) human paths of travel which:
    - (i) are sheltered from sun, wind and rain;
    - (ii) provide seats, resting and meeting places; and
    - (iii) are well lit; and
  - (b) internally landscaped.
- 7 Dwellings may be incorporated within development where:
  - (a) attainment of the primary objectives for the zone are not prejudiced;



- (b) the dwellings are developed in association with and are located above non-residential land uses;
- (c) one covered, secured car parking space is available for the exclusive use of each dwelling; and
- (d) an open deck with access to sunlight is provided at the floor level of the dwelling providing a private space of not less than ten square metres per dwelling for the exclusive use of the occupants of the dwelling to which it relates.

- 8 Vehicle parking should be provided in accordance with the applicable rates as set out in [Table Bur/5](#) - Off-Street Vehicular Parking Requirements or [Table Bur/6](#) - Off-street Vehicle Parking Requirements for Designated Areas (whichever applies).

### Complying Development

- 9 Complying developments are prescribed in schedule 4 of the *Development Regulations 2008*. In addition, the following forms of development (except where the development is non-complying) are complying:

Advertisement or advertising display, other than in respect to a State or local heritage place and subject to compliance with the conditions set out in [Table Bur/8](#), where applicable.

A change of use to a shop, office, consulting room or any combination of these uses where all of the following are achieved:

- (a) the area to be occupied by the proposed development is located in an existing building and is currently used as a shop, office, consulting room or any combination of these uses;
- (b) the building is not a State heritage place;
- (c) it will not involve any alterations or additions to the external appearance of a local heritage place as viewed from a public road or public space;
- (d) if the proposed change of use is for a shop that primarily involves the handling and sale of foodstuffs, it achieves either (i) or (ii):
  - (i) all of the following:
    - (A) areas used for the storage and collection of refuse are sited at least 10 metres from any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop);
    - (B) if the shop involves the heating and cooking of foodstuffs in a commercial kitchen and is within 30 metres of any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop), an exhaust duct and stack (chimney) exists or is capable of being installed for discharging exhaust emissions;
  - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the development is to be undertaken and operated in accordance with the conditions attached to the previously approved development;
- (e) if the change in use is for a shop with a gross leasable floor area greater than 250 square metres and has direct frontage to an arterial road, it achieves either (i) or (ii):
  - (i) the primary vehicle access (being the access where the majority of vehicles access/egress the site of the proposed development) is from a road that is not an arterial road;

- (ii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared;
- (f) off-street vehicular parking is provided in accordance with the rate(s) specified in [Table Bur/5](#) - Off Street Vehicle Parking Requirements or the desired minimum rate in [Table Bur/6](#) - Off Street Vehicle Parking Requirements for Designated Areas (whichever table applies) to the nearest whole number, except in any one or more of the following circumstances:
  - (i) the building is a local heritage place;
  - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the number and location of parking spaces is the same or substantially the same as that which was previously approved;
  - (iii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.

### Non-complying Development

10 The following kinds of development are **non-complying** in the Neighbourhood Centre Zone:

Advertisement or advertising display that:

- (a) if freestanding, is more than six metres above natural ground level at any point; or
- (b) is attached to a building and protrudes above the highest level of that building.

Amusement Park

Building exceeding 8.5 metres above the adjacent public footway level

Caravan Park

Drive-in Theatre

Fun Fair

Gas Holder

General Industry

Golf Driving Range

Hospital

Light Industry

Major Public Service Depot

Plant Nursery

Refuse Destructor

Reservoir

Road Transport Terminal

Road Transport Depot

Show Grounds

Special Industry

Stadium

Timber Yard

Transmitting Station above 30 metres in height

Waterworks

Welfare Institution

### Public Notification

11 Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

## Neighbourhood Centre – Policy Area 1

### Introduction

The objective and principle of development control that follow apply to that part of the Neighbourhood Centre Zone shown as Policy Area 1 on [Map Bur/13](#). They are additional to those expressed for the Neighbourhood Centre Zone and the council areas as a whole.

### OBJECTIVE

**Objective 1:** An area accommodating small-scale development which:

- (a) does not compete with the retail function of the main body of the zone; and
- (b) has minimal impact on adjoining development and on traffic movements in the locality.

### PRINCIPLE OF DEVELOPMENT CONTROL

**1** Development within Policy Area 1 should comprise small-scale development such as offices, consulting rooms, restaurants, retail showrooms, community facilities and service industries which:

- (a) do not compete with the retail function of the main body of the zone;
- (b) have minimal impact on the free flow of traffic on Kensington Road;
- (c) do not generate significant levels of traffic in nearby residential streets; and
- (d) have minimal impact on the amenity of residential premises within the locality.

**2** Development on the southern side of Kensington Road should:

- (a) be primarily for office, educational or community facilities;
- (b) preserve and enhance buildings of heritage significance on the land; and
- (c) retain local public open space abutting Tusmore Avenue and Godfrey Terrace.

## Neighbourhood Centre – Policy Area 2

### Introduction

The objective and principles of development control that follow apply to that part of the Neighbourhood Centre Zone shown as Policy Area 2 on [Map Bur/15](#). They are additional to those expressed for the Neighbourhood Centre Zone and the council areas as a whole.

### OBJECTIVE

**Objective 1:** An area accommodating low-scale development compatible with that undertaken to the west of Fullarton Road.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development should be of a scale and height compatible with that undertaken immediately to the west of Fullarton Road in the Business (Glen Osmond Road) Zone.
- 2** Development at the intersection of Glen Osmond and Fullarton Roads should be extensively landscaped.

## Neighbourhood Centre – Policy Area 3

### Introduction

The objective and principle of development control that follow apply to that part of the Neighbourhood Centre Zone shown as Policy Area 3 on [Map Bur/14](#). They are additional to those expressed for the Neighbourhood Centre Zone and the council areas as a whole.

### OBJECTIVE

**Objective 1:** Development which reinforces the function and character of the area.

### PRINCIPLE OF DEVELOPMENT CONTROL

- 1 Development within the area should be of a scale and form which reflects the existing character of the area and of the character buildings on both sides of Magill Road.

## LOCAL CENTRE ZONE

### Introduction

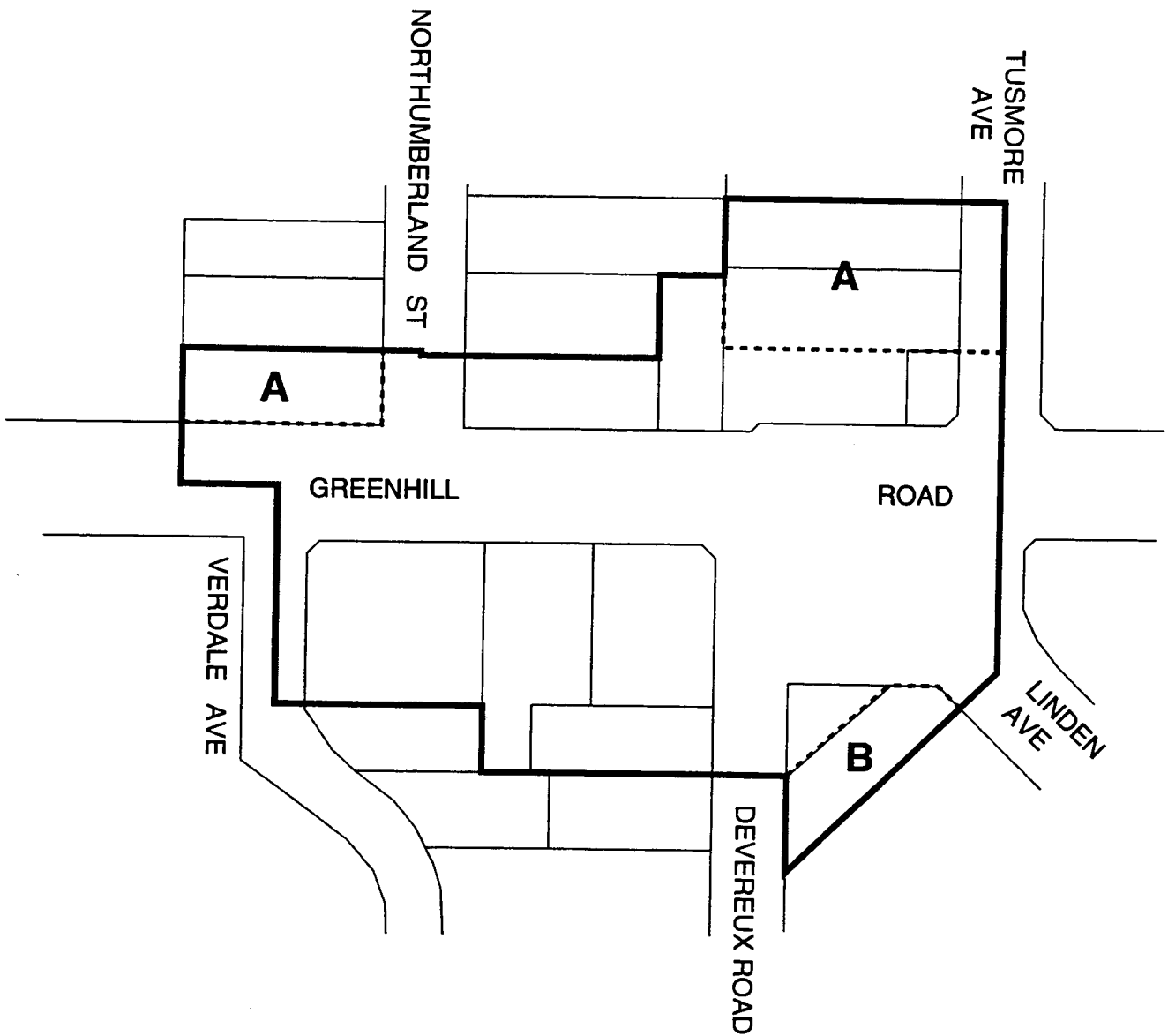
The objective and principles of development control which follow apply in the Local Centre Zone shown on [Maps Bur/3 to 7 and 9](#). They are additional to those expressed for the whole of the council area.

### OBJECTIVE

**Objective 1:** A zone accommodating a range of shops, offices, business, health and community service providers all being of a small-scale suited to servicing the needs of the local community.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development undertaken in the Local Centre Zone should generally consist of small-scale shops, offices, consulting rooms and commercial premises suited to meeting the needs of the local community.
- 2 Shop development should generally comprise a maximum gross leasable floor area in the order of 450 square metres.
- 3 Development within those areas of the zone shown as 'A'; on [Fig LCe/1](#) should be developed only in a manner which:
  - (a) enables the continuation of an existing use in a manner consistent with the objectives and principles of development control applicable to that kind of development;
  - (b) establishes a small-scale low traffic generating kinds of land uses such as offices or consulting rooms containing only one floor level; or
  - (c) establishes dwellings containing not more than two floor levels, in a manner consistent with the principles of development control that apply to dwellings in the Residential Zone.
- 4 Development of land within that part of the zone shown as 'B' on [Fig LCe/1](#) should not be undertaken in a manner which:
  - (a) locates a building or structure:
    - (i) closer than one metre to a boundary of any adjoining residential zone;
    - (ii) closer than six metres to the boundary of that portion of Linden Avenue bounding the north-eastern end of the area shown as 'B' on [Fig LCe/1](#); and
    - (iii) which has any wall or part of any wall higher than three metres above the established ground level of the land being developed in the area shown as 'B' on [Fig LCe/1](#) for a distance of not less than three metres from the boundary of any residential zone;
  - (b) provides vehicular access off that portion of Linden Avenue bounding the north-eastern end of the area shown as 'B' for other than the tenants of the site;
  - (c) provides other than a typically residential appearance of buildings, structures and landscaping at the north-eastern end of the area shown as 'B'; and
  - (d) has any additional adverse impact on premises in any adjoining residential zone than that which exists prior to the development and which does not seek to improve any such impacts.



0 metres 50 100

- A** Policy Area A  
Refer to Local Centre Zone  
Principle of Development Control 2
- B** Policy Area B  
Refer to Local Centre Zone  
Principle of Development Control 3

**BURNSIDE (CITY)  
LOCAL CENTRE ZONE  
AREAS  
Fig LCe/1**

- 5 Buildings should not contain one floor level directly above another floor level except where the lower floor level is for the provision of car parking space and the level of that floor is located not less than one metre below the predominant natural ground level for the site.
- 6 Undercroft vehicle parking areas should be reasonably screened from view from public roads by the use of landscaping or other means which enhance the external appearance of the land and buildings.
- 7 Vehicle parking should be provided in accordance with the applicable rates as set out in [Table Bur/5](#) - Off-Street Vehicular Parking Requirements or [Table Bur/6](#) - Off-street Vehicle Parking Requirements for Designated Areas (whichever applies).

### Complying Development

- 8 Complying developments are prescribed in schedule 4 of the *Development Regulations 2008*. In addition, the following forms of development (except where the development is non-complying) are complying:

Advertisement or advertising display, other than in respect to a State or local heritage place and subject to compliance with the conditions set out in [Table Bur/8](#), where applicable.

A change of use to a shop, office, consulting room or any combination of these uses where all of the following are achieved:

- (a) the area to be occupied by the proposed development is located in an existing building and is currently used as a shop, office, consulting room or any combination of these uses;
- (b) the building is not a State heritage place;
- (c) it will not involve any alterations or additions to the external appearance of a local heritage place as viewed from a public road or public space;
- (d) if the proposed change of use is for a shop that primarily involves the handling and sale of foodstuffs, it achieves either (i) or (ii):
  - (i) all of the following:
    - (A) areas used for the storage and collection of refuse are sited at least 10 metres from any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop);
    - (B) if the shop involves the heating and cooking of foodstuffs in a commercial kitchen and is within 30 metres of any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop), an exhaust duct and stack (chimney) exists or is capable of being installed for discharging exhaust emissions;
  - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the development is to be undertaken and operated in accordance with the conditions attached to the previously approved development;
- (e) if the change in use is for a shop with a gross leasable floor area greater than 250 square metres and has direct frontage to an arterial road, it achieves either (i) or (ii):
  - (i) the primary vehicle access (being the access where the majority of vehicles access/egress the site of the proposed development) is from a road that is not an arterial road;

- (ii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared;
- (f) off-street vehicular parking is provided in accordance with the rate(s) specified in [Table Bur/5](#) - Off Street Vehicle Parking Requirements or the desired minimum rate in [Table Bur/6](#) - Off Street Vehicle Parking Requirements for Designated Areas (whichever table applies) to the nearest whole number, except in any one or more of the following circumstances:
  - (i) the building is a local heritage place;
  - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the number and location of parking spaces is the same or substantially the same as that which was previously approved;
  - (iii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.

### Non-complying Development

9 The following kinds of development are **non-complying** in the Local Centre Zone:

Advertisement or advertising display that:

- (a) if freestanding, is more than six metres above natural ground level at any point; or
- (b) is attached to a building and protrudes above the highest level of that building.

Amusement Hall

Auction Room

Billiard Saloon

Bowling Alley

Building containing one floor level directly above another floor level except where the lower floor level is for the provision of car parking and is set at a level of not less than one metre below the predominant ground level of the site

Bus Depot

Bus Station

Caravan Park

Car Sales Premises

Dance Hall

Fire Station

Fun Fair

Gas Holder

General Industry

Gymnasium

Hospital

Light Industry

Major Public Service Depot

Plant Nursery

Road Transport Depot

Show Ground

Skating Rink

Special Industry

Squash Court

Stadium

Store

Theatre



Timber Yard  
Transmitting Station above 30 metres in height  
Warehouse

**Public Notification**

- 10** Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*.

## OFFICE ZONE

### Introduction

The objectives and principles of development control that follow apply in the Office Zone shown on [Maps Bur/3 and 6](#). They are additional to those expressed for the whole of the council area.

### OBJECTIVES

- Objective 1:** A zone accommodating professional and commercial offices with dwellings at medium-density where sites or buildings are suitable.
- Objective 2:** Development which minimises adverse effects on adjoining residential areas.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development undertaken in the Office Zone should be:
  - (a) professional and commercial offices not exceeding 2000 square metres in total floor area; and
  - (b) dwellings at medium densities where sites and buildings are suited to providing dwellings with a satisfactory level of amenity, convenience and security for residents.
- 2 Development should be located and designed to:
  - (a) set buildings back not less than three metres from the Fullarton or Greenhill Roads boundaries of any site to provide for landscaping;
  - (b) minimise overshadowing of premises in an adjoining Residential Zone or Historic (Conservation) Zone by limiting the height of any building adjacent to the boundary of such zones to a dimension equal to the distance that the building is set-back from such zone boundaries;
  - (c) avoid overlooking of premises in an adjoining Residential or Historic (Conservation) Zone; and
  - (d) to minimise the impact of vehicular movements on premise containing dwellings by the appropriate location of points of vehicular access and ingress and paths of travel away from such dwellings or by providing adequate visual and auditory screening.
- 3 Where dwellings are developed each dwelling should be provided with:
  - (a) an outdoor space either on ground level or on a balcony or similar structure of not less than ten square metres with a minimum horizontal measurement of 1.8 metres in any direction;
  - (b) clothes laundering and drying facilities for each dwelling;
  - (c) lighting and such other measures as may be required to provide reasonable security for residents and vehicles where undercroft car parking is utilized;
  - (d) a mix of secured car parking spaces for residents and unrestricted access car parking spaces for the use of visitors and other users of the premises at a ratio appropriate to the nature of the development; and
  - (e) a secure storage compartment of not less than 3.5 square metres in floor area for each dwelling suitable for the storage of household and personal goods in such location as will facilitate reasonable accessibility.

- 4 Undercroft car parking areas should be effectively screened from view from any public road by the use of landscaping or other means which enhance the external appearance of the land and buildings.
- 5 The safe and convenient movement of vehicles should be facilitated by:
  - (a) limiting the number of access and egress points onto Fullarton or Greenhill Roads to those required to accommodate the traffic generated by the development they serve;
  - (b) access and egress points located and designed in a manner which minimises traffic hazards, queuing on roads and interference with the function of road intersections, junctions and traffic control devices; and
  - (c) the linking of car parking areas where practicable.

### Complying Development

- 6 The following kind of development is **complying**, other than in respect to a State or a local heritage place, subject to the conditions prescribed in [Table Bur/8](#):

Advertisement or advertising display

### Non-complying Development

- 7 The following kinds of development are **non-complying** in the Office Zone:

Advertisement or advertising display that:

- (a) if freestanding, is more than six metres above natural ground level at any point; or
- (b) is attached to a building and protrudes above the highest level of that building

Amusement Hall  
 Auction Room  
 Billiard Saloon  
 Bowling Alley  
 Building exceeding 12.5 metres above the adjacent public footway level  
 Building with a total floor area in excess of 2000 square metres  
 Bus Depot  
 Caravan Park  
 Car Sales Premises  
 Concert Hall  
 Exhibition Hall  
 Fire Station  
 Fun Fair  
 Gas Holder  
 General Industry  
 Gymnasium  
 Light Industry  
 Major Public Service Depot  
 Office with a total floor area in excess of 2000 square metres  
 Plant Nursery  
 Road Transport Depot  
 Road Transport Terminal  
 Service Industry  
 Service Trade Premises  
 Shop or group of shops  
 Skating Rink  
 Special Industry  
 Squash Court  
 Stadium  
 Store  
 Theatre

Timber Yard  
Transmitting Station above 30 metres in height  
Warehouse  
Waterworks

**Public Notification**

**8** All kinds of development are assigned to **Category 1**:

Bank  
Consulting Room  
Office together or individually, with a floor area of not more than 2000 square metres per individual building

except where:

- (a) the site of the proposed development is not more than 60 metres from the boundary of the Residential Zone;

in which case the development is assigned to **Category 2**.

## BUSINESS (GLEN OSMOND ROAD) ZONE

### Introduction

The objectives and principles of development control that follow apply in the Business (Glen Osmond Road) Zone, shown on [Map Bur/6](#). They are additional to those expressed for the council area as a whole.

### OBJECTIVES

- Objective 1:** A zone accommodating primarily offices, commercial and residential development of a low traffic-generating nature with limited vehicle movements which do not disrupt the free flow of traffic on Glen Osmond Road or generate unduly large traffic volumes in residential streets.

As part of the National route between Adelaide and Melbourne, Glen Osmond Road is an important thoroughfare for interstate traffic and residents of the Adelaide Hills. The road carries high traffic volumes, and it is therefore important that development along the road does not hinder traffic flow. Given these limitations, it is desirable that development along Glen Osmond Road comprises mainly small office, commercial uses and office-showrooms, which do not generate large traffic flows onto Glen Osmond Road or through neighbouring residential areas. Car parks should be constructed with two way access and an adequate turning area, so that vehicles should not have to reverse onto Glen Osmond Road and minimise the number of access points onto that road. It is also desirable that vehicles be discouraged from using streets in residential areas, and that common access points be provided to smaller developments, and to those lacking direct road access.

- Objective 2:** Development undertaken in a manner which preserves and enhances the character and amenity of residential areas in adjoining zones.

It is important that business development within the Business (Glen Osmond Road) Zone be carefully designed and located to reduce to a minimum the adverse effects which may arise from the interface between residential and business uses of land.

To avoid the problems associated with overlooking, overshadowing, poorly sited points of access and egress, unscreened parking areas and service yards and high blank walls considerable care must be taken. Development should be screened and set-back from the boundaries of development containing dwellings, preferably utilizing landscaping in the intermediate strip of land.

In parts of the zone there is scope for a mix of residential and commercial development. However where such a mix does occur it is important that the design of such development minimises any adverse impact of commercial development upon the use of dwellings.

- Objective 3:** Buildings of a high standard of design in scale with adjoining development.

The external appearance of buildings has a major influence on the streetscape and character of the zone. Buildings should complement each other in architectural style and scale. Regard should also be had to the design and scale of buildings on the southern side of Glen Osmond Road.

It is desirable that the scale of buildings and the extent of site coverage be restricted, so that the built-form is in keeping with the objectives for the zone. The level of traffic generated by any development should be in keeping with the fact that Glen Osmond Road is a major arterial road, and minimise any adverse effects on adjoining residential areas.

Attention to details such as the location, design and screening of service and storage areas, as well as establishing and maintaining landscaping of the property boundary, will improve the amenity of the zone, and reduce any adverse effects on adjoining residential areas.

To ensure that any further widening of Glen Osmond Road does not decrease the extent of landscaping along the road, the set-back requirements contained in the principles of development control are in addition to any land that may be required under the Metropolitan Adelaide Road Widening Plan.

**Objective 4:** Orderly and proper development of the zone through comprehensive redevelopment and rehabilitation of existing buildings.

Many of the existing allotments in the zone are small and this limits the options available for the location and design of buildings, making it difficult for developments to incorporate adequate loading, car parking and landscaping areas and limiting opportunities to rationalize the number of access points onto Glen Osmond Road and residential streets to the north-east of the zone.

When small allotments are developed it may be desirable that adjoining owners share common access points, and agree on the location and design of parking, loading and landscaping areas. Amalgamation of small allotments is to be encouraged, provided that councils requirements on the scale of development are not breached.

**Objective 5:** A zone with an attractive character and amenity, not marred by large or inappropriately located signs.

The location and style of signs can have a major influence on the character and amenity of the zone. It is therefore desirable that outdoor advertisements be of a style, type and scale appropriate to the built-form and which do not detract from the character of the Glen Osmond Road streetscape.

**Objective 6:** Complementary development on each side of Glen Osmond Road.

Glen Osmond Road is the boundary between Burnside and Unley Councils, and development on each side of the road should be complementary.

## PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development within the Business (Glen Osmond Road) Zone should primarily comprise office, consulting rooms, commercial development and dwellings where appropriate, all being of a low traffic-generating nature to minimise any adverse effect on the free flow of traffic along Glen Osmond Road.
- 2 Development should have due regard to the character and amenity of the streetscape in which it is situated by:
  - (a) the incorporation of design, style and materials sympathetic to the streetscape; and
  - (b) the use of architectural detailing of buildings and structures consistent with the style of those buildings and the character of the streetscape.
- 3 Buildings should not:
  - (a) exceed eight metres in height above the adjacent public footway level;
  - (b) incorporate continuous facades, blank walls or which exceed more than 12 metres in length;
  - (c) unreasonably overshadow those parts of adjoining, or nearby developments which require access to sunlight;
  - (d) unreasonably overlooks private areas in any adjoining or nearby development comprising dwellings;
  - (e) be sited closer than:
    - (i) three metres to the boundary of an allotment in any adjoining Residential Zone;
    - (ii) three metres to the boundary of Glen Osmond Road measured from the widened or proposed widened boundary of that road; and
    - (iii) five metres to the boundaries of Fullarton Road or Main Street;

- (f) should not destroy, damage or be otherwise detrimental to any items of heritage significance;
  - (g) have a floor area in excess of 450 square metres; and
  - (h) be joined or linked in any manner with the exception of undercroft or basement car parking.
- 4** Development should not be undertaken where:
- (a) it would be detrimental to the safety, convenience or amenity of any adjacent residential area, particularly in terms of the generation of excessive noise, odours, fumes, dust or other matter; or
  - (b) it would generate significant increases in traffic volumes in adjacent or nearby residential streets.
- 5** Shop development should generally be in the form of bulky goods outlets and restaurants.
- 6** Undercroft car parking areas should be effectively screened from view from any public road by the use of landscaping or other means which enhance the external appearance of the land and buildings.
- 7** The safe and convenient movement of vehicles should be facilitated by:
- (a) limiting the number of access and egress points onto Glen Osmond Road to those required to accommodate the traffic generated by the development they serve;
  - (b) access and egress points being located and designed in a manner which minimises traffic hazards, queuing on roads and interference with the function of road intersections, junctions and traffic control devices; and
  - (c) the linking and shared use of car parking areas where practicable.
- 8** All development should provide either on-site or on an appropriate site in close proximity to the site of the development, sufficient car parking spaces adequate to cater for the number of employee service, tenant or visitor vehicles it is likely to generate.
- 9** Car parking areas should be located at the rear or centre of developments to facilitate visual screening from public roads with access to and availability of such car parking areas being clearly displayed on signage appropriate to the development. Where car parking areas must unavoidably front Avenue Road or other residential areas they should be fenced and landscaped in a manner to screen such car parking areas from view from Avenue Road or residential premises.
- 10** Development should be designed and undertaken in a manner which incorporates landscaping along frontages to Glen Osmond Road, Fullarton Road, Main Street, Avenue Road, Conyngham Street, and Chessington Avenue.
- 11** Development at the intersection of Glen Osmond Road and Main Street should complement the appearance and scale of the existing two-storey building on the northern corner of the intersection.
- 12** Development should provide for extensive landscaping along road frontages and between commercial and residential development.
- 13** Vehicle parking should be provided in accordance with the applicable rates as set out in [Table Bur/5](#) - Off-Street Vehicular Parking Requirements or [Table Bur/6](#) - Off-street Vehicle Parking Requirements for Designated Areas (whichever applies).

## Complying Development

- 14 Complying developments are prescribed in schedule 4 of the *Development Regulations 2008*. In addition, the following forms of development (except where the development is non-complying) are complying:

Advertisement or advertising display, other than in respect to a State or local heritage place and subject to compliance with the conditions set out in [Table Bur/8](#), where applicable.

A change of use to a shop, office, consulting room or any combination of these uses where all of the following are achieved:

- (a) the area to be occupied by the proposed development is located in an existing building and is currently used as a shop, office, consulting room or any combination of these uses;
- (b) the building is not a State heritage place;
- (c) it will not involve any alterations or additions to the external appearance of a local heritage place as viewed from a public road or public space;
- (d) if the proposed change of use is for a shop that primarily involves the handling and sale of foodstuffs, it achieves either (i) or (ii):
  - (i) all of the following:
    - (A) areas used for the storage and collection of refuse are sited at least 10 metres from any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop);
    - (B) if the shop involves the heating and cooking of foodstuffs in a commercial kitchen and is within 30 metres of any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop), an exhaust duct and stack (chimney) exists or is capable of being installed for discharging exhaust emissions;
  - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the development is to be undertaken and operated in accordance with the conditions attached to the previously approved development;
- (e) if the change in use is for a shop with a gross leasable floor area greater than 250 square metres and has direct frontage to an arterial road, it achieves either (i) or (ii):
  - (i) the primary vehicle access (being the access where the majority of vehicles access/egress the site of the proposed development) is from a road that is not an arterial road;
  - (ii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared;
- (f) off-street vehicular parking is provided in accordance with the rate(s) specified in [Table Bur/5](#) - Off Street Vehicle Parking Requirements or the desired minimum rate in [Table Bur/6](#) - Off Street Vehicle Parking Requirements for Designated Areas (whichever table applies) to the nearest whole number, except in any one or more of the following circumstances:



- (i) the building is a local heritage place;
- (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the number and location of parking spaces is the same or substantially the same as that which was previously approved;
- (iii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.

### Non-complying Development

- 15** The following kinds of development are **non-complying** in the Business (Glen Osmond Road) Zone:

Advertisement or advertising display that:

- (a) if freestanding, is more than six metres above natural ground level at any point; or
- (b) is attached to a building and protrudes above the highest level of that building

Builder's Yard

Building exceeding eight metres above the adjacent public footway level

Caravan Park

Fuel Depot

Gas Holder

General Industry

Golf Driving Range

Junk Yard

Light Industry

Major Public Service Depot

Petrol Filling Station

Road Transport Depot

Road Transport Terminal

Refuse Destructor

Show Ground

Special Industry

Stock Slaughter Works

### Public Notification

- 16** The following forms of development (except where the development is classified as non-complying) are assigned to **Category 1**:

All forms of development other than where the site of the development is adjacent land to land in a zone under the relevant Development Plan which is different to the zone that applies to the site of the development.

- 17** The following forms of development (except where the development is classified as non-complying) are assigned to **Category 2**:

All forms of development not listed as Category 1.

## BUSINESS (FULLARTON ROAD) ZONE

### Introduction

The objectives and principles of development control that follow apply in the Business (Fullarton Road) Zone shown on [Map Bur/6](#). They are additional to those expressed for the council area as a whole.

### OBJECTIVES

- Objective 1:** A zone accommodating single-storey, low traffic-generating offices, consulting rooms and commercial buildings.
- Objective 2:** Development incorporating buildings of a scale and style comparable with dwellings in and adjoining the zone.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development within the Business (Fullarton Road) Zone should be low traffic-generating offices, consulting rooms and commercial buildings.
- 2 The roof-form, scale and style of buildings should be compatible with dwellings in Eastwood.
- 3 Development should not:
  - (a) include more than one floor level;
  - (b) incorporate undercroft or basement car parking;
  - (c) incorporate continuous facades on buildings in excess of 12 metres in length;
  - (d) incorporate more than one vehicular access and egress point onto Fullarton Road;
  - (e) incorporate access or egress from Matilda Lane; and
  - (f) include any part of a building:
    - (i) closer than four metres to the boundary of Fullarton Road;
    - (ii) closer than six metres to the western boundary of any allotment within the zone located between Main Street and Elizabeth Street; and
    - (iii) closer than eight metres to the western boundary of any allotment within the zone located to the north of Elizabeth Street.
- 4 All development should be landscaped in a manner which:
  - (a) will screen undesirable views, reduce the visual impact of buildings and enhance the streetscape;
  - (b) provides a planting strip not less than three metres wide across the Fullarton Road frontage; and
  - (c) at the rear of allotments is sufficient to significantly reduce the visual impact of the development as viewed from adjacent and nearby residential premises.

### Complying Development

- 5 The following kind of development is **complying**, other than in respect to a State or a local heritage place, subject to the conditions prescribed in [Table Bur/8](#):

Advertisement or advertising display

### Non-complying Development

- 6 The following kinds of development are **non-complying** in the Business (Fullarton Road) Zone:

Advertisement or advertising display if freestanding, is more than six metres above natural ground level at any point

All development:

- (a) with undercroft or basement car parking;
- (b) involving the construction of a building greater than 6.5 metres in height above the adjacent public footway level; and
- (c) involving one floor level directly above another floor level:

Amusement Hall

Auction Room

Bank

Building with a floor area exceeding 450 square metres

Hotel

Indoor Recreation Centre

Industry

Junk Yard

Motel

Motor Repair Station

Petrol Filling Station

Service Trade Premises

Shop

Shop and Dwelling

Stadium

Store

Warehouse

### Public Notification

- 7 The following kinds of development are assigned to **Category 1**:

Consulting Room

Office together or individually, with a floor area of not more than 450 square metres per individual building

except where:

- (a) the site of the proposed development is not more than 60 metres from the boundary of the Residential Zone;

in which case the development is assigned to **Category 2**.

## LOCAL BUSINESS ZONE

### Introduction

The objectives and principles of development control that follow apply in the Local Business Zone shown on [Maps Bur/3, 4, 6, 7 and 9](#). They are additional to those expressed for the council area as a whole.

### OBJECTIVES

- Objective 1:** A zone which accommodates small-scale offices, consulting rooms and other business functions suited to small business servicing the needs of the local community.
- Objective 2:** Dwellings developed either independently or in association with business development.

In addition to the provisions applying to the zone as a whole, additional policies apply to those parts of the Local Business Zone contained in the following Policy Areas shown on [Maps Bur/12 and 16](#):

Local Business - Policy Area 1  
Local Business - Policy Area 2

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development should be of a small-scale to accommodate a mix of offices, consulting rooms and other business activities suited to servicing the needs of the local community.
- 2 Development of dwellings undertaken either independently or in association with business development should:
  - (a) have a site area of not less than 200 square metres per dwelling;
  - (b) have a private yard space of not less than 35 square metres per dwelling in area and located in a manner facilitating direct access from that dwelling and reasonable access to sunlight; and
  - (c) be provided with one covered space for the parking of one car and one additional car parking space which is independently accessible and unobstructed at all times to facilitate on-site visitor parking.
- 3 Development should enhance the character and appearance of streetscapes by:
  - (a) upgrading the appearance and condition of unattractive and dilapidated buildings;
  - (b) removing features such as old shop fronts which detract from the character and amenity of their locality; and
  - (c) setting buildings back a distance of not less than three metres from road frontages to provide landscaping area.
- 4 Development should not:
  - (a) contain more than one floor level above another floor in any building except where the upper floor level being used for solely residential purposes; and
  - (b) incorporate undercroft or basement car parking.

### Complying Development

- 5 The following kind of development is **complying**, other than in respect of a State heritage place or a local heritage place identified in [Table Bur/2](#), subject to the conditions prescribed in [Table Bur/8](#):

Advertisement or advertising display

### Non-complying Development

- 6 The following kinds of development are **non-complying** within the Local Business Zone:

Advertisement or advertising display that:

- (a) if freestanding, is more than 4.5 metres above natural ground level at any point; or
- (b) is attached to a building and protrudes above the highest level of that building

Amusement Hall

Amusement Park

Auction Room

Billiard Saloon

Bowling Alley

Building containing a floor area exceeding 250 square metres

Buildings in Policy Areas 1 and 3 containing one floor level above another including undercroft or basement car parking

Bus Depot

Caravan Park

Cemetery

Concert Hall

Crematorium

Dance Hall

Dog Track

Drive-in Theatre

Educational Establishment

Electricity Generating Station

Exhibition Hall

Fire Station

Fun Fair

Gas Holder

General Industry

Golf Driving Range

Hospital

Light Industry

Motor Race Track

Major Public Service Depot but not in Policy Area 2

Plant Nursery

Refuse Destructor

Road Transport Dept

Road Transport Terminal

Shop or group of shops but not including shops in Policy Areas 1 and 2 of this zone

Shop or group of shops with a gross leasable floor area greater than 250 square metres in land located in:

- (a) that part of Policy Area 1 bounded by Kensington Road, Close Street, Thomas Place and the laneway on the southern boundary of the Policy Area; and
- (b) the part of Policy Area 2 west of Glynburn Road and north of Greenhill Road

Shop or group of shops on any land located east of Glynburn Road in Policy Area 2

Show Ground

Skating Rink

Special Industry

Squash Court

Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station above 30 metres in height  
 Warehouse

### Public Notification

7 All kinds of development are assigned to **Category 1**:

Consulting Room

Office together or individually, with a floor area of not more than 250 square metres per individual building except where:

- (a) the site of the proposed development is not more than 60 metres from the boundary of the Residential Zone;

in which case the development is assigned to **Category 2**.

## Local Business – Policy Area 1

### Introduction

The objective and principles of development control that follow apply in the Local Business Zone shown as Policy Area 1 on [Map Bur/12](#). They are additional to those expressed for the whole of the Local Business Zone and the council area as a whole.

### OBJECTIVE

**Objective 1:** Development that conforms to the objectives for the zone and which preserves and is compatible with the scale, form, architectural style and character of the Victorian villas in the area.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Form of Development

- 1 Development should be small-scale and low traffic-generating consisting primarily of offices and commercial uses of land.
- 2 Development should not:
  - (a) incorporate more than one floor level within buildings;
  - (b) incorporate undercroft or basement car parking;
  - (c) exceed more than eight metres in height above the adjacent public footway level; and
  - (d) detrimentally affect the amenity, convenience or safety of premises in adjoining residential zones due to excessive noise, traffic generation, overlooking, overshadowing or visual intrusion.
- 3 Landscaping should be incorporated in all developments which:
  - (a) enhances the Kensington Road streetscape;
  - (b) positions appropriate trees and shrubs in a manner which:

- (i) provides a buffer screen for adjoining residential premises to the south of the policy area; and
- (ii) screen service yards, loading areas and otherwise exposed storage areas from adjoining uses;
- (c) creates shade for parked cars and enhances the visual amenity of car parking areas; and
- (d) is well maintained at all times.

**4** Retail development should:

- (a) be confined to and reinforce the small retail node situated between Thomas Place and Close Street;
- (b) consist of small-scale shops suited to serving the day-to-day needs of the local community; and
- (c) not be a type or scale likely to generate high traffic volumes.

**5** All development should:

- (a) be of a low traffic-generating nature which minimises interference to the free flow of traffic on Kensington Road and does not significantly increase traffic movements in residential streets outside of the area; and
- (b) not have vehicular access and egress from Kensington Road unless access from Close Street, Thomas Lane or the rear laneway is not possible.

**6** Development should:

- (a) be of scale, design and layout which maintains and enhances the character established by the Victorian villas located in the area; and
- (b) complement any nearby buildings of historical or architectural significance.

## Local Business – Policy Area 2

### Introduction

The objective and principles of development control that follow apply in the Local Business Zone shown as Policy Area 2 on [Map Bur/16](#). They are additional to those expressed for the Local Business Zone and the council area as a whole.

### OBJECTIVE

- Objective 1:** Development which does not conflict with the safe and free flow of traffic at the intersection of Greenhill and Glynburn Roads and which does not conflict with the objectives for that part of the Local Centre Zone located adjacent to the area.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Shopping development should not be located to the east of Glynburn Road and shopping development in that part of the area located north of Greenhill Road and west of Glynburn Road should not exceed 250 square metres in total floor area.

**2** Development should:

- (a) be low traffic-generating with points of access and egress located in a manner which will minimise interference with the safe and free flow of traffic on Glynburn and Greenhill Roads;
- (b) be designed and located:
  - (i) to provide a landscape strip not less than three metres in width along the whole of any frontage to Greenhill or Glynburn Roads; and
  - (ii) to reasonably maximise the line of sight for traffic using the intersection of Greenhill and Glynburn Roads; and
- (c) limit the height of any building to a maximum of 8.5 metres above the adjacent public footway level.



## LOCAL COMMERCIAL (AULDANA) ZONE

### Introduction

The following provisions apply to the Local Commercial (Auldana) Zone shown on [Maps Bur/5 and 11](#). They are additional to those expressed for the whole of the Council area.

### OBJECTIVE

**Objective 1:** A zone primarily accommodating local service activities wholesaling, storage and associated activities which are compatible with the amenity of the locality.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Development undertaken should be primarily local service activities which operate on a small-scale and which do not create any appreciable nuisance or generate heavy traffic.
- 2 Impact on environmental quality by noise and other emissions from any proposed development should be minimized and there should be no detriment to the amenity of adjoining localities or zones.
- 3 Office development and other commercial uses should not exceed 6 metres in height.
- 4 Residential development other than that required to accommodate a resident night-watchman or manager should not be undertaken.
- 5 Development and re-development of land and buildings should:
  - (a) reinforce and enhance the character of the area and establish a unique identity;
  - (b) compliment the surrounding residential character of the area and create an attractive setting in which people may conduct business; and
  - (c) provide visual harmony between building forms, materials, colours, and texture.
- 6 Development should not detrimentally affect the amenity of the area and safety of any persons in the locality or adjoining residential zones by any of the following:
  - (a) odour;
  - (b) noise;
  - (c) pollution of water;
  - (d) loading, unloading and parking of vehicles on public roadways;
  - (e) unsightly and exposed structures; or
  - (f) any unhealthy conditions which may be created by the inadequate disposal or treatment of waste.
- 7 Development should not generate high traffic volumes.
- 8 Development should not be undertaken where the overall natural slope of the allotment is greater than 1 in 4.
- 9 Land should not be divided where the overall natural slope of the land in any proposed allotment is steeper than a gradient of 1 in 4.

**Public Utilities**

- 10 Utility buildings and structures such as transformer stations and pumping stations should be designed, landscaped and maintained to minimize adverse affects on the landscape or adjacent land uses.

**Movement of People and Goods**

- 11 All development should be of a low traffic-generating nature and should not cause interference with the free flow of traffic or add significantly to traffic volumes using residential streets outside of the zone.
- 12 Development should provide sufficient on-site car parking spaces to adequately cater for anticipated numbers of employees, service and visitor vehicles in accord with Table Bur/5.
- 13 Development should be provided with safe and convenient access, and with sufficient areas for the manoeuvring and loading of service vehicles.
- 14 Access to development should not interfere with the free flow of traffic in adjoining streets whose capacity should be sufficient to accommodate the additional traffic flow.

**Appearance of Land and Buildings**

- 15 Development should be of a high standard with particular emphasis given to the external appearance and siting of buildings and to the enhancement of the development by landscaping.
- 16 Development should include landscaping which:
- (a) includes the provision of trees, shrubs and ground cover in a manner which enhances frontages;
  - (b) positions appropriate species of trees and shrubs to act as a buffer screen for adjoining residential areas;
  - (c) positions appropriate species of trees and shrubs to screen service yards, loading areas and outdoor storage areas from adjoining uses;
  - (d) enhances the appearance of car parking areas and provides shade for parked cars; and
  - (e) is properly maintained at all times.
- 17 The excavation and/or filling of land should:
- (a) be kept to a minimum and be limited to no greater than 1.5 metres to preserve the natural form of the land and the native vegetation;
  - (b) only be undertaken to reduce the visual impact of buildings, including structure, or to construct water storage facilities for use on the allotment;
  - (c) only be undertaken if the resultant slope can be stabilised to prevent erosion; and
  - (d) result in stable scree slopes which are covered with top soil and landscaped to preserve and enhance the natural character or assist in the re-establishment of the natural character.
- 18 All developments which utilize signage should ensure that all signs are:
- (a) integrated with the design, scale and appearance of the development;
  - (b) related directly to the kind of activity associated with the development;

- (c) not located above the roof line of the development;
- (d) not in conflict with or able to detract from traffic control information; and
- (e) not able to impair the view of or from nearby developments.

### Non-complying Development

- 19** The following kinds of development are **non-complying** within the Local Commercial (Auldana) Zone, including alterations and additions to an existing building on its existing site:

Boarding House  
 Cemetery  
 Crematorium  
 Detached Dwelling  
 Educational Establishment  
 Electricity Generating Station  
 General Industry  
 Group Dwelling  
 Hotel  
 Major Public Service Depot  
 Motel  
 Multiple Dwelling  
 Non-residential Club  
 Plant Nursery  
 Private Hotel  
 Refuse Destructor  
 Residential Club  
 Residential Flat Building  
 Row Dwelling  
 Semi-detached Dwelling  
 Shop or group of shops with a gross leasable area of greater than 200 square metres  
 Special Industry  
 Transmitting Station above 30 metres in height  
 Welfare Institution

### Public Notification

- 20** The following kinds of development are assigned to **Category 1**:

Builder's Yard  
 Caretaker's Residence  
 Electricity Sub-station  
 Minor Public Service Depot  
 Petrol Filling Station  
 Pumping Station over 75kW  
 Store  
 Telephone Exchange  
 Warehouse

except where:

- (a) the site of the proposed development is not more than 60 metres from the boundary of the Residential Zone; or
- (b) the development involves the demolition of a State or local heritage place;

in which case the development is assigned to **Category 2**.

## HILLS FACE ZONE

### Introduction

The objectives, proposal and principles of development control that follow apply in the Hills Face Zone shown on [Maps Bur/5 and 7 to 11](#). They are additional to those expressed for the whole of the council area.

### OBJECTIVES

**Objective 1:** A zone in which the natural character is preserved and enhanced or in which a natural character is re-established in order to:

- (a) provide a natural backdrop to the Adelaide Plains and a contrast to the urban area;
- (b) preserve and develop native vegetation and fauna habitats close to metropolitan Adelaide;
- (c) provide for passive recreation in an area of natural character close to the metropolitan area;
- (d) provide a part of the buffer area between metropolitan districts and prevent the urban area extending into the western slopes of the ranges; and
- (e) ensure that the community is not required to bear the cost of providing services to land within the zone.

**Objective 2:** A zone accommodating low-intensity agricultural activities and public/private open space and one where structures are located and designed in such a way as to:

- (a) preserve and enhance the natural character or assist in the re-establishment of a natural character in the zone;
- (b) limit the visual intrusion of development in the zone, particularly when viewed from roads within the zone or from the Adelaide Plains;
- (c) not create, either in themselves, or in association with other developments, a potential demand for the provision of services at a cost to the community; and
- (d) prevent the loss of life and property resulting from bushfires.

The western slopes of the Mount Lofty Ranges in metropolitan Adelaide are an important natural asset to both the population of the urban area and the tourism industry. Development which is undertaken in this zone should not only preserve but should also enhance the natural character of the zone or assist in the re-establishment of a natural character.

The term "natural character" refers to the natural topography, native vegetation and colours, such as greens and browns of non-reflective earthen tones, normally associated with a natural landscape. Additionally, natural character refers to the open character of the land in those areas of the zone where open grazing currently predominates. Thus, existing buildings should not be seen as setting a precedent when assessing the impact of a proposed development. Each development should be assessed on the extent to which it preserves and enhances the natural character or, more importantly, assists in the re-establishment of a natural character, rather than on the basis of a comparison with existing development in its locality.

In those parts of the zone where, prior to 1975, concentrations of smaller than average allotments were created, special attention needs to be paid to the scale, design and landscaping of development because there are fewer locational options for development on these allotments.

The extent of native vegetation and open grassland, the steep slopes and the difficulty of access combine to make this zone a high fire risk area. It is important that developments incorporate fire protection measures in order to minimise the fire risk. While vegetation management is an important part of minimising the fire risk, the destruction of existing native vegetation and the failure to provide landscaping in such a way as to screen buildings and improve the amenity of the zone are not considered acceptable fire protection measures.

The Hills Face Zone is not a residential zone and so the services provided in an urban area will not be provided in this zone. Accordingly, development should not be undertaken if it is likely, in itself or in association with other development, to create a potential demand for such services.

Activities and projects by State and local agencies which are considered necessary in this zone should be located, sited, constructed and maintained in such a way as to promote the objectives for the zone and complement the principles of development control relating to this zone. Tourist facilities are appropriate provided they are of a low-scale and are located unobtrusively.

## **PRINCIPLES OF DEVELOPMENT CONTROL**

- 1 Development should not be undertaken unless:
  - (a) it is associated with a low-intensity agricultural activity, a public open space area or a private use of an open character, or is a detached single-storey dwelling, including outbuildings and structures normally associated with such dwellings, on a single allotment; and
  - (b) together with associated native landscaping, it preserves and enhances the natural character of the zone or assists in the re-establishment of a natural character.
  
- 2 The excavation and/or filling of land should:
  - (a) be kept to a minimum so as to preserve the natural form of the land and the native vegetation;
  - (b) only be undertaken in order to reduce the visual impact of buildings, including structures, or in order to construct water storage facilities for use on the allotment; and
  - (c) result in stable scree slopes which are covered with top soil and landscaped so as to preserve and enhance the natural character or assist in the re-establishment of the natural character of the zone.
  
- 3 Development should not be undertaken if the operation and management of such development is likely to result in:
  - (a) pollution of underground or surface water resources;
  - (b) over exploitation of underground or surface water resources;
  - (c) adverse impact on underground or surface water resources, including any environmental flows required to meet the needs of the natural environment;
  - (d) unnecessary loss or damage to native vegetation including the full range of tree, understorey and groundcover species/native grasses so as to maintain and enhance environmental values and functions, including conservation, biodiversity and habitat;
  - (e) denudation of pastures;
  - (f) erosion;
  - (g) dust;
  - (h) noise nuisance;

- (i) the introduction of or an increase in the number of pest plants or vermin;
  - (j) adverse impacts from chemical spray drift, chemical run-off or chemical residue in soils;
  - (k) the erection of structures or construction of access tracks and parking areas in a manner which detracts from the landscape character and visual amenity of the zone;
  - (l) increased hazard to the locality from bushfires; or
  - (m) loss of amenity to adjoining land or surrounding localities from:
    - (i) the visual impact of buildings, structures or earthworks; or
    - (ii) the intensity of activity associated with any such use, including significant adverse impacts arising from chemical spray drift, use of audible bird or animal deterrent devices, and the use of associated vehicles and machinery.
- 4** Development should not occur on land where the slope poses an unacceptable risk of soil movement, land slip or erosion.
- 5** Horticultural activities should:
- (a) be located a minimum distance of 50 metres from the edge of stands of significant native vegetation or native grasses; and
  - (b) be located no closer than 50 metres of a lake or watercourse identified on a current series 1:50 000 SA Government topographical map or wetland.
- 6** Horticultural activities located within 300 metres of a dwelling, tourist accommodation facility or any other sensitive receptor should incorporate a suitably sized vegetated buffer area/strip to minimise any adverse impacts from the horticultural activity (including noise, chemical spray drift and run-off) on the sensitive receptor.
- 7** Buildings, including structures, should be located in unobtrusive locations and, in particular, should:
- (a) be located well below the ridge line;
  - (b) be located within valleys or behind spurs;
  - (c) be located in such a way as to not be visible against the skyline when viewed from the roads within the zone or from the metropolitan area particularly the Adelaide Plains;
  - (d) be set well back from public roads, particularly when the allotment is on the high side of the road;
  - (e) have the roof line below the lowest point of the abutting road when the allotment is on the low side of the road;
  - (f) be sited on an excavated rather than a filled site in order to reduce the vertical profile of the building;
  - (g) be located in such a way as to be screened by existing native vegetation when viewed from the roads within the zone or from the metropolitan area particularly the Adelaide Plains;
  - (h) not be located in areas subject to inundation by a 100-year return period flood event nor be sited on land fill which would interfere with the flow of such flood waters;
  - (i) not have a septic tank drainage field located in such a way as to pollute watercourses, and

- (j) be located in such a way as to maximise the retention of existing native vegetation and retain watercourses in their natural state.
- 8** Buildings, including structures, should be designed in such a way and be of such a scale as to be unobtrusive and not detract from the desired natural character of the zone and, in particular:
- (a) buildings should be of a single storey, unless a multi-level building form and design will have less impact on the natural character and features of the zone;
  - (b) the profile of buildings should be low and the roof lines should complement the natural form of the land;
  - (c) the mass of buildings should be minimised by variations in wall and roof lines and by floor plans which complement the contours of the land;
  - (d) large eaves, verandahs and pergolas should be incorporated into designs so as to create shadowed areas which reduce the bulky appearance of buildings; and
  - (e) the mass of buildings should be minimised by having separate vehicle storage areas.
- 9** The external materials of buildings should:
- (a) have surfaces which are of a low light-reflective nature; and
  - (b) be of dark natural colours such as brown and green so as to be unobtrusive, blend with a natural rural landscape and minimise any visual intrusion.
- 10** Buildings should be provided with:
- (a) a year-round water supply;
  - (b) a safe and effective effluent disposal system which will not pollute watercourses or underground water resources or be a risk to health, and does not rely on a soakage area any part of which is within 50 metres of First Creek or its tributaries; and
  - (c) a clean, tidy and unobtrusive area for the storage and disposal of waste so that the desired natural character of the zone is not impaired.
- 11** Development should not in itself, or in association with other development, create a potential demand for the provision of services at a cost to the community.
- 12** Additions to buildings should:
- (a) maintain the single-storey profile of the building;
  - (b) be located on the side of the dwelling which minimises the obtrusiveness of the completed building; and
  - (c) comply with the previously mentioned principles relating to the location and design of buildings.
- 13** The number of outbuildings should be limited, and where appropriate they should be grouped together, located in unobtrusive locations and comply with the previously mentioned principles relating to the location and design of buildings.
- 14** Retaining walls should be designed in such a way that they are a stepped series of low walls constructed of dark, natural coloured materials and screened by landscaping.
- 15** Driveways and access tracks should follow the contours of the land so as to reduce their visual impact and erosion from water run-off and be surfaced with dark materials. The excavation/filling of land should be kept to a minimum in order to preserve the natural form of the land and the native vegetation.

- 16 Fences, if required, should be located in such a way as to minimise their visual impact and should be of post and wire or other materials which can be seen through. Obtrusive gateways, particularly of brick or masonry, should not be constructed.
- 17 When solid fences are essential, particularly rear and side fences in closely divided areas within the zone, they should be of materials which are of a low light-reflective nature and of dark natural colours so as to blend with a natural landscape and minimise any visual intrusion. Such fences should not increase the fire risk near buildings.
- 18 Communication towers and masts should be sited and designed in such a way so as to minimise their visual impact. The number of masts should be contained by shared use of facilities.
- 19 Telephone lines and electricity mains and services of less than 33 kV should be located underground. All new lines, mains and services should be located and designed in such a way as to minimise their visual intrusion and any adverse effect on the desired natural character of the zone.
- 20 New mines and quarries should not be developed within the Hills Face Zone.
- 21 Extensions to existing mines and quarries outside areas approved as at 14 November 1985 should only be undertaken within the Hills Face Zone if:
  - (a) the overall benefit to the community from the minerals produced together with the planned after-use of the site outweighs any loss of amenity or other resources resulting from the extractive operations;
  - (b) the site contains minerals of the necessary quality and, for reasons of location, quality or other factors, no practical alternative source is available;
  - (c) the proposed operation would maximise the utilization of the resource, but minimise the adverse impacts of extraction;
  - (d) the proposed workings cannot be seen from any part of the Adelaide Plains, from any arterial road, scenic road or other substantial traffic route;
  - (e) an effective buffer of land and trees exists around the site to protect adjoining users from the effects of the operation; and
  - (f) the operation is to be conducted in accordance with a staged development and rehabilitation scheme which:
    - (i) ensures that danger and unreasonable damage or nuisance does not arise from the workings or any operations associated with them;
    - (ii) provides for progressive rehabilitation of disturbed areas and for landscaping in order to produce a site which assists in the re-establishment of a natural character;
    - (iii) provides for the removal of buildings, plant, equipment and rubbish when operations are completed; and
    - (iv) provides scope for suitable after-uses.
- 22 Land should not be used for the reception, storage, treatment or disposal of waste.
- 23 Development should only be undertaken if it can be located and designed in such a way as to maximise the retention of existing native vegetation and, where possible, increase the extent of native vegetation.
- 24 Any essential clearance of native vegetation should be accompanied by conservation initiatives, such as replanting with indigenous native vegetation, to ensure the overall result is a biodiversity gain.



**25** Native trees, shrubs and ground covers should be established to screen development, including scree slopes created as a result of the excavation and/or filling of land, in such a way that the bushfire hazard is not increased. Screening mounds may also be appropriate.

**26** The following kinds of development are **complying**, other than in respect to a State or Local Heritage place, in the Hills Face Zone:

Farming, but not where it requires or involves:

- (a) excavation or filling of land;
- (b) the construction of roads, tracks and thoroughfares;
- (c) the erection, construction or alteration of, or addition to, any building or structure; or
- (d) the clearing of native vegetation

**27** The following kinds of development are **non-complying** in the Hills Face Zone:

Abattoir  
 Amusement Hall  
 Amusement Park  
 Auction Room  
 Bank  
 Billiard Saloon  
 Boarding House  
 Bowling Alley  
 Builder's Yard  
 Bus Depot  
 Bus Station  
 Caravan Park  
 Community Centre  
 Concert Hall  
 Consulting Room  
 Crematorium  
 Dance Hall

Detached Dwelling or additions to, or conversion of, an existing detached dwelling where:

- (a) the dwelling is to be constructed on an allotment where:
  - (i) a dwelling already exists; or
  - (ii) a valid development authorisation to erect a dwelling on that allotment exists; or
  - (iii) another development application has been made for a dwelling on that allotment and has yet to be determined; or
- (b) the scale and design is such that:
  - (i) the vertical distance between any point at the top of any external wall and the finished ground level immediately below that point on the wall exceeds three metres, other than gable ends of the dwelling where the distance exceeds five metres; or
  - (ii) there is a floor level directly above another floor level, except where the upper floor level is located wholly at or below finished ground level; or
- (c) the depth of excavation and/or height of filling of land exceeds 1.5 metres; or
- (d) access to a new dwelling is provided by a private vehicular access track that is greater than 30 metres in length and which has a gradient of more than 16 degrees (1 in 3.5) at any point; or
- (e) it involves the clearance of native vegetation comprising trees and/or shrubs

Dog Track  
 Drive-in Theatre  
 Educational Establishment  
 Electricity Generating Station

Excavation where the depth of excavation of land exceeds 2.0 metres below natural ground level, except for the portion of a building that is fully underground, underground homes, pools, underground tanks, cellars, pipelines and waste disposal and treatment systems

Exhibition Hall

Filling where the height of filling of land exceeds 1.0 metre above natural ground level except for underground homes, underground tanks and cellars

Fun Fair

Gas Holder

General Industry

Group Dwelling

Gymnasium

Health Centre

Horticulture, but not including:

- (a) a change of use from one form of horticulture to another, except where the change in use is for the purpose of an olive orchard; or
- (b) the expansion of horticultural activities, excluding an olive orchard, on an allotment where horticulture currently takes place provided it does not involve the clearance of native vegetation comprising trees and/or shrubs

Hospital

Hotel

Intensive Animal Keeping, but not including horse keeping

Landfill that constitutes solid waste disposal required to be licensed as a waste depot under the Environment Protection Act 1993, except where:

- (a) the proposed landfill operation is located on a site outside the Mount Lofty Ranges Water Protection Area; and
- (b) other than on the site of a disused quarry, the proposed landfill is located on a site with ground slopes of no greater than 10 percent; and
- (c) the land to be used for the deposition of the landfill and the operation of the waste handling facilities is at least a distance of 500 metres from the boundaries of the landfill site; and
- (d) the proposed landfill operation is located a minimum of three kilometres from the boundary of any airport used by commercial aircraft; and
- (e) the proposed landfill operation is located a minimum distance of 100 metres from any creek, river, inlet, wetland or marine estuarine area and not within the area of a 1-in-100-year flood event; and
- (f) the interface between any engineered landfill liner and the natural soil is:
  - (i) greater than 15 metres from unconfined aquifers bearing ground water with a water quality of less than 3000 milligrams per litre of total dissolved salts; or
  - (ii) greater than five metres from ground water with a water quality between 3000 milligrams per litre of total dissolved salts and 12 000 milligrams per litre of total dissolved salts; or
  - (iii) greater than two metres from ground water with a water quality exceeding 12 000 milligrams per litre of total dissolved salts

Land Division

Light Industry

Major Public Service Depot

Meeting Hall

More than one dwelling or building capable of habitation on an allotment

Motel

Motor Race Track

Motor Repair Station

Motor Showroom

Multiple Dwelling

Non-residential Club

Office

Office and Dwelling  
Olive Orchard  
Outdoor Advertisements  
Petrol Filling Station  
Permanent Sewage Treatment Plant  
Place of Worship  
Post Office  
Prescribed Mining Operations  
Private Hotel  
Primary School  
Radio or TV Station  
Refuse Destructor  
Residential Club  
Residential Flat Building  
Road Transport Terminal  
Row Dwelling  
Semi-detached Dwelling  
Service Industry  
Shop  
Shop and Dwelling  
Show Ground  
Skating Rink  
Special Industry  
Squash Court  
Stock Slaughter Works  
Stadium  
Store  
Theatre  
Timber Yard  
Transmitting Station  
Used Car Lot  
Use of land for the reception, storage, treatment or disposal of waste  
Warehouse  
Welfare Institution

### **Public Notification**

**28** The following kinds of development are assigned to **Category 1**:

Fence  
Outbuilding

except where:

- (a) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;

in which case the development is assigned to **Category 2**.

## WINERY (MAGILL ESTATE) ZONE

### Introduction

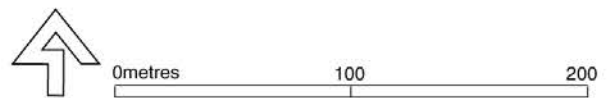
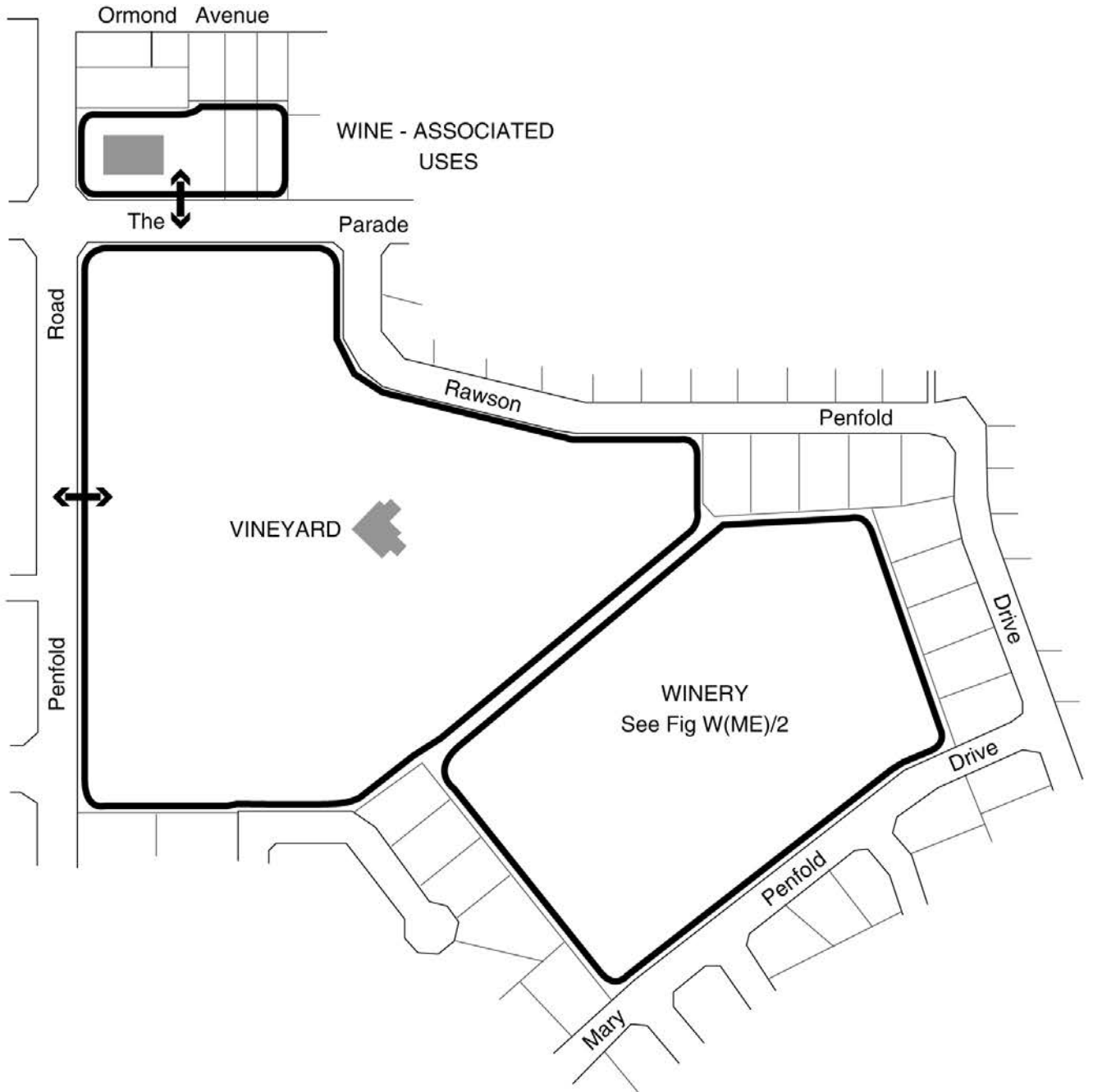
The objectives and principles of development control that follow apply in the Winery (Magill Estate) Zone shown on [Map Bur/5](#) and illustrated on [Figs W\(ME\)/1 and 2](#). They are additional to those expressed for the whole of the council area.




### OBJECTIVES

- Objective 1:** A zone primarily accommodating viticulture and facilities for the continuing production, storage, distribution and sale of wine, together with a range of facilities serving tourism, and ancillary provisions for movement and the parking of vehicles.
- Objective 2:** Provision primarily for a range of facilities to serve tourists, including restaurant and convention centre facilities designed to complement the winemaking functions and special environmental qualities of the Magill Estate, together with the conservation of buildings designated as having heritage significance.
- Objective 3:** Enhancement of the Magill Estate by the conservation of buildings designated as having heritage significance and provision for access, parking and landscaping facilities ancillary to the retention and economic use of buildings of heritage significance by re-development of designated areas of the land.
- Objective 4:** Retention and maintenance of the designated area of the vineyard, with provision for replanting as necessary for economic operation and the application of correct viticulture practices.
- Objective 5:** Provision for craft workshops and craft product sales facilities and for the display of historical artefacts and processes.
- Objective 6:** Facilitation of vehicular access to the Magill Estate for essential service traffic, commercial operations, persons employed on the estate and patrons of the facilities available for controlled public use, including the provision of adequate space for on-site parking and manoeuvring of vehicles.
- Objective 7:** Visually harmonious development with concern being evident for the conservation of the visual character of buildings of heritage significance and visual compatibility between buildings and land in terms of building materials, colour, height, form and architectural features, the spacing of buildings and signage.

### PRINCIPLES OF DEVELOPMENT CONTROL

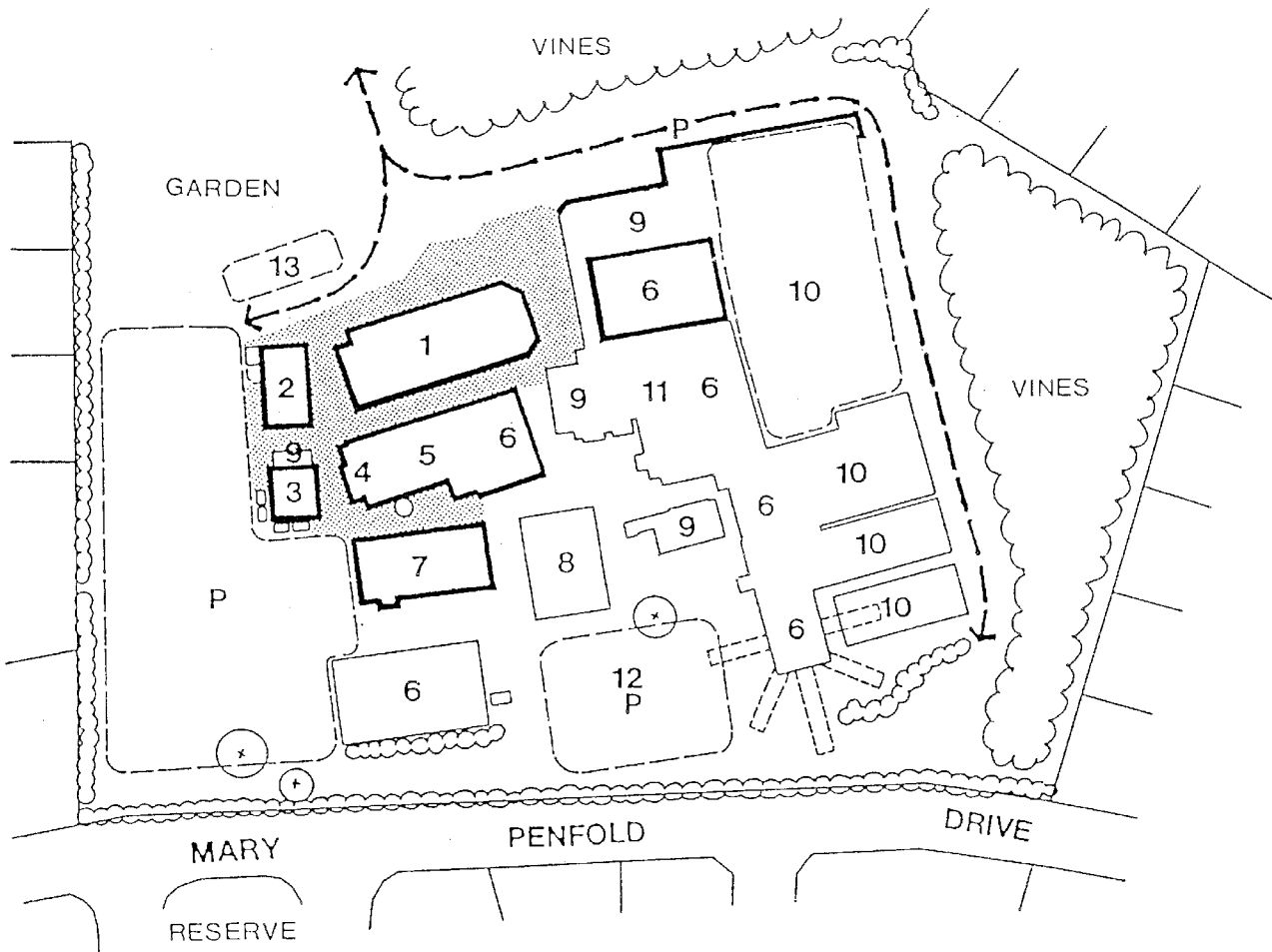
- 1 Development should be in accordance with the Concept Plan, [Figs W\(ME\)/1 and 2](#).
- 2 Development undertaken in the Winery (Magill Estate) Zone should preserve and enhance the historical significance of the buildings identified as having significance on [Figs W\(ME\)/1 and 2](#) and open character of the vineyard,
- 3 Development should be primarily of a type which complements and encourages viticulture.
- 4 Development should primarily complement and encourage the production, storage and sale of wine and the promotion of tourism.
- 5 Development of the part of the zone to the north of The Parade should:
  - (a) be primarily for offices, storage, promotion and other non-manufacturing activities associated with the wine industry; and
  - (b) protect the amenity of nearby residents.












-  Predominant Use Area
-  Buildings of Heritage Significance
-  Access Point

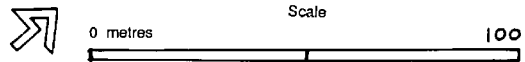
**BURNSIDE (CITY)  
MAGILL ESTATE  
CONCEPT PLAN  
Fig W(ME)/1**

Consolidated - 19 December 2017



-  Building
-  Building of Heritage Significance
-  Area for Development
-  Underground Cellar
-  Existing Tree
-  Intensive Landscaping
-  Pedestrian Area
-  P Parking
-  ←→ Access

- 1 Estate Winery
- 2 Sales/ Tasting
- 3 Old Still House
- 4 Museum
- 5 Bottling Hall
- 6 Wood Maturation
- 7 Museum
- 8 Storage and Blending Cellar
- 9 Office
- 10 Warehouse
- 11 Company Function Room
- 12 Convention/ Entertainment Centre
- 13 Restaurant /Bistro



**BURNSIDE (CITY)  
MAGILL ESTATE  
CONCEPT PLAN  
Fig W(ME)/2**

- 6 Development should be of a design and scale which complements the buildings of heritage significance identified in [Figs W\(ME\)/1 and 2](#).
- 7 Alterations and additions to the buildings of heritage significance identified on [Figs W\(ME\)/1 and 2](#) should be carried out in such a way as to be in harmony with the characteristics of the building which give rise to that significance.
- 8 The existing vineyard should be retained, maintained and replanted as necessary for commercial production.
- 9 Development should be provided with vehicular access from Penfold Road or, on the northern side of The Parade, from The Parade, and should not generate traffic of such volume as would detract from the amenity of the surrounding residential zones.
- 10 Car and bus parking areas should be located, designed and landscaped in such a way as to minimise their visual impact, particularly when viewed from the entrance road or across the vineyards to the west of the buildings.
- 11 Advertisements or advertising displays should:
  - (a) in the portion of the zone to the south of The Parade, refer only to the Magill Estate, its operators, products and operation; and
  - (b) in the balance of the zone, relate directly to the operations of the wine industry or any business or activity present on the land.
- 12 The size and design of outdoor advertisements should be kept in keeping with the visual character of the buildings and vineyard.
- 13 Development should provide for landscaping to screen and enhance buildings and service areas and to shade areas liable to be used by the public.
- 14 The following kinds of development are **non-complying** in the Winery (Magill Estate) Zone:

Agistment and Holding of Stock  
 Amusement Park  
 Billiard Saloon  
 Bowling Alley  
 Bus Depot  
 Caravan Park  
 Cemetery  
 Crematorium  
 Detached Dwelling except on the northern side of The Parade  
 Dog Track  
 Drive-in Theatre  
 Electricity Generating Station  
 Electricity Sub-station (not associated with the winery or tourism)  
 Fun Fair  
 Gas Holder  
 Golf Course  
 Golf Driving Range  
 Health Centre  
 Hospital  
 Hotel  
 Major Public Service Depot  
 Motel  
 Motor Repair Station  
 Multiple Dwelling  
 Petrol Filling Station  
 Place of Worship  
 Plant Nursery (not associated with the winery or tourism)  
 Police Station

Private Hotel  
Pumping Station of 75kW  
Racecourse  
Radio or TV Station  
Refuse Destructor  
Residential Club  
Residential Flat Building except on the northern side of The Parade  
Row Dwelling  
Semi-detached Dwelling except on the northern side of The Parade  
Sewage Treatment Plant  
Shop or group of shops north of The Parade, or with a gross leasable area of more than 250 square metres, except a restaurant (unless south of The Parade)  
Show Ground  
Skating Rink  
Special Industry  
Squash Court  
Telephone Exchange  
Timber Yard  
Transmitting Station  
Used Car Lot  
Waterworks  
Welfare Institution



## WATERCOURSE ZONE

The objectives and principles of development control that follow apply in the Watercourse Zone shown on [Maps Bur/4, 5, 7 and 8](#). They are additional to those expressed for the whole of the council area.

### OBJECTIVES

- Objective 1:** A zone comprising residential, open space, brewery and local shopping areas encompassing the floodplain of a 1-in-100-year return period flood from First Creek or Second Creek.
- Objective 2:** A zone where structures are located and designed in such a way as to minimise the potential for personal or property damage as a result of a flood.
- Objective 3:** Maintenance and enhancement of a character that is derived particularly from:
- (a) low-density, well-vegetated residential areas, public open space, and open, meandering creek channels with earth and grassed embankments; and
  - (b) the well-vegetated, relatively undeveloped or natural, open condition of the creek channels, banks and immediate environs, historic gardens, and stands of significant indigenous and introduced vegetation.

Acknowledged, significant variations from the Desired Character, or the prevailing character or environmental conditions, forming, nevertheless, part of the character that is to be maintained and enhanced, are found:

- (a) in Policy Areas 1 and 2, with their existing brewery and local shopping uses and buildings; and
- (b) in Hazelwood Park, Tusmore Park, and other reserves, which collectively or individually provide for a range of active and passive recreation in natural or landscaped creekline settings.

### PRINCIPLES OF DEVELOPMENT CONTROL

#### Local Compatibility

- 1** Development should:
- (a) be primarily for residential use or open space, except in Policy Areas 1 and 2 where a continuation of non-residential use is acceptable;
  - (b) conserve and enhance the character of the zone, described in Objective 1, and the significant trees therein;
  - (c) avoid covering, damaging or encroaching upon the channel and banks of the watercourse unless for essential access, maintenance, or flood or water quality management; and
  - (d) protect and, where appropriate, rehabilitate, the natural character and environmental values of the watercourse environs.

#### Flood-Prone Areas

- 2** No development should be located or undertaken within a 1 in 20 year return period flood plain.
- 3** Buildings, additions to buildings or development should not be located or undertaken within a 1 in 100 year return period flood plain unless:
- (a) the finished floor levels of all buildings are located not less than 500 millimetres above the level of the 1 in 100 year return period flood; and

- (b) any buildings or structures are designed and located so that they will not adversely affect the level of flood waters on properties up and down stream.
- 4 Fences should be designed and located in such a way as to minimise their impact on the cross-sectional volume capacity of a watercourse in the event of a 1 in 100 year return period flood.
- 5 The excavation and or filling of land should:
- (a) be kept to a minimum so as to preserve the natural form of the land and any indigenous vegetation; and
  - (b) only be undertaken where the capacity of the watercourse is not adversely affected to the detriment of property owners up and down stream.
- 6 Land should not be divided unless:
- (a) each of the allotments resulting from the division have sufficient area outside the 1 in 100 year return period flood plain to allow for development in accordance with the relevant objectives and principles of development control; and
  - (b) a drainage easement is provided to the Council over the 1 in 100 year return period flood plain.

### Residential Development

- 7 Residential development should generally accord with the relevant principles of development control for the Residential Zone, including those for the adjacent Residential Policy Area, more particularly:
- (a) Policy Area 10, if the site of the proposed development is in the suburb of Leabrook;
  - (b) Policy Area 17, if the site of the proposed development is in the suburb of Stonyfell, or in the suburb of Burnside, adjacent to Second Creek;
  - (c) Policy Area 15 or Historic Conservation Policy Area 5, if the site of the proposed development is in the suburb of Hazelwood Park or the suburb of Tusmore;
  - (d) Policy Area 27, if the site of the proposed development is in the suburb of Beaumont, or in the suburb of Burnside, adjacent to First Creek.

### Non-complying Development

- 8 The following kinds of development are **non-complying**:

The change of land use to, or building work for the purpose of, any of the following (except where the floor area of a lawful use as existing at 23 January 2003 would be maintained or reduced and would be contained within the existing site of that use):

Advertisement or advertising display (except in Policy Areas 1 and 2) that:

- (a) is illuminated (internally, externally or indirectly); or
- (b) moves, flashes or rotates; or
- (c) if free-standing on a site, is more than two metres above natural ground level at any point; or
- (d) is on the site of a building and protrudes above highest level of that building; or
- (e) is more than 0.35 square metres in area.

All building work, including fencing and filling or excavation of land, within the 1 in 20 year flood plain  
 Amusement Hall  
 Amusement Machine Centre  
 Auction Room  
 Bank  
 Building where the building height above natural ground level is more than 12 metres (except in Policy Area 2)  
 Building Work, fencing and filling or excavation (or filling and excavation) of land within the 1 in 20 year return period flood plain  
 Bus Depot  
 Bus Station  
 Caravan Park  
 Concert Hall  
 Consulting Room, except where the total floor area of a consulting room used with a dwelling is not more than 40 square metres  
 Crematorium  
 Dance Hall  
 Educational Establishment  
 Farming  
 Fire Station  
 Fuel Depot  
 Fun Fair  
 Golf Driving Range  
 Horsekeeping  
 Hospital  
 Hotel  
 Indoor Recreation Centre (except in a public reserve or park)  
 Industry (except in Policy Area 2)  
 Intensive Animal Keeping  
 Junk Yard  
 Licensed Entertainment Venue  
 Major Public Service Depot  
 Motel  
 Office (except in Policy Area 2)  
 Office and Dwelling where the total floor area of the office component is more than 40 square metres  
 Petrol Filling Station  
 Place of Worship  
 Radio or Television Station  
 Road Transport Terminal  
 Service Trade Premises  
 Shop (except in Policy Area 1)  
 Shop and Dwelling (except in Policy Area 1)  
 Stadium  
 Store  
 Theatre  
 Timber Yard  
 Transmitting Station  
 Used Car Lot  
 Warehouse (except in Policy Area 2)  
 Welfare Institution

### Public Notification

9 The following kinds of development are assigned to **Category 1**:

Dwelling  
 Excavation or filling of land (or excavation and filling of land)  
 Fence  
 Outbuilding for use in association with a dwelling

except where:

- (a) a dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of a dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed;

in which case it is assigned to Category 2.

**10** Land division creating four or more additional allotments is assigned to **Category 2**.

## Watercourse – Policy Area 1 (Glynburn Road)

### Introduction

The principle of development control that follows applies to that part of the Watercourse Zone referred to as Policy Area 1 on [Map Bur/16](#). It is additional to those expressed for the whole of the Watercourse Zone and for the council area as a whole.

### PRINCIPLE OF DEVELOPMENT CONTROL

- 1** Development undertaken in the Watercourse - Policy Area 1 should be primarily for small shops that cater for the day-to-day needs of the nearby residents.

## Watercourse – Policy Area 2 (Coopers Brewery)

### Introduction

The objective and principles of development control that follow apply to that part of the Watercourse Zone - Area 6 shown on [Map Bur/13](#). They are additional to those expressed for the whole of the Watercourse Zone and the council area as a whole.

### OBJECTIVE

**Objective 1:** A policy area in which:

- (a) existing facilities and activities continue in a manner in which does not increase any detraction from the character and amenity of the surrounding residential locality; or
- (b) alternative small-scale light industries or replacement residential development is undertaken in a manner compatible with the residential character and amenity of the surrounding residential locality.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1** Development within the Policy Area 2:
  - (a) for brewery purposes should not cause any increased detraction from the residential amenity of the surrounding locality due to:
    - (i) the emission of noise, vibration, odour, fumes, smoke, vapour, steam, soot, ash, grit, oil, waste water products, electrical interference, radioactivity or spillage of light;

- (ii) the generation of traffic volumes appreciably in excess of those characteristic of the locality in which the land is situated; or
    - (iii) the scale, bulk, type or appearance of buildings; or
  - (b) for other than brewery purposes should be industries which are small in scale and which do not appreciably detract from the residential amenity of the surrounding locality due to:
    - (i) the emission of noise, vibration, odour, fumes, smoke, vapour, steam, soot, ash, dust, grit, oil, wasted water products, electrical interference, radioactivity or spillage of light;
    - (ii) the generation of traffic volumes appreciably in excess of those characteristic of the locality in which the land is situation; or
    - (iii) the scale, bulk, type or appearance of buildings.
- 2 Development undertaken adjacent to the boundaries of the policy area:
- (a) if for brewery purposes:
    - (i) not incorporate any replacement buildings or structures higher than those being replaced, otherwise buildings and structures should be of a height compatible with development or potential development in the adjoining zone;
    - (ii) not incorporate any replacement building closer to the boundary of the area than the building being replaced, otherwise buildings and structures should be set-back a distance of not less than three metres from the boundary of the area; and
  - (b) if not for brewery purposes all buildings and structures should be set-back not less than three metres from the boundaries of the area to allow for landscape screening.
- 3 Development should incorporate substantial landscaping to:
- (a) enhance the appearance of the development generally; and
  - (b) provide reasonable screening of the visually less desirable parts of the development when viewed from residential premises or public roads.
- 4 Development including associated points of access and egress should be arranged on its site and designed in a manner which will reduce its impact on adjoining or nearby premises.
- 5 The replacement of industry with dwellings should only occur where:
- (a) no industrial uses likely to be incompatible with the residential use of the land remain in or are likely to be reinstated in the locality of such dwellings; and
  - (b) the development of dwelling is undertaken in a manner consistent with the provisions of the Development Plan relevant to the adjoining Residential Zone.

### Non-complying Development

- 6 In addition to those kinds of development which are **non-complying** within the Watercourse Zone, the following kinds of development are **non-complying** within the Watercourse - Policy Area 2:

Dwelling where any form of industry remains within the policy area  
 Shop  
 Shop and Dwelling

## MIXED USE (GLENSIDE) ZONE

### Introduction

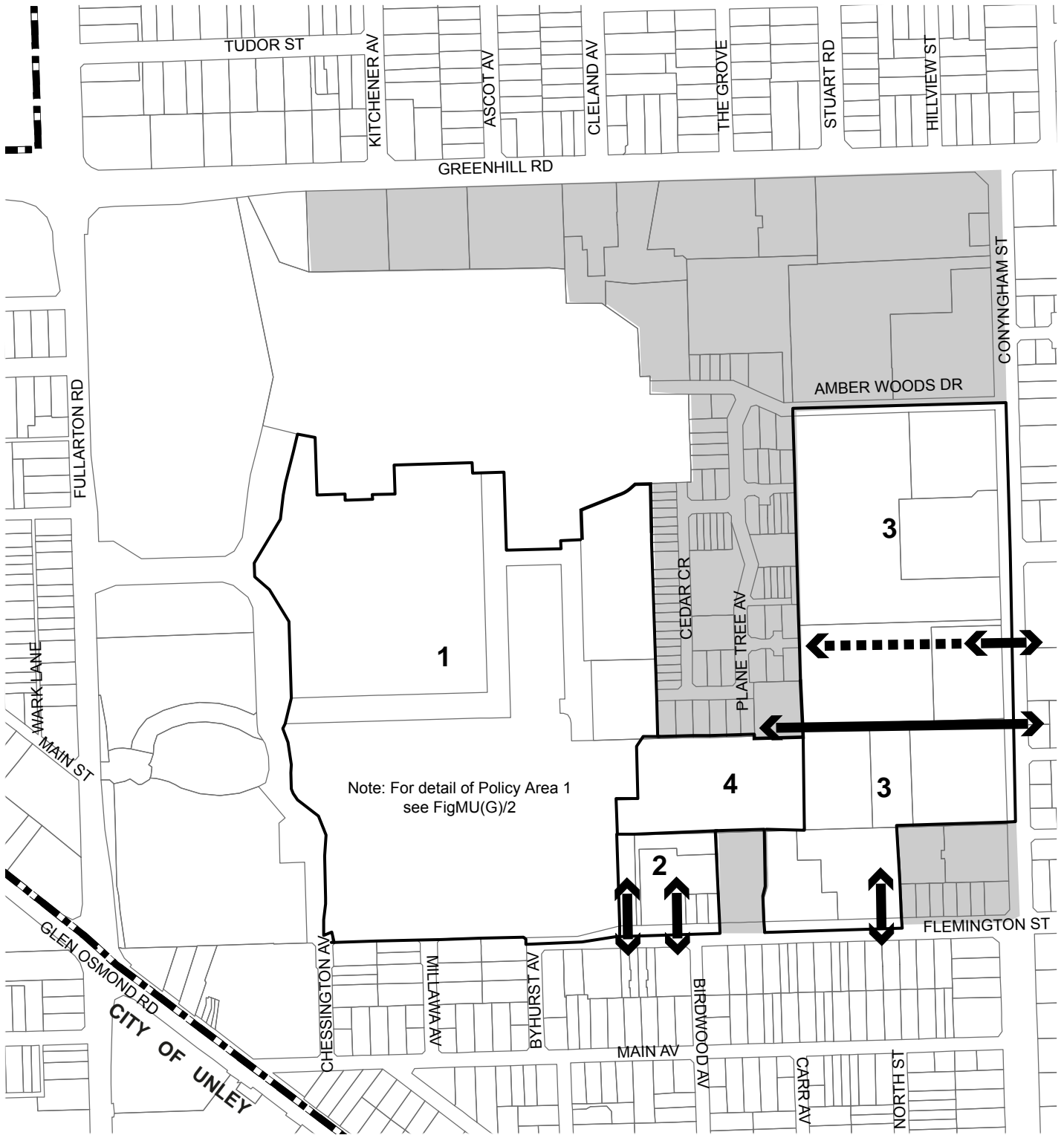
The objectives and principles of development control that follow, apply in the Mixed Use (Glenside) Zone shown on [Map Bur/6](#). They are additional to those expressed for the whole of the council area.

### OBJECTIVES

- Objective 1:** A zone accommodating, within designated areas, office, residential, educational, hospital, consulting room and shopping activities.
- Objective 2:** Orderly and proper development of the zone through comprehensive re-development and rehabilitation of existing historic buildings.
- Objective 3:** A zone with a functional and co-ordinated road and movement network linking with existing public roads to ensure an efficient use of land.
- Objective 4:** A zone where a diverse range of land uses can coincide in harmony with no adverse impacts on one another.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Individual buildings should have a high standard of design, and have adequate regard to their siting by:
  - (a) forming part of the larger composition of the Policy Area in which the building is situated;
  - (b) the use of external materials which are sympathetic to the character of the Policy Area; and
  - (c) architectural detailing of the particular building reinforcing the character set by the design and its location.
- 2 New roads and thoroughfares, including walkways and bicycle paths, should be provided to create safe and convenient intercommunication for vehicles and pedestrians throughout the zone and with neighbouring localities and with existing road, thoroughfares or walkways.
- 3 New public roads should be provided within the zone with junctions with Conyngham Street and Flemington Street as shown on [Fig MU\(G\)/1](#).
- 4 Points of vehicular access or egress between sites on Conyngham Street and Flemington Street should be kept to a minimum utilizing where possible internal roads and driveways.
- 5 The location and design of public open spaces should maximise the retention of existing mature trees within the zone.
- 6 Buildings within the zone that contribute to the predominant character of their locality should be retained and developed in accordance with the objectives of the Policy Area in which they are located (as shown on [Fig MU\(G\)/1](#)).
- 7 Residential development within the zone should:
  - (a) create a safe, pleasant and convenient place in which to live;
  - (b) maximise the value of the land by developing a range of housing types primarily on small allotments achieving an overall medium-density of housing;
  - (c) utilize innovative servicing techniques;
  - (d) utilize energy efficient designs;



**POLICY AREAS**

- 1 Hospital / Arts / Residential / Shopping / Office
- 2 Residential
- 3 Office and Technology
- 4 Education
- Access Point
- Possible Access Point
- Excluded (Residential Zone)
- Policy Area Boundary

**BURNSIDE (CITY)  
MIXED USE (GLENSIDE) ZONE  
POLICY AREAS  
CONCEPT PLAN  
Fig MU(G)/1**

- (e) maximise the outlook and benefits of public open space;
- (f) not be more than three storeys in height except in Policy Area 1;
- (g) utilize efficient, innovative and cost effective road design and construction; and
- (h) provide adequate usable private outdoor living areas appropriately located and of a size suitable for the likely future occupants of the dwelling.

**8** Development should be designed so as to reasonably maintain the privacy of hospital patients.

### Complying Development

**9** Complying developments are prescribed in schedule 4 of the *Development Regulations 2008*. In addition, the following forms of development (except where the development is non-complying) are complying:

Advertisement or advertising display, other than in respect to a State or local heritage place and subject to compliance with the conditions set out in [Table Bur/8](#), where applicable.

A change of use to a shop, office, consulting room or any combination of these uses where all of the following are achieved:

- (a) the area to be occupied by the proposed development is located in an existing building and is currently used as a shop, office, consulting room or any combination of these uses;
- (b) the development is located inside any of the following area(s):
  - Mixed Use (Glenside) Policy Area 1
  - Mixed Use (Glenside) Policy Area 3
- (c) the building is not a State heritage place;
- (d) it will not involve any alterations or additions to the external appearance of a local heritage place as viewed from a public road or public space;
- (e) if the proposed change of use is for a shop that primarily involves the handling and sale of foodstuffs, it achieves either (i) or (ii):
  - (i) all of the following:
    - (A) areas used for the storage and collection of refuse are sited at least 10 metres from any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop);
    - (B) if the shop involves the heating and cooking of foodstuffs in a commercial kitchen and is within 30 metres of any Residential Zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop), an exhaust duct and stack (chimney) exists or is capable of being installed for discharging exhaust emissions;
  - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the development is to be undertaken and operated in accordance with the conditions attached to the previously approved development;
- (f) if the change in use is for a shop with a gross leasable floor area greater than 250 square metres and has direct frontage to an arterial road, it achieves either (i) or (ii):



- (i) the primary vehicle access (being the access where the majority of vehicles access/egress the site of the proposed development) is from a road that is not an arterial road;
  - (ii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared;
- (g) off-street vehicular parking is provided in accordance with the rate(s) specified in [Table Bur/5](#) - Off Street Vehicle Parking Requirements or the desired minimum rate in [Table Bur/6](#) - Off Street Vehicle Parking Requirements for Designated Areas (whichever table applies) to the nearest whole number, except in any one or more of the following circumstances:
- (i) the building is a local heritage place;
  - (ii) the development is the same or substantially the same as a development, which has previously been granted development approval under the *Development Act 1993* or any subsequent Act and Regulations, and the number and location of parking spaces is the same or substantially the same as that which was previously approved;
  - (iii) the development is located on a site that operates as an integrated complex containing two or more tenancies (and which may comprise more than one building) where facilities for off-street vehicle parking, vehicle loading and unloading, and the storage and collection of refuse are shared.

### Non-complying Development

**10** The following kinds of development are **non-complying** in the Mixed Use (Glenside) Zone:

Agistment and Holding of Stock  
 Amusement Park  
 Bowling Alley  
 Bus Depot  
 Consulting Rooms except in Policy Area 1 or in Policy Area 3  
 Dog Track  
 Drive-in Theatre  
 Electricity Generating Station  
 General Industry  
 Golf Driving Range  
 Hotel in Policy Area 1  
 Light Industry except in Policy Area 1  
 Major Public Service Depot  
 Motor Repair Station  
 Motor Showroom  
 Office except in Policy Area 1 or in Policy Area 3  
 Petrol Filling Station  
 Post Office except in Policy Area 1  
 Prescribed Mining Operations  
 Refuse Destructor  
 Service Industry except in Policy Area 1  
 Service Trade Premises  
 Shop except in Policy Area 1 or in Policy Area 3  
 Shop and Dwelling except in Policy Area 1 or in Policy Area 3  
 Show Ground  
 Timber Yard  
 Used Car Lot

## Public Notification

- 11 Those kinds of development listed in [Table Bur/8](#), together with the following kinds of development, or any combination thereof, (except where the development is classified as non-complying) are assigned to **Category 1**:

All forms of development in Policy Area 1, other than where the site of the development:

- (a) is adjacent land to land in a zone under the relevant Development Plan which is different to the zone that applies to the site of the development;
- (b) abuts land in Policy Areas 2 or 4 of the Mixed Use (Glenside) Zone.

Dwelling

Fence

Office

Outbuilding for use in association with a dwelling

except where:

- (a) the dwelling or outbuilding is two or more storeys in height (where “two storeys” is defined as a total of one habitable floor level directly above another, not including an understorey garage), or more than 6.5 metres building height above natural ground level;
- (b) the development has a solid wall located on a side or rear boundary, but excluding a fence or wall of less than two metres building height above natural ground level;
- (c) the proposed finished ground floor level of the dwelling or outbuilding, or the level of any outdoor paved surface adjacent thereto, is more than 0.6 metres above natural ground level at any point;
- (d) the development will result in more than one dwelling within the area of the site of the development at the time the development is proposed.

- 12 The following kinds of development, or any combination thereof (except where the development is classified as non-complying) are assigned to **Category 2**:

All forms of development in Policy Area 1 not listed as Category 1

Dwelling

Fence

Land division creating four or more additional allotments

Outbuilding for use in association with a dwelling

## Mixed Use (Glenside) – Policy Area 1

### Introduction

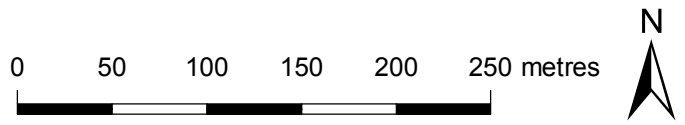
The desired character, objectives and principles of development control that follow apply to that part of the Mixed Use (Glenside) Zone referred to as Policy Area 1 shown on [Fig MU\(G\)/1](#). They are additional to those expressed for the whole of the Mixed Use (Glenside) Zone and for the council area as a whole and, in cases of apparent conflict, take precedence over the more general Council-wide and Mixed Use (Glenside) Zone provisions.








### Desired Character

The Policy Area will contain a range of land uses located generally in accordance with Concept Plan [Fig MU\(G\)/2](#). While these designated land use areas provide a signal to the primary intended land use pattern, the boundaries of each area will be flexible to allow innovation in the design process to achieve the desired overall built form. In addition, each land use area may contain uses of a complementary or supportive nature that will take advantage of synergies between activities, while minimising the potential for conflict and ensuring the long-term presence and viability of hospital and associated activities.



Note: This Concept Plan is indicative only. The final location of access points and the arrangement of land use areas may change as a result of detailed land division and urban design outcomes that achieve the desired character for the policy area.



-  Open Space / Stormwater Management
-  Hospital
-  Arts
-  Residential
-  Secondary Access Point
-  Maximum 2 Storey Building Height
-  Development Plan Boundary

**BURNSIDE (CITY)  
MIXED USE (GLENSIDE) ZONE  
POLICY AREA 1  
CONCEPT PLAN  
Fig MU(G)/2  
Consolidated - 19 December 2017**

The overall urban form will:

- (a) promote high levels of integration and permeability between the primary land use areas
- (b) maximise connections with surrounding residential areas, community services and facilities and public transport, through a modified grid system of streets, pedestrian and bicycle paths, open spaces, and plazas
- (c) create attractive, well landscaped, legible and liveable environments
- (d) convey a unique sense of place to residents and visitors
- (e) provide for a safe, secure, crime resistant environment where land use and building design/siting facilitate surveillance by the community.

The division of land, movement networks, and built form will take cues from the layout and scale of the State Heritage Places located in the central part of the Policy Area by:

- (a) reinforcing the historic layout of these Places, in particular:
  - (i) the formalisation of the primary vehicle access from Fullarton Road to the turning loop west of the main Administration Building
  - (ii) the alignment between the main Administration Building and the State Heritage Places either side of the main Administration Building
- (b) establishing a layout of built form that complements the spaces between individual State Heritage Places
- (c) ensuring the scale of development complements the State Heritage Places.

Through the use of setbacks and building design, development will also be sympathetic to the scale of development in residential areas adjoining the Policy Area.

State Heritage Places towards the centre of the Policy Area will be sensitively adapted for offices, theatres, art studios, community facilities and other culturally orientated uses; or residential activity. There will also be new buildings near these State Heritage Places that accommodate similar uses.

Buildings up to six storeys in height are considered appropriate in the mixed use and arts areas shown on Concept Plan [Fig MU\(G\)/2](#), with development in other parts of the Policy Area being of a lesser number of storeys.

Development generally should:

- (a) create visual interest through building articulation and the use of materials;
- (b) incorporate energy efficient building design elements;
- (c) provide opportunities for storing and re-use of stormwater.

Established large trees will be retained in public open spaces, road reserves and areas set-aside for landscaping. Landscaping will include drought-tolerant vegetation that is sustainable and complements the built form, while also catering for different types of recreation throughout the Policy Area.

Due to previous activities within the area, remediation of contaminated land may be necessary to ensure it is suitable for the intended use.

## OBJECTIVES

- Objective 1:** Development that achieves the Desired Character for the Policy Area and is undertaken in accordance with Concept Plan [Fig MU\(G\)/2](#).

## PRINCIPLES OF DEVELOPMENT CONTROL

### Form of Development

- 1 Development that contributes to the Desired Character of the Policy Area and is consistent with Concept Plan [Fig MU\(G\)/2](#).
- 2 Road reserves should be of a width and alignment that can:
  - (a) provide for safe and convenient movement of projected volumes of cars and other users including trucks servicing hospital, arts and commercial activities, as well as accommodate on-street parking;
  - (b) provide for footpaths, cycle lanes and shared-use paths for the safety and convenience of residents and visitors;
  - (c) accommodate street tree planting, landscaping and street furniture;
  - (d) accommodate the location, construction and maintenance of stormwater management and public utilities, including information technology infrastructure;
  - (e) provide unobstructed, safe and efficient vehicular access to individual allotments and sites;
  - (f) allow for the efficient movement of service and emergency vehicles.
- 3 Land division should provide open space and movement networks that enable safe and convenient access to public facilities, community services, activity centres, public transport, adjacent future development sites and to the existing surrounding residential areas.
- 4 Land division should:
  - (a) establish a pattern of development that reinforces the historical elements of the Policy Area by creating an appropriate setting for State Heritage Places, the turning loop west of the Administration Building and entrance driveway to Fullarton Road;
  - (b) facilitate the provision of a broad range of housing options.

### Open Space and Landscaping

- 5 The designated open space/stormwater management area shown on Concept Plan [Fig MU\(G\)/2](#) should provide opportunities for a range of passive and active recreational pursuits.
- 6 Buildings within the designated hospital area should be complemented by open spaces in the form of courtyards, gardens, and terraces to enhance the experience and enjoyment for hospital clients and visitors, as well as provide links to other areas of open space adjacent to the hospital.
- 7 Open spaces and recreation areas should be located and designed to maximise safety and security by:
  - (a) ensuring that their edges are overlooked by housing, commercial or other development that can provide effective informal surveillance;
  - (b) ensuring that small parks and playgrounds have more than one entrance or exit when fenced;
  - (c) locating play equipment where it can be informally observed by nearby residents and users during expected times of use;
  - (d) clearly defining the perimeters of play areas;

- (e) providing lighting around facilities such as toilets, telephones, seating, litter bins, bike storage and car parks;
- (f) focusing pedestrian and bicycle movement after dark along clearly defined, adequately lit routes with observable entries and exits.

**8** Development in public open space should:

- (a) be clustered where practical to ensure the majority of the site remains open;
- (b) where practical, be developed for multi-purpose use;
- (c) be constructed to minimise the extent of associated hard paved areas.

**9** Landscaping associated with open space and recreation areas should:

- (a) not compromise the effectiveness of stormwater management;
- (b) provide shade and windbreaks along cyclist and pedestrian routes, around picnic and barbecue areas and seating, and in car parking areas;
- (c) maximise opportunities for informal surveillance throughout the park;
- (d) enhance the visual amenity of the area and complement existing buildings;
- (e) be designed and selected to minimise maintenance costs;
- (f) provide habitat for local fauna by utilising native vegetation as much as possible.

**Street Setbacks and Height**

**10** Buildings should be setback from the allotment boundary on the primary road frontage in accordance with the following:

- (a) a minimum of 6 metres from Flemington Street;
- (b) a minimum of 1 metre where:
  - (i) any part of the allotment or proposed allotment has a direct frontage to a public reserve greater than 2000 square metres or to a public road adjacent to a public reserve greater than 2000 square metres; and
  - (ii) no part of the frontage is required for vehicle access and parking purposes (excluding on-road parking);
- (c) a minimum of 2.5 metres in all other cases (excluding minor protrusions such as a porch, portico, eave, verandah, balcony or similar).

**11** Development should not exceed (from finished ground level):

- (a) six storeys in the mixed use area shown on Concept Plan [Fig MU\(G\)/2](#);
- (b) six storeys in the arts area shown on Concept Plan [Fig MU\(G\)/2](#);
- (c) two storeys in the residential area and the smaller hospital area adjacent to Amber Woods Drive shown on Concept Plan [Fig MU\(G\)/2](#) when abutting a site containing residential development that is within an adjoining zone or policy area;
- (d) five storeys in the remaining parts of the Policy Area.

12 Development exceeding two storeys in height should:

- (a) be appropriate to the size of the allotment on which it is to be constructed and the width of the street on which it is located;
- (b) be setback and designed so as to complement State Heritage Places or other nearby buildings and structures.

### Vehicle Access

13 Vehicle access should be provided in accordance with Concept Plan [Fig MU\(G\)/2](#) and include:

- (a) a primary access point off Fullarton Road, through the adjacent Urban Corridor Zone;
- (b) a secondary access point off Flemington Street.

14 Vehicle access to Flemington Street should be designed to support the functional requirements of the hospital while discouraging through-traffic in residential areas.

### Residential Development

#### *Density*

15 Development should comprise primarily medium density dwellings, including a minimum of 15 percent affordable housing. Dwellings should conform with the following minimum site areas (and in the case of group dwellings and residential flat buildings, an average site area per dwelling):

Detached Dwelling	Semi-detached dwelling	Row dwelling	Group dwelling	Residential flat building
270	220	150	250	150

16 Dwellings on site areas of less than those prescribed above should occur only where the buildings are of a scale and character compatible with the Desired Character for the Policy Area, and are designed to minimise adverse impacts such as garage dominance, overshadowing and overlooking.

17 Allotments with an area less than 300 square metres should generally be square or rectilinear in shape with a minimum dimension of 6 metres. The number of irregular shaped allotments should be minimised.

#### *Setbacks*

18 Ground floor dwellings and accommodation should positively contribute to active and safe streets by incorporating at least one of the following:

- (a) front landscaping or terraces that contribute to the spatial and visual structure of the street while maintaining adequate privacy for apartment occupants;
- (b) individual entries for ground floor accommodation.

19 Where residential development is setback from side and rear boundaries, the setback should be progressively increased as height increases to minimise the visual impact and overshadowing of adjoining properties by ensuring that:

- (a) side walls with a maximum height of 3 metres are setback a minimum of 1 metre;
- (b) side walls with a maximum height of 6 metres are setback a minimum of 2 metres;

- (c) side walls greater in height than 6 metres are setback 2 metres plus the increase in wall height above 6 metres;
  - (d) single storey components of buildings are setback a minimum of 3 metres from the rear boundary (except where the rear boundary adjoins a service lane, in which case the distance may be reduced to 0 metres);
  - (e) except where adjacent to the private open space of a dwelling located outside of the Policy Area, two and three storey components of buildings are setback a minimum of 5 metres from the rear boundary unless:
    - (i) the rear boundary adjoins a service lane, in which case the distance may be reduced to 0 metres;
    - (ii) it can be demonstrated that a lesser setback to a minimum of 3 metres:
      - (A) maintains solar access for adjoining properties;
      - (B) minimises the loss of visual and acoustic privacy for future residents;
      - (C) avoids direct overlooking of private open space areas of any adjoining sites from upper level living rooms;
      - (D) allows for the provision of sufficient private open space.
  - (f) two storey components of buildings are setback at least 5 metres from the private open space associated with a dwelling that is located outside of the Policy Area.
- 20** Four or more storey components of buildings should be set back a suitable distance from the property boundaries to minimise undesirable impacts on nearby development, including overshadowing and overlooking.
- 21** Any wall of a dwelling located on a side boundary should have no openings and:
- (a) be located abutting the wall of an existing or simultaneously constructed building on the adjoining land to the same or lesser length and height; or
  - (b) where a building envelope plan exists for the adjoining land that proposes a wall on the side boundary, be constructed to the same or lesser length and height as provided for by that plan; and
  - (c) ensure pedestrian access to the rear of the site along one side of the dwelling is provided, unless one of the following is achieved:
    - (i) access is provided directly via a carport or garage and avoids the need to enter other parts of a dwelling;
    - (ii) an acceptable alternative method of gaining access to the rear of a dwelling is provided, including a rear access or service lane.
- 22** Buildings on corner allotments (excluding minor protrusions such as a porch, portico, eave, verandah, balcony or similar) should:
- (a) be set back from the allotment boundary on the secondary frontage a minimum of 1.5 metres;
  - (b) address both street frontages;
  - (c) achieve adequate privacy to the dwelling and private open space.



*Site Coverage*

- 23** Site coverage for dwellings should be limited to ensure sufficient space is provided for:
- (a) pedestrian and vehicle access and vehicle parking;
  - (b) domestic storage;
  - (c) outdoor clothes drying;
  - (d) a rainwater tank;
  - (e) private open space and landscaping;
  - (f) front, side and rear boundary setbacks that contribute to the desired character of the area;
  - (g) convenient storage of household garbage and recycling receptacles.
- 24** A residential building or buildings should not have a ground floor area, measured from the external faces of the walls of the building, or buildings (or in the case of a carport, the outer edge of supporting columns) of more than 60 percent of the area of the site.

*Private Open Space*

- 25** Dwellings should include private open space which conforms to the following requirements:

<b>Allotment Area of Dwelling (m<sup>2</sup>)</b>	<b>Minimum Area and Characteristics of Private Open Space</b>
Greater than 250m <sup>2</sup>	<ul style="list-style-type: none"> <li>(a) 10% of the allotment, of which balconies, roof patios etc can comprise part of this area provided the area of each balcony, roof patio, etc is 10 square metres or greater</li> <li>(b) contain one primary useable part of the private open space which is directly accessible from a living room within the dwelling and has an area of 15 square metres with a minimum dimension of 3 metres and a maximum gradient of 1 in 10.</li> </ul>
Less than or equal to 250m <sup>2</sup>	<ul style="list-style-type: none"> <li>(a) 25m<sup>2</sup>, where 10m<sup>2</sup> is directly accessible from a living room and has a minimum dimension of 3 metres and a maximum gradient of 1 in 10</li> <li>(b) 20m<sup>2</sup> where:               <ul style="list-style-type: none"> <li>(a) the dwelling has no more than two bedrooms (or rooms that could reasonably be used as bedrooms) and a total floor area of not more than 110 square metres</li> <li>(b) separate areas are provide for a rainwater tank and the storage of refuse and recycling bins</li> <li>(c) 10 square metres is directly accessible from a living room and has a minimum dimension of 3 metres and a maximum gradient of 1 in 10.</li> </ul> </li> </ul> <p>(N.B. Part of the private open space can comprise balconies, roof patios, and similar open space areas provided each area is at least 8.)</p>

- 26** Dwellings that do not have a ground floor level should include minimum private open space (a balcony) of at least:
- (a) 8 square metres for one bedroom units;
  - (b) 11 square metres for two bedroom units;
  - (c) 15 square metres for three or more bedroom units.

*Garages and Carports*

- 27** Garages and carports facing the street (other than an access laneway) should be designed with a maximum width of 50 percent of the allotment or building site frontage so as not to dominate the streetscape.

*Roof Structures*

- 28** Structures located on the roofs of buildings to house plant and equipment should form an integral part of the building design in relation to external finishes, shaping and colours.

*Affordable Housing*

- 29** Affordable housing should be located to optimise access to shops, social services and facilities, or public transport.
- 30** Affordable housing should be distributed throughout the policy area to avoid over-concentration of similar types of housing in a particular area.

*Supported Accommodation*

- 31** Supported accommodation, including nursing homes, hostels, retirement homes, retirement villages, residential care facilities and special accommodation houses, should be:
- (a) located within walking distance of essential facilities such as convenience shops, health and community services and public transport;
  - (b) located where on-site movement of residents is not unduly restricted by the slope of the land;
  - (c) sited and designed to promote interaction with other sections of the community, without compromising privacy;
  - (d) of a scale and appearance that reflect the residential style and character of the locality;
  - (e) provided with public and private open space and landscaping to meet the needs of residents.
- 32** Supported accommodation should be designed to provide safe, secure, attractive, convenient and comfortable living conditions for residents that include:
- (a) ground-level access or lifted access to all units;
  - (b) internal communal areas and private spaces;
  - (c) an interesting and attractive outlook from units and communal areas;
  - (d) useable recreation areas for residents and visitors, including visiting children;
  - (e) adequate living space allowing for the use of wheelchairs with an attendant;

- (f) spaces to accommodate social needs and activities, including social gatherings, internet use, gardening, keeping pets, preparing meals and doing personal laundry;
- (g) storage areas for items such as boats, trailers and caravans;
- (h) storage for items such as small electric powered vehicles and other personal items, including facilities for recharging small electric powered vehicles;
- (i) mail boxes and waste disposal areas within easy walking distance of all units.

**33** Access roads within supported accommodation development should:

- (a) not have steep gradients;
- (b) provide convenient access for emergency vehicles, visitors and residents;
- (c) provide space for manoeuvring cars and community buses;
- (d) include kerb ramps at pedestrian crossing points;
- (e) have level-surface passenger loading areas.

**34** Car parking associated with supported accommodation should:

- (a) be conveniently located on site within easy walking distance of resident units;
- (b) be adequate for residents, staff, service providers and visitors;
- (c) include private parking spaces for independent living units;
- (d) include separate and appropriately marked places for people with disabilities and spaces for small electrically powered vehicles;
- (e) include covered and secure parking for residents' vehicles;
- (f) have slip-resistant surfaces with gradients not steeper than 1 in 40;
- (g) allow ease of vehicle manoeuvrability;
- (h) be designed to allow the full opening of all vehicle doors;
- (i) minimise the impact of car parking on adjacent residences owing to visual intrusion and noise;
- (j) be appropriately lit to enable safe and easy movement to and from vehicles.

**35** Accommodation for the aged and disabled at a higher density than prescribed elsewhere in the Policy Area is appropriate, provided the amenity of adjoining development is not unreasonably compromised.

**Non-Residential Development in Predominantly Residential Areas**

**36** Non-residential development within primarily residential parts of this Policy Area, such as childcare facilities, educational facilities, small-scale places of worship (up to 30 worshippers in any one session), recreational facilities and open space, may be developed provided that they are of a nature and scale that:

- (a) serve the needs of the local community;
- (b) are consistent with the character of the locality;

- (c) do not detrimentally impact on the amenity of nearby residents.

### **Car Parking**

- 37** Vehicle parking should be provided in accordance with the applicable rates as set out in [Table Bur/5](#) - Off-Street Vehicular Parking Requirements or [Table Bur/6](#) - Off-street Vehicle Parking Requirements for Designated Areas (whichever applies).
- 38** Semi-basement or undercroft garaging of vehicles should not project above natural or finished ground level by more than one metre and should occur only where:
  - (a) the overall height and bulk of the development does not adversely impact on streetscape character or the amenity of adjacent properties;
  - (b) vehicles can safely exit from the site without compromising pedestrian safety or causing conflict with other vehicles;
  - (c) driveway gradients provide for safe and functional entry and exit;
  - (d) driveways and adjacent walls, fencing and landscaping are designed to provide adequate sightlines from vehicles to pedestrians using the adjacent footpath;
  - (e) openings into undercroft garage areas are designed to integrate with the main building so as to minimise visual impacts;
  - (f) adjacent landscaping, mounding and/or fencing is incorporated to improve its presentation to the street and to adjacent properties;
  - (g) the overall streetscape character of the locality is not adversely impaired (eg visual impact, building bulk, front setbacks relative to adjacent development).

### **Trees and Fencing**

- 39** Significant trees should be incorporated as landscape features within public parks, road reserves, plazas and other similar spaces.
- 40** Fences and walls, including retaining walls, should:
  - (a) not result in damage to neighbouring trees;
  - (b) be compatible with the associated development and with existing predominant, attractive fences and walls in the locality;
  - (c) enable some visibility of buildings from and to the street to enhance safety and allow casual surveillance;
  - (d) incorporate articulation or other detailing where there is a large expanse of wall facing the street;
  - (e) assist in highlighting building entrances;
  - (f) be located and limited in height so as to ensure adequate sight lines for motorists and pedestrians especially in the case of corner sites;
  - (g) in the case of side and rear boundaries, be of sufficient height to maintain privacy and/or security without adversely affecting the visual amenity or access to sunlight of adjoining land;
  - (h) be constructed of non-flammable materials.

## Mixed Use (Glenside) – Policy Area 2

### Introduction

The objectives and principles of development control that follow apply to that part of the Mixed Use (Glenside) Zone referred to as Policy Area 2 shown on [Fig MU\(G\)/1](#). They are additional to those expressed for the whole of the Mixed Use (Glenside) Zone and for the council area as a whole.

### OBJECTIVES

**Objective 1:** A Policy Area primarily accommodating residential development of medium densities.

The development of Policy Area 2 presents an opportunity to create a unique residential character based on innovative subdivision, servicing and housing design techniques. Whilst a mixture of housing types is desirable, advantage of two and three-storey residential development opportunities could result in achieving densities of 25 to 40 dwellings per hectare.

### PRINCIPLES OF DEVELOPMENT CONTROL

- 1 Roads or thoroughfares should be provided, where necessary, for safe and convenient communication with adjoining land and neighbouring localities.
- 2 Development undertaken with Policy Area 2 should be primarily residential comprising dwellings on small sites at medium densities.
- 3 Development should not be more than three storeys in height in Policy Area 2.
- 4 Development in that portion of Policy Area 2 adjacent to Flemington Street should:
  - (a) be sympathetic to the scale of development on the southern side of Flemington Street;
  - (b) not be more than two storeys in height; and
  - (c) be set-back not less than six metres from Flemington Street.

## Mixed Use (Glenside) – Policy Area 3

### Introduction

The objective and principles of development control that follow apply to that part of the Mixed Use (Glenside) Zone referred to as Policy Area 3 shown on [Fig MU\(G\)/1](#). They are additional to those expressed for the whole of the Mixed Use (Glenside) Zone and for the council area as a whole.

### OBJECTIVES

**Objective 1:** A Policy Area primarily accommodating office and/or consulting room development with residential development appropriately located to avoid the adverse impacts that may result from adjoining offices uses.

**Objective 2:** Shops being of a small-scale suited to servicing the needs of the local business and residential community.

### DESIRED CHARACTER

Offices and residential development can co-exist within Policy Area 3 with high levels of residential amenity being possible through innovative and high standards of design together with small scale shops suited to meeting the need of the local business and residential community. Office buildings that are well designed take into account factors such as building bulk, set-backs and materials, privacy and access to sunlight for potential adjoining residential development.

Residential development should occur on sites of sufficient size to allow for a residential character to be developed independent of adjoining office development.

#### **PRINCIPLES OF DEVELOPMENT CONTROL**

- 1 Development undertaken within Policy Area 3 should be primarily, office and residential use.
- 2 Office buildings within Policy Area 3 should be sited:
  - (a) not closer than 15 metres to the Conyngham Street boundary;
  - (b) not closer than eight metres to the Flemington Street boundary; and
  - (c) not closer than eight metres to a side of rear boundary adjoining a site that is developed, or vacant and able to be developed for residential use.
- 3 The development of office buildings should include screening landscaping, not less than two metres in width, around the perimeter of the site of that building.
- 4 Retail development should:
  - (a) consist of small-scale shops suited to serving the day-to-day needs of the local community; and
  - (b) not be a type or scale likely to generate high traffic volumes.
- 5 The height of any building in Policy Area 3 should not be more than 8.5 metres above natural ground level at any point.
- 6 Residential development should be sited and designed to minimise the impact of external noise of the occupants, to reduce traffic and parking conflicts and to address other negative impacts that may jeopardize the residential amenity of the Policy Area.

### **Mixed Use (Glenside) – Policy Area 4**

#### **Introduction**

The objective and principles of development control that follow apply to that part of the Mixed Use (Glenside) Zone referred to as Policy Area 4, shown on [Fig MU\(G\)/1](#). They are additional to those expressed for the whole of the Mixed Use (Glenside) Zone and for the council area as a whole.

#### **OBJECTIVE**

**Objective 1:** A Policy Area primarily accommodating educational facilities, meeting halls and places of worship in an integrated development.

#### **PRINCIPLES OF DEVELOPMENT CONTROL**

- 1 Development undertaken within Policy Area 4 should be, primarily, educational establishments, meeting halls and places of worship.
- 2 Open space, appropriate to the needs of an educational establishment, should be provided within Policy Area 4 or in an immediately adjacent portion of Policy Area 2.
- 3 Development undertaken within Policy Area 4 should be designed and located in such a manner as to avoid unreasonable impact on the residential amenity of Policy Area 2.

## URBAN CORRIDOR ZONE

### Introduction

The objectives and principles of development control that follow apply in the Urban Corridor Zone shown on [Maps Bur/3 and 6](#). They are additional to those expressed for the whole of the Council area.

The Urban Corridor Zone is divided into a number of Policy Areas. Each policy area has been defined according to the existing and desired character of the area, the type and nature of development considered appropriate and other features that differentiate one area from another. The policy areas are shown on [Maps Bur/12 and 15](#).

### OBJECTIVES

- Objective 1:** A mixed use zone accommodating a range of compatible non-residential and medium and high density residential land uses orientated towards a high frequency public transport corridor.
- Objective 2:** Integrated, mixed use, medium and high rise buildings with ground floor uses that create active and vibrant streets with residential and commercial development above.
- Objective 3:** A mix of land uses that enable people to work, shop and access a range of services close to home.
- Objective 4:** Adaptable and flexible building designs that can accommodate changes in land use and respond to changing economic and social conditions.
- Objective 5:** A built form that provides a transition down in scale and intensity at the zone boundary to maintain the amenity of residential properties located within adjoining zones.
- Objective 6:** A safe, comfortable and appealing street environment for pedestrians that is sheltered from weather extremes, is of a pedestrian scale and optimises views or any outlook onto spaces of interest.
- Objective 7:** Noise and air quality impacts mitigated through appropriate building design and orientation.
- Objective 8:** Development that contributes to the desired character of the zone.

### DESIRED CHARACTER

This zone supports an innovative mix of medium to high density residential and mixed use development along the Fullarton Road and Greenhill Road Primary Road Corridors.

It will be developed with a diversity of housing, including row dwellings, residential flat buildings and multi-storey buildings that incorporate affordable housing opportunities for families, students and other household types in areas with frequent public transport provision.

Residents will have access to a local and neighbourhood scale mix of land uses that are well connected to public transport, and active public spaces that facilitate walking and/or cycling to a range of daily activities.

Buildings will create a linear corridor that frames the main road with active street frontages that establish an interesting pedestrian environment and human scale at ground level. Buildings of 4 or more storeys will be the predominant built form..

A high amenity pedestrian environment will be established that provides integrated linkages to adjacent centres, public transport stops and public spaces. High quality footpaths will be provided (of a durable non-slip surface) that are shaded by street trees that cool the street environment and reduce air pollution. Access for people with disabilities, signage, seating and street lighting will be provided

along key walking routes between public transport stops and major activity nodes. Cycle routes will be visible, safe, accessible, well signed and connected with key local destinations (such as shops, schools and local parks).

Greenhill Road and Fullarton Road are strategic routes. Their function as major transport corridors will be protected with minimal on-street vehicle parking and access points. Access will be provided from secondary road frontages and rear access ways. Controlled pedestrian crossings points will be focussed and consolidated at key locations. Parking areas will be consolidated, shared, where possible, and screened from the street or public spaces.

Development will be undertaken within defined building envelopes. The location and scale of buildings will achieve high quality urban design outcomes. A coherent public realm that shapes the street space and, in particular, the physical and functional character of the main road, will be established. In general, the greatest height, mass and intensity of development will be focussed at the main road frontage, and will reduce in scale to transition down where there is an interface with low rise residential development in an adjacent residential zone. Buildings at the periphery of the zone will have an appropriate transition that relates to the height and setback of development in adjacent zones of a lower scale and intensity.

Development will have a human scale and contribute positively to the public realm with articulated buildings that incorporate canopies, modelled façades, fenestration and balconies that make use of light and shade. Solid materials will be appropriately balanced with glazed areas. Buildings will have a strong horizontal emphasis with clearly defined and segmented vertical elements.

The greatest height, mass and intensity of development will be focussed at the main road frontage. Key strategic sites will be developed with landmark buildings.

Overlooking, overshadowing and noise impacts will be moderated through good design and noise attenuation techniques. Impacts on adjoining zones will be minimised through appropriate building envelopes, transition of building heights, design and location of windows and balconies, and use of landscaping.

Well-designed landscaping will assist to visually reduce the scale of large building façades, soften edges and provide visual amenity and shade. Plant and service equipment will be enclosed and screened from view from the street and neighbouring sites.

Nominated public spaces will be designed to create a quiet space or retreat for people to use.

Water sensitive urban design for the harvest, treatment, storage and reuse of stormwater will be integrated at the neighbourhood, street, site and building level. Harvested stormwater will improve the aesthetic and functional value of open spaces, including public access ways and greenways.

### **Transit Living (Glenside) Policy Area**

The focus of development will primarily be medium to high density, residential development set within a mixed use urban neighbourhood allowing for small scale shops and access to local services. The predominant built form will include buildings ranging from 2 to 8 storeys in height, with the potential for increased building heights for identified Strategic Development Sites. Development will occur within a high quality urban setting of public spaces, presenting an innovative built form surrounded by cultural and community facilities, as a well serviced inner metropolitan area of Adelaide.

Buildings along Fullarton Road will be set back behind a corridor of public open space with active street frontages where practical, orientated to the internal road network. Access to individual buildings will be provided from secondary road frontages and rear access ways.

The greater intensity of development will be set back from the adjoining Residential Zone, Mixed Use (Glenside) Zone at the eastern and northern edges or other sensitive uses.

Due to previous activities within the area, management of contaminated land may be necessary to ensure that it is suitable for the intended use.



## PRINCIPLES OF DEVELOPMENT CONTROL

### Land Use

- 1 The following types of development, or combination thereof, are envisaged in the zone:

Affordable housing  
 Aged persons accommodation  
 Community centre  
 Consulting room  
 Dwelling  
 Educational establishment  
 Entertainment venue  
 Licensed premises  
 Office  
 Pre-school  
 Primary school  
 Residential flat building  
 Retirement village  
 Shop or group of shops  
 Supported accommodation  
 Tourist accommodation.

- 2 Development listed as non-complying is generally inappropriate.

### Form and Character

- 3 Development should be consistent with the desired character for the zone.
- 4 Development should achieve a minimum net residential site density in accordance with the following table:

Policy area	Minimum net residential site density
Boulevard Policy Area	100 dwellings per hectare net
Transit Living (Glenside) Policy Area	80 dwellings per hectare net

- 5 Vehicle parking should be located to the rear of development or not be visible from public land along the primary road frontage.

### Design and Appearance

- 6 Buildings on sites with a frontage greater than 10 metres should be well articulated through variations in forms, materials, openings and colours.
- 7 Buildings should be designed to:
- (a) enable suitable sunlight access to public open space; and
  - (b) overlook or orientate towards public open space and defined pedestrian and cycle routes.
- 8 To maintain sight lines between buildings and the street, and to improve safety through passive surveillance, solid fencing should not be constructed between the front building line and the primary or secondary street.
- 9 Development should minimise the number of access points onto an arterial road, by providing vehicle access:
- (a) from side streets or rear access ways; and

- (b) via co-ordinated through-property access rights of way or common rear vehicle parking areas.

10 Vehicle access points on side streets and rear access ways should be located and designed to:

- (a) minimise the impacts of headlight glare and noise on nearby residents; and  
 (b) avoid excessive traffic flows into residential streets.

11 When abutting footpath, the finished floor level of the ground floor of buildings should be level with or above the footpath at the primary street frontage, provided the footpath is constructed to an appropriate level to mitigate flood risk at the edge of the development site.

## Building Envelope

### Building Height

12 Except where airport building height restrictions prevail, the interface height provisions require a lesser height, building heights (excluding any rooftop mechanical plant or equipment) should be consistent with the following parameters:

Policy area	Minimum building height	Maximum building height
Boulevard Policy Area	3 storeys, or 4 storeys for land that is directly adjacent to or facing the Adelaide Park Lands.	On land adjoining Greenhill Road between Fullarton Road and Glen Osmond Road – 7 storeys (and up to 25.5 metres). On land adjoining Fullarton Road between Kensington Road and Greenhill Road – 6 storeys (and up to 22 metres).
Transit Living (Glenside) Policy Area	2 storeys	8 storeys and up to 29 metres except in those areas abutting the Residential Zone, other sensitive land uses and where the Strategic Development Site policy may apply.

### Interface Height Provisions

13 To minimise building massing at the interface with residential development outside of the zone, buildings should be constructed within a building envelope provided by a 30 degree plane, measured from a height of 3 metres above natural ground level at the zone boundary (except where this boundary is a primary road frontage) as illustrated in Figure 1:

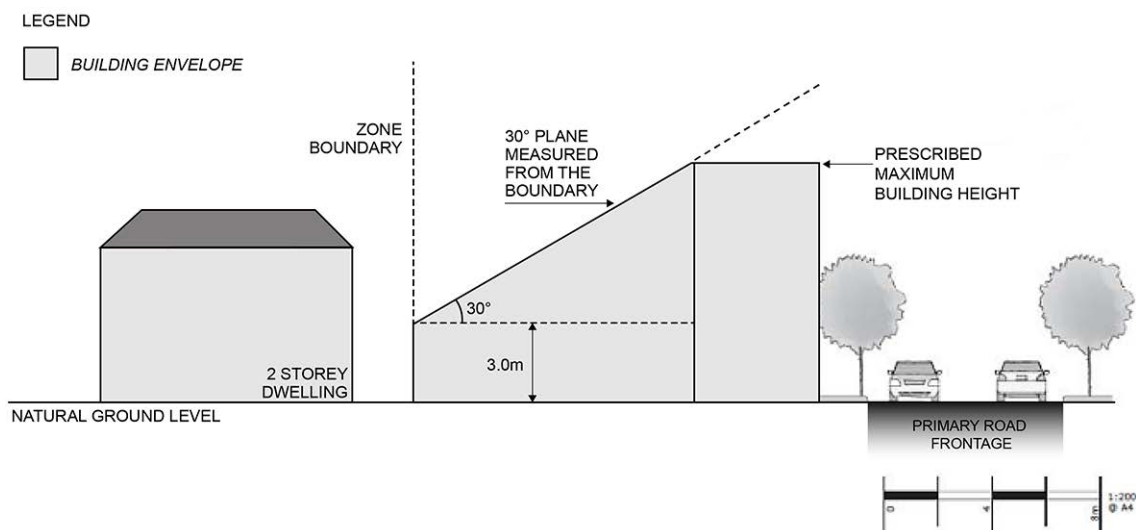


Figure 1

- 14 To minimise overshadowing of sensitive uses outside of the zone, buildings should ensure that:
- (a) north-facing windows to habitable rooms of existing dwellings in adjacent zones receive at least 3 hours of direct sunlight over a portion of their surface between 9.00am and 3.00pm on 21 June
  - (b) ground level open space of existing residential buildings in adjacent zones receive direct sunlight for a minimum of 2 hours between 9.00am and 3.00pm on 21 June to at least the smaller of the following:
    - (i) half of the existing ground level open space; or
    - (iii) 35 square metres of the existing ground level open space (with at least one of the area's dimensions measuring 2.5 metres).

*Setbacks from Road Frontages*

- 15 Buildings (excluding verandas, porticos and the like) should be set back from the primary road frontage in accordance with the following parameters:

Policy area	Minimum setback from the primary road frontage where it is the Primary Road Corridor	Minimum setback from the primary road frontage in all other cases
Boulevard Policy Area	6 metres from the Greenhill Road Primary Road Corridor. 6 metres from the Fullarton Road Primary Road Corridor. 2 metres from the Fullarton Road Primary Road Corridor where adjacent to the front service road.	4 metres
Transit Living (Glenside) Policy Area	6 metres from the Greenhill Road Primary Road Corridor. 6 metres from the Fullarton Road Primary Road Corridor.	0 metres

- 16 Buildings (excluding verandas, porticos and the like) should be set back from the secondary road frontage or a vehicle access way in accordance with the following parameters:

Designated area	Minimum setback from secondary road	Minimum setback from a rear access way
Boulevard Policy Area	2 metres	No minimum where the access way is 6.5 metres or more. Where the access way is less than 6.5 metres in width, the distance equal to the additional width required to make the access way 6.5 metres or more, to provide adequate manoeuvrability for vehicles.
Transit Living (Glenside) Policy Area	No Minimum (except for any site with a boundary to Greenhill Road)	No minimum where the access way is 6.5 metres or more. Where the access way is less than 6.5 metres in width, the distance equal to the additional width required to make the access way 6.5 metres or more, to provide adequate manoeuvrability for vehicles.

*Other Setbacks*

- 17 Buildings (excluding verandas, porticos and the like) should be set back in accordance with the following parameters:

<b>Designated area</b>	<b>Minimum setback from rear allotment boundary</b>	<b>Minimum setback from side boundaries (where not on a street boundary)</b>
Boulevard Policy Area	3 metres	For allotments with a frontage width of: (a) 20 metres or less: no minimum (b) more than 20 metres: 1 metre.
Transit Living (Glenside) Policy Area	0 metres except where boundary abuts an existing residential zone in which case the setback should be in the order of 3 metres	For allotments with a frontage width of: (a) 20 metres or less: no minimum (b) more than 20 metres: 1 metre.

**Open Space**

- 18 Excluding where located within the Transit Living (Glenside) Policy Area, dwellings at ground level should provide private open space in accordance with the following table:

<b>Minimum area excluding any area at ground level at the front of the dwelling (square metres)</b>	<b>Minimum dimension (metres)</b>	<b>Minimum area provided at the rear or side of the dwelling, directly accessible from a habitable room (square metres)</b>
24, of which 8 may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2 metres	3	16

- 19 Excluding where located within the Transit Living (Glenside) Policy Area, dwellings above ground level should provide private open space in accordance with the following table:

<b>Dwelling type</b>	<b>Minimum area of private open space</b>
Studio (where there is no separate bedroom)	No minimum requirement
One bedroom dwelling	8 square metres
Two bedroom dwelling	11 square metres
Three + bedroom dwelling	15 square metres

- 20 Within the Transit Living (Glenside) Policy Area), dwellings should provide private open space in accordance with the following table:

Dwelling type/Site area (square metres)	Minimum area excluding any area at ground level at the front of the dwelling (square metres)	Minimum dimension (metres)	Minimum area provided at the rear, side or balcony of the dwelling, directly accessible from a habitable room (square metres)
Any dwelling $\geq 250$	40, of which 16 may comprise balconies, roof patios and the like, provided they have a minimum dimension of 2 metres.	2.5	24
One bedroom dwelling (<250)	8	2	8
Two bedroom dwelling (<250)	11	2	8
Three + bedroom dwelling (<250)	15	2	10
Studio (where there is no separate bedroom)	No minimum requirement	No minimum requirement	No minimum requirement

**20** Private open space located above ground level should have a minimum dimension of 2 metres and be directly accessible from a habitable room.

**21** Private open space may be substituted for the equivalent area of communal open space where:

- (a) at least 50 per cent of the communal open space is visually screened from public areas of the development;
- (b) ground floor communal space is overlooked by habitable rooms to facilitate passive surveillance;
- (c) it contains landscaping and facilities that are functional, attractive and encourage recreational use; and
- (d) public open space of no less than 2000 square metres is adjacent to the dwelling.

#### *Communal Open Space*

**22** Communal open space should be shared by more than one dwelling, not be publicly accessible and exclude:

- (a) private open space;
- (b) public rights of way;
- (c) private streets;
- (d) parking areas and driveways;
- (e) service and storage areas; and
- (f) narrow or inaccessible strips of land.

- 23** Communal open space should only be located on elevated gardens or roof tops where the area and overall design is useful for the recreation and amenity needs of residents and where it is designed to:
- (a) address acoustic, safety, security and wind effects;
  - (b) minimise overlooking into habitable room windows or onto the useable private open space of other dwellings;
  - (c) facilitate landscaping and food production; and
  - (d) be integrated into the overall façade and composition of buildings.

### Vehicle Parking

- 24** Vehicle parking should be provided in accordance with the rates set out in [Table Bur/6](#) - Off-street Vehicle Parking Requirements for Designated Areas.

### Land Division

- 25** Land division in the zone is appropriate provided new allotments are of a size and configuration to ensure the objectives of the zone can be achieved.

### Complying Development

- 26** Complying developments are prescribed in Schedule 4 of the Development Regulations 2008. In addition, the following forms of development are designated as complying subject to the development being consistent with [Table Bur/6](#) - Off-street Vehicle Parking Requirements for the Urban Corridor Zone and [Table Bur/7](#) - Off-street Bicycle Parking Requirements for the Urban Corridor Zone:
- (a) change in the use of land, from residential to office on the ground or first floor of a building; or
  - (b) change in the use of land, from residential to shop less than 250 square metres on the ground floor of a building.

### Non-complying Development

- 27** Development (including building work, a change in the use of land or division of an allotment) involving any of the following is **non-complying**:

- Industry
- Fuel depot
- Petrol filling station
- Public service depot
- Road transport terminal
- Service trade premises
- Store
- Transport depot
- Warehouse
- Waste reception storage treatment and disposal

### Public Notification

- 28** Categories of public notification are prescribed in Schedule 9 of the *Development Regulations 2008*. In addition, the following forms of development, or any combination of (except where the development is classified as non-complying), are designated:

**Category 1**

Advertisement  
 Aged persons accommodation  
 All forms of development that are ancillary and in association with residential development  
 Consulting room  
 Dwelling  
 Educational establishment  
 Office  
 Pre-school  
 Primary school outside of the Transit Living (Glenside) Policy Area  
 Residential flat building  
 Retirement village  
 Supported accommodation  
 Shop or group of shops with a gross leasable area of 2000 square metres or less located in the Boulevard Policy Area  
 Tourist accommodation

**Category 2**

All forms of development not listed as Category 1  
 Any development listed as Category 1 and located on adjacent land to a residential zone or Historic (Conservation) Zone that:  
 (a) is 3 or more storeys, or 11.5 metres or more, in height  
 (b) exceeds the 'Building Envelope -Interface Height Provisions'.  
 Primary school located within the Transit Living (Glenside) Policy Area  
 Shop or group of shops with a gross leasable area of 500 square metres or more located within the Transit Living (Glenside) Policy Area

**Boulevard Policy Area**

The following provisions apply to the Boulevard Policy Area as shown on [Maps Bur/12 and 15](#). They are additional to those expressed for the whole of the Urban Corridor Zone and for the whole of the Council area.

**OBJECTIVES**

- Objective 1:** Medium and high rise development framing the street, including mixed use buildings that contain shops, offices and commercial development at lower floors with residential land uses above.
- Objective 2:** A uniform streetscape edge established through a largely consistent front setback and tall, articulated building facades.
- Objective 3:** Development that does not compromise the transport functions of the road corridor.
- Objective 4:** Development that contributes to the desired character of the policy area.

**DESIRED CHARACTER**

Development in the policy area will enhance the character of the wide avenue that is uniformly planted with tall trees spaced at regular intervals. The transport function of the road corridor as a strategic transport route will be maintained and pedestrian areas will be enhanced to maximise safety and promote activity in appropriate locations.

Buildings will be medium and high rise to frame, and be proportionate in height to the width of the road. Buildings will also be set back uniformly from the main road frontage to reinforce the consistent built form façade, provide space for landscaping and pedestrian environment enhancement. Buildings

will provide tall walls when viewed from the main road but may be articulated with finer details such as balconies and verandahs, and canopies over the ground floor.

Development on key corner sites will enhance the gateway function through the use of taller buildings that provide a strong built form edge and pedestrian scale detailing to both street frontages.

The use of buildings that incorporate podium elements (where higher floors of the building are set back further than ground and lower level floors) may be used to improve air quality through greater air circulation and enhance solar access, privacy and outlook for both the residents of the building and neighbours. Podium buildings that frame the street in proportion to the width of the road are encouraged.

On-site vehicle parking will not be visible from the primary street frontage through the use of design solutions such as locating parking areas behind the front building façade and screening undercroft parking areas with landscaping and articulated screening.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Land Use

- 1 Development should predominantly comprise mixed use buildings and wholly residential buildings.
- 2 In a mixed use building, non-residential development should be located on the ground floor and lower levels, and residential development should be located on the upper levels.

### Form and Character

- 3 Development should be consistent with the desired character for the policy area.
- 4 Shops or groups of shops contained in a single building, other than a restaurant, should generally have a gross leasable area of less than 2000 square metres.
- 5 The finished ground floor level should be approximately at grade and level with the footpath.
- 6 The ground floor of buildings should be built to dimensions including a minimum floor to ceiling height of 3.5 metres to allow for adaptation to a range of land uses including retail, office and residential without the need for significant change to the building.
- 7 A minimum of 50 percent of the ground floor primary frontage of buildings should be visually permeable, transparent or clear glazed to promote active street frontages and maximise passive surveillance.

## Transit Living (Glenside) Policy Area

The following provisions apply to the Transit Living (Glenside) Policy Area as shown on [Map Bur/15](#). They are additional to those expressed for the whole of the Urban Corridor Zone and for the whole of the Council area.









### OBJECTIVES

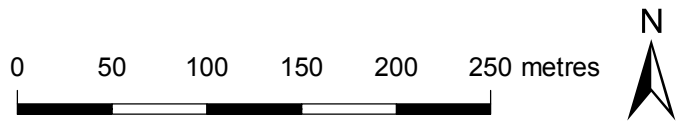
- Objective 1:** A medium to high density residential area supported by local shops, offices and community land uses.
- Objective 2:** A highly varied built streetscape allowing multiple built form design responses that support innovative housing and mixed use development sited around usable public open space.
- Objective 3:** Development that contributes to the desired character of the policy area and is undertaken in accordance with Concept Plan [Fig UrC \(TL\(G\)\)/1](#).





Note: This Concept Plan is indicative only. The final location of access points and the arrangement of land use areas may change as a result of detailed land division and urban design outcomes that achieve the desired character for the policy area.

-  Open Space / Stormwater Management
-  Residential
-  Mixed Use
-  Primary Access Point
-  Secondary Access Point
-  Proposed Egress Point
-  Max 2 Storey Building Height
-  Development Plan Boundary



**BURNSIDE (CITY)**  
**URBAN CORRIDOR ZONE**  
**TRANSIT LIVING (GLENSIDE) POLICY AREA**  
**CONCEPT PLAN**  
**Fig UrC(TL(G))/1**  
 Consolidated - 19 December 2017

## DESIRED CHARACTER

This Policy Area will have a subdivision layout and subsequent development which will create attractive, well landscaped, liveable environments and convey a sense of place to residents and visitors alike.

Buildings will be sited around large central open spaces which provide areas of community focus. These public open spaces will have proportions and shape that ensures that the area is usable and suitable for a variety of community uses including playgrounds, picnic shelters and informal ball games.

This Policy Area will also serve a primarily medium to high density residential function with local shops, offices and community land uses to support the daily living and working needs of residents. The form of buildings, setbacks and street pattern will vary and make use of site opportunities, provide space for landscaping and good design outcomes.

Buildings up to 8 storeys are anticipated, set behind an open space corridor along Fullarton Road, to the south of the open space area at the intersection of Greenhill and Fullarton Roads and separated from the adjoining residential zone by transitional lower scale built form to two storeys.

A variety of building forms will be developed, creating housing opportunity for people at various life stages and the potential to accommodate a variety of small businesses. Development will be interspersed with landscaping, to soften the appearance of buildings from the street and reduce heat load in summer whilst also enabling links and pathways through the area and beyond.

Strategic development sites provide opportunities for integrated developments on large sites to assist in the transformation of a locality. Such developments will facilitate growth in the residential population of the Policy Area, while also activating the public realm and creating a vibrant street feel. A range of land uses will be provided that add to the range of local employment opportunities and the availability of services and shopping services within the Policy Area.

The division of land, movement networks and built form will take cues from the layout and scale of the State Heritage Places located in this Policy Area and in the adjoining Mixed Use Zone by:

- (a) the formalisation of the primary vehicle access from Fullarton Road;
- (b) recognising the evolution in the spatial arrangement of buildings; and
- (c) establishing a layout of built form that complements the State Heritage Places.

State Heritage Places in the Policy Area will be sensitively adapted for reuse in a manner that conserves their historic and cultural significance. A range of innovative dwelling types and styles will cater for a diversity of households, with higher dwelling densities located in areas close to Fullarton Road.

Areas of open space, particularly in the north-west corner of the Policy Area, will cater for stormwater management and create a pleasant environment for recreation and relaxation. The development will promote approaches to stormwater management that result in the reduction of inundation impacts in larger areas of open space, thereby optimising the proportion of useable active areas.

Established large trees will be retained where they are located within public open spaces, road reserves and areas set-aside for landscaping including the retention of the majority of large trees adjacent the Fullarton Road boundary to facilitate wildlife corridor linkages to the Adelaide Parklands. Landscaping will include drought-tolerant vegetation that is sustainable and complements the built form, while also catering for different types of recreation throughout the Policy Area.

Due to previous activities within the area, development is expected to occur on a precautionary basis where a site contamination audit verifies that a site or sites are suitable for the intended use, particularly where it involves sensitive uses such as residential development.

## PRINCIPLES OF DEVELOPMENT CONTROL

### Land Use

- 1 Shops or groups of shops contained in a single building should have a gross leasable area in the order of 500 square metres.

### Form and Character

- 2 Development should be consistent with the desired character for the policy area and Concept Plan [Fig UrC \(TL\(G\)\)/1](#).
- 3 Detached dwellings should take the form and appearance of row dwellings (i.e. constructed to side boundaries) and achieve the desired net residential site density.
- 4 Residential development within the Policy Area should not be more than two storeys in height adjacent any residential zone.
- 5 The designated open space/stormwater management area shown on Concept Plan [Fig UrC \(TL\(G\)\)/1](#) should provide opportunities for a range of passive and active recreational pursuits and form part of the overall open space network.
- 6 Development fronting Fullarton Road should be setback to allow significant trees to be incorporated within landscape areas and to accommodate potential road widening requirements.

### Strategic Development Sites

- 7 Within the Transit Living (Glenside) Policy Area, development should not exceed the maximum building height on strategic development sites (sites with a frontage to a primary road corridor and over 1500 square metres in area, which may include one or more allotment) unless (a), (b) and (c) are satisfied:
  - (a) it meets one or more of the following:
    - (i) the proposed building is constructed within the zone's Interface Building Height provision;
    - (ii) not result in an increase in building height of more than 30 percent above the maximum that would apply to non-strategic development sites in the policy area;
    - (iii) ensure the massing of taller building elements are distributed across the site to minimise impacts on the streetscape and residential/sensitive uses in adjacent zones;
  - (b) at least two of the following features are provided:
    - (i) the development incorporates the retention and conservation of a character building or listed heritage place;
    - (ii) 50% of all on site car parking is provided underground;
    - (iii) residential, office or any other actively occupied use is located on the side of the building directly facing the street or formal public space areas, with any above ground car parking located behind;
    - (iv) a range of dwelling types that includes at least 10% of 3+ bedroom apartments;
    - (v) more than 15 per cent of dwellings as affordable housing;

- (c) at least one of the following sustainable design features is provided:
  - (i) a rooftop garden covering a majority of the available roof area;
  - (ii) a greenroof, or greenwalls/facades;
  - (iii) on site water collection and storage for non-potable purposes;
  - (iv) external shading on all of the western facing façade of the building.

#### **Vehicle Access**

- 8** Vehicle access should be provided in accordance with Concept Plan [Fig UrC \(TL\(G\)\)/1](#) and include:
  - (a) a primary access point off Fullarton Road; and
  - (b) a secondary egress points to Greenhill Road and Fullarton Road.
- 9** Development involving the establishment of vehicular access between land uses either side of the historical bluestone wall, adjacent to the Frewville Shopping Centre, should:
  - (a) preserve the structural integrity of the wall; and
  - (b) minimise disturbance to the wall;
  - (c) enhance the heritage significance of the wall, such as through improved visual and pedestrian access; and
  - (d) ensure that the removal of any part of the wall is restricted to the minimum amount required to facilitate access
- 10** Vehicular access to individual allotments should not be provided from Greenhill Road or Fullarton Road.

## TABLE Bur/1

### Conservation and Development Guidelines for Historic (Conservation) Zones & Local Heritage Places

The following guidelines are intended to ensure the retention of historic fabric and various components of the conversion, alteration of, or addition to, a building scheduled a local heritage place or as contributing to the identified historic architectural character of the Residential Historic (Conservation) Zone Policy Areas. They also relate to the construction of new buildings within the Residential Historic (Conservation) Zone. It is also necessary to refer to the Objectives and Principles of Development Control for Local Heritage Places and for the Historic Conservation Zone and Policy Areas.

#### 1.0 RESTORATION AND MAINTENANCE OF A BUILDING WHICH CONTRIBUTES SIGNIFICANTLY TO THE HISTORIC CHARACTER OF THE ZONE

##### 1.1 General Guidelines for Conservation and Development

Property owners should understand the period of construction and design and style of the original section of the house and maintain the architectural character of their dwelling.

Original materials and finishes should be retained wherever possible. Repairs or maintenance should be undertaken in materials, colour, shape, profile, fixing and construction techniques which match or are compatible with the original structure.

Inappropriate elements from another style or period should not be added to the original section of the house, and any later elements should be replaced with appropriate materials and details whenever possible. Avoid using unsympathetic materials. Do not repoint old masonry with hard cement mortar or different colour mortar, or remove paint from masonry by sand blasting or harsh chemical products.

##### 1.2 Component of building

##### Guidelines for conservation

Walls and Roof

Original materials and finishes of walls, particularly unpainted brickwork or stonework, should be retained. Materials closely consistent with original materials such as corrugated iron or terracotta tile roofing, should be used. Metal tiles or coloured concrete tiles should not be used.

Contemporary features such as exhaust vents, air-conditioning units outlets and ducts, skylights and antennae should be located away from principal facades where possible.

Gutters and Downpipes

The original gutters and downpipes should be retained wherever possible. If replacement is necessary, new gutters and downpipes should closely match the original form. The profile of the metal guttering, round metal downpipes and rainheads should all be appropriate to the style of the house.

Windows and Doors

The original configuration of windows and doors should be retained to the principal elevation and any others which are viewed from the street. Original framing materials, usually timber, should be retained where practicable or replaced with the same materials.

Modern or inappropriate features such as aluminium screens, security grilles, screen window combinations, and the replacement of timber framed windows with aluminium framed windows should be avoided.

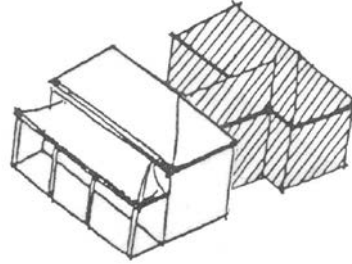
Verandahs	The original form and detail of design of any verandah element should be maintained, including posts, brackets and friezes, projecting gables, verandah floors, entrance steps, and dividing panels, where relevant. Verandahs to the principal front elevation should not be enclosed.
Colours	All painted surfaces should be maintained in good repair with use of colours of a kind similar to or compatible with original colours where they can be determined from physical or archival evidence.

## 2.0 ALTERATIONS OF AND ADDITIONS TO LOCAL HERITAGE PLACES AND CONTRIBUTORY PLACES

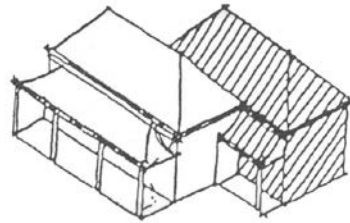
Walls and Roof	<p>Materials used for walls should match or be closely compatible with the original materials of construction of the building concerned, including rendered masonry, face stone, face brick or lightweight timber construction associated with windows or glazed doors.</p> <p>Materials used for roofs should match or be closely compatible with the original materials of construction. Generally, painted corrugated iron or terra cotta tiles are the most appropriate roofing materials.</p>
Location of additions	Physical change to a building, through additions, should be in harmony with the character of the original building. The impact of visible change should be minimized and the historic architectural character of the portion of a building visible from the principal road frontage should not be significantly changed by any alteration or addition. Additions in the roof space may be possible with some housing styles, particularly early twentieth century bungalows and Tudors.
Form	<p>Additions should generally continue the form and elements of the building to which they are attached; for example the shape and pitch of the roof and the height and projection of eaves and gables.</p> <p>Side extensions should be sited well to the rear and should not detract from the front elevation.</p> <p>Second storey additions may be appropriate provided they repeat elements of the form of the original building, are not prominently visible from a street, do not visually dominate the existing building and do not interfere with the essential character of the building. Incorporation of attic rooms into existing large roof spaces of some styles of dwellings may be appropriate, but large scale roof conversions are generally inappropriate.</p>

### 3.0 APPROPRIATE FORMS OF ADDITIONS

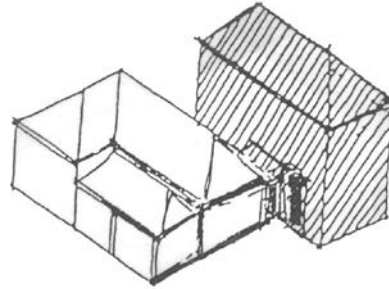
- 3.1 Pre-1870s Houses and Cottages (a) Simple cottage with verandah – extension repeats form



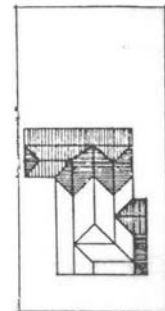
- (b) Extension repeats cottage form and verandah element



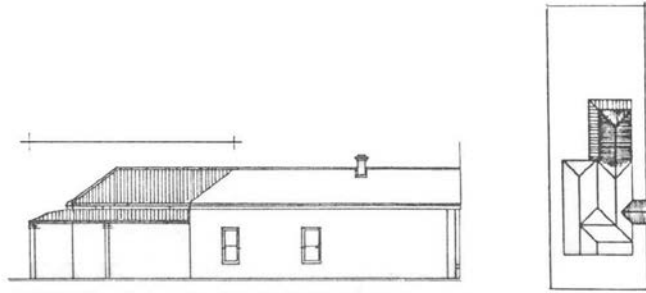
- (c) Simple cottage with side wing – two storey extension repeats form and does not visually dominate the original cottage when viewed from the street.



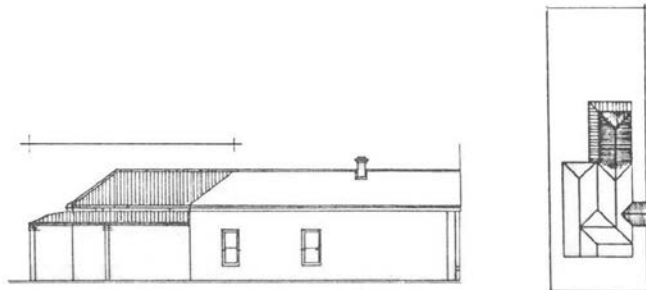
- 3.2 Victorian Houses and Cottages – 1870s – 1890s (a) Extension of original form at rear and side – continues gutter line, roof ridges and roof form.



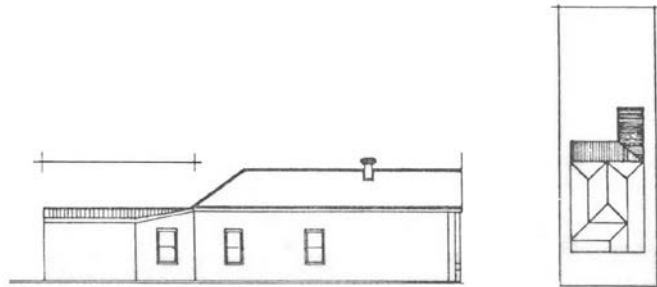
- (b) Pavilion addition - this creates a separately roofed element linked to the original building with a lower roofed section.



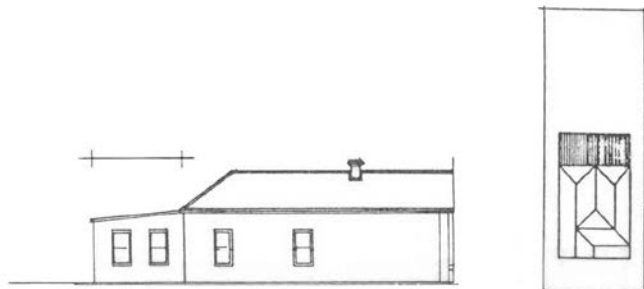
- (c) Wing addition - This extends a parallel roof ridge, maintaining the existing gutter line, ridge height and ceiling height, any separate verandah echoing the use of a verandah at the front.



- (d) Skillion and wing addition - This combines a simple skillion addition with an additional wing. This form of addition is not desirable on a site with frontage to more than one road, other than a lane.



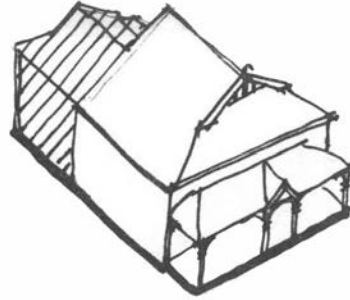
- (e) Skillion addition - The lower ceiling height and discontinuous gutter line of this traditional form of addition are generally acceptable if the form of the addition is kept simple.



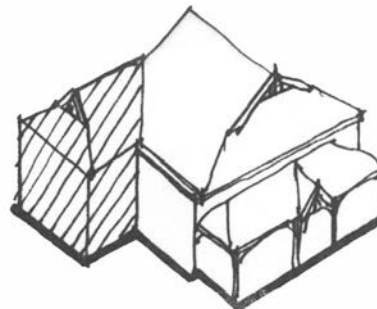


**3.3 Edwardian Houses and Cottages 1900-1920s**

- (a) Extension of complicated roof forms as rear addition continues the design form of the residence.



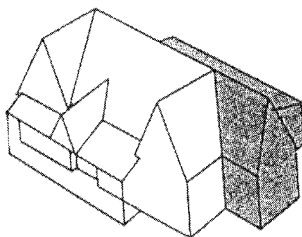
- (b) Addition to side of building, set back from front elevation, repeating roof and verandah form and detailing.



**3.4 Bungalows and Tudor Revival- 1920s-1930s**

Additions to Tudor revival style houses should follow the approach shown but reflect the steeply pitched roof form of the original house design

- (a) Wing addition to rear, extending the roof ridge and gutter height, thus maintaining internal ceiling heights



- (b) Pavilion addition of a separately roofed element, connected to the original building by a lower linking section



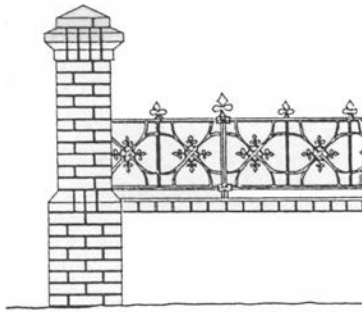
- (c) Skillion addition which results in discontinuous gutter line and lower internal ceiling heights. (A traditional and inexpensive form of extension)



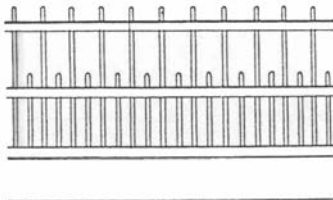
- (d) Two storey additions should be set back from the verandah and front rooms of the existing dwelling, and repeat roof forms and other significant elements. The front elevation should not be substantially altered or overshadowed.

Side extensions should preserve gable and verandah fronts, and steeply pitched roofs.

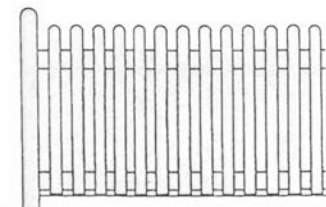
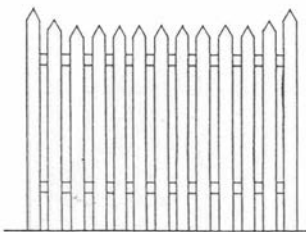
#### 4.0 FENCES AND GATES



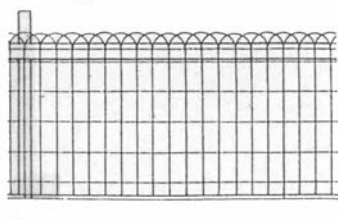
*Masonry & cast iron fence*



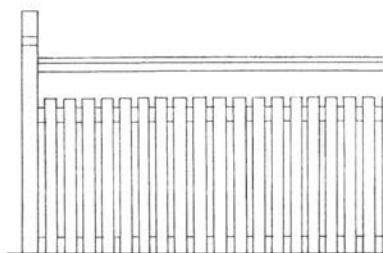
*Timber dowel*



*Timber pickets with round or pointed tops & posts*



*Woven crimped wire*



*Timber paling with timber top rail*

Original fences and gates should be retained and reinstated where possible. Where evidence regarding the original fence is not available, a fence sympathetic to the style of the dwelling on the site to be fenced should be erected. Except on the frontage to an arterial road, the erection of high walling in concrete, masonry or timber is not appropriate where it is liable to obscure a dwelling from the street, or disrupt the existing open landscaped character of the locality.

Relatively low and open fencing is appropriate to enable visually attractive detailing of the design of a dwelling to remain visible from a road. Solid side fencing should be built of traditional materials such as timber, corrugated iron (pre-painted if desired), brush or well-detailed masonry.

Typical traditional types of fences for house periods are:

Pre 1880 Cottages

- Timber picket
- Simple masonry and cast iron palisade
- Timber dowelling

1880-1900 Victorian Houses and Villas

- Timber picket or dowelling
- Masonry and cast iron palisade
- Corrugated iron or mini orb within timber framing

1900-1920 Edwardian houses

- Timber picket or dowelling
- Timber paling with timber top rail
- Corrugated iron or mini orb within timber framing

1920s-1930s Between the Wars houses (Bungalows, Tudors, State Bank, Housing Trust)

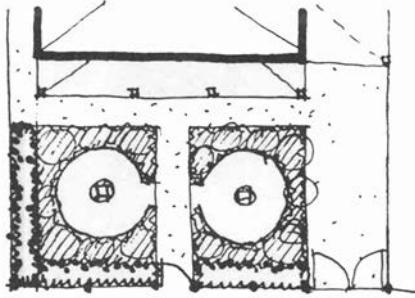
- Wire mesh with timber or galvanised tube framing
- Woven crimped wire
- Masonry with galvanised steel ribbon
- Brick to match house detail
- Timber paling with timber top rail

Post 1940s

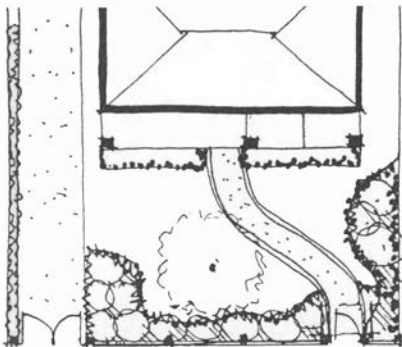
- Masonry base with wrought steel top band
- Wire mesh with timber or tube framing

Fences along new driveways created by land division should also be low and open, until the side return of the existing dwelling. Hedges could also be used to mark the new property boundary and driveway.

## 5.0 GARDENS



*Typical Victorian garden layout*

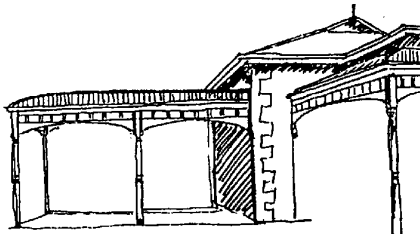


*Typical 1920s garden layout*

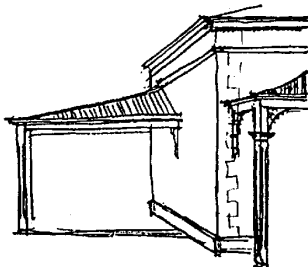
Mature landmark trees, for example, of the species *araucaria*, should be retained. Planting of native species of trees close to buildings is not appropriate and may be hazardous to old buildings in highly reactive soils.

Established garden areas of significance should be retained. The garden style should be designed to suit the period of the house.

## 6.0 CARPORTS AND GARAGES



*Double Carport - with bullnose roof*



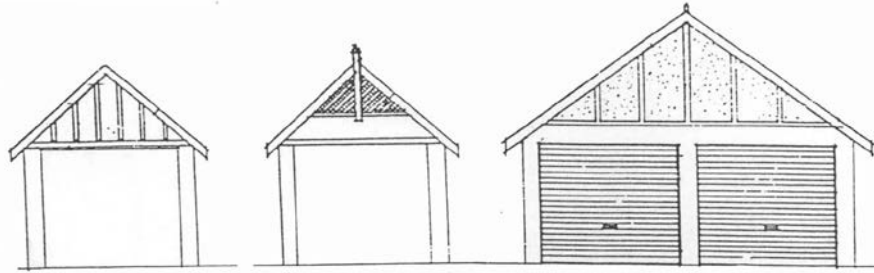
*Single Carport - with convex roof*

The design of new carports or garages attached to a dwelling should be an integral part of the character of the existing building, reflecting existing materials, forms, colours and detailing.

Any carport attached to the side of a house should be carefully sited in order not to obscure the front elevation and verandah form of the residence. A flat-roofed carport near to or in front of the facade of a dwelling is not appropriate.

Retention of original garages is encouraged, if these remain. A new free-standing garage should generally be located to the rear of the existing dwelling, with access past the side of the house or by a rear lane.

Front verandah extensions for carports and garages are inappropriate.



*Free standing garages or carports with pitched roofs,  
and appropriate detailing to suit early twentieth century housing*

## 7.0 NEW RESIDENTIAL DEVELOPMENT GUIDELINES

It is not intended to create new buildings which look old in the Policy Areas of the Historic Conservation Zone. New building design should be complementary to the heritage character of adjoining buildings and the surrounding area by relating sympathetically to the established character of the street, and the historic period of subdivision and development.

Note: Each Policy Area has specific minimum site area requirements

The following matters should be considered:

### Scale, proportions and mass

The height, proportions and mass of any new development should reflect such elements predominant in the immediate area. The height of eaves of the ground floor level of a dwelling should be similar to the height of the eaves of any adjoining dwellings which contribute significantly to the historic character of the area. Two-storeyed dwellings may therefore be appropriate adjacent to dwellings which contribute significantly to the historic character of an area if elements of the form, scale and building height of the new building are compatible with those existing dwellings. A second storey incorporated in the roof space can often assist in achieving compatible heights.

### Materials, colours and details

The materials, colours and detailing used on new development should relate to the adjacent buildings and the surrounding area. Materials of a traditional kind, such as stone, red brick and rendered masonry, should be used to complement the materials used in buildings contributing significantly to the historic character of the area. The use of imitation cast iron decorative elements, or stone or slate veneer used to resemble stone is not appropriate.

### Siting and setback

The set-back of a dwelling from a street should match any consistent or generally consistent set-back of existing dwellings in order to maintain the traditional arrangement of buildings in the road concerned.

New development should not visually obscure views or sight lines to nearby heritage places.

The relative location of two or more dwellings on a site or adjoining sites should ensure that the traditional pattern of development is maintained.

### Openings, Windows and Doors

The proportions and spacing of door and window openings should relate to those of adjacent heritage places and the surrounding residential character. Openings in walls adjacent to a road frontage should generally have proportions similar to those of existing dwellings which contribute significantly to the historic character of the area.

Materials used for framing openings should be of traditional or complementary materials. In masonry buildings, simple rendered surrounds of windows and doors are preferable to elaborate projecting quoins.

Large areas of reflective glass are generally not appropriate in Historic Conservation Zones.

### Verandahs

A front verandah should be incorporated into the design of a new dwelling, if this is a predominant element in the character of the Historic Conservation Zone Policy Area in which the new dwelling is to be located.

### Roof form and materials

Corrugated iron roofing, which may be pre-painted, and terra cotta tiles should be used in preference to concrete or metal tiles. New tiling may be used if the type is carefully selected to harmonise with nearby roofing. The predominant pitch of roofs in the area, on buildings which contribute significantly to the historic character of the area should be repeated. This will generally be between 27 and 45 degrees, and new development should reflect the appropriate pitch.



### Design of Semi-detached Dwellings

The design of semi-detached dwellings should be consistent with the guidelines for the erection of new buildings and should reinforce the historic character of the Policy Area.

## TABLE Bur/2

### Schedule Of Local Heritage Places

In the following Table S23(4) Criteria refers to the following criteria for designation of a place of local heritage value pursuant to Section 23(4) of the Development Act:

- (a) it displays historical, economic or social themes that are of importance to the local area; or
- (b) it represents customs or ways of life that are characteristic of the local area; or
- (c) it has played an important part in the lives of local residents; or
- (d) it displays aesthetic merit, design characteristics or construction techniques of significance to the local area; or
- (e) it is associated with a notable local personality or event; or
- (f) it is a notable landmark in the area; or
- (g) in the case of a tree (without limiting a preceding paragraph) – it is of special historical or social significance or importance within the local area.

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
<b>AULDANA</b>			
<b>578 The Parade</b>	<b>Skye Cellars</b> External form and original materials of rear sections of two storey cellar building. Key features include simple warehouse form, wide door openings to ground floor, arched windows to upper level, masonry walls later painted and rendered. Excludes front (west) concrete block section.	5801/840	a, b, c, d, e
<b>BEAUMONT</b>			
<b>Beaumont Common</b>	<b>Reserve</b> Entire reserve and its undeveloped character, including the following significant trees: all <i>Eucalyptus microcarpa</i> (Grey Box) and <i>Eucalyptus leucoxylon</i> (South Australian Blue Gum) trees; <i>Araucaria bidwilli</i> (Bunya Pine) located approximately five metres south of northern boundary and 30 metres east of Sturt Place.	3670/85	a, c, e, f
<b>Caithness Avenue</b>	<b>Quarrying Monument</b> The form and fabric of the 1975 sandstone monument and metal plaque.	Road Reserve	a, e
<b>26 Cooper Place</b>	<b>House – Holly Grange</b> The external form and fabric of the original 1860s bluestone house, including square tower and decorative features. Does not include front fence.	5840/750 5869/985	a, d
<b>1 Dashwood Road</b>	<b>House and Trees</b> The external form and fabric of the c1877 stone residence and 1912/1929 additions. Notable trees include <i>Araucaria heterophylla</i> (Norfolk Island Pine) tree approximately 20 metres north-northeast of walkway entrance and 20 metres north of Dashwood Road; <i>Eucalyptus microcarpa</i> (Grey Box) tree approximately two metres north of Dashwood Road and four metres west of eastern boundary, <i>Eucalyptus citriodora</i> (Lemon scented Gum) approximately three metres south of northern boundary and ten metres east-southeast of Council reserve; Old Pear Tree. (Note: The stone Barn located on this site is listed on the State Heritage Register. Refer Table Bur/3)	5773/652	a, d, e, f
<b>10 Fernleigh Avenue</b>	<b>House - Fernleigh</b> External fabric and form of the 1882 stone villa with 1920s detailing. Key features include the Tuscan column verandah supports, Marseilles tile roof, rendered chimneys and notable basement floor with arched detailing.	5105/130	a, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
<b>7 Green Gate Crescent</b>	<b>House</b> External form and fabric of the 1906 residence. Key features include face bluestone walls, tall chimneys, eaves brackets, roof with ventilating gables and return verandah. Later extensions are excluded.	5286/748	a, d
<b>John Cleland Drive</b>	<b>Trees - Davenport Olive Groves</b> Row of Olive trees ( <i>Olea europea</i> ) planted in 1864 by Sir Samuel Davenport and identified by a plaque.	4060/239	a, b
<b>46 Katoomba Road</b>	<b>House - Crechan</b> External form and fabric of the 1920s Gentleman's residence. Key features include gabled roof form, deep verandah, verandah supports and walls and timber joinery. Mature plantings including large Ash trees and Pines contribute to the setting of the building.	5205/151	a, d
<b>4 Lascelles Avenue</b>	<b>House - Sunnyside</b> External form and fabric of the 1880s two storeyed stone mansion. Key features include stone walls, decorative ironwork, roof form and chimneys.	5647/737	a, d, e
<b>6 Schebella Court</b>	<b>House - Karryerta</b> External form and original fabric of circa 1860 cottage. Key features are face bluestone walls, low scale roof to earliest section and verandah incorporated in roof line. Later alterations are excluded.	5161/800	a, d
<b>10 Sunnyside Road</b>	<b>House – Sunnyside Lodge</b> External form and fabric of stone lodge and associated entrance gates, gate piers and stone wall. Key features include bluestone walls, brick dressings and chimneys and drystone front boundary wall.	5104/852	a, d, e
<b>38 Sunnyside Road</b>	<b>House</b> External form and fabric of the 1930s cottage, excluding front porch and pergola. Key features include masonry walls, timber joinery, corrugated iron roof and modest appearance.	5741/434	a, e
<b>7 The Common</b>	<b>House</b> External form and fabric of 1930s gentleman's residence. Key features include the distinctive Cape Dutch Gables, rendered masonry walls, round headed windows, Marseilles tile roof and chimney caps, arched porch and brick gate posts.	5452/66	a, d, e
<b>14 The Common</b>	<b>House – Tower House and Retaining Wall</b> External form and fabric of the 1850s and 1880s components of the house, tower, and retaining wall facing the Common. Key features include bluestone walls, red brick quoins and dressings, red brick chimney, corrugated iron roof form, timber decorative detailing and gable vent.	5370/508	a, d, f
<b>BEULAH PARK</b>			
<b>221 Beulah Road</b>	<b>House - former Bakery</b> External form and fabric of circa 1870s industrial building. Key features include face bluestone wall, red brick quoining and window and door dressings, simple gable form of roof, and location and form of wall openings.	5312/543	a, c, d
	<b>House - former Corner Shop</b> External form and fabric of former corner shop and attached residence. Key features include face bluestone walls and concave verandah to residence and 1920s shopfront and verandah to shop.	5312/543	a, c
<b>236 and 238 Beulah Road</b>	<b>Houses</b> External form and fabric of the c1900 components of the house. Key features include red handmade brick walls, terracotta tile frieze and gable decoration, pitched corrugated iron roof with centrally placed chimney, front verandah and all decorative detailing.	(236) 5865/640 (238) 5587/628	a, d, e



Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
7 Douglas Avenue	<b>House – Peroomba</b> External form and fabric of the house, excluding recent additions. Key features include bluestone walls, red brick quoins, arched red brick portico entrance, decorative eaves brackets, corrugated iron roof form, chimneys, gable vent and timber joinery.	5650/137	a, d
36 Glyde Street	<b>House</b> External form and fabric of original brick and stone components of the c1880's cottage. Key features include bluestone façade, roof and verandah form and chimneys.	5405/821	a, b, d
26-32 Howard Street	<b>Row of Houses</b> External form and fabric of the original brick and sandstone components of the four residences. Key features include sandstone fronted facades, simple roof and verandah form and chimneys. Excludes verandah modifications and front fencing.	(26) 5760/176 (28) 5559/108 (30) 5239/937 (32) 5153/60	a, d
262 Magill Road	<b>Offices - former Shop and Residence</b> External form and fabric of the bluestone and brick components of the shop and attached residence. Key features include bluestone walls, red brick quoins and parapet.	5014/815	a, c, d
1 Mathilda Street	<b>House - former Warehouse</b> External form and fabric of two storey warehouse. Key features include simple gable form and paired window openings to front elevation. The adjacent new garage is excluded.	2803/120	a, c, e
3 Mathilda Street	<b>House - former Dance Hall</b> External form and fabric of former 1901 Dance Hall and later circa 1920s adaptations. Key features include face red brick walls and simple hall form.	5131/709-11	a, c, e
5-7 Mathilda Street	<b>Attached Houses</b> External form and fabric of the c1900 components of the house. Key features include red handmade brick walls, terracotta tile frieze and gable decoration, pitched corrugated iron roof with centrally placed chimney, front verandah and all decorative detailing.	(5) 5135/650 (7) 5135/651	a, d, e
230 Portrush Road	<b>House</b> External form and fabric of the original components of the sandstone mansion. Key features include sandstone walls, roof form and decorative detailing, projecting bays, cast iron verandahs and railings and decorative details.	5803/377	a, d, e
246 and 248 Portrush Road	<b>Attached Houses</b> External form and fabric of the c1900 components of the houses. Key features include red handmade brick walls, terracotta tile frieze and gable decoration, pitched corrugated iron roof with centrally placed chimney, front verandah and all decorative detailing.	(246) 5030/186 (248) 5030/187	a, d, e
250 Portrush Road	<b>House</b> External form and fabric of the c1900 components of the house. Key features include red handmade brick walls with terra cotta tiled bands, square entrance porch, pitched corrugated iron roof and pierced timber barge board	5408/171	a, d, e
278 Portrush Road	<b>House - former Clayton Memorial Church Manse</b> External form and fabric of single storey residence. Key features include sandstone walls, concave verandah and brick window and door dressings and quoining.	2645/188	a, d
287-289 The Parade	<b>Office – Heynes Nursery - former House</b> External form and fabric of the bluestone former house. Key features include bluestone walls, roof form and verandah and decorative details.	5589/743	a, e
297 The Parade	<b>Office - former House</b> External form and fabric of the 1880s components of the villa. Key features include sandstone façade, rendered bay fronted window, roof form, chimneys and decorative timberwork.	5364/964	a, d, e

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
309 The Parade	<b>Korean Presbyterian Church - former Primitive Methodist Church</b> External form and fabric of the bluestone Church. Key features include round headed windows, pedimented gable ends, bluestone walls and timber joinery.	5557/279	a, c, d
325-331 The Parade	<b>Shops – Ransom's Corner</b> External form and fabric of the 1920s components of the shops and attached residences. Key features include original shopfront features, remaining tiling and metal glazing bars, brick parapet with projecting pilasters and Ransoms Corner sign and suspended verandah.	5237/934 5237/935	a, b, c, d, e, f
15-15A, 17, 21 Union Street	<b>Houses</b> External form and fabric of the c1900 components of the house. Key features include red handmade brick walls, terracotta tile frieze and gable decoration, pitched corrugated iron roof with centrally placed chimney, front verandah, timber fascia boards, iron lace work and all decorative detailing.	(15-15A) 5787/654 (15A) (17) 5787/638 (21) 5107/279	a, d, e
9-11, 13, 15-17, 19 Vine Street	<b>Houses</b> External form and fabric of the c1900 components of the house. Key features include red handmade brick walls, terracotta tile frieze and gable decoration, pitched corrugated iron roof with centrally placed chimney, front verandah, timber fascia boards, iron lace work and all decorative detailing.	(9) 5037/537 (9-11) 5037/539 (11) 5037/538 (13) 5390/262 (15) 5261/316 (17) 2780/105 (19) 5326/975	a, d, e
<b>BURNSIDE</b>			
29 Chisholm Avenue	<b>House</b> External form and fabric of the original random stone cottage. Key features include bluestone walls, red brick dressings, corrugated iron roof form and chimney. Also includes mature red gum tree.	5616/706	a, d
Sec. 320 Glynburn Road	<b>Former Tram Poles</b> Form, and location of the former tram poles.	Road reserve	a, c, e
470 Glynburn Road	<b>House</b> External form and fabric of 1925 Bungalow style residence. Key features include face freestone walls, Kentish gabled verandah with stone and brick pillars and balustrade, strapped gable end.	5445/277	a, d, e
502 Glynburn Road	<b>Burnside Post Office</b> External form and fabric of the c1903 red brick post office. Key features include face red brick work, bull nosed verandah, timber eaves brackets, roof form and brick chimney.	5488/589	a, c, d
574 Greenhill Road	<b>House</b> External form and fabric of the c1885 bluestone symmetrical cottage, c1905 wing extension on the western side and front picket fence. Key features include bluestone walls, concave verandah, cast iron detail and balustrade, roof form and chimneys and mature red gums and conifers on the property.	5662/182	a, d
Lot 130 DP 10202 – (Adjacent 66 Hallett Road)	<b>Gate Posts – Andrews Walk</b> Form and fabric of gate posts. Two pairs of red brick pillars linked by low bluestone wall and cast iron palisade.	5718/232	a, d, e
1 High Street	<b>Burnside School Memorial Gates</b> Form and fabric of the 1928 memorial gates. Key features include glazed brick pillars, Marseilles tile roof and timber gates.	4191/640	a, d, e
28 High Street	<b>House</b> External form and fabric of the 1880 stone building. Key features include stonework, roof form, bay window and decorative detailing.	5418/60	a, d, e
35 High Street	<b>Shop – former Lockwood's Store</b> External form and fabric of the circa 1870s corner store. Key features include masonry walling, but not later adaptation or verandah elements.	2295/25	a, c, e, f

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
64 High Street	<b>House</b> External form and fabric of the 1878 stone villa. Key features include stone walls, return verandah, roof form, chimneys and decorative detailing.	5811/246	a, d, e
Hubbe Court	<b>Hubbe Court Reserve</b> Open Space; <i>Ficus macrophylla</i> (Moreton Bay Fig) tree approximately 20 metres north-northwest of parking bay kerb; <i>Magnolia grandiflora</i> (Evergreen Magnolia) tree approximately 30 metres north-northwest of parking bay kerb; <i>Eucalyptus camaldulensis</i> (River Red Gum) trees.	3559/187	a, b, c, e
56 Lockwood Road	<b>House – Undelcarra Lodge, Gateposts and Walls</b> Form and fabric of the c1880 former gate lodge, boundary walls and cast iron and masonry gate posts. Key features include sandstone walls, red brick dressings, timber joinery, arched entrance porch, roof form and chimney and decorative detailing.	5554/167 5589/668	a, d, e
88 Lockwood Road	<b>Burnside Christian Church and Chapel</b> External form and fabric of the 1939 red brick church building. External form and fabric of the 1899 front section of stone chapel. Key features of church include simple plan form, brick walls, stained glass windows and simple detailing. Key features of chapel front include bluestone walls and simple detailing.	5718/159	a, b, c, d
90 Lockwood Road	<b>House – Lockwood House</b> External form and fabric of the 1884 bluestone villa. Key features include symmetrical design, roof and verandah form, chimneys and decorative detailing.	5434/578	a, d
92 Lockwood Road	<b>House – Lockwood Cottage</b> External form and fabric of the bluestone cottage. Key features include single fronted design, bluestone walls, red brick dressings, roof and verandah form, chimney and decorative detailing.	5259/285	a, d
12A Moorcroft Court, (& Lot 16 Warren Street)	<b>Bridge &amp; Garden – formerly part of the Moorcroft Estate</b> Open Space; <i>Eucalyptus camaldulensis</i> (River Red Gum) trees; Stone bridge (on Second Creek Reserve).	3621/103; 4350/536; & adjacent road reserve	a, b, c, e
19 Nilpinna Street	<b>House– Ivymeade</b> External form and fabric of the 1870 two storey stone mansion. Key features include sandstone walls, arcaded lower level, mansard roof tower, roof and verandah form, chimneys.	5630/900	a, b, d, e
27 Nilpinna Street	<b>House – former Coach House to Ivymeade (19 Nilpinna St)</b> External form and fabric of former coach house. Key features include stone and brick work and utilitarian design and detailing.	5655/407 5651/854	a, b, d
1 Norwich Avenue	<b>House</b> External form and fabric of the 1877 stone residence (excluding the front pillars). Key features include symmetrical design, sandstone walls (excluding paintwork), chimneys and decorative detailing.	5058/77	a, d
6 Wyatt Road	<b>House, Outbuildings and Wall – Wimbourne</b> External form and original fabric of the 1883 residence and associated outbuildings and wall. Key features include stone walls, roof form, chimney.	5841/840	a, d, e
1A Young Street	<b>House</b> External form and fabric of two storey residence. Key features include Gorebat (concrete panels) walls, terra cotta tiled roof.	5654/871	d
8-18 Young Street	<b>Attached Houses – Knox Homes</b> External form and fabric of the 1929 set of three paired face brick residences. Key features include brickwork, peaked gables symmetrical, repetitive design, chimneys and chimney pots, leadlight windows and restrained detailing.	5477/442	a, b, e
11 Young Street	<b>Stone Wall – former boundary wall of The Waldrons</b> (known later as 'Moorcroft' and 'Erindale' – now demolished) Form, fabric and alignment of random stone wall.	5465/529	a, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
13 Young Street	<b>Stone Wall – former boundary wall of The Waldrons</b> (known later as 'Moorcroft' and 'Erindale' – now demolished) Form, fabric and alignment of random stone wall.	5749/538	a, d
36 Young Street	<b>House</b> External form and fabric of the 1850s cottage and 1880s extensions. Key features include random stone construction, symmetrical design, chimneys, sash windows and restrained detailing.	5796/235	a, d
<b>DULWICH</b>			
11 Cleland Avenue	<b>House</b> External form and fabric of the 1895 bluestone villa. Key features include bluestone walls, return verandahs, projecting front gable and decoration, chimneys, corrugated iron roof and its design which is the reverse of its neighbour at 15 Cleland Avenue.	5210/688	a, d
15 Cleland Avenue	<b>House</b> External form and fabric of the 1895 bluestone villa. Key features include bluestone walls, return verandahs, projecting front gable and decoration, chimneys, corrugated iron roof and its design which is the reverse of its neighbour at 13 Cleland Avenue.	5570/837	a, d
64A-68 Dulwich Avenue	<b>Shops</b> External form and fabric of the original shopfronts. Key features include the retail use, tiled stall boards and windows and door openings. Excludes continuous bull-nose verandah and modern parapet.	(64a)5102/417 (64b)5094/378 (66) 5401/484 (68) 5092/340	a, c
275 Greenhill Road	<b>House</b> External form and fabric of the 1886 bluestone villa. Key features include symmetrical design, bluestone walls, roof form and return verandah with cast iron detailing and semi-circular gable detail, chimneys and large window and door openings.	5872/358	a, d, e
1 Stuart Road	<b>House and portion of Garden – Dulwich House</b> External form and fabric of 1880 single storey residence. Key features include face stone walls, slate tiled roof and brick chimneys, verandahs with cast iron trim and expansive garden setting, but not including that part of the garden situated within 25 metres of the western boundary of the allotment.	5894/985	a, d
5A-5H Stuart Road	<b>Shops</b> External form and fabric of the original shopfronts. Key features include the retail use, tiled stall boards and window and door openings. Excludes continuous bullnose verandah and modern parapets.	A 5093/894 B 5091/244 C 5091/245 D 5092/335 E 5092/336 F 5092/337 H 5094/346	a, c
20 Stuart Road	<b>Shops/Offices – Melba - former Lodge and Picture Theatre</b> External form and fabric of the 1902 brick building. Key features include rendered parapet detail, ornate metal awning brackets, leadlight glass, metal shopfront details and marble threshold and steps.	5758/266	a, c, d
<b>EASTWOOD</b>			
22 Elizabeth Street	<b>House</b> External form and fabric of the c1800 sandstone and brick cottage. Key features include simple design and roof form and eaves brackets. Excludes 1999 detached dwelling and carport at rear of cottage.	5506/707	a, d, e
27-31 Glen Osmond Road	<b>Shops</b> External form, fabric and function of the 1920s row of four shops. Key features include original stall board tiling and shop window surrounds, shop front configuration, suspended awning and parapet.	5205/546 5205/547 5205/548	a, c, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
33-37 Glen Osmond Road	<b>Shops</b> External form, fabric and function of the 1878 row of three shops. Key features include shopfront configuration and timber window frames and doors. Excludes cladding of the shopfronts, awning and awning sign.	5361/151	a, b, c
39 Glen Osmond Road	<b>Shop and House</b> External form and function of the 1880 two storey building. Key features include the configuration of the shop/residence and two storey verandah element. Excludes extension on southern side and cladding on the shopfront.	5361/151	a, c
41 Glen Osmond Road	<b>Shop/Office</b> External form, fabric and function of the 1882 former shop. Key features include the original shop window configuration, bluestone walls, incised quoins, parapet detail and the configuration of the reconstructed verandah.	5303/405	a, b, c, d
43 Glen Osmond Road	<b>Office - former Shop and Attached Residence</b> External form and fabric of the 1880s former shop and residence. Key features include the configuration of the shop and residence, roof form and chimney and parapet detail.	5329/14	a, d
47 Glen Osmond Road	<b>Nursing Home – Anaster - former Residence</b> External form and fabric of the 1877 bluestone building. Key features include projecting gable ended wings and bay windows, Bluestone walls, rendered dressings and prominent chimneys. Excludes aluminium tile roof cladding and extensions to the original house.	5666/629	a, d
71 Glen Osmond Road	<b>Office - former Shop and Residence</b> External form and fabric of the 1884 two storey building. Key features include rendered Italianate façade and stone walls.	5349/857	a, c, d
73-79 Glen Osmond Road	<b>Row of Shops and Residences – Hogg's Buildings</b> External form and fabric of the 1884 row of two storey shop/residences (excluding the rear of the building). Key features include parapet and central pediment, chimneys, upper level verandah, French timber doors and the lower level verandah and shopfront configuration.	5158/619	a, d, e
81 Glen Osmond Road	<b>Shop</b> External form, fabric and function of the 1910 shop. Key features include original shopfront and parapet.	5355/830	a, c, d
95 Glen Osmond Road	<b>Eastwood Community Centre - former Chapel</b> External form and fabric of the 1880 stone building and painted brick wing additions. Key features include pitched roof form, stone walls, leadlight windows and rendered dressings.	5830/111 5841/467	a, c, d
97-99 Glen Osmond Road	<b>Attached Shops</b> External form and fabric of the 1883 attached pair of masonry shops. Key features include rendered parapet detailing and verandah form and spandrel ends.	5174/403	a, c, d
23 John Street	<b>Original House</b> External form and fabric of the c1882 bluestone cottage. Key features include original cottage form, bluestone walls and chimney. Excludes brick front fence and rear brick extension.	5465/392	a, d
28 John Street	<b>House</b> External form and fabric of the 1882 single fronted sandstone cottage. Key features include sandstone walls, brick-edged ventilators, scalloped bargeboards and verandah form.	5326/153	a, d
35 John Street	<b>Original House</b> External form and fabric of the 1882 double-fronted bluestone cottage. Key features include roof and verandah form, chimneys and bluestone walls. Excludes rear extension and front fence.	5125/288	a, d
1 Main Street	<b>Shop</b> External form and fabric of the early masonry commercial building. Key features include simple form and parapet detailing.	5886/417 5886/416	a, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
3 Main Street	<b>House</b> External form and fabric of the 1880 bluestone cottage. Key features include roof and verandah form, chimneys and decorative detailing. Excludes front fence.	5260/393	a, d
35 Main Street	<b>House</b> External form and fabric of the 1883 sandstone cottage. Key features include roof and verandah form and sandstone walls.	5270/872	a, d
41 Main Street	<b>House</b> External form and fabric of the 1883 bluestone cottage. Key features include roof and verandah form and sandstone walls.	5108/90	a, d
<b>ERINDALE</b>			
446 Glynburn Road (cnr Roslind Street)	<b>Stone Wall – former boundary of the now demolished 'Moorcroft', formerly 'The Waldrons'</b> Form, fabric and alignment of 1875 random stone boundary wall.	5745/328	a, d
4 Lock Avenue	<b>House</b> External form and fabric of 1912 bungalow. Key features include face red brick and render walls, terracotta tiled roof, brick and timber elements to verandah and tall, masonry chimneys with chimney pots.	5155/908	a, d
20 Lockwood Road	<b>House</b> External form and fabric of 1938 two storey inter-war functionalist residence. Key features include painted rendered masonry walls, metal framed windows with tiled sills, semi-circular front bay window.	5255/475	a, d
<b>GLEN OSMOND</b>			
Ashley Avenue	<b>Park - former gardens of 'Benacre'</b> Open space and plantings within the park. Key feature is the <i>Melia azeradach</i> (White Cedar) tree approximately ten metres north of Ashley Avenue kerb.	3727/99	a, b
1A Ashley Avenue	<b>House ('Benacre Mews, former coach-house to 'Benacre')</b> External form and fabric of the 1869 bluestone former coach house. Key features include symmetrical configuration, bluestone walls, sandstone dressings, and chimneys.	5477/240	a, b, d, e
1 Benacre Close	<b>Benacre Fence and Gate Posts</b> Form, fabric and location of the 1870s masonry and render gateposts and cast iron fence and plinth. <i>(Note: 'Benacre' is entered in the State Heritage Register. Refer Table Bur/3).</i>	5384/662	a, d, f
4 Blyth Street	<b>House</b> External form and fabric of the pre 1850 four roomed core of the masonry cottage. Key features include its low scale and early wall materials.	5260/550	a, e
8 Blyth Street	<b>Woodley Mine Shaft</b> Opening to early mine shaft associated with Glen Osmond Mine <i>(Note: Glen Osmond Mine is entered in the State Heritage Register. Refer Table Bur/3).</i>	5283/978	a, c, d
32 Fowlers Road	<b>House – Warrawee</b> External form and fabric of the 1898 painted bluestone house. Key features include masonry walls and rendered quoins. Excludes later extensions and paint to bluestone walls.	5340/930	a, d
Lot 7 Jikara Drive	<b>Open Space and Adit Entrance GV Allen Mining Reserve</b> Reserve and adit associated with Wheal Augusta Mine. Key features include the adit entrance, bluestone walls, railway tracks and interpretive signs.	5704/923	a, d, e
Lot 26 Mount Barker Road	<b>Wheal Augusta Mine Site</b> Adits and mine workings associated with Wheal Augusta Mine.	5840/819	a, c, d, e

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
32 Myrona Avenue	<b>House – Glen Holme</b> External form and fabric of the bluestone house. Key features include face bluestone walls with brick quoining and window and door dressings, face red brick chimneys, and timber verandah posts and joinery.	5170/938	a, d
548 Portrush Road	<b>Abergeldie Hospital</b> The external front façade of the 1860-1870s two storey stone mansion only. Key features include the Italianate square tower and square ridge cresting, roof and verandah forms and decorative detailing, bluestone walls and rendered dressings. Excludes hospital extension at rear and side.	5084/760	a, d, f
594 & 596 Portrush Road	<b>St Saviour's Hall and Rectory</b> External form and fabric of the 1883 stone dwelling and 1898 stone and brick hall. Key features include stone and brickwork, roof form, roof vents, chimneys and decorative detailing. Excludes additions to the northern side of the hall.	3815/47 3716/112	a, c, d
5A Pridmore Road	<b>St Saviour's Cemetery</b> Original extent of 1850s cemetery reserve and all early gravestones and monuments, planting and fencing.	3815/47	a, c, d, f
Pridmore Road (adjacent to 5A)	<b>St Saviour's Cemetery Hitching Rail</b> Form, fabric and location of the timber post and rail structure and metal rings.	Road Reserve	a, b, f
637 Portrush Road	<b>Queens Lane Reserve</b> Open space, retaining bluestone wall and trees.	5855/795	a, e
Sunnyside Road	<b>Stone Quarry</b> Extent of original 1850s freestone quarry, associated with mining activities	Road Reserve	a, f
83 Sunnyside Road	<b>Victoria Shaft Site</b> Not accessible, on private land	5142/128	a
Sunnyside Road	<b>O G Main Shaft Site</b> Location of Shaft site in road reserve	Road Reserve	a
16 Vine Lane	<b>House</b> External form and fabric of the 1856-1882 stone cottage. Key features include roof form and slate cladding, verandah form and cast iron frieze.	5096/962	a, d
16A Vine Lane	<b>House - former Stables</b> External form and fabric of the c1880s bluestone building, excluding extensions to the rear and side.	5337/405	a, d, f
9 Woodley Road	<b>House, Fence and Gates – Arranmore</b> External form and fabric of the 1885 single storey bluestone mansion, entrance gates, lamps and fence. Key features include bluestone walls, rendered dressings, cast iron verandah details, roof form and chimneys. Excludes extensions to the rear and side.	5886/554	a, d
12 Woodley Road	<b>House</b> External form and fabric of the 1885 single storey bluestone mansion. Key features include projecting gable wing, bluestone walls, roof and verandah form and decorative detailing.	5163/712	a, d
<b>GLENSIDE</b>			
1A Allinga Street	<b>Knoxville Bible Church and Trees</b> External form and fabric of 1886 octagonal church building. Key features include corrugated iron roof with central ventilator, dormer windows with stained glass, rendered masonry walls with cast iron vents and timber doors. Also includes trees on site, eucalypts and conifers.	5869/417	a, d
1 Conyngham Street	<b>Water Tower</b> External form and fabric of the 1946 circular reinforced concrete structure.	5757/769	a, c, f

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
20 L'Estrange Street	<b>House</b> External form and fabric of the 1885 bluestone and brick dwelling. Key features include bluestone walls, brick dressings, concave verandah, roof form and chimneys and gable end wing.	5316/655	a, d
37 L'Estrange Street	<b>House</b> External form and fabric of the 1914 pressed metal clad cottage. Key features include pressed metal cladding and roof and verandah form.	5593/898	a, d
<b>GLENUNGA</b>			
32 Bevington Road	<b>House</b> External form and fabric of the 1923 sandstone dwelling. Key features include rock face freestone walls, roof form and materials and sandstone tapered chimneys.	5841/874	a, d
51 Bevington Road	<b>House and Fence</b> External form and fabric of the c1930 rendered masonry dwelling. Key features include the unusual design, projecting segmental bay to the front elevation, gabled entrance porch, roof form and ventilators, decorative detailing and random bluestone front fence.	5420/306	a, d
8 Dalaston Avenue	<b>House and Fence</b> External form and fabric of the 1925 brick bungalow and front brick fence. Key features include brick walls, circular verandah columns and decorative detailing, Marseilles tile roof, gablet and chimneys.	5656/957	a, d
7 Fowlers Road	<b>House and Fence</b> External form and fabric of the 1939 two storey red brick residence. Key features include the red brick walls, Marseilles tile roof, tall brick chimneys, timber windows and decorative detailing.	5093/857	a, d
27 Fowlers Road	<b>House</b> External form and fabric of the c1900 sandstone house. Key features include sandstone walls and roof form and chimneys. Excludes later alterations.	5722/641	a, d, e
Kingsley Avenue	<b>Row of Date Palms</b> Location and alignment of the fourteen mature Canary Island Date Palms.	Road Reserve	a, f
595 Portrush Road	<b>House – Rosebank</b> External form and fabric of the 1898 single storey bluestone mansion (excluding the 1930's extension). Key features include face bluestone and brick detailing to openings and vents, verandah form linking the two gable ended projecting wings, and decorative timber detailing.	5831/392	a, d
<b>HAZELWOOD PARK</b>			
Lot 525 Doonoon Avenue	<b>CAFHS Building</b> External form and fabric of small masonry health centre. Key features include red brick walls, random coursed sandstone, terracotta tiled roof.	738/90	a, b, c
Lot 525 Doonoon Avenue (Wood Park Reserve)	<b>Olive Crusher Monument</b> All elements of the monument including crushing stones and book leaf slate supports to cross beam and wheel.	738/90	a, e
Adj. 518 Greenhill Road	<b>Trees</b> Two <i>Ficus macrophylla</i> (Moreton Bay Fig) trees on road reserve approximately 60 metres west of Lancelot Avenue.	Road Reserve	a, e
518 Greenhill Road	<b>Linden Lodge</b> External form and fabric of the circa 1860s original gate house to Linden. Key features include bluestone walls, rendered quoins and window dressings, slate roof.	5744/307	a, d
Hazelwood Avenue	<b>Brick Bridge, Stone Abutments and Walls</b> Form and construction of double arched brick bridge and riverstone abutments, random stone wing walls crossing First Creek within Hazelwood Park Reserve.	Road Reserve	a, d



Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
20 Howard Terrace	<b>House</b> External form and fabric of 1884 cottage. Key features include sandstone walls, brick quoining and bellcast roof to simple verandah form.	5877/848	a, d
52,54,56 Knightsbridge Road	<b>Houses</b> External form and fabric of row of three 1880-1890 cottages. Key features include bluestone walls, bull-noses verandahs, corrugated iron roofs and symmetrical form.	(52) 5831/676 (54) 5193/182 (56) 5194/391	a, d
62,64 Knightsbridge Road	<b>Houses</b> External form and features of pair of circa 1885 cottages. Key features include bluestone walls, and verandah with bell cast roof form and cast iron trim.	(62) 5445/336 (64) 5826/203	a, d
10 Olive Grove	<b>House</b> External form and fabric of two storey 1940 residence. Key features include Art Deco/Moderne detailing including front windows with curved front glass and rounded corners, incised lines in render detailing and render finish to walls.	5125/650	a, d
<b>KENSINGTON GARDENS</b>			
29 Brigalow Avenue	<b>Kensington Gardens Uniting Church</b> External form and fabric of 1915 chapel. Key features include simple plan form, face sandstone walls, simple render detailing and projecting sandstone porch.	5176/931	a, c, d
61 Cuthero Terrace	<b>House</b> External form and fabric of residence. Key features include steeply pitched Marseilles tiled roof, projecting gables, face red brick walls with rendered base, and simple timber verandah detailing.	5123/795	a, d, e
16 East Terrace	<b>St Edward The Confessor Anglican Church</b> External form and fabric of church (excluding the front western elevation). Key features include face red brick front wall, and rendered and brick side walls.	5786/378	a, c
38 East Terrace	<b>House</b> External form and fabric of 1915 bungalow. Key features include sandstone walls with red brick detailing, timber joinery, steeply pitched corrugated iron roof with roof gablets and brick chimneys.	5698/827	a, d
300 Glynburn Road	<b>Tree</b> Holm Oak ( <i>Quercus ilex</i> ) tree approximately two metres from eastern boundary and four metres from northern boundary.	5673/350	a, f, g
344 Glynburn Road	<b>House</b> External form and fabric of 1917 two storey residence. Key features include rendered masonry walls, terracotta tiled roof form, and leadlight windows.	5556/456	a, d
364 Glynburn Road	<b>House</b> External form and fabric of 1929 two storey gentlemen's residence. Key features include classical elements including square and Tuscan columns, projecting two storeyed verandah portico, and Marseilles tiled roof.	5518/933	a, d
372 Glynburn Road	<b>House</b> External form and fabric of 1925 single storey bungalow. Key features include rock face sandstone walls, Marseilles tiled roof and projecting gables in roof form.	5512/126 5572/352	a, d
416 Magill Road	<b>House and Shop</b> External form and fabric of 1920s shop and attached house. Key features include detailed parapet, brown glazed brickwork (painted and unpainted), original elements of shopfront and slate threshold, and terracotta tiled roof to shop and house.	5294/273	a, b, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
444 Magill Road	<b>House - Brentnall</b> External form and fabric of 1910 single storey residence (excluding the front gates and the recent additions to the southern and eastern elevations). Key features include sandstone walls, cornered turret and timber fretwork and balustrade to verandah.	5779/968	a, d
470 Magill Road	<b>House</b> External form and fabric of 1930 single storey residence. Key features include Tudor styled high pitched gabled Marseilles tiled roof, pillow faced sandstone walls, arched verandah and entrance porch openings.	5243/573	a, d
472 Magill Road	<b>House</b> External form and fabric of 1930 single storey residence. Key features include Tudor styled high pitched gabled Marseilles tiled roof, pillow faced sandstone walls, and verandah support columns.	5734/435	a, d
37 Myall Avenue	<b>House</b> External form and fabric of 1913 residence. Key features include cast concrete walls and square pillar verandah supports, and expansive roof form with gable projections.	5766/631	a, d
48 Myall Avenue	<b>House</b> External form and fabric of 1918 single storey bungalow. Key features include single ridge form roof with Marseilles tiles, flat projecting dormer window, brown glazed bricks at base of verandah, face red brick walls and weatherboard gable ends.	5803/880	a, d
23 Roslind Street	<b>Former Coach House</b> External form and fabric of 1885 Coach House and 1920s elements. Key features include face sandstone and rendered walls, brick quoins, window dressings and gable end detailing, render wall sections to projecting central 1920s porch, and corrugated iron roof.	5649/280	a, d
14 South Terrace	<b>House</b> External form and fabric of 1921 gentlemen's residence including face red brick walls, expansive terracotta tiled roof form, and column verandah support.	5066/179	a, d
420- 432 The Parade	<b>Kensington Gardens Reserve</b> Extent of reserve. Key features include natural bushland including creek, mature <i>Eucalyptus camaldulensis</i> (River Red Gums), exotic planting and sporting facilities.	5816/159	a, c, e, f
420 The Parade	<b>Tram Switching Station</b> External form and fabric of small c1910 masonry structure. Key features include face brick walls with masonry band, terra cotta tiled roof with timber brackets, and timber doors.	5816/159	a, c, d
421 The Parade	<b>House</b> External form and fabric of 1919 two storeyed residence (excluding trees and all recent extensions). Key features include sandstone and rendered walls, Marseilles terracotta tiled roof, large overhanging verandah gables and eaves.	5719/804	a, d, e
439 The Parade	<b>House</b> External form and fabric of 1912 residence. Key features include complicated roof form of Marseilles tiled roof, projecting gables within roof, verandah with timber posts and fretwork, and brick walls.	5826/477	a, d
31 West Terrace	<b>House</b> External form and fabric of 1916 Spanish Mission style residence. Key features include expansive floor plan, semi-circular terracotta roof tiles, low pitched roof, chimneys with tiled capping, arcaded front elevation, column supports for vaulted arcades, timber joinery and solid shutters, timber gate posts and wrought iron entrance arch.	5451/984	a, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
<b>KENSINGTON PARK</b>			
<b>6 Alpha Street</b>	<b>Former Bus Depot</b> External form and fabric of former bus depot. Key features include face red brick walls, heavy concrete lintels, timber entrance and simple industrial form to Alpha Street.	5115/7	a, e
<b>8 Alpha Street</b>	<b>House and Front Fencing</b> External form and fabric of 1883 stone residence. Key features include hipped roof form, concave verandah, stone walls, cast iron and masonry fence with masonry capped pillars.	5514/282	a, d
<b>10 Alpha Street</b>	<b>House and Front Fencing</b> External form and fabric of 1883 stone residence. Key features include hipped roof form, concave verandah, stone walls, cast iron and masonry fence with masonry capped pillars.	5206/273	a, d
<b>8 Desaumarez Street</b>	<b>House</b> External form and fabric of 1895 bluestone residence. Key features include asymmetrical plan, bluestone walls, ornate rendered window dressings to front gable, bull-nose return verandah and cast iron verandah posts and trim.	5202/769	a, d
<b>9 Desaumarez Street</b>	<b>House</b> External form and fabric of 1897 residence. Key features include symmetrical plan, bluestone walls, bull-nose front verandah with central gable detail, and cast iron trim to verandah.	5125/233	d
<b>347 Glynburn Road</b>	<b>House - Halton Brook</b> External form and fabric of early residence including 1840s and 1860s sections. Key features include masonry walls, late tiled roof, pointed arched wall vents and low chimneys.	5858/878	a, d, e
<b>365 Glynburn Road</b>	<b>House</b> External form and fabric of single storey section of residence. Key features include terracotta tiled roof and projecting verandahs, projecting gable detail with rough render and strapping, masonry walls and tiled window hoods.	5749/484	a, d
<b>381 Glynburn Road</b>	<b>House</b> External form and fabric of 1882 residence and front fence. Key features include sandstone walls and rendered masonry bay window element, corrugated iron roof, rendered window and door dressings and quoining, and masonry and cast iron fence to Glynburn Road.	5813/671	a, d
<b>2 Holden Street</b>	<b>House</b> External form and fabric of circa 1935 two storey brick residence. Key features include face red brick walls with rendered eaves panels and concrete tiled roof, projecting garage with roof deck, timber window and door joinery, and shutters.	5505/197	a, d, e
<b>21 McKenna Street</b>	<b>House</b> External form and fabric of 1956 residence. Key features include dressed Mount Gambier stone curved walls and flat roof.	5836/268	d
<b>3 Oval Terrace</b>	<b>House</b> External form and fabric of circa 1901 residence. Key features include face sandstone walls, gable end with timber bargeboard strapping and narrow fluted corrugated iron infill, timber joinery and rendered window and door surrounds and quoins.	5854/219	a, d
<b>4-5 Oval Terrace</b>	<b>Attached Houses</b> External form and fabric of attached pair of 1884 cottages. Key features include face bluestone walls, rendered door and window dressings and quoins, and face red brick chimneys.	5015/926 5015/927	a, d
<b>6 Oval Terrace</b>	<b>House</b> External original form and fabric of 1884 single fronted cottage. Key features include overall cottage and roof form. Later infill to verandah and additional decoration are not included.	5346/690	a, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
7-20 Oval Terrace	<b>Perth Cottages</b> External fabric and form of attached row of single fronted cottages. Key features include roof forms of stages of cottages including projecting parapet walls, face brick chimneys, projecting gables and corrugated iron roofing. Also sandstone and brick wall materials, details and dressing, and verandah forms.	5837/752 5807/498	a, d
27 Park Road	<b>House and Front Fence</b> External form and fabric of 1865 single storey residence. Key features include face bluestone walls, bull-nose verandah with cast iron posts and detailing embellished by timber barge boards and timber finials, masonry and cast iron fence.	5623/435	d
36 Park Road	<b>House</b> External form and fabric of 1903 residence. Key features include face sandstone wall, simple roof form and verandah. Later additions are not included.	5523/710 5523/865	a, d
40 Park Road	<b>House - Carlshurst</b> External form and fabric of 1884 two storey stone residence. Key features include sandstone walls, extensive return verandahs with cast iron posts and detailing, and sandstone and cast iron fence to Park Road, and gates to Pembroke Street.	5282/515	a, d
10-28 Shipsters Road	<b>Houses</b> External form and fabric of early 1880s row of cottages. Key features include face bluestone or sandstone front walls, simple verandahs and cast iron bracketing. Later extensions are excluded.	(10) 5702/835 (12) 5355/113 (14) 5139/883 (16) 5790/480 (18) 5091/747 (20) 5091/746 (22) 5759/443 (24) 5124/612 (26) 5221/52 (28) 5134/773	a, d
40-44 and 46-50 Shipsters Road	<b>Attached Houses</b> External original form and fabric of attached cottages. Key features include roof forms, brick walls and bluestone side walls. Reconstructed verandahs are excluded.	5400/289 5400/570	a, d, e
52-58 Shipsters Road	<b>Houses</b> Current external form and fabric of former ground floor of 1881 Kensington Hotel. Key features include original form of entrance to hotel, early timber joinery and face stone walls.	(52) 5425/169 (54) 5424/961 (56) 4366/682 (58) 4366/683	a, c, d, e
The Parade (near cnr Shipsters Road)	<b>Tram Pole</b> Form and location of former cast iron tram pole.	Road Reserve	a, c, f
341 The Parade	<b>House</b> External form and fabric of the 1870s sandstone Italianate villa. Key features include the design and face sandstone walling, rendered dressings, cast iron freize, decorative features, roof form and chimneys and unusual return verandah between the two projecting wings.	5815/820	a, d
342 The Parade	<b>House – Bills House</b> External form and fabric of 1890s two storey bluestone residence. Key features include substantial verandah areas, substantial encircling verandahs with cast iron trim to upper level and timber boarding to lower level, moulded rendered door and window surrounds and quoining, moulded chimneys, and projecting ground floor gable entrance porch with cast iron detailing.	5725/588	a, d, e
350 The Parade	<b>Kensington Park Reserve</b> Extent of reserve. Key features include upgraded grandstand and public facilities.	5292/398 5705/724	a, c, e, f
363 The Parade	<b>House</b> External form and fabric of 1899 residence. Key features include expansive asymmetrical plan, detailed moulding to chimneys, window and doors surrounds and quoining, bull-nose verandah with drum entrance on eastern verandah end and pierced timber bargeboards.	5101/815	a, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
379 The Parade	<b>House</b> External form and fabric of circ 1930 single storey residence. Key features include face brick walls, projecting bays, steeply pitched roof and gable profiles, arched and detailed brick entrance to gabled porch, semi-circular window openings to upper gables and matching brick fence.	5890/443	a, d
16 Toowong Avenue	<b>Flats, former house – Seaton</b> External form and fabric of two storey 1883 stone mansion. Key features included moulded detailing to eaves and gables, triple windows to both levels of projecting front wing, encircling verandahs with rear sections, cast iron columns, and cast iron frieze, bracketing and balustrading.	5094/1	a, d
1 Uxbridge Street	<b>House</b> External form and fabric of 1882 symmetrically fronted residence. Key features include face bluestone walls, early concave verandah with original timber mouldings on posts and cast iron frieze and bracketing, and eaves brackets.	5865/743	a, d
5,7,9 Uxbridge Street	<b>Houses</b> External form and fabric of three 1883 single fronted residences. Key features include render detail to elevations, ornate pediments with scrolled consoles and projecting sculptured faces at either end of simple convex verandah form, and rendered masonry walls.	(5) 5242/83 (7) 5232/965 (9) 5636/38	a, d
37-41 Uxbridge Street	<b>Houses</b> External form and fabric of three 1883 attached dwellings. Key features include asymmetric plan, projecting front gable with pierced bargeboards, concave verandah to southern wing, sandstone (painted) walls, and cast iron bracketing to verandah.	(37) 5004/958 (39) 5004/956 (41) 5004/957	a, d
3 Walsall Street	<b>House</b> External form and fabric of circa 1894 Italianate villa. Key features include segmental projecting bay, ornate coving to eaves, cast iron verandah detailing and cresting on projecting bay, paired octagonal chimneys with terracotta chimney pots and sandstone walls.	5807/1794	a, d
56 Yeronga Avenue	<b>House - Tarndamia</b> External form and fabric of 1900 residence. Key features include complicated roof form with projecting gables, encircling verandah with square columns, timber bracketing to gable ends, rough faced sandstone walls.	5257/355	a, d
<b>LEABROOK</b>			
419 Glynburn Road	<b>House - Dawley</b> External form and fabric of substantial 1905 gentlemen's residence. Key features include expansive terracotta tiled roof, projecting strapped gables, tiled verandah with paired column supports, semi-circular arched window element, central pitched dormer window, tall brick chimneys and brick walls.	5800/267	a, d, e
455 Glynburn Road	<b>Knightsbridge Baptist Church</b> External form and fabric of 1884-5 church. Key features include arcaded front porch, two storey front elevation with blind arcading and attached pilasters, face bluestone walls with rendered detailing, balustraded parapet, and overall plan.	5485/8	a, c, d, f
42 Godfrey Terrace	<b>House</b> External form and fabric of 1911 single storey residence. Key features include face sandstone walls, rendered door and window dressings, and verandahs.	5905/983	a, d
44 Godfrey Terrace	<b>House</b> External form and fabric of 1940 two storey inter-war functionalist dwelling. Key features include face yellow brick walls, curved front wing, metal framed windows and terra cotta tiled roof. Also includes brick and iron fence.	5728/111	a, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
252 Kensington Road	<b>Former Marryatville Primary School</b> External form and fabric of original 1880s school building. Key features include steeply pitched gabled roof with tall gabled elevations and projecting gable wing to Kensington Road boundary, tall brick chimneys with moulded detailing, brick banding and quoining, and verandahs and other elements.	5859/990	a, c, d, f
286 Kensington Road	<b>Kensington Park Uniting Church - former Methodist Church</b> External form and fabric of 1904 church building. Key features include face random bluestone walls, simple render detailing to semi-circular windows and entrance door, attached square pilasters and pedimented front gable.	5712/315	a, c, d, f
288 Kensington Road	<b>House</b> External form and fabric of 1904 residence. Key features include Marseilles tiled roof, projecting gables with strapping and rough render end, rock face sandstone walls, conical corner tower with slate tiled roof, verandah timber and cast iron detailing.	5531/84	a, d
336 Kensington Road	<b>Resthaven Retirement Village</b> Form and fabric of original 1909 bungalow. Key features include tower with castellated turret, tall brick chimneys, terracotta tiled roof incorporating gable ends and timber verandah detailing and balustrading. Later extensions are not included.	5664/536	a, d, e
3 Philip Avenue	<b>House</b> Form and fabric of 1964 section of residence. Key features include brick and timber wall cladding and low pitched roof.	5349/649	a, d, e
22 Philip Avenue	<b>House - former Police Station</b> External form and original fabric of 1884 residence. Key features include asymmetrical form and face sandstone walls.	5547/917	a, d
24 Philip Avenue	<b>House</b> External form and fabric of 1882 residence. Key features include asymmetrical plan with projecting bay and face sandstone walls.	5816/153	a, d
28 Rochester Street	<b>House</b> External form and fabric of 1896 residence. Key features include random bluestone walls, brick window and door dressings and chimneys, concave verandah and symmetrical form.	5812/955	a, d
39 Rochester Street	<b>House</b> External form and fabric of 1880s mansion. Key features include bluestone walling, projecting rendered bay, ornate rendered quoining, and ornate cast iron detailing to verandahs.	5813/692 5811/719 5816/799 5820/952 5838/972	a, d
28 Statenborough Street	<b>House - former School</b> External form and fabric of house and attached school room. Key features include masonry walls (rendered and face red brick), gable ended roof form and rendered chimneys. Later verandah detailing excluded.	5839/733	a, c, e
33 Statenborough Street	<b>House and Tree</b> External form and fabric of 1883 residence. Key features include stone walls with rendered quoins and projecting bay window. Concave verandah with cast iron detail. Also includes <i>Araucaria heterophylla</i> (Norfolk Island Pine) tree approximately eight metres north of Statenborough Street and approximately six metres east of western boundary (fence).	5563/155	a, d
47 Statenborough Street	<b>House - Craighuie</b> External form and fabric of 1880s two storey mansion. Key features include bluestone and brick walls, rendered masonry fenestration, projecting wing with square bay to ground floor with balcony above, projecting timber detailing to top of bay with circular vent, two level side verandah with timber detailing and expansive plan.	5303/925	a, d, e
The Parkway	<b>Bluestone Guttering and Kerbing</b> 1880s bluestone guttering and kerbing extending full length of The Parkway from Rochester Street to Knightsbridge Road.	(Road Reserve)	a, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
2-4 The Parkway	<b>Attached Houses</b> Overall external form and fabric of attached pair of 1880-2 residences. Key features include faceted bay window with moulded pilaster form divisions, bluestone and masonry walls, verandah continuation across front of pair, and symmetrical elevation.	(2) 5646/924 (4) 5221/171	a, d
5 The Parkway	<b>House</b> External form and fabric of 1883 residence. Key features include face stonework to side walls, rendered and painted front wall, timber joinery, rendered quoins and dressings, small projecting bay window and moulded chimneys.	5153/737	a, d
7 The Parkway	<b>House</b> External form and fabric of 1883 residence. Key features include continuous verandah with timber dentil trim, projecting bay window with pilaster form divisions, and corrugated iron roof.	5593/873	d, e
6-8 The Parkway	<b>Attached Houses</b> External form and fabric of attached pair of 1880-2 residences. Key features include faceted bay window with moulded pilaster form divisions, bluestone and masonry walls, verandah continuation across front of pair, and symmetrical elevation.	(6) 5236/806 (8) 5632/107	a, d
10-12 The Parkway	<b>Attached Houses</b> External form and fabric of attached pair of 1880-2 residences. Key features include faceted bay window with moulded pilaster form divisions, bluestone and masonry walls, verandah continuation across front of pair, and symmetrical elevation.	(10) 5448/586 (12) 5847/393	a, d
14-16 The Parkway	<b>Attached Houses</b> External form and fabric of attached pair of 1880-2 residences. Key features include faceted bay window with moulded pilaster form divisions, bluestone and masonry walls, verandah continuation across front of pair, and symmetrical elevation.	(14) 5283/910 (16) 5876/92	a, d
18-20 The Parkway	<b>Attached Houses</b> External form and fabric of attached pair of 1880-2 residences. Key features include faceted bay window with moulded pilaster form divisions, bluestone and masonry walls, verandah continuation across front of pair, and symmetrical elevation.	(18) 5211/204 (20) 5859/669	a, d
<b>LEAWOOD GARDENS</b>			
Old Bullock Track	<b>Unsealed Track - former Bullock Track</b> Extent of fire track between Waterfall Gully Reserve and Beaumont.	Road Reserve	a, e
<b>LINDEN PARK</b>			
Sec. 292 Greenhill Road	<b>Memorial</b> 1956 metal plaque on rock base in grass nature strip.	Road Reserve	a, e
<b>MAGILL</b>			
28 Briant Road	<b>Bennett's Pottery</b> Significant site: 1956 buildings and interpretive plaque.	5663/177	a, b, e, f
26 Chapel Street	<b>Morialta Uniting Church</b> External form and fabric of 1875 and 1882 church building. Key features include face bluestone walls, painted rendered door and window dressings, corner buttresses and finials, semi-circular and pointed arched openings to all walls, and small projecting porches. Excludes 1963 extensions.	4087/340	a, c, d, f
18 Ellis Street	<b>House</b> External form and original detailing of 1880s cottage. Key features include bluestone and brick front elevation and simple symmetrical form.	5370/803	a, d
20 Ellis Street	<b>House</b> External form and fabric of 1880s symmetrically fronted residence. Key elements include bluestone walls, timber joinery, eaves brackets and current verandah form.	5553/289	a, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
18 Jackson Street	<b>Cemetery and Trees</b> Cemetery monuments; Rows of <i>Pinus pinea</i> (Stone Pine) and <i>Pinus halepensis</i> (Aleppo Pine) trees along Jackson Street frontage and southern boundary.	5720/944	a, c, e
496 Magill Road	<b>The Bible Presbyterian Church</b> External form and fabric of 1866 chapel. Key features include pedimented gable end over front entrance porch, and pointed arch window and door openings. Later extensions are not included.	5781/460 5781/461	a, c, d
558 Magill Road	<b>Magill Community Centre - former Magill Primary School</b> External form and fabric of 1880s former school building. Key features include face sandstone and brick elevations, brickwork to pointed arched detail in gable end, coping mouldings and timber porch. Later window hoods are not included.	5413/887	a, c
572 Magill Road	<b>Soldier's Memorial</b> 1920s Obelisk and plinth in landscaped gardens.	5402/496	a, c, d, f
574 Magill Road	<b>Magill Grain Store</b> Form and fabric of original 1920s brick and iron grain store. Key features include front corrugated iron gable with painted lettering.	5353/660	a, c
6 Penfold Road	<b>House – Lentara</b> Form and fabric of c1910 two storey residence. Key features include face sandstone walls with rendred details, projecting front porch and balcony, verandahs with timber frieze and brackets.	5510/217	a, d, f
7 Penfold Road	<b>House</b> External form and original fabric of 1860s corner section of building. Key features include low scale roof and early joinery. The attached shop is not included.	5674/715	a, d
13 Penfold Road	<b>House</b> External form and original fabric of 1880 stone cottage. Key features include low scale and simple detailing and masonry walls which have been rendered.	5218/926	a, d
38 Penfold Road	<b>Former Seaview Champagne Cellars</b> External form and fabric of former champagne cellars, now offices. Key features include random stone walls, triple gable elevation to Penfold Road, brick quoining and detailing, horizontal banding and square gable end vents.	5305/890 5305/894	a, b, d, e, f
2 Pepper Street	<b>House</b> External form and original detailing of 1880s cottage. Key features include symmetrical frontage, and simple rendered quoining, window and door dressings. Later verandah is not included.	5417/119	a, d
4 Pepper Street	<b>House</b> External form and original fabric of simple symmetrical fronted cottage. Key features include simple verandah form, masonry walls and low roof scale.	5762/502	a, d
6 Pepper Street	<b>House</b> External form and fabric of symmetrical stone cottage. Key features include simple concave verandah, low scale masonry walls, painted quoining and door and window surrounds.	5265/329	a, d
10 Pepper Street	<b>House</b> External form and fabric of 1882 residence. Key features include asymmetric plan with projecting wing, face bluestone front wall with detailed moulding, window dressings and quoining, circular gable vent, simple bargeboard and timber finial.	5105/740	a, d, e
11 Pepper Street	<b>House</b> External form and fabric of 1914 cottage. Key features include corrugated iron and pressed metal false stone cladding, simple pyramidal roof form, bull-nose verandah with timber trim.	5779/77	a, d



Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
24 Romalo Avenue	<b>House – Romalo</b> External form and fabric of residence including early sections and circa 1870s additions to front elevation of house. Key features include projecting entrance portico and eastern wing with fluted pilasters and balustraded pediment elements, cast iron detailing to concave verandahs, early window shutters and other details.	5800/396 5800/397	a, b, d, e
1 Rosedale Place	<b>House</b> External form and fabric of circa 1870s building including random face stone walls, brick quoining and door surrounds, brick chimneys and simple roof form.	5664/642	a
553 The Parade	<b>House</b> External form and fabric of circa 1890s residence. Key features include prominent face brick chimneys, random sandstone walls with brick dressings, bull-nose return verandah with cast iron trim, and projecting wing with timber detailed gable end.	5796/583	a, d, e
<b>MOUNT OSMOND</b>			
60 Mount Osmond Road	<b>Mount Osmond Golf Club Building</b> External form and fabric of two storey 1930 club house. Key features include major gable wing with projecting balcony and canopy, return verandah with square concrete columns and balustrade, terracotta tiled roof, and simple detailing.	5576/222 5576/225 5576/226	a, c, d, e
<b>ROSE PARK</b>			
52, 52A & 54, Alexandra Avenue	<b>Rose Park Primary School</b> External form and fabric of 1893 school building. Key features include face red brickwork, brick detailed cropped gable ends, bluestone plinth and banding, timber joinery, roof gables and finials.	5793/687 5846/520 5772/711 950/58	a, c, d
138 Fullarton Road (cnr Hewitt Ave)	<b>House</b> External form and fabric of 1898 residence. Key features include face sandstone walls, rendered window and door surrounds, chimneys and quoins, eaves brackets, and bull-nose verandah with cast iron detailing.	5398/473	a, d, e
141 Fullarton Road	<b>House and Fence - Vasey</b> External form and fabric of 1899 residence. Key features include projecting wing with highly ornate window detailing incorporating classical pilasters, projecting gable end detail, projecting verandah gable over entrance door, cast iron detailing to bullnose verandah, masonry and cast iron fence and gate.	5740/859 5800/898 5838/523 5740/871	a, d, e
75-77 Grant Avenue	<b>Attached Dwelling</b> External form and fabric of pair of 1912-13 attached houses. Key features include masonry and brick walls, high pitched roof with projecting party wall, timber verandah details and gables with goose neck finials.	(75) 5102/67 (77) 5246/722	a, d
29 Hewitt Avenue	<b>House</b> External form and fabric of 1900 residence. Key features include stone walls with rendered quoins and window and door dressings, bullnose verandah with cast iron detail, roof and verandah gables with timber barge boards and finials.	5356/899	a, d
48 Hewitt Avenue	<b>House</b> External form and fabric of 1885 residence. Key features include stone walls with rendered quoins, return concave verandah with timber gable detail, timber shutters.	5837/97	a, d
10-12 Kensington Road	<b>Shops</b> External form and fabric of 1926 row of shops. Key features include original shopfront details, tiled stallboards and dividing panels, projecting parapet with tiled pilasters and coping, and recessed entry doors.	5610/899	a, c, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
18 and 20 Kensington Road	<b>Offices – former Attached Houses and Fences</b> External form and fabric of 1884 former paired residences. Key features include paired projecting bay windows, central concave verandah with cast iron detailing, moulded elaboration to window dressings, doors, quoins and eaves brackets and chimneys, and masonry and cast iron front fences.	5339/584	a, d
22 Kensington Road	<b>Consulting Rooms – former House</b> External form and fabric of 1897 former residence. Key features include face sandstone walls, rendered quoins, window & door dressings, chimneys, bull-nose verandah with cast iron detailing.	5875/411	a, d
24 Kensington Road	<b>Offices – former House</b> External form and fabric of 1900 residence. Key features include face sandstone walls, moulded decorative dressing to front paired windows of projecting wing, timber detailing to gable end, and bull-nose verandah with cast iron and timber verandah elements.	5077/607	a, d
26 Kensington Road	<b>Offices – former House and Fence</b> External form and fabric of 1898 residence. Key features include face sandstone walls, ornate mouldings above semi-circular paired windows to front projecting wing, timber details to gable end, projecting verandah gable over entrance door, convex verandah with cast iron details, and masonry and cast iron fence.	5650/336	a, d
28 Kensington Road	<b>Consulting Rooms - former House and Fence</b> External form and fabric of circa 1885 former residence. Key features include symmetrical form, face bluestone front elevation, concave verandah with central projecting gable and elaborate cast iron detailing, rendered door and window surrounds and quoins, moulded rendered chimneys, and cast iron and masonry front fence.	5460/457	a, d
32 Kensington Road	<b>Offices - former house</b> External form and fabric of circa 1890 residence. Key features include face bluestone walls with brick quoining and door and window surrounds, convex verandah with cast iron detailing, projecting gable within front elevation with inscribed render band and gable vent, cast iron triangular panelling in apex of gable, timber detailing to barge board, central gable section to verandah with cast iron and timber trim.	5264/835	a, d
36 Kensington Road	<b>House and Shop</b> External form and fabric of 1885 two storey shop and residence. Key features include face bluestone walls, rendered and moulded quoins, window and door dressings, eaves brackets and chimneys, and linking return concave verandah with cast iron detail. Later suspended awning over shopfront is excluded.	5650/337	a, c, d, f
46 Kensington Road	<b>Offices - former House</b> External form and fabric of circa 1900 residence. Key features include face sandstone walls, rendered quoins and door and window surrounds, corrugated iron roof with gable projections, return verandah with timber posts and fretwork, tall rendered chimneys with fluted details.	5502/985	a, d
48 Kensington Road	<b>House</b> External form and fabric of circa 1880 residence. Key features include rendered walls and chimneys, concave verandah and simple detailing.	5725/143	a, d
58 Kensington Road	<b>House</b> External form and fabric of 1897 two storey stone residence. Key features include face sandstone walls, painted brick quoins and window and door surrounds, projecting Oriole window to upper floor, concave return verandah, elaborate timber and rough cast detailing to gable ends.	5650/980	a, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
60 Kensington Road	<b>Offices - former house</b> External form and fabric of 1897 two storey stone residence. Key features include face sandstone walls, painted brick quoins and window and door surrounds, projecting Oriole window to upper floor, concave return verandah, elaborate timber and rough cast detailing to gable ends.	5537/879	a, d
62 Kensington Road	<b>Offices - former house</b> External form and original fabric of circa 1890 single storey residence. Key features include face sandstone walls, rendered quoins and window and door surrounds, elaborate detailing to three part window on front gable, strapped gable end and tall timber finial, and rendered chimneys.	5394/479	a, d
64 Kensington Road	<b>Offices - former house</b> External form and original fabric of circa 1890 single storey residence. Key features include face sandstone walls, rendered quoins and window and door surrounds, elaborate detailing to three part window on front gable, strapped gable end, bull-nose verandah with timber posts, and rendered chimneys.	5714/645	a, d
66 Kensington Road	<b>House</b> External form and fabric of circa 1890 residence. Key features include face sandstone walls, corrugated iron roof with projecting timber gable with gable end strapping and tall timber finial, bull-nose with timber posts and cast iron detail.	5723/536	a, d
68 Kensington Road	<b>Consulting rooms - former house</b> External form and original fabric of circa 1890 single storey residence. Key features include face sandstone walls, rendered quoins and window and door surrounds, elaborate detailing to three part window on front gable, strapped gable end and tall timber finial, and bull-nose verandah with timber detailing.	5334/337	a, d
70 Kensington Road	<b>Consulting rooms - former house</b> External form and original fabric of circa 1890 single storey residence. Key features include face sandstone walls, rendered quoins and window and door surrounds, elaborate detailing to three part window on front gable, strapped gable end, and bull-nose verandah with timber detailing.	5518/452	a, d
72 Kensington Road	<b>Offices – former house</b> External form and fabric of circa 1890 residence. Key features include face sandstone walls, rendered quoins, window and door dressings, elaborate window hood to window and front projecting bay. Excludes later verandah.	5455/543	a, d
74 Kensington Road	<b>Consulting rooms - former house</b> External form and fabric of circa 1890 residence. Key features include face sandstone walls, rendered quoins, window and door dressings, elaborate window hood to window and front projecting bay.	5151/968	a, d
1 Prescott Terrace	<b>House</b> External form and fabric of two storey 1885 residence. Key features include face bluestone walls, balconies and verandahs, and projecting gables to roof form.	5465/977	a, d, e
3 Prescott Terrace	<b>House and Fence</b> External form and fabric of two storey 1898 residence. Key features include face sandstone walls, rendered quoins and window and door dressings, verandahs with cast iron pillars and balconies.	5557/580	a, d, e
7 Prescott Terrace	<b>House</b> External form and fabric of single storey 1907 residence. Key features include return verandah with circular turret, cast iron detailing, sandstone walls and corrugated iron roof.	5549/700	a, d
7 Victoria Terrace	<b>Former Congregational Church Hall</b> External form and original fabric to 1883-4 single and two storeyed Hall. Key features include face bluestone walls, lancet windows, and cast iron finial.	5805/330	a, c, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
9 Victoria Terrace	<b>School Room, Former St Theodore's Church</b> External form and materials of 1905 church. Key features include hall form and masonry walls.	5740/957	a, c, d
<b>ROSSLYN PARK</b>			
2 Angove Court	<b>House</b> External form and fabric of 1890 residence. Key features include projecting wing with segmental bay window, verandah with cast iron detail, tall moulded chimneys, face bluestone walls, and slate entrance steps.	4114/989	a, d, e
<b>ST GEORGES</b>			
3 Drew Grove	<b>House - Highfield</b> External form and fabric of 1880s two storey residence with 1950s external alterations. Key features include parapet additions and rendered walls, exterior mouldings to windows and doors, and cornice with bracketing.	5061/802 5061/803	a, d, f
1 Sunnyside Road	<b>House - The Croft</b> External form and fabric of 1902 two storey residence. Key features include face bluestone walls with brick quoining, tall brick chimneys, simple painted render around door and window openings.	5397/916	a, d
2 Wootoona Terrace	<b>House</b> External form and fabric of 1916 Bungalow residence. Key features include random rubble sandstone walls, glazed brick plinth, large overhanging verandah on rendered piers and timber posts, and timbered gables.	5132/875	a, d
<b>STONYFELL</b>			
4 Gandys Gully Road	<b>House - Stonyfell</b> External form and original fabric of early sections of residence. Key features include stone walls with face red brick dressings and verandahs. Excludes later alterations and additions.	5181/158	a, e
32 Hallett Road	<b>Office – former House - Chiverton</b> External form and fabric of 1880 two storey residence. Key features include face bluestone walls, two storey verandah with timber detailing, moulded chimneys and timber window and door joinery.	5803/930 5889/785	a, d, e
34 Hallett Road	<b>Fergusson Conservation Park</b> Full extent of reserve, incorporating natural bushland.	5772/813	a, c, f
Lot 119 Kurrajong Avenue	<b>Michael Perry Botanic Gardens</b> Extent of reserve, formerly Gully Garden of Clifton Estate including notable mature planting and rare species of palms and pines.	5866/209	a, c, e
59 Stonyfell Road	<b>Former Coach House and Stables</b> External form and original fabric of the former circa 1870 Coach House and Stables. Key features include original simple form, masonry walls and other original elements. Later adaptation and extensions are excluded.	5320/582	a, d
16 Waratah Way	<b>House - Clifton</b> External form and fabric of two storey mansion. Key features include face stone masonry walls, castellated tower and other significant architectural elements.	5327/593	a, d, f
<b>TOORAK GARDENS</b>			
88 Alexandra Avenue	<b>Cottage Homes</b> External form and fabric of rows of three 1909 single storey attached residences. Key features include face red brick walls, chimneys and party walls, verandahs and window hoods incorporated within roof line, timber verandah detailing and louvred gable ends.	792/132	a, c, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
22 Bolingbroke Grove	<b>House</b> External form and fabric of the 1927 brick and render dwelling. Key features include steeply pitched terracotta tiled roof, tiled bay window roof and face brick walls with rough render and strapped gable ends.	5339/990	a, d
Lot 192 Fergusson Square	<b>Fergusson Square Reserve</b> Extent of garden reserve including mature planting, central pergola, street lighting and other built features.	5273/37	a, c, d, e, f
1 Giles Street	<b>House</b> External form and fabric of 1910 Queen Anne bungalow. Key features include expansive terracotta tiled roof, projecting gables with strapping and rough render coating, tall face red brick chimneys, face sandstone walls and timber detailing to verandah.	5189/828	a, d, e
24 Giles Street	<b>House</b> External form and fabric of circa 1912 residence. Key features include terracotta tiled roof, spatterdash render masonry walls, detailed timber elements including bracketed window hoods with fish scale terracotta tiles and complex roof plan, rendered and tapered chimneys, and multi-pane windows to upper level openings.	5697/996	a, d, e
25 Giles Street	<b>Toorak Bowling Club</b> External form and original fabric of 1919-20 club house. Key features include expansive roof form and rendered walls, and surrounding bowling greens.	5234/34	a, c
36 Grandview Grove	<b>House</b> External form and fabric of 1925 Inter War Old English residence. Key features include face red brick walls, detailed verandah posts and chimneys, roof gables and timber strapping to gable ends.	5103/705	a, d
112 Grant Avenue	<b>House</b> External form and original fabric of the 1920 residence. Key features include rendered masonry walls, steeply pitched roof, strapped gable ends and projecting roof gables.	5730/445	a, d
99 Hewitt Avenue	<b>House - former Pumping Station</b> External form of original fabric of 1880 former pumping station. Key features include face bluestone wall, brick quoins, simple rendered surrounds and arch entrance porch.	5818/607	a, d, e
114 Hewitt Avenue	<b>House</b> External form and original fabric of 1925 Inter War Old English style residence. Key features include face red brick walls with steeply pitched Marseilles tiled roof and rendered gable end with decorative elements, and face red brick chimneys.	5093/502	a, d, e
8 Moore Street	<b>House</b> External form and fabric of 1917 two storey residence. Key features include rock-face sandstone and brick dressings, bluestone plinth, terracotta Marseilles tile roof, timber strapped gables and timber balustrading to upper verandah, and bluestone balustrading to lower verandah.	5146/167	a, d
2 Prescott Terrace	<b>House and Fence – Cramond</b> External form and fabric of 1912 two storey residence. Key features include expansive complicated roof form with projecting clear storey section, projecting gables to front elevation with timber boarding, projecting porch with Tuscan columns and return verandah, and cast off stone blockwork walls.	5189/802	a, d, e
42 Prescott Terrace	<b>St Theodore's Anglican Church Rectory</b> External form and fabric of circa 1920 residence. Key features include face red brick walls, verandah columns and verandah balustrade, and expansive roof form with projecting eaves. The later extension is excluded.	5793/683	a, c, d

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
341 Portrush Road	<b>House</b> External form and fabric of 1880s style Italianate villa. Key features include face bluestone walls, rendered projecting bay, eaves bracketing and moulded chimneys, and concave verandah.	5777/410	a, d
353 Portrush Road	<b>House</b> External form and fabric of 1914 two storey bungalow/Arts and Crafts residence. Key features include face red brick walls with upper rendered sections, projecting Oriole windows and timber verandahs with Marseilles terracotta tiled roof.	5780/382	a, d
355 & 355A Portrush Road	<b>Attached Houses</b> External form and fabric of 1939 attached residences. Key features include Moderne details including curved front wall elements, rendered walls and incised horizontal bands.	5761/627	a, d
389 Portrush Road	<b>House</b> External form and fabric of 1912 Queen Anne residence. Key features include face sandstone walls with red brick quoining and window and door dressings, bull-nose return verandah with timber strapping and bracketing, and projecting gable ends with timber strapping.	2669/22	a, d
17 Warwick Avenue	<b>St Patrick's School</b> External form and fabric of 1915 former church hall, the earliest building in the complex.	5358/205 5775/329	a, c, d
136 Watson Avenue	<b>House</b> The external form and fabric of 1914 bungalow style residence. Key features include expansive roof form, terracotta Marseilles tiled roof, ridge tiles and finials, two storey projecting northern gable and timber frieze-work to verandah.	5220/175	a, d
138 Watson Avenue	<b>House</b> External form and fabric of two storey 1910 Old English style residence. Key features include terracotta tiled roof, tall face red brick chimneys and face red brick lower walls sections and upper wall sections of rendered masonry.	5463/633	a, d, e
<b>TUSMORE</b>			
1 Fisher Street	<b>Masonic Hall</b> External form and fabric of 1937 hall (excluding recent additions and all side timber entrance doors). Key features include rendered front section with moulded detailing and attached pilasters.	5745/40	a, c, d
401 Greenhill Road	<b>Burnside Town Hall</b> External form and fabric of 1927 Town Hall and offices. Key features include three storey form, square headed windows and dentiled cornice, barrel vaulted columned entrance, square roof lantern, arch headed ground floor windows, unpainted render walls and terracotta tiled roof. <i>(Note: The Ballroom Wing Interior is listed on the State Heritage Register. Refer Table Bur/3)</i>	1151/44	a, c, d, e, f
4 Kennaway Street	<b>Scout Hall</b> The external form and fabric of 1938 hall. Key features include face red brick walls, simple roof form, simple brick chimneys and verandah with columns.	5733/688	a, c, d, e
14 Kennaway Street	<b>House and Fence</b> External form and fabric of late 1930s house and fence. Key features include rock-face sandstone walls with brick detailing, rock-face sandstone chimney, tiled roof, rendered entrance porch, and rock-face sandstone fence with brick coping and plinth.	5330/902	a, e
25C Stirling Street	<b>Tusmore Gate Posts, Tusmore Park</b> Form and fabric of two masonry pillars, the former gate posts. Key features include vermiculated banding and heavy cornice top caps to these posts.	5738/835	a, d, e

Property address	Description of place of heritage value	Certificate of title	S23(4) criteria
<b>Stirling Street</b>	<b>Tusmore Park - Bridges and Wading Pool</b> Extent of park reserve including the form and fabric of elements constructed in the 1960s, bridges and wading pool.	5738/835 5744/816	a, c, f
<b>79 Tusmore Avenue</b>	<b>House and Garden</b> External form and fabric of mid 1920s residence. Key features include face red brick walls and chimneys, terracotta tiles roof with high ridges as points of gables. Includes house and all of allotment 25 as well as all of the curtilage plan shown on GRO Plan 423/2004 along with the following trees: <ul style="list-style-type: none"> <li>• <i>Washington robusta</i> (Mexican Fan Palm) on lot 42 located approximately 7 metres from the creek bank and 3 metres from the drip line of the large cedar</li> <li>• <i>Calodendron capense</i> (Cape Chestnut) on lot 42 located 5 metres south of southern creek bank</li> <li>• <i>Washington robusta</i> (Mexican Fan Palm) on lot 42 located 10 metres from the front boundary of the property and approximately 6 metres from the southern creek bank</li> <li>• <i>Brahea sp.</i> on lot 25 located approximately centrally within the allotment</li> <li>• <i>Washington robusta</i> (Mexican Fan Palm) on lot 25 located approximately 5 metres south of the above <i>Brahea sp.</i></li> <li>• <i>Livistonia australis</i> on lot 25 located approximately 4 metres north of the driveway and approximately 10 metres from the front boundary of the property</li> <li>• <i>Butia capitata</i> (Jelly Palm) on lot 25 located 3 metres south of the driveway and 5 metres from the front boundary of the property</li> <li>• <i>Butia capitata</i> (Jelly Palm) on lot 25 located 5 metres west of the front boundary of the property under the canopy of the Moreton Bay Fig</li> <li>• <i>Brahea sp.</i> on lot 25 located approximately 14 metres west of the front boundary of the property and under the canopy of the Moreton Bay Fig</li> <li>• <i>Washington robusta</i> (Mexican Fan Palm) on lot 26 located approximately 8 metres from the front of the property and approximately 12 metres from the front of the house</li> <li>• <i>Butia capitata</i> (Jelly Palm) on lot 26 located 3 metres from the front of the house and in the central lawn area</li> <li>• <i>Butia capitata</i> (Jelly Palm) on lot 26 located 4 metres from the southeast corner of the house</li> <li>• <i>Syagrus sp.</i> on lot 26 located approximately 12 metres from the front boundary of the property.</li> </ul> (Note: The trees listed here have been identified in Tree Report BCC003-079TusmoreAv)	5261/394	a, d, e
<b>89-105 Tusmore Avenue</b>	<b>Trees - Double row of River Red Gums</b> Pairs of <i>Eucalyptus camaldulensis</i> (River Red Gums) along rear boundary of allotments.	various	a, f, g
<b>WATERFALL GULLY</b>			
<b>74 Waterfall Gully Road</b>	<b>House</b> External form and fabric of circa 1890s residence. Key features include face bluestone walls, brick quoining and window & door dressings, and roof form including gable end strapping and finials.	5883/589	a, b, c, d
<b>98 Waterfall Gully Road</b>	<b>Trees</b> <i>Olea europea</i> (Olive) plantation: <i>Quercus robur</i> (Oak) tree and two <i>Cupressus sempervirens</i> (Cypress) trees approximately 20 metres north of Waterfall Gully Road.	5183/805	a, e, f
<b>WATTLE PARK</b>			
<b>125 Penfold Road</b>	<b>House</b> External form and fabric of 1850s and 1882 residence. Key features include face bluestone walls, red brick quoining and window and door dressings, and tall face red brick chimneys. Current roof form is excluded.	5706/865	a, d
<b>139 Penfold Road, Stonyfell (and 33B Stonyfell Road)</b>	<b>Wattle Park Reservoir</b> External form and plan of concrete water holding tank.	5790/62 1554/144	a, c

**TABLE Bur/3****Schedule of State Heritage Places**(Refer to [Table Bur/2](#) for Local Heritage Places)

In the following Table:

Description of Place of Heritage Value refers to elements of a state heritage place that contribute to the place's heritage value.Criteria refers to the following criteria for designation of a place of state heritage value pursuant to Section 16 of the Heritage Act 1993:

Property Address	Description of Place of Heritage Value	Certificate of title
<b>BEAUMONT</b>		
1 Dashwood Road	<b>Former Barn</b> <i>(Note: The house on this property is listed as a Local heritage place. Refer Table Bur/2)</i>	CT 5773/652
631 Glynburn Road	<b>Dwelling – Beaumont House</b>	CT 5475/290 CT 5475/292
<b>BEULAH PARK</b>		
278 Portrush Road	<b>Clayton Wesley Uniting (former Congregational) Church Complex</b> (1882 Church, 1856 Chapel, 1875 Hope Hall and 1910 Clayton Institute)	LT X/55
<b>BURNSIDE</b>		
486-488 Glynburn Road	<b>St David's Anglican Church Complex</b> (former Burnside Council Chambers and Old Church)	CT 5636/681 CT 5775/65
33 High Street	<b>Dwelling</b> (former Burnside Hotel & Stable)	CT 5657/846
23 Kurralta Drive	<b>Dwelling</b> (‘Kurralta House’)	CT 5426/126
2 Ringmer Drive	<b>Dwelling - Ringmer Complex</b> (including a prefabricated ‘manning’ house)	CT 5830/596
13 Undelcarra Road	<b>Undelcarra Complex and Garden</b>	CT 5561/831
<b>FREWILLE</b>		
259 Glen Osmond Road	<b>Former Ipec Office</b>	CT 5026/430 CT 5541/9 CT 5541/3 CT 5541/4 CT 5541/5 CT 5541/6 CT 5541/7 CT 5541/8
<b>GLEN OSMOND</b>		
Benacre Close	<b>Dwelling</b> (‘Benacre’)	CT 5594/97
1A & 1B Blyth Street	<b>Former Woodley Wines &amp; Glen Osmond Mine</b>	CT 5399/366 CT 5400/281



Property Address	Description of Place of Heritage Value	Certificate of title
Chapman Crescent	Wheal Gawler Historic Site	CT 5225/911 CT 5299/976
Gill Terrace	Former Glen Osmond Smelting Works Chimney (Cornish)	CT 5413/501
10 Mount Barker Road	The Colonial Restaurant (former Bakery and Grocery Store)	CT 5396/154
Mount Barker Road	Former Toll House	Commonwealth Road Reserve Hd: Adelaide
2A Playford Street	Dwelling - 'Woodley House' (former home of Osmond Gilles and Sir Stanton Hicks)	CT 5868/238
546 Portrush Road	Seymour College ('Wooton Lea', Coach House, Cottages, Gatehouse, Stables, Quarters & Pump House)	CT 5171/74
Wheal Watkins Street	Wheal Watkins Historic Site	CT 5173/373
<b>GLENSIDE</b>		
226 Fullarton Road	Former Operating Theatre, Elms Building (former E, F & G Wards) and Former P & O Wards, Glenside Hospital (former Parkside Lunatic Asylum)	CR 5842/240
226 Fullarton Road	Occupational Therapy Centre (former Laundry) Glenside Hospital (former Parkside Lunatic Asylum)	CR 5842/240
226 Fullarton Road	Administration Building, Glenside Hospital (former Parkside Lunatic Asylum)	CR 5842/240
226 Fullarton Road	Former Z Ward, Perimeter Trench, Wall & Gates, Glenside Hospital (former Parkside Lunatic Asylum)	CR 5871/564
226 Fullarton Road	Southern Boundary Wall, Glenside Hospital (former Parkside Lunatic Asylum)	CT 5428/595 CT 5012/51 CT 5464/127 CT 5682/842 CT 5012/50 CT 5109/437 CT 5095/182 CR 5842/240 CT 5846/698 CR 5763/856 CR 5763/857 CR 5763/858 CR 5763/859 CR 5779/699
226 Fullarton Road	Staff Dining Room (former Patients Dining Room and Kitchen) Glenside Hospital (former Parkside Lunatic Asylum)	CR 5842/240
226 Fullarton Road	Chapel & Erindale (former Men's E1 & E2 Wards) Glenside Hospital (former Parkside Lunatic Asylum)	CR 5842/240
254 Greenhill Road	Former Medical Officer's/Superintendent's Residence & Old Mortuary, Glenside Hospital (former Parkside Lunatic Asylum)	CT 5725/770 CR 5842/240
<b>HAZELWOOD PARK</b>		
Greenhill Road	Hazelwood Park (Boundaries: Greenhill Rd, Howard & Davenport Tces, Hazelwood Ave & Hawthorn Cres)	CT 5804/323 CT 5816/567

Property Address	Description of Place of Heritage Value	Certificate of title
<b>KENSINGTON GARDENS</b>		
40 East Terrace	Dwelling	CT 5339/680
Glynburn Road	River Red Gum Tree ( <i>Eucalyptus camaldulensis</i> )	Sec: 270 Public Road Reserve Hd: Adelaide
339 Kensington Road (53E Myall Avenue)	Gate of Dover House, Wall & Former Stable	CT 5257/648 CT 5756/1
2 Leonore Avenue	Dwelling – ‘Albyn House’	CT 5341/737
<b>KENSINGTON PARK</b>		
14-18 Holden Street	‘Angove House’ (former Dwelling), Pembroke School	CT 5713/416
275 Kensington Road	Chelsea Cinema (originally Princess Theatre, then Marryatville Ozone)	CT 5899/223
<b>LEABROOK</b>		
30 Rochester Street	Dwelling	CT 5739/182
1-3 Rodger Avenue	Pair of Attached Dwellings	CT 5371/824
2-4 Rodger Avenue	Attached Dwellings	CT 5010/169 CT 5010/170
5-7 Rodger Avenue	Attached Dwellings	CT 5261/539 CT 5261/770
6-8 Rodger Avenue	Attached Dwellings	CT 5010/152 CT 5010/151
<b>MOUNT OSMOND</b>		
92 Mount Barker Road	Dwelling (former Mountain Hut Hotel), All Pet Boarding Village	CT 5840/816
<b>ROSE PARK</b>		
Alexandra Avenue	Alexandra Avenue Plantation, including Trees and War Memorial	Sec: 262 Road Reserve Hd: Adelaide
Alexandra Avenue	Gartrell Memorial Uniting (former Methodist) Church, Front Fence and c1925 Hall	CT 5176/26
161 Fullarton Road	Former Queen Victoria Hospital (former Queens Home building)	CT 5845/335 CT 5845/336
50-52 Kensington Road	Dwelling (one of two pairs of attached houses)	CT 5016/536 CT 5016/537
54-56 Kensington Road	Dwellings (one of two pairs of attached houses)	CT 5780/971
<b>ROSSLYN PARK</b>		
78 Penfold Road	Penfold's Cottage, Vineyards and Winery Complex	CT 5161/394

Property Address	Description of Place of Heritage Value	Certificate of title
<b>STONYFELL</b>		
<b>12 Heatherbank Terrace</b>	<b>River Red Gum</b>	CT 5252/698
<b>TOORAK GARDENS</b>		
<b>120 Kensington Road</b>	<b>Burnside War Memorial Hospital</b> (former dwelling 'Attunga', Fence, Gates & Garden)	CT 5859/365
<b>105 Hewitt Avenue</b>	<b>Dwelling</b>	CT 5857/343
<b>44-46 Prescott Terrace</b>	<b>St Theodore's Anglican Church &amp; Hall</b>	CT 5742/26 CT 5892/368
<b>Prescott Terrace</b>	<b>Prescott Terrace Soldier's Memorial Avenue Memorial Trees</b>	Sec: 262 Road Reserve Section 275
<b>TUSMORE</b>		
<b>401 Greenhill Road</b>	<b>Burnside Town Hall</b> (Ballroom Wing Interior comprising main hall, stage, balconies & foyer)	CT 1151/44
<b>WATERFALL GULLY</b>		
<b>155 Waterfall Gully Road</b>	<b>Dwelling</b> (former Waterfall Gully Hotel)	CT 5265/853 CT 5892/196
<b>Waterfall Gully Road</b>	<b>Waterfall Gully Kiosk/Restaurant, Cleland Conservation Park</b>	CR 5393/102
<b>WATTLE PARK</b>		
<b>424 Kensington Road</b>	<b>Dwelling</b> (former 'Wattle Grove')	CT 5200/888
<b>43-57 Wyfield Street</b>	<b>Magill Stone Mines</b>	CT 5226/859 CT 5194/650 Ct 5357/505 CT 5303/778 CT 5162/702 CT 5232/663 CT 5458/113 CT 5477/464

## TABLE Bur/4

### Schedule Of Significant Trees

(Identified significant trees within this table and as shown on figures ([Fig Bur\(ST\)/1 to 8](#) inclusive) are in addition to those significant trees as defined by Regulation 6A(1) of the *Development Regulations 2008*. Therefore, trees that do not appear in this list should be checked for the size qualifying criteria under Regulation 6A(1) before they are assumed not to be a significant tree. The significant tree designation extends to all parts of the root system, trunk, canopy and other parts of each tree, including those parts which have grown since the initial designation of the trees as significant).

+ Location: Tree location descriptor is as viewed from the site's principal road frontage.

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
7 Palomino Road	AULDANA	CT 5573/936	4m from front boundary, 1m from driveway	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
9 Palomino Road	AULDANA	CT 5574/250	3m from front boundary, 6m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
9 Palomino Road	AULDANA	CT 5574/250	6m from front boundary, 6m from driveway	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
578 The Parade	AULDANA	CT 5804/840	30m from front boundary, 20m South of Skye Cellars Drive	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
578 The Parade	AULDANA	CT 5804/840	75m East of Skye Cellars Sign, 1m South of Skye Cellars Drive	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
578 The Parade	AULDANA	CT 5804/840	75m East of Skye Cellars Sign, 5m South of Skye Cellars Drive	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
578 The Parade	AULDANA	CT 5804/840	72m East of Skye Cellars Sign, 5m South of Skye Cellars Drive	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
578 The Parade	AULDANA	CT 5804/840	50m East of Skye Cellars Sign, 5m South of Skye Cellars Drive	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
578 The Parade	AULDANA	CT 5804/840	2m from fence, 8m North of Skye Cellars Drive	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
578 The Parade	AULDANA	CT 5804/840	8m SW from previous tree, 5m from Skye Cellars Drive	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
578 The Parade	AULDANA	CT 5804/840	24m West of previous tree, 1m from Skye Cellars Drive	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
226 Magill Road	BEULAH PARK	CT 5824/303	3m from rear boundary, 2m from right boundary	<i>Quercus robur</i> - English Oak	a(i), a(vi)
288 Magill Road	BEULAH PARK	CT 5268/805	5m from front boundary, 9m from right boundary	<i>Cycas revoluta</i> - Sago Plum	a(i), a(vi)
280 Portrush Road	BEULAH PARK	CT 1100/36	30 m from front boundary, 25m from right boundary	<i>Brachychiton populneus</i> - Kurrajong	a(i), a(vi)
14 Bayview Crescent	BEAUMONT	CT 5489/639	10m from rear boundary, 3m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
14 Bayview Crescent	BEAUMONT	CT 5489/639	4m from rear boundary, 2m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
14 Caithness Avenue	BEAUMONT	CT 5145/177	25 from front boundary, near left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
14 Caithness Avenue	BEAUMONT	CT 5145/177	20m from front boundary, 6m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
14 Caithness Avenue	BEAUMONT	CT 5145/177	6m from left boundary, 13m from right boundary, on front boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(iv), a(v)
14 Caithness Avenue	BEAUMONT	CT 5145/177	9m from front boundary, 6m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iv), a(v)
14 Caithness Avenue	BEAUMONT	CT 5145/177	Front left corner of allotment	<i>Acacia salicina</i> - Willow Wattle	a(i), a(ii), a(v)
1 Gordon Place	BEAUMONT	CT 5394/41	2m from front boundary, 4m left of driveway	<i>Acacia salicina</i> - Willow Wattle	a(i), a(iii), a(iv), a(v)
3 Grey Avenue	BEAUMONT	CT 5724/139	2m from Bennett Avenue, 7m from Grey Avenue	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(ii), a(iii), a(iv), a(v)
37 Katoomba Road	BEAUMONT	CT 5227/421	9m from front boundary, 2m from right boundary	<i>Eucalyptus saligna</i> - Sydney Blue Gum	a(i), a(vi)
3 Lascelles Avenue	BEAUMONT	CT 5563/812	2m from left boundary, in rear north east corner of allotment	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
3 Lascelles Avenue	BEAUMONT	CT 5563/812	Near left boundary, in rear north east corner of allotment	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
19 Lascelles Avenue	BEAUMONT	CT 5841/934	30 from front boundary, 5m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
19 Lascelles Avenue	BEAUMONT	CT 5841/934	30 from front boundary, 2m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
5 Tennyson Drive	BEAUMONT	CT 5557/785	1m from front boundary, to left of driveway	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
5 Tennyson Drive	BEAUMONT	CT 5557/785	3m from front boundary, 3m from left boundary	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v), a(vi)
5 Tennyson Drive	BEAUMONT	CT 5557/785	8m from front boundary, 3rd tree over from driveway	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
5 Tennyson Drive	BEAUMONT	CT 5557/785	8m from front boundary, 2nd tree over from driveway	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
5 Tennyson Drive	BEAUMONT	CT 5557/785	8m from front boundary, 1st tree over from driveway	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
5 Tennyson Drive	BEAUMONT	CT 5557/785	Front right corner of allotment	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(iii), a(iv), a(v), a(vi)
11 Tennyson Drive	BEAUMONT	CT 5718/345	8m from rear boundary, 6m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v), a(vi)
11 Tennyson Drive	BEAUMONT	CT 5718/345	20m from rear boundary, 8m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v), a(vi)
36 Tennyson Drive	BEAUMONT	CT 5606/287, CT 5606/290	On verge of corner allotment of Tennyson Drive and Gordon Place	<i>Acacia salicina</i> - Willow Wattle	a(i), a(iv), a(v)
38 Tennyson Drive	BEAUMONT	CT 5606/287, CT 5606/290	25m from front boundary, 1.5m from left boundary	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(iii), a(iv), a(v)
6 Thirkell Avenue	BEAUMONT	CT 5128/749	1.5m from front boundary, on left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
6A Thirkell Avenue	BEAUMONT	CT 5131/846	13m from front boundary, 2m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
6A Thirkell Avenue	BEAUMONT	CT 5131/846	17m from front boundary, on left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
6A Thirkell Avenue	BEAUMONT	CT 5131/846	19m from front boundary, 1.5m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
6A Thirkell Avenue	BEAUMONT	CT 5131/846	10m from front boundary, 2m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
16 Thirkell Avenue	BEAUMONT	CT 5846/571	7m from right boundary, near rear boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
35 Travers Drive	BEAUMONT	CT 5113/922	8m from front boundary, 10m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
230 Portrush Road	BEULAH PARK	CT 5803/377	10m from Portrush Road, 10m from Oban Street	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
230 Portrush Road	BEULAH PARK	CT 5803/377	2m East of Kings Close, 9m from Oban Street	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
230 Portrush Road	BEULAH PARK	CT 5803/377	0.5m from Kings Close, 22m from rear boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
230 Portrush Road	BEULAH PARK	CT 5803/377	0.3m from front boundary, 8m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
498 Glynburn Road	BURNSIDE	CT 5502/47	4m from front boundary, 4m from right boundary	<i>Araucaria heterophylla</i> - Norfolk Island Pine	a(i), a(vi)
7 High Street	BURNSIDE	CT 5833/949, CT 5670/766, CT 2432/159, CT 5670/764, CT 5670/765	On front boundary, 35m from left boundary, 28m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
185 Fullarton Road	DULWICH	CT 5548/338	1m from front boundary, 3m from right boundary	<i>Platanus hybrida - orientalis</i> - London Plane	a(i), a(vi)
185 Fullarton Road	DULWICH	CT 5548/338	1m from front boundary, 8m from right boundary	<i>Platanus hybrida</i> - Plane Tree	a(i), a(vi)
14 Scott Street	DULWICH	CT 5397/165	3m from rear boundary, 3m from right boundary	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
14 Scott Street	DULWICH	CT 5397/165	8m from rear boundary, 3m from right boundary	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)
6 Thornton Avenue	DULWICH	CT 5856/779	1m from front boundary, 0.5m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
20 Tudor Street	DULWICH	Strata Plan 4200	2m from front boundary, 3m from right boundary	<i>Araucaria heterophylla</i> - Norfolk Island Pine	a(i), a(vi)
18 Williams Avenue	DULWICH	CT 5676/725	7m from front boundary, on West boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
18 Williams Avenue	DULWICH	CT 5676/725	8m from front boundary, on West boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
18 Williams Avenue	DULWICH	CT 5676/725	9m from front boundary, on West boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
49 Glen Osmond Road	EASTWOOD	CT 5828/397, CT 5828/396	18m from rear boundary, 12m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(v)
1 John Street	EASTWOOD	CT 5132/639	4m from rear boundary, on right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)
1 John Street	EASTWOOD	CT 5132/639	18m from rear boundary, on right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)
1 John Street	EASTWOOD	CT 5132/639	21m from rear boundary, on right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)
66 Myall Avenue	ERINDALE	CT 5080/779, CT 5080/780, CT 5080/781	21m from front boundary, 1.5m from right boundary	<i>Quercus palustris</i> - Pin Oak	a(i), a(vi)
59 Statenborough Street	ERINDALE	CT 5811/644	8m from front boundary, 16m from left boundary	<i>Cedrus atlantica 'glauca'</i> - Blue Atlas Cedar	a(i), a(vi)
61 Statenborough Street	ERINDALE	CT 5811/643	9m from front boundary, 6m from left boundary	<i>Cedrus deodara</i> - Deodar Cedar	a(i), a(vi)
69 Conyngham Street	FREWVILLE	CT 2695/131, Strata Plan 3398	6m from front boundary, 2m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)



Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
69 Conyngham Street	FREWVILLE	CT 2695/131, Strata Plan 3398	15m from front boundary, 2m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
18 Flemington Street	FREWVILLE	CT 5745/337	30 m from rear boundary, 1m from Birdwood Road	<i>Araucaria heterophylla</i> - Norfolk Island Pine	a(i), a(vi)
6 Benacre Close	GLEN OSMOND	CT 5594/97	1m from front boundary, 5m from left boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(ii), a(iii), a(iv), a(v)
6 Benacre Close	GLEN OSMOND	CT 5594/97	6m to the right of the gate on front boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(ii), a(iii), a(iv), a(v)
6 Benacre Close	GLEN OSMOND	CT 5594/97	3m from Northern boundary, 9m from Western boundary	<i>Schinus ariera</i> - Pepper Tree	a(i), a(vi)
9 Boucaut Street	GLEN OSMOND	CT 5125/974	2m from rear boundary, 1m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
12 Brook Avenue	GLEN OSMOND	CT 5714/493	15m from rear boundary, 6m from right boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(i), a(ii), a(iii), a(iv), a(v)
12 Brook Avenue	GLEN OSMOND	CT 5714/493	16m from rear boundary, on right boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(i), a(ii), a(iii), a(iv), a(v)
14 Brook Avenue	GLEN OSMOND	CT 5184/335	1m from front boundary, 5m from left boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(i), a(ii), a(iii), a(iv), a(v)
18 Gilles Road	GLEN OSMOND	CT 5638/375	28m from front boundary, 3m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
18 Gilles Road	GLEN OSMOND	CT 5638/375	14m from front boundary, 7m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
18 Gilles Road	GLEN OSMOND	CT 5638/375	10m from front boundary, 6m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
18 Gilles Road	GLEN OSMOND	CT 5638/375	8m from front boundary, 8m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
361 Glen Osmond Road	GLEN OSMOND	CT 5120/152	1m from front boundary, 3m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
2A Playford Street	GLEN OSMOND	CT 5868/238	70m from front boundary, near left boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(ii), a(iii), a(iv), a(v)
576 Portrush Road	GLEN OSMOND	Strata Plan 12641	30m from front boundary, on right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
578 Portrush Road	GLEN OSMOND	Strata Plan 853	1.5m from right boundary, near rear boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
596 Portrush Road	GLEN OSMOND	CT 3716/112	1m from front boundary, 85m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
596 Portrush Road	GLEN OSMOND	CT 3716/112	1m from front boundary, 90m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
596 Portrush Road	GLEN OSMOND	CT 3716/112	1m from front boundary, 74m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
596 Portrush Road	GLEN OSMOND	CT 3716/112	3m from rear boundary, 12m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
596 Portrush Road	GLEN OSMOND	CT 3716/112	2.5m from rear boundary, 80m from right boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(i), a(ii), a(iii), a(iv), a(v)
596 Portrush Road	GLEN OSMOND	CT 3716/112	36m from front boundary, 2m from left boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(i), a(ii), a(iii), a(iv), a(v)
596 Portrush Road	GLEN OSMOND	CT 3716/112	37m from front boundary, 11.5m from left boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(i), a(ii), a(iii), a(iv), a(v)
12 Sherwood Terrace	GLEN OSMOND	CT 5697/905	1.5m from front boundary, 3m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(v)
12 Sherwood Terrace	GLEN OSMOND	CT 5697/905	3m from front boundary, 8m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(iv), a(v)
3 Snow Street	GLEN OSMOND	CT 5075/650	15m from front boundary, on right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
8 Whittington Avenue	GLEN OSMOND	CT 5139/354	15m from front boundary, 6m from left boundary	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(ii), a(iii), a(iv), a(v)
1B Woodley Road	GLEN OSMOND	CT 5745/296	10m from front boundary, 4.5m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
61 Allinga Avenue	GLENSIDE	CT 5531/145	5m from left boundary, on rear boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
61 Allinga Avenue	GLENSIDE	CT 5531/145	7.5m from left boundary, on rear boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
61 Allinga Avenue	GLENSIDE	CT 5531/145	5m from right boundary, on rear boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
27 Conyngham Street	GLENSIDE	CT 5857/560	10m from right boundary, 12m East of wall on adjoining property	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(v)
27 Conyngham Street	GLENSIDE	CT 5857/560	20m from right boundary, 25m East of wall on adjoining property	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(v)
27 Conyngham Street	GLENSIDE	CT 5857/560	20m from right boundary, 30m East of wall on adjoining property	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(v)
50 L'Estrange Street	GLENSIDE	CT 956/148 Strata Plan 327	1.5m from front boundary, 3m from left boundary	<i>Allocasuarina verticillata</i> - Drooping Sheoak	a(i), a(iii), a(v)
457 Portrush Road	GLENSIDE	Strata Plan 3884	2m from Sydney Street, 8m from car park entrance	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
457 Portrush Road	GLENSIDE	Strata Plan 3884	3.5m from Sydney Street, on car park entrance road	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
457 Portrush Road	GLENSIDE	Strata Plan 3884	40.5m from Sydney Street, on car park entrance road	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
457 Portrush Road	GLENSIDE	Strata Plan 3884	54.5m from Sydney Street, on car park entrance road	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
469 Portrush Road	GLENSIDE	CT 5531/621	2m from front boundary, 10m from right boundary	<i>Dracaena draco</i> - Dragon Tree	a(i), a(vi)
25 Windsor Road	GLENSIDE	CT 5259/886	15m from rear boundary, 2m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(iii), a(v)
1A Allinga Avenue	GLENUNGA	CT 514/184	5m from front boundary, 12m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)
1A Allinga Avenue	GLENUNGA	CT 514/184	22m from front boundary, 12m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
1A Allinga Avenue	GLENUNGA	CT 514/184	32m from front boundary, 23m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)
1A Allinga Avenue	GLENUNGA	CT 514/184	15.5m from front boundary, 23m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)
1A Allinga Avenue	GLENUNGA	CT 514/184	6.5m from front boundary, 23m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)
7 Bevington Road	GLENUNGA	CT 5717/388	3m from rear boundary, 2m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
32 Bevington Road	GLENUNGA	CT 5841/874	14m from front boundary, 2m from left boundary	<i>Acacia salicina</i> - Willow Wattle	a(i), a(iii), a(v)
Lot 78 Conyngham Street	GLENUNGA	CT 5704/634, CT 5514/344	8m from front boundary, 12m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)
48 Glenunga Avenue	GLENUNGA	CT 5084/388	2m from front boundary, 2m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
48 Glenunga Avenue	GLENUNGA	CT 5084/388	2m from front boundary, 8m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
48 Glenunga Avenue	GLENUNGA	CT 5084/388	2m from front boundary, 23m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
48 Glenunga Avenue	GLENUNGA	CT 5084/388	2m from front boundary, 29m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
48 Glenunga Avenue	GLENUNGA	CT 5084/388	2m from front boundary, 0.5m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
4/52 Glenunga Avenue	GLENUNGA	CT 5703/664	2m from front boundary, 8m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
585 Portrush Road	GLENUNGA	CT 5153/2	2m from front boundary, 13m from left boundary	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(ii), a(iii), a(iv), a(v)
585 Portrush Road	GLENUNGA	CT 5153/2	3m from front boundary, 18m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
9 Rowell Avenue	GLENUNGA	CT 5093/242	1m from rear boundary, 4m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
7 Taminga Avenue	GLENUNGA	CT 5805/649	45m from front boundary, 15m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
35 Trevorten Avenue	GLENUNGA	CT 5824/962	30m from front boundary, 0.5m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
77 Cooper Place	HAZELWOOD PARK	CT 5642/439	6m from rear boundary, 4m from right boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(iii), a(iv), a(v)
485 Glynburn Road	HAZELWOOD PARK	CT 5716/790	2m from front boundary, 2m from left boundary	<i>Cedrus deodara</i> - Deodar Cedar	a(i), a(vi)
595 Glynburn Road	HAZELWOOD PARK	CT 5560/418	15m from rear boundary, 13m from left boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(i), a(iii), a(iv), a(v)
595 Glynburn Road	HAZELWOOD PARK	CT 5560/418	15m from rear boundary, 4m from left boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(iii), a(iv), a(v)
597 Glynburn Road	HAZELWOOD PARK	CT 5673/687	20m from front boundary, 8m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
599 Glynburn Road	HAZELWOOD PARK	CT 5240/907	1.5m from front boundary, 8m from left boundary	<i>Eucalyptus microcarpa</i> - Grey Box Gum	a(iii), a(iv), a(v)
34 Howard Terrace	HAZELWOOD PARK	CT 5852/809	18m from front boundary, 8m from left boundary	<i>Dracaena draco</i> - Dragon Tree	a(i), a(vi)
23 Lancelot Avenue	HAZELWOOD PARK	CT 5153/863	4m from front boundary, 1m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
23 Lancelot Avenue	HAZELWOOD PARK	CT 5153/863	3.5m from front boundary, 0.5m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
43 Linden Avenue	HAZELWOOD PARK	CT 5734/231	2m from front boundary, 5m from left boundary	<i>Corymbia citriodora</i> - Lemon Scented Gum	a(i), a(vi)
42 Russell Avenue	HAZELWOOD PARK	CT 5352/317	16m from Richter Lane, 0.5m from Russell Avenue	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
1 Sidney Place	HAZELWOOD PARK	CT 5662/150	2m from left of boundary, about 2/3rds back from front boundary	<i>Callitris gracillis</i> - Southern Cypress Pine	a(ii), a(iii), a(iv), a(v)
305 Beulah Road	KENSINGTON PARK	CT 5596/996	25m from front boundary, 9m from right boundary	<i>Araucaria heterophylla</i> - Norfolk Island Pine	a(i), a(vi)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
45 Yeronga Avenue	KENSINGTON PARK	CT 5806/599	3m from front boundary, 8m from left boundary	<i>Cycas revoluta</i> - Sago Plum	a(i), a(vi)
428 Magill Road	KENSINGTON GARDENS	CT 2386/120 Strata Plan 3014	9m from front boundary, 0.5m from left boundary	<i>Eucalyptus saligna</i> - Sydney Blue Gum	a(i), a(vi)
444 Magill Road	KENSINGTON GARDENS	CT 5779/968	20m from front boundary, 13 m from left boundary	<i>Araucaria heterophylla</i> - Norfolk Island Pine	a(i), a(vi)
464 Magill Road	KENSINGTON GARDENS	CT 5555/202	5m from front boundary, 6m from left boundary	<i>Jacaranda mimosifolia</i> - Jacaranda	a(i), a(vi)
24 Myall Avenue	KENSINGTON GARDENS	CT 5532/293	Front left of site	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)
24 Myall Avenue	KENSINGTON GARDENS	CT 5532/293	Front right of site	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)
24 Myall Avenue	KENSINGTON GARDENS	CT 5532/293	Rear of site	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)
24A Myall Avenue	KENSINGTON GARDENS	CT 5420/540	Rear of site	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)
26 Myall Avenue	KENSINGTON GARDENS	CT 5520/504	Front of site	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)
26 Myall Avenue	KENSINGTON GARDENS	CT 5520/504	Rear of site	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)
25 West Terrace	KENSINGTON GARDENS	CT 5232/533	Rear right NW corner	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)
41 West Terrace	KENSINGTON GARDENS	CT 5224/539	3m from front boundary, 9m from right boundary	<i>Corymbia citriodora</i> - Lemon Scented Gum	a(i), a(vi)
29 Godfrey Terrace	LEABROOK	CT 5733/648	7m from rear lane, 10m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
29 Godfrey Terrace	LEABROOK	CT 5733/648	7.5m from rear lane, 7.5m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
29 Godfrey Terrace	LEABROOK	CT 5733/648	9m from rear lane, 5m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
286 Kensington Road	LEABROOK	CT 5712/315	12m from front boundary, 26 metres from left boundary	<i>Platanus hybrida</i> - Plane Tree	a(i), a(vi)
314 Kensington Road	LEABROOK	CT 5131/239	10m from rear boundary, on left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
314 Kensington Road	LEABROOK	CT 5131/239	1m from rear boundary, centre of block	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
314 Kensington Road	LEABROOK	CT 5131/239	1.5m from rear boundary, on right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
5 The Parkway	LEABROOK	CT 5153/737	4m from front boundary, 2m from left boundary	<i>Sabal palmetto</i> - Palmetto	a(i), a(vi)
8 Tusmore Avenue	LEABROOK	CT 5210/519	2m from Stanley Street, on Eastern boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
24 Stanley Street	LEABROOK	CT 5804/313	22m from front boundary, 3m from left boundary	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
24 Stanley Street	LEABROOK	CT 5804/313	3m from front boundary, 1m from right boundary	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
29 Stanley Street	LEABROOK	Strata Plan 1195	On front left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
29 Stanley Street	LEABROOK	Strata Plan 1195	2m from front boundary, 8m from left boundary	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
29 Stanley Street	LEABROOK	Strata Plan 1195	1.5m from front boundary, 9.5m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
29 Stanley Street	LEABROOK	Strata Plan 1195	3.5m from front boundary, 4.5m from right boundary	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
29 Stanley Street	LEABROOK	Strata Plan 1195	9m from front boundary, 2m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
31 Stanley Street	LEABROOK	CT 5498/712	2m from front boundary, 2m from left boundary	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
31 Stanley Street	LEABROOK	CT 5498/712	24m from front boundary, 3m from left boundary	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
31 Stanley Street	LEABROOK	CT 5498/712	36m from front boundary, 3m from left boundary	<i>Eucalyptus leucoxylon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
42 Beatty Street	LINDEN PARK	SP 6687	1m from front boundary, 3m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
37 Sturdee Street	LINDEN PARK	CT 5220/62	4.5m from front boundary, 3.5m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(iii), a(v)
45 Briant Road	MAGILL	CT 5712/695	1.5m from front boundary, 6m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
15 East Street	MAGILL	CT 5242/82	2m from rear boundary, 1m from left boundary	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(iii), a(iv), a(v)
24 East Street	MAGILL	CT 5804/706	1.5m from front boundary, 4m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
20 Ellis Street	MAGILL	CT 5553/289	1m from front boundary, 6.5m from left boundary	<i>Corymbia citriodora</i> - Lemon Scented Gum	a(i), a(vi)
9 Elm Grove	MAGILL	CT 5412/669	4m from front boundary, 7m from right boundary	<i>Cedrus deodara</i> - Deodar Cedar	a(i), a(vi)
12 Elm Grove	MAGILL	CT 5681/677	3m from front boundary, 5m from right boundary	<i>Corymbia citriodora</i> - Lemon Scented Gum	a(i), a(vi)
47 Giles Street	MAGILL	CT 5746/832	12m from rear boundary, 4.5m from left boundary	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(ii), a(iii), a(iv), a(v)
47 Giles Street	MAGILL	CT 5746/832	5m from rear boundary, centre of property	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(ii), a(iii), a(iv), a(v)
47 Giles Street	MAGILL	CT 5746/832	10m from rear boundary, 5m left of house	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(iii), a(iv), a(v)
47 Giles Street	MAGILL	CT 5746/832	18m from rear boundary, 5m left of house	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(iii), a(iv), a(v)
47 Giles Street	MAGILL	CT 5746/832	20m from rear boundary, 7m left of house	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(ii), a(iii), a(iv), a(v)
47 Giles Street	MAGILL	CT 5746/832	8m from front boundary, 9m left of house	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(ii), a(iii), a(iv), a(v)
8 Henry Martin Square	MAGILL	CT 5425/814	3m from rear boundary, 5m from right boundary	<i>Quercus robur</i> - English Oak	a(i), a(vi)
9 Henry Martin Square	MAGILL	CT 5425/815	8m from rear boundary, 3m from left boundary	<i>Quercus robur</i> - English Oak	a(i), a(vi)

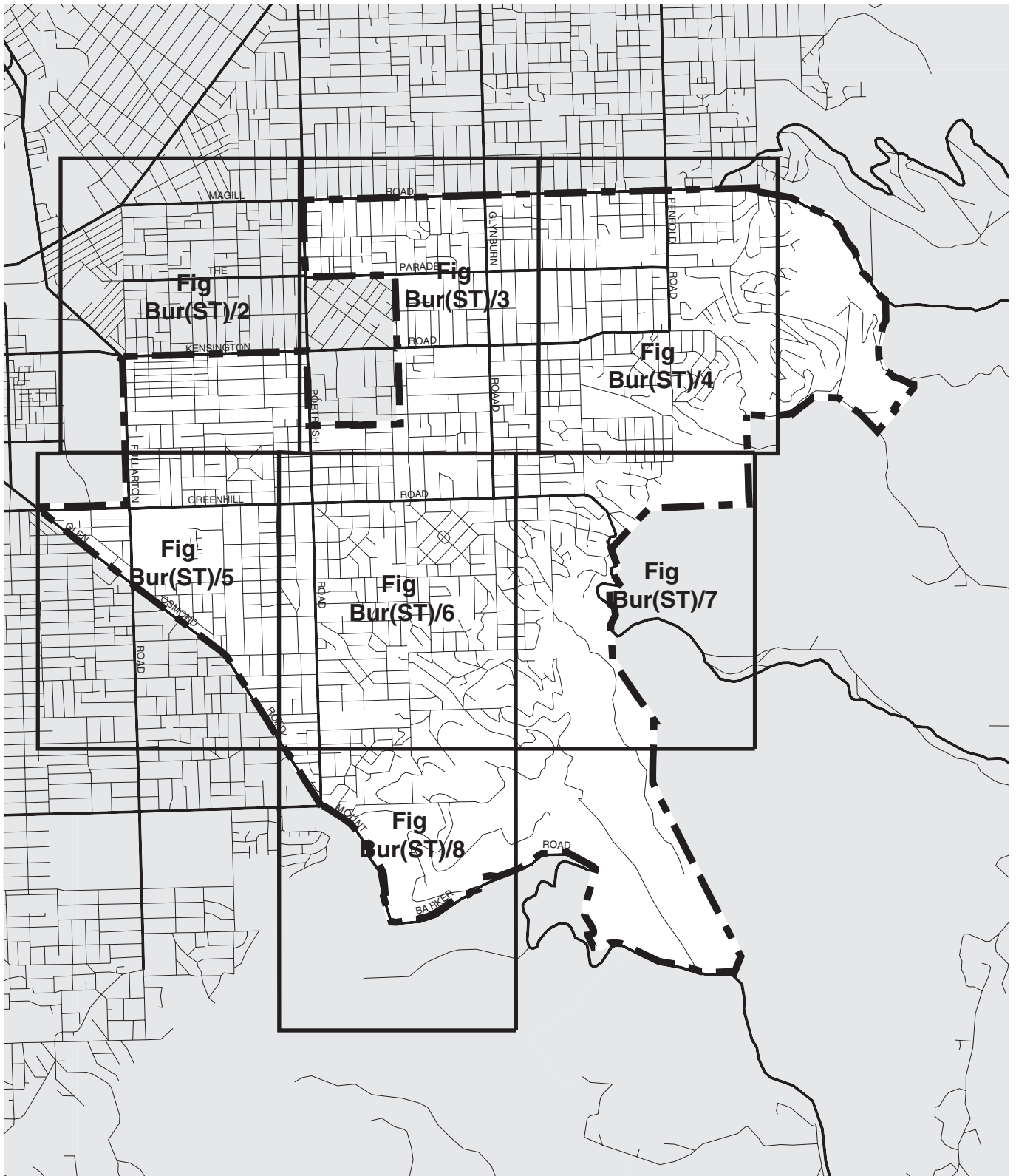


Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
508 Magill Road	MAGILL	Strata Plan 513926	5m from left boundary, on front boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
508 Magill Road	MAGILL	Strata Plan 513926	14m from right boundary, on front boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
508 Magill Road	MAGILL	Strata Plan 513926	2m from right boundary, on front boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
596 Magill Road	MAGILL	CT 5737/732, CT 3655/169, CT 5721/727, CT 5807/26, CT 5807/15	30m from front boundary, 58m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(iii), a(iv), a(v)
10 McGlasson Avenue	MAGILL	CT 5366/220	0.5m from East Street, 0.1m from McGlasson Avenue	<i>Eucalyptus leucoxydon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
12 Ormond Avenue	MAGILL	CT 5163/143	1.5m from driveway, on property boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
29 Romalo Avenue	MAGILL	CT 5227/331	2.5m from front boundary, 3m from right boundary	<i>Eucalyptus leucoxydon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
33 Romalo Avenue	MAGILL	CT 5648/846	4.5m from Maple Avenue, 7m from Romalo Avenue	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
33 Romalo Avenue	MAGILL	CT 5648/846	5.5m from Maple Avenue, 6m from Romalo Avenue	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
33 Romalo Avenue	MAGILL	CT 5648/846	6.5m from Maple Avenue, 7m from Romalo Avenue	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
33 Romalo Avenue	MAGILL	CT 5648/846	7.5m from Maple Avenue, 6m from Romalo Avenue	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
33 Romalo Avenue	MAGILL	CT 5648/846	8.5m from Maple Avenue, 6m from Romalo Avenue	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
509 The Parade	MAGILL	CT 5853/742	0.5m from front boundary, 74m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
509 The Parade	MAGILL	CT 5853/742	1m from front boundary, 58m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
509 The Parade	MAGILL	CT 5853/742	2m from front boundary, 38m from left boundary	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
160 Fullarton Road	ROSE PARK	Community Plan 20846	6m from front boundary, 60m from right boundary	<i>Platanus hybrida</i> - Plane Tree	a(i), a(vi)
24 Kensington Road	ROSE PARK	CT 5077/607	1.5m from front boundary, 2m from left boundary	<i>Eucalyptus sideroxyton</i> - Red Ironbark Gum	a(i), a(vi)
29 Hewitt Avenue	ROSE PARK	CT 5356/899	8m from rear boundary, 1.5m from right boundary	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
29 Hewitt Avenue	ROSE PARK	CT 5356/899	8m from rear boundary, 2.5m from right boundary	<i>Eucalyptus leucoxyton</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
7 Prescott Terrace	ROSE PARK	CT 5549/700	45 m from Prescott Avenue, 17m from Hewitt Avenue	<i>Eucalyptus scoparia</i> - Wallangarra White Gum	a(i), a(v), a(vi)
26 Swaine Avenue	ROSE PARK	CT 5711/927	10m from front boundary, 3m from left boundary	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)
17 Edgcumbe Terrace	ROSSLYN PARK	CT 5639/438	20m from rear boundary, 3m from right boundary	<i>Washingtonia filifera</i> - Cotton Palm	a(i), a(vi)
25 Hyland Terrace	ROSSLYN PARK	CT 5343/270	15m from rear boundary, 4m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
5 Brae Road	ST GEORGES	CT 5408/570	6m from rear boundary, 10m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
13 Sunnyside Road	ST GEORGES	CT 5840/726	17m from front boundary, 7m from Anglesey Avenue	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
13 Sunnyside Road	ST GEORGES	CT 5840/726	23.5m from front boundary, 4m from Anglesey Avenue	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
13 Sunnyside Road	ST GEORGES	CT 5840/726	24.5m from front boundary, 10m from Anglesey Avenue	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
13 Sunnyside Road	ST GEORGES	CT 5840/726	34.5m from front boundary, 8m from Anglesey Avenue	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
36 Wootoona Terrace	ST GEORGES	CT 5358/929	2m from front boundary, 0.5m from right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
5 Martindale Avenue	TOORAK GARDENS	CT 5860/236	3m from front boundary, 1m from right boundary	Eucalyptus sp	a(i), a(vi)
15 Sturt Avenue	TOORAK GARDENS	CT 5854/975	6m from front boundary, 0.5m from right boundary	<i>Chamaerops humilis</i> - Dwarf Fan Palm	a(i), a(vi)
15 Sturt Avenue	TOORAK GARDENS	CT 5854/975	4m from front boundary, 0.5m from right boundary	<i>Chamaerops humilis</i> - Dwarf Fan Palm	a(i), a(vi)
17 Bakewell Street	TUSMORE	CT 5451/172	6m from front boundary, 7m from right boundary	<i>Quercus palustris</i> - Pin Oak	a(i), a(vi)
46 Kennaway Street	TUSMORE	CT 5422/437	30m from front boundary, 1m from right boundary	<i>Washingtonia robusta</i> - Mexican Washingtonia	a(i), a(vi)
23 Stirling Street	TUSMORE	CT 5261/397	10m from front boundary, on left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
61 Tusmore Avenue	TUSMORE	CT 5511/388	2.5m from front boundary, near right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
61 Tusmore Avenue	TUSMORE	CT 5511/388	4m from front boundary, near right boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(ii), a(iii), a(iv), a(v)
71 Waterfall Gully Road	WATERFALL GULLY	CT 5741/48	On front boundary, 17m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(ii), a(iii), a(iv), a(v)
79 Waterfall Gully Road	WATERFALL GULLY	CT 5194/85	1m from front boundary, 1m from left boundary	<i>Eucalyptus saligna</i> - Sydney Blue Gum	a(i), a(vi)
79 Waterfall Gully Road	WATERFALL GULLY	CT 5194/85	1m from front boundary, 4m from left boundary	<i>Eucalyptus saligna</i> - Sydney Blue Gum	a(i), a(vi)
27 Caloroga Street	WATTLE PARK	CT 5350/273	8m from front boundary, 5m from left boundary	<i>Quercus palustris</i> - Pin Oak	a(i), a(vi)
10 Darrell Avenue	WATTLE PARK	CT 5585/834	9m from front boundary, 18m from left boundary	<i>Eucalyptus Saligna</i> - Sydney Blue Gum	a(i), a(vi)
496 Kensington Road	WATTLE PARK	CT 5605/263	7m from Gordo Ave, 2m from rear boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
496 Kensington Road	WATTLE PARK	CT 5605/263	5.5m from Gordo Ave, 1m From rear boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)

Property Address	Suburb	Certificate of Title	Location on Site*	Species and Common Name	Section 23 (4a) Criteria
496 Kensington Road	WATTLE PARK	CT 5605/263	3.5m from Gordo Ave, 2m from rear boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
496 Kensington Road	WATTLE PARK	CT 5605/263	2m from Gordo Ave, 0.5m from rear boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
140 Penfold Road	WATTLE PARK	CT 5806/414	3m from front boundary, 11m from left boundary	<i>Eucalyptus camaldulensis</i> - River Red Gum	a(i), a(iii), a(iv), a(v)
140 Penfold Road	WATTLE PARK	CT 5806/414	6m from front boundary, 19m from left boundary	<i>Eucalyptus leucoxydon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
140 Penfold Road	WATTLE PARK	CT 5806/414	9m from Penfold Road, 4.5m from Crompton Drive	<i>Eucalyptus leucoxydon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)
140 Penfold Road	WATTLE PARK	CT 5806/414	2m from Crompton Drive, 4m SE from previous tree	<i>Eucalyptus leucoxydon</i> - South Australian Blue Gum	a(i), a(iii), a(iv), a(v)



— — — — — Development Plan Boundary

Scale 1:50000



# BURNSIDE (CITY) INDEX TO SIGNIFICANT TREES

## Fig Bur(ST)/1

Consolidated - 19 December 2017

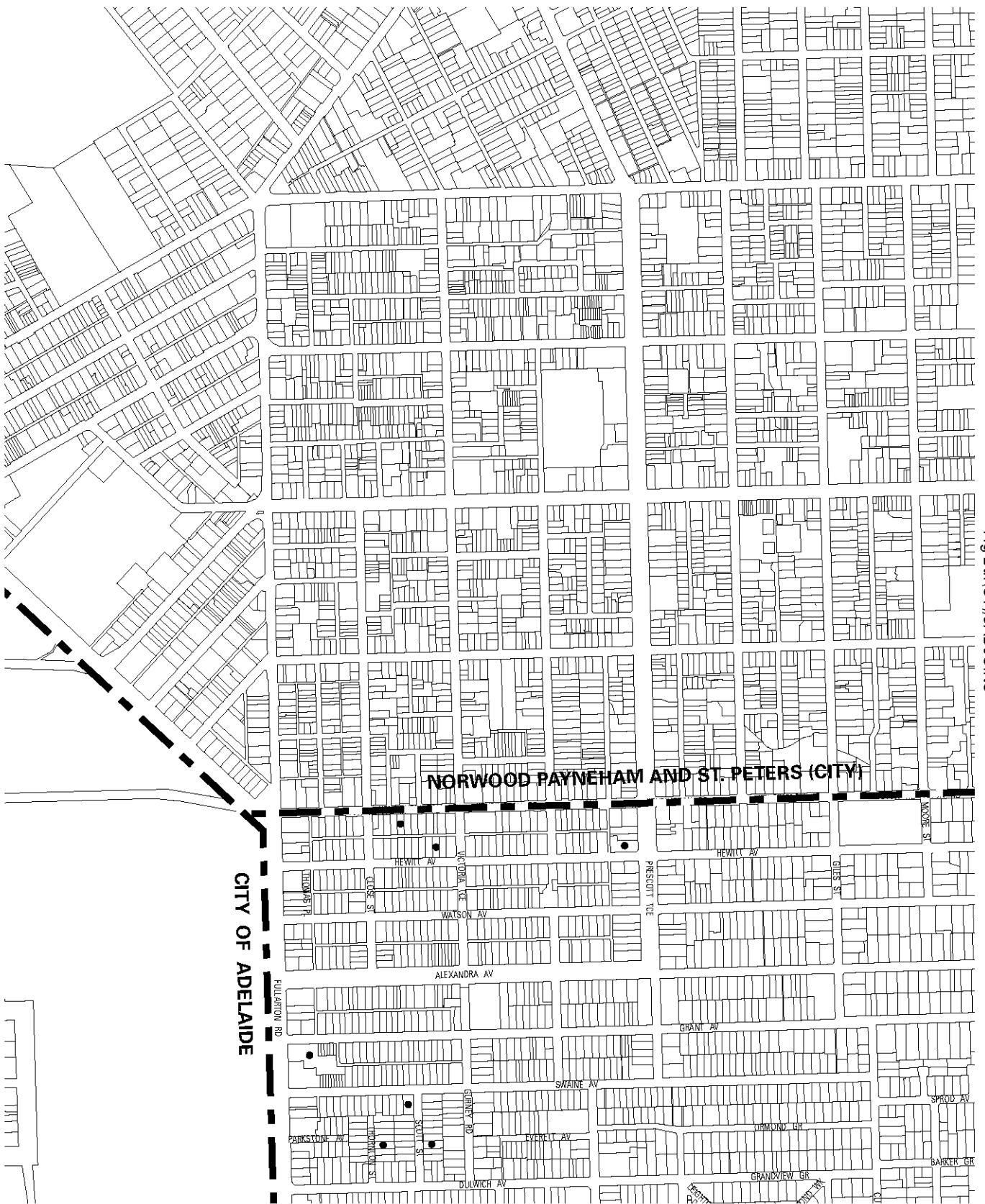


Fig Bur(ST)/3ADJOINS

**NORWOOD PAYNEHAM AND ST. PETERS (CITY)**

**CITY OF ADELAIDE**

Fig Bur(ST)/5 ADJOINS

Fig Bur(ST)/6 ADJOINS



Scale 1:12000



- Allotment Containing Significant Tree(s)
- Development Plan Boundary

# BURNSIDE (CITY) SIGNIFICANT TREES Fig Bur(ST)/2

Fig Bur(ST)/2 ADJOINS

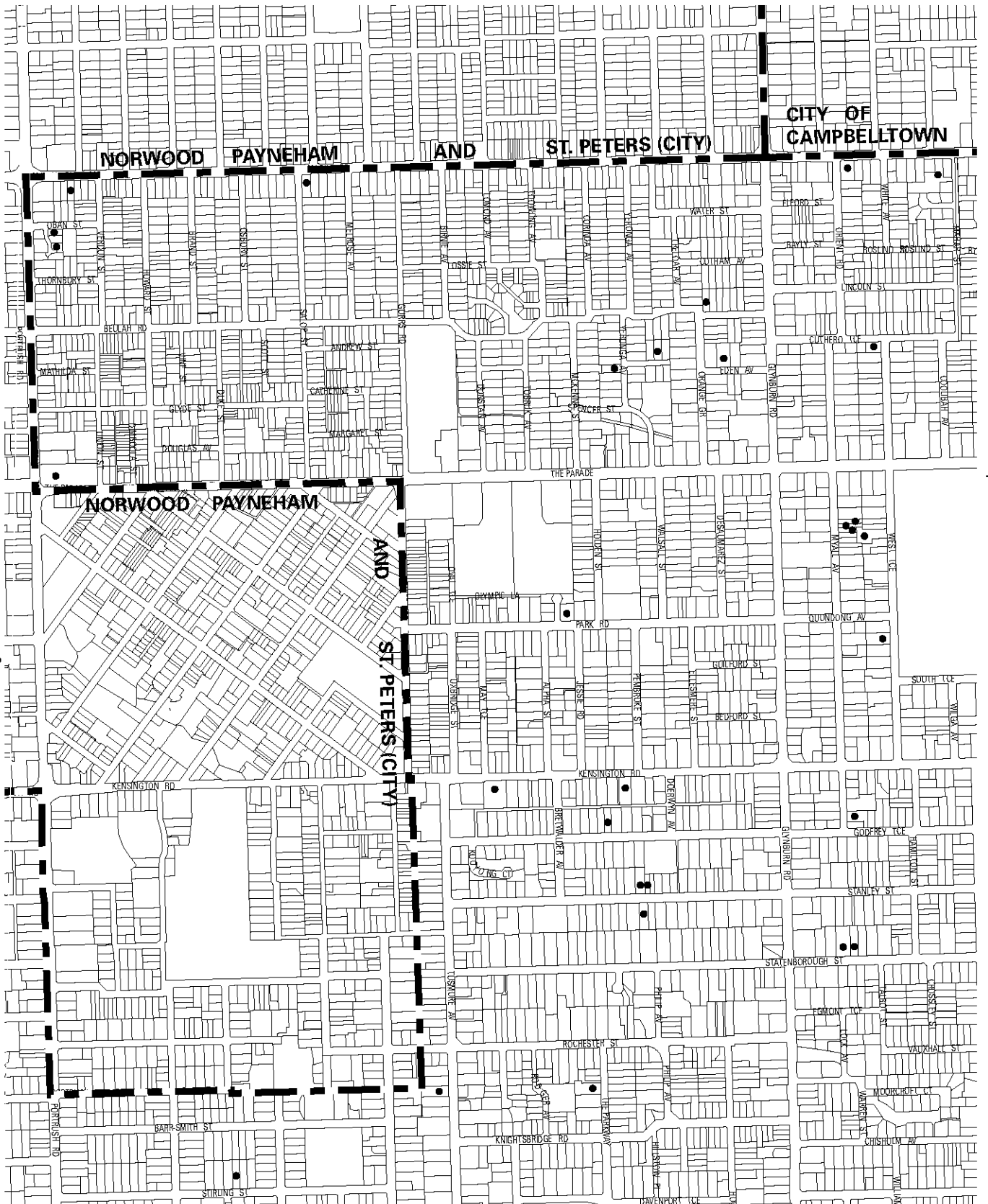


Fig Bur(ST)/6 ADJOINS

Fig Bur(ST)/7 ADJOINS



Scale 1:12000



# BURNSIDE (CITY) SIGNIFICANT TREES Fig Bur(ST)/3

- Allotment Containing Significant Tree(s)
- — — — — Development Plan Boundary



Fig Bur(ST)/3 ADJOINS

Fig Bur(ST)/7 ADJOINS

**ADELAIDE HILLS COUNCIL**



Scale 1:12000



# BURNSIDE (CITY) SIGNIFICANT TREES Fig Bur(ST)/4

- Allotment Containing Significant Tree(s)
- — — — — Development Plan Boundary

Consolidated - 19 December 2017



Fig Bur(ST)/2 ADJOINS

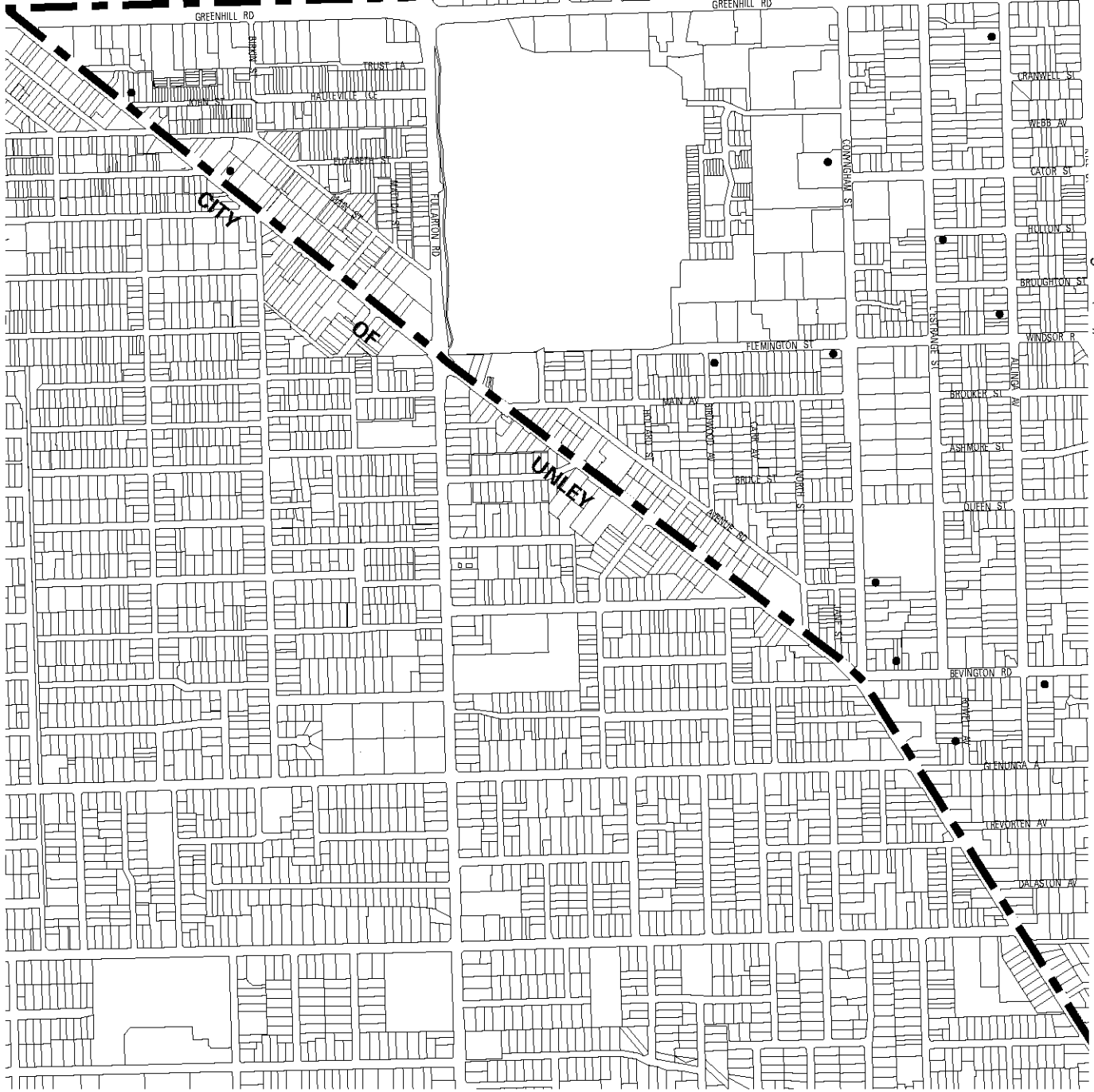
CITY OF ADELAIDE

CITY

OF

UNLEY

Fig Bur(ST)/6 ADJOINS



Scale 1:12000



**BURNSIDE (CITY)  
SIGNIFICANT TREES  
Fig Bur(ST)/5**

- Allotment Containing Significant Tree(s)
- Development Plan Boundary

Fig Bur(ST)/2 ADJOINS

Fig Bur(ST)/3 ADJOINS

Fig Bur(ST)/5 ADJOINS

Fig Bur(ST)/7 ADJOINS

Fig Bur(ST)/8 ADJOINS



Scale 1:12000



# BURNSIDE (CITY) SIGNIFICANT TREES

## Fig Bur(ST)/6

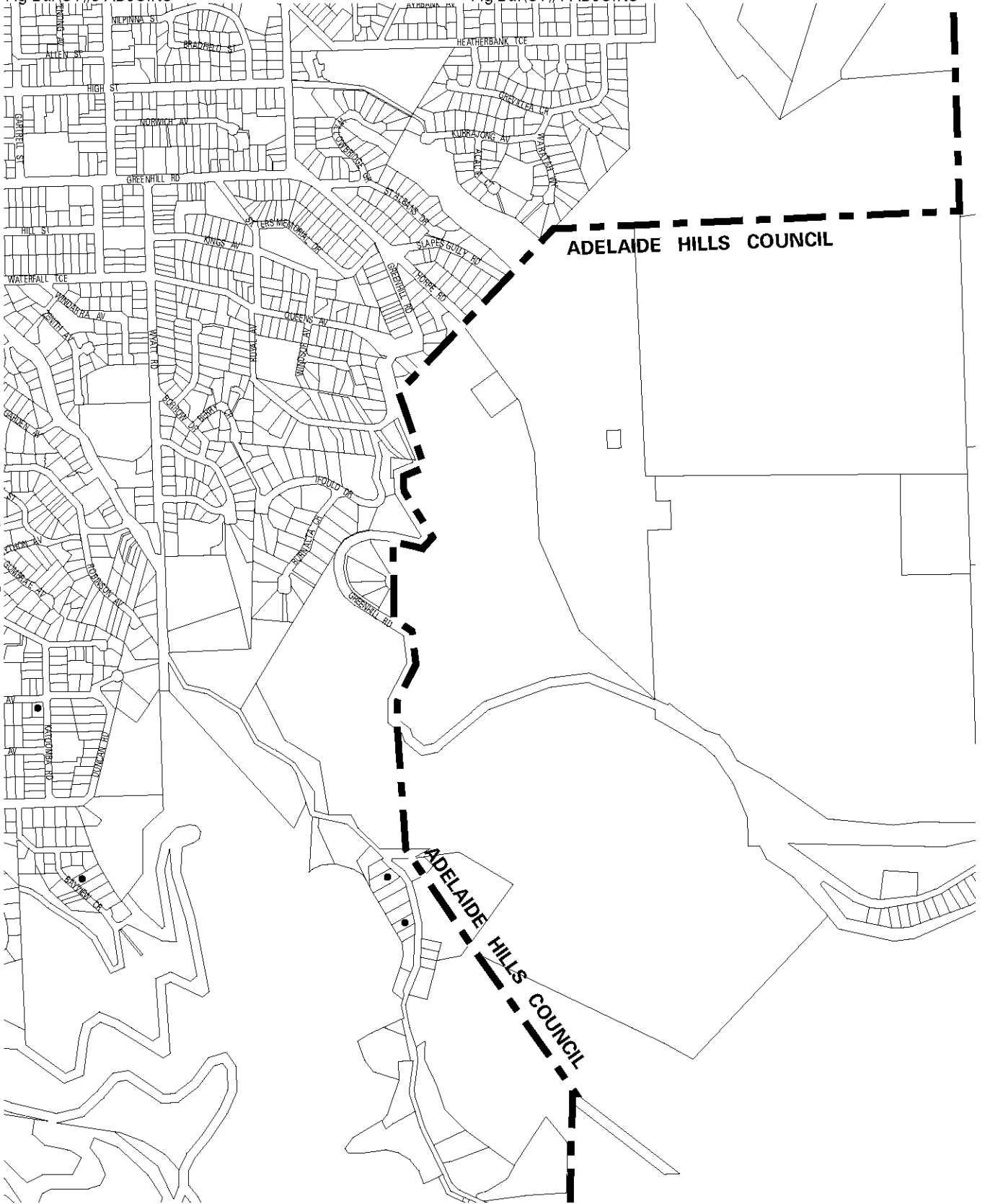
Consolidated - 19 December 2017

- Allotment Containing Significant Tree(s)
- — — Development Plan Boundary

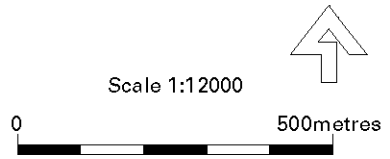
Fig Bur(ST)/3 ADJOINS

Fig Bur(ST)/4 ADJOINS

Fig Bur(ST)/6 ADJOINS



- Allotment Containing Significant Tree(s)
- Development Plan Boundary



# BURNSIDE (CITY) SIGNIFICANT TREES

## Fig Bur(ST)/7

Consolidated - 19 December 2017

Fig Bur(ST)/6 ADJOINS



Scale 1:12000



- Allotment Containing Significant Tree(s)
- Development Plan Boundary

# BURNSIDE (CITY) SIGNIFICANT TREES Fig Bur(ST)/8

Consolidated - 19 December 2017

**TABLE Bur/5**

Off-Street Vehicular Parking Requirements (except where otherwise stated in [Table Bur/6](#))

Kind of Development	Number of Car Parking Spaces Required
<b>Bank</b>	4 spaces per 100 square metres of total floor area (excluding voids).
<b>Consulting Room/s</b>	4 spaces per consulting room.
<b>Community Centre or other Community Facility not listed</b>	10 spaces per 100 square metres of total floor area.
<b>Dwellings (other than accommodation for the aged which may have a lesser demand for parking)</b>	2 spaces per dwelling, plus one additional space for each two rooms in excess of three rooms which may reasonably be used as bedrooms.
<b>Educational Establishment Pre-school Primary School</b>	1 space per staff member, plus not less than four spaces and an additional 0.15 spaces for each child to be accommodated on the site in excess of 25 children, for visitors and service vehicles.
<b>Hospital</b>	1 space for every 4 beds.
<b>Hotel or any other venue where an entertainment venue licence is held under the Liquor Licensing Act, 1997</b>	1 space for every 2 square metres of bar floor area, plus 1 space for every 6 square metres of floor area available to the public in a lounge, dining room or beer garden, plus, where a hotel includes guest rooms, 1 space for every 3 guest rooms.
<b>Indoor Recreation Centre (includes gymnasiums)</b>	10 spaces per 100 square metres of total floor area.
<b>Industry</b>	2 spaces per 100 square metres of total floor area.
<b>Meeting Hall</b>	1 car parking space for every 5 seats provided, or able to be provided.
<b>Motel</b>	1 space for every guest room or unit provided, plus, where a motel includes a restaurant that is to be licensed under the provisions of the Liquor Licensing Act, 1997, 1 space for every 5 seats provided.
<b>Motor Repair Station</b>	3 spaces per service bay.
<b>Non-residential Club (includes clubrooms)</b>	6.7 spaces per 100 square metres of total floor area able to be used by members.
<b>Nursing Home Rest Home Hostel</b>	1 space for every 4 beds.
<b>Office</b>	4 spaces per 100 square metres of total floor area (excluding voids).

Kind of Development	Number of Car Parking Spaces Required
<b>Petrol Filling Station</b>	2 spaces per 100 square metres of total floor area, excluding any part of that area used as a shop, in respect of which part 7 spaces per 100 square metres of total floor area should be provided.
<b>Place of Worship</b>	1 space for every 5 seats provided, or able to be provided.
<b>Restaurant/Cafe</b>	1 space per 3 seats and two additional spaces if take away food is provided.
<b>Retail Showroom</b>	5 spaces per 100 square metres of total floor area.
<b>Service Trade Premises</b>	2 spaces per 100 square metres of total floor area.
<b>Shop (not including restaurants)</b>	7 spaces per 100 square metres of total floor area (unless otherwise prescribed in part of a zone).
<b>Store</b>	2 spaces per 100 square metres of total floor area.
<b>Warehouse</b>	2 space per 100 square metres of total floor area.

## TABLE Bur/6

### Off-street Vehicle Parking Requirements for Designated Areas

#### Interpretation

- 1 The vehicle parking rates table applies to Designated Areas listed below except where:
  - (a) any applicable condition(s) is/are not met;
  - (b) the zone provisions require a lesser amount of on-site vehicular parking spaces than the amount determined using the vehicle parking rates table below.

#### Designated Areas

- 2 The following are Designated Areas:

Designated Area	Conditions
Urban Corridor Zone Mixed Use (Glenside) Zone – Mixed Use (Glenside) Policy Area 1	None
District Centre Zone Neighbourhood Centre Zone Local Centre Zone Business (Glen Osmond Road) Zone	Any part of the development site is located in accordance with at least one of the following: <ol style="list-style-type: none"> <li>(a) within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service<sup>(2)</sup></li> <li>(b) within 400 metres of a bus interchange<sup>(1)</sup> that is part of a high frequency public transit service<sup>(2)</sup></li> <li>(c) within 400 metres of an O-Bahn interchange<sup>(1)</sup></li> <li>(d) within 400 metres of a passenger rail station<sup>(1)</sup> that is part of a high frequency public transit service<sup>(2)</sup></li> <li>(e) within 400 metres of a passenger tram station<sup>(1)</sup></li> <li>(f) within 400 metres of the Adelaide Parklands.</li> </ol>

<sup>(1)</sup> Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles.

<sup>(2)</sup> A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.

#### Applicable off-street vehicular parking requirements

- 3 Development should provide off-street vehicle parking in accordance with the table(s) below. A lesser number of parking spaces may be provided based on the nature of the development and parking conditions in the wider locality including (but not limited to) the following:
  - (a) the development is a mixed use development with integrated (shared) parking where the respective peak parking demands across the range of uses occurs at different times;
  - (b) the development is sited in a locality where the respective peak demands for parking for the range of uses (existing and proposed) occurs at different times and suitable arrangements are in place for the sharing of adjoining or nearby parking areas;

- (c) the development involves the retention and reuse of a place of heritage value, where the provision of on-site parking is constrained;
- (d) suitable arrangements are made for any parking shortfall to be met elsewhere or by other means (including a contribution to a car parking fund);
- (e) generous on-street parking and/or public parking areas are available and in convenient proximity, other than where such parking may become limited or removed by future loss of access, restrictions, road modifications or widening;
- (f) the site of the development is located within distances specified in the conditions applicable to Designated Areas for at least two different public transit modes.

### VEHICLE PARKING RATES TABLES

**Table 1: Non-residential development excluding tourist accommodation**

Location of development	Desired minimum number of vehicle parking spaces	Maximum number of vehicle parking spaces
All <i>Designated Areas</i> (unless otherwise stated)	3 spaces per 100 square metres of gross leasable floor area	6 spaces per 100 square metres of gross leasable floor area
Urban Corridor Zone	3 spaces per 100 square metres of gross leasable floor area	5 spaces per 100 square metres of gross leasable floor area

**Table 2: Tourist accommodation**

Location of development	Desired minimum number of required vehicle parking spaces	Maximum number of vehicle parking spaces
Urban Corridor Zone	1 space for every 4 bedrooms up to 100 bedrooms and 1 space for every 5 bedrooms over 100 bedrooms	1 space for every 2 bedrooms up to 100 bedrooms and 1 space for every 4 bedrooms over 100 bedrooms

**Table 3: Residential development, in the form of residential flat buildings and residential development in multi-storey buildings**

Location of development	Rate for each dwelling based on number of bedrooms per dwelling	Plus number of required visitor parking spaces
Urban Corridor Zone	1 per studio (no separate bedroom) 1 per 1 bedroom dwelling 1 per 2 bedroom dwelling 1.25 per 3 + bedroom dwelling	0.25 per dwelling

**Table 4: Row, semi-detached and detached dwellings**

Location of development	Number of bedrooms, or rooms capable of being used as a bedroom	Number of required vehicle parking spaces
Urban Corridor Zone	1 or 2 bedrooms 3 + bedrooms	1 2



**TABLE Bur/7****Off-street Bicycle Parking Requirements for the Urban Corridor Zone**

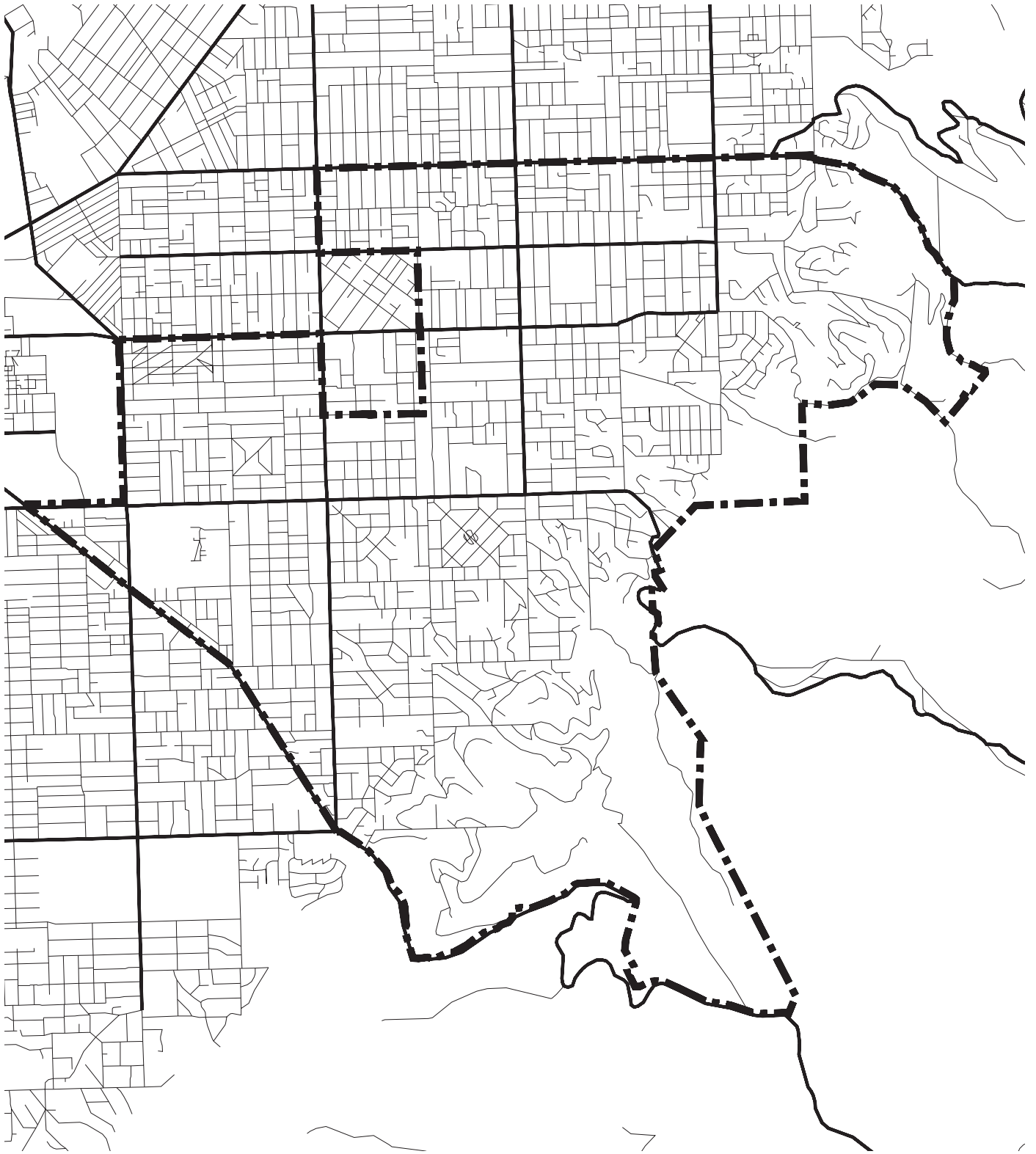
The following bicycle parking requirements apply to development specifically in the Urban Corridor Zone:

- 1 In residential and mixed use development, the provision of bicycle parking may be reduced in number and shared where the operating hours of commercial activities complement the residential use of the site.
- 2 Residential and mixed use development, in the form of multi-storey buildings, should provide bicycle parking in accordance with the following rates:

<b>Form of development</b>	<b>Employee/resident (bicycle parking spaces)</b>	<b>Visitor/shopper (bicycle parking spaces)</b>
Residential component of multi-storey building/ residential flat building	1 for every 4 dwellings	1 for every 10 dwellings
Office	1 for every 200 square metres of gross leasable floor area	2 plus 1 per 1000 square metres of gross leasable floor area
Shop	1 for every 300 square metres of gross leasable floor area	1 for every 600 square metres of gross leasable floor area
Tourist accommodation	1 for every 20 employees	2 for the first 40 rooms plus 1 for every additional 40 rooms

**TABLE Bur/8****Conditions Applying to Complying Development**

Kind of Development	Conditions
<b>Advertisement or advertising display</b>	<ol style="list-style-type: none"> <li>1. The advertisement is in the form of a portable easel or A-frame structure.</li> <li>2. The advertisement does not move (with the exception of the portability of the structure) or flash.</li> <li>3. The advertisement not being internally or externally illuminated.</li> <li>4. The advertisement area per face of the advertisement not exceeding 0.75 square metres.</li> <li>5. The advertisement being less than one metre in height above natural ground level.</li> <li>6. The advertisement being less than 750 millimetres in width.</li> <li>7. Only one advertisement being displayed for the premises to which it relates.</li> <li>8. The advertisement not being placed within areas of landscaping.</li> <li>9. The advertisement not obstructing the views of motorists.</li> <li>10. The advertisement not obstructing any pedestrian pathway.</li> </ol>



To identify the precise location of the Development Plan boundary refer to Map Bur/2 then select the relevant Zone Map



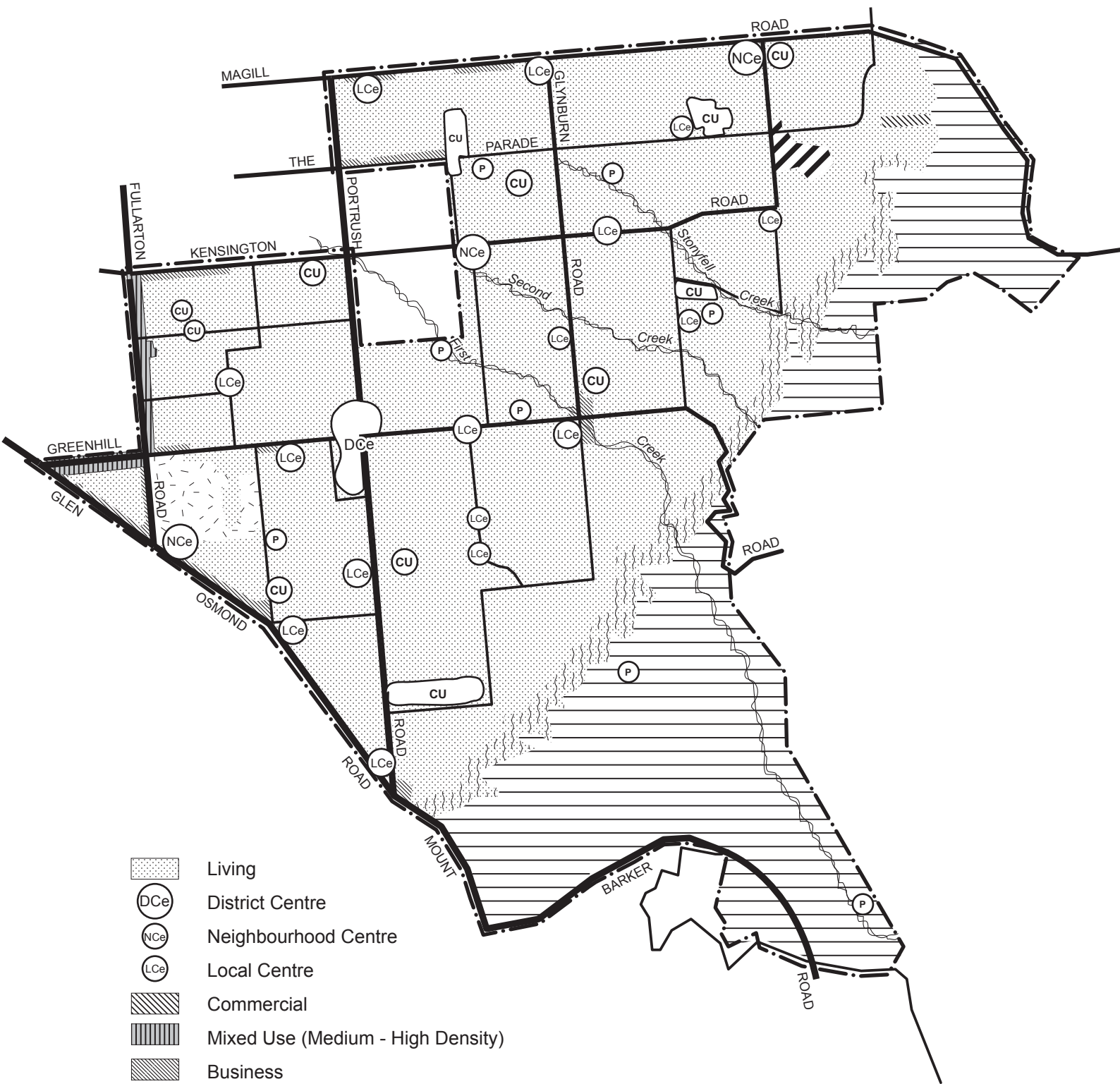
0 2km




















— ■ — Development Plan Boundary

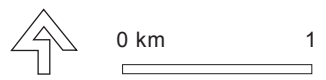
**Burnside (City)**

**MAP Bur/1**

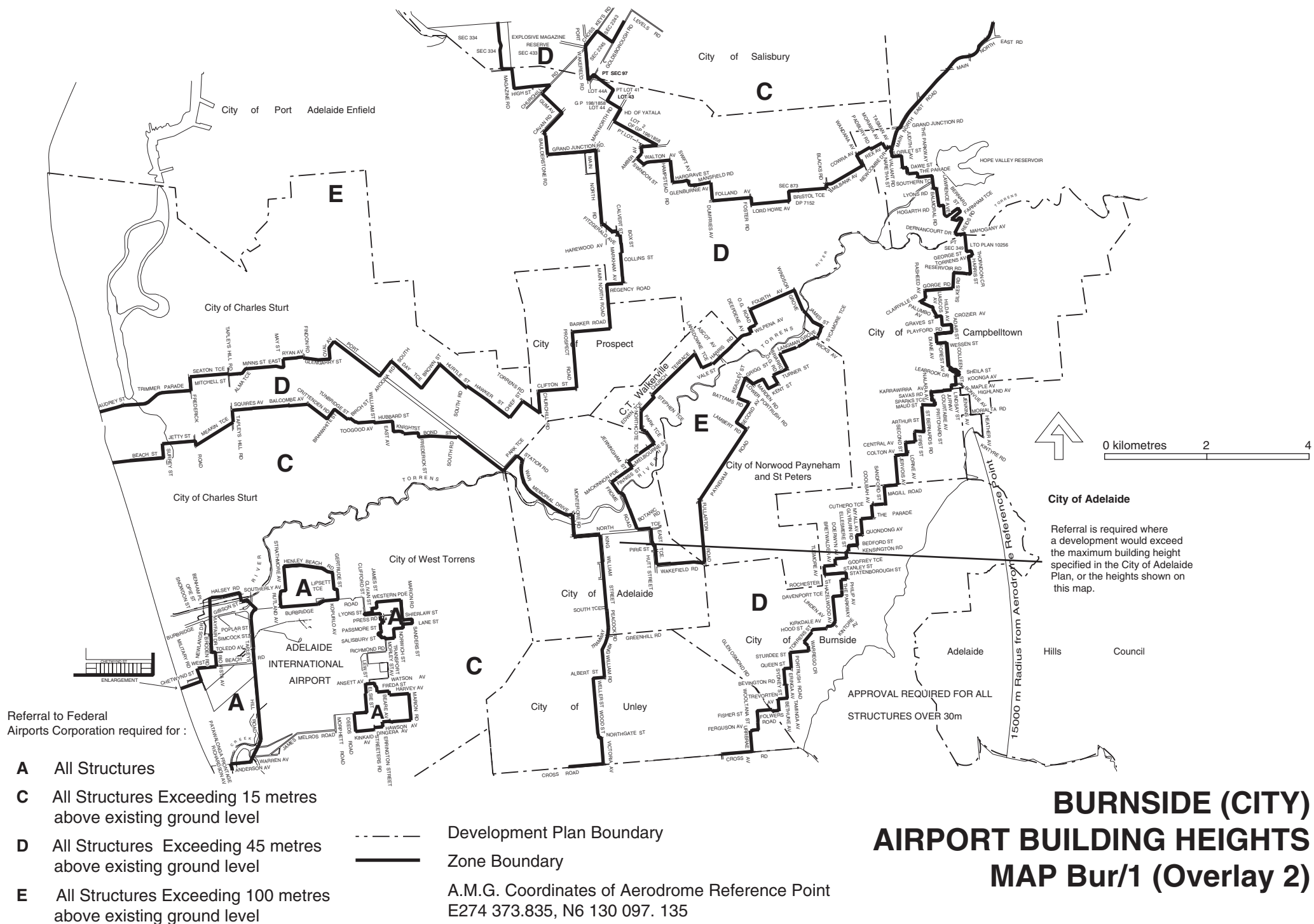
Consolidated - 19 December 2017

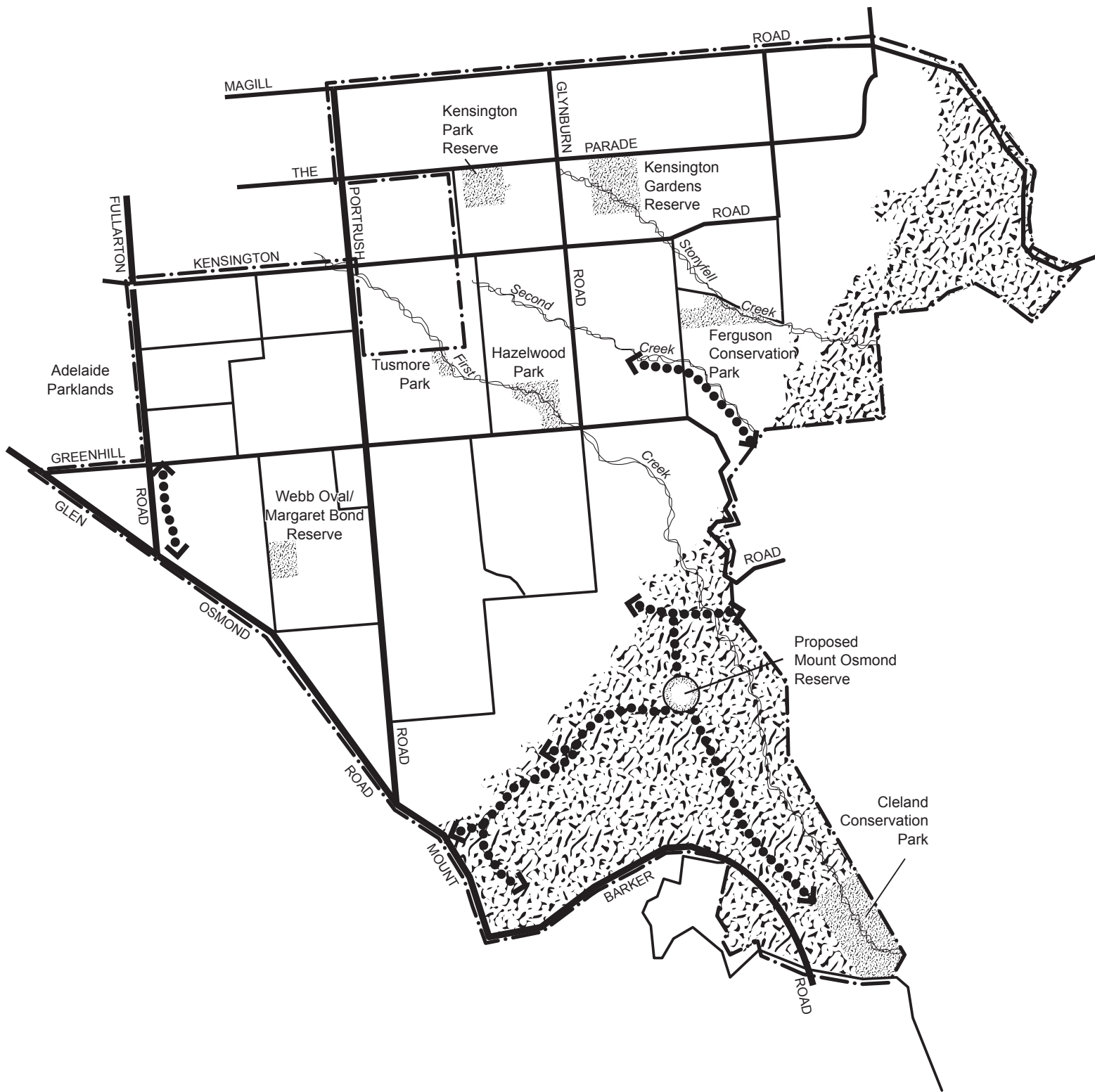


-  Living
-  District Centre
-  Neighbourhood Centre
-  Local Centre
-  Commercial
-  Mixed Use (Medium - High Density)
-  Business
-  Wine Associated Uses
-  Historic Conservation
-  Hills Face
-  Hills Face Buffer
-  Community Uses
-  District or Regional Park
-  Mixed Use
-  Primary Arterial Road
-  Secondary Arterial Road
-  Major Collector Road
-  Watercourse
-  Development Plan Boundary



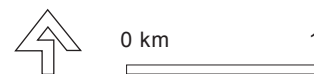
**BURNSIDE (CITY)  
STRUCTURE PLAN  
MAP Bur/1 (Overlay 1)**  
Consolidated - 19 December 2017





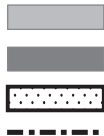
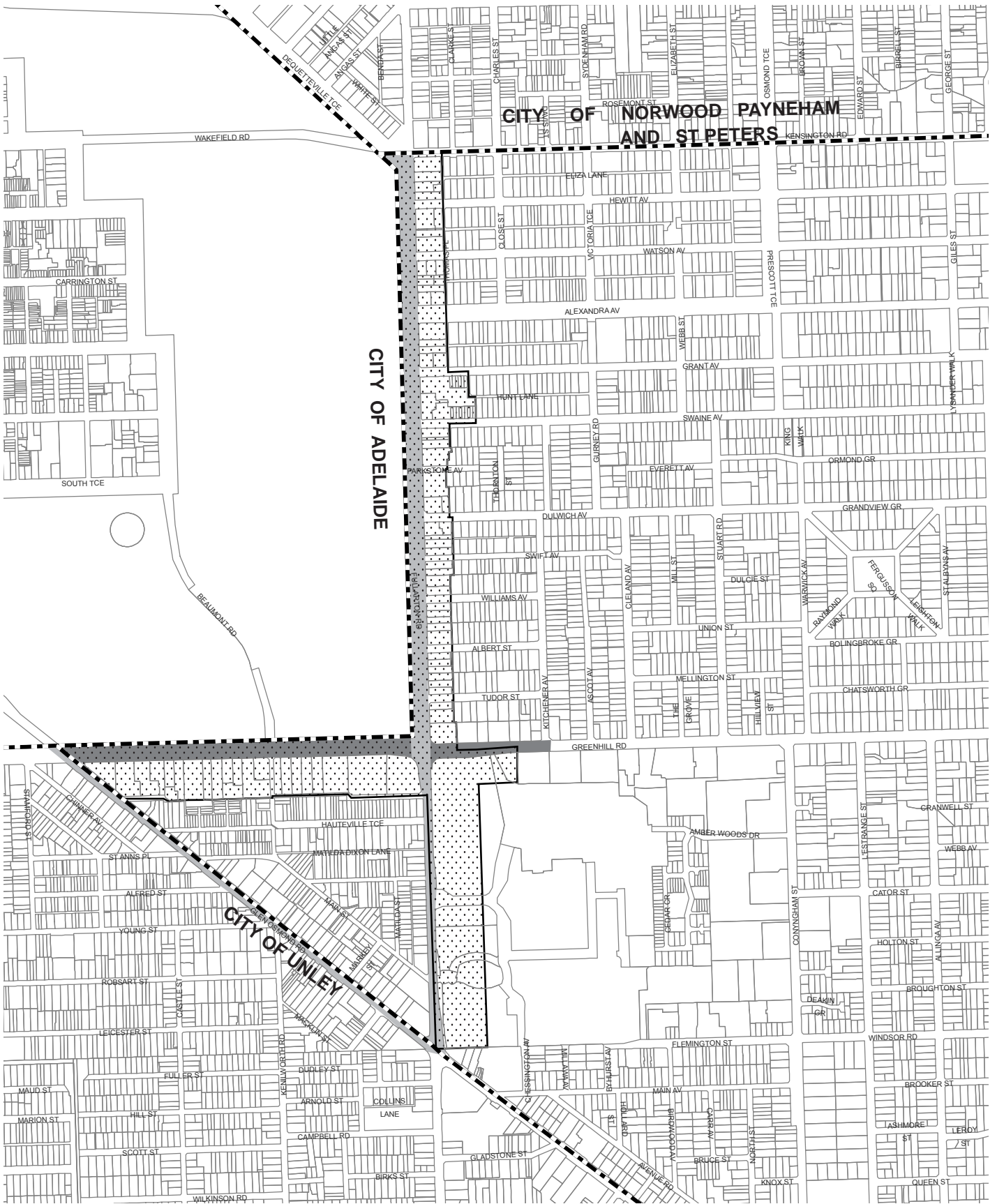
The inclusion of private land in MOSS does not indicate an intention to purchase that land

-  Metropolitan Open Space System
-  District or Regional Park
-  Proposed Park
-  Open Space Link
-  Primary Arterial Road
-  Secondary Arterial Road
-  Major Collector Road
-  Watercourse
-  Development Plan Boundary



**BURNSIDE (CITY)  
DISTRICT AND REGIONAL  
OPEN SPACE  
MAP Bur/1 (Overlay 3)**  
Consolidated - 19 December 2017





- Designated Road: Type A road
- Designated Road: Type B road
- Designated Area
- Development Plan Boundary

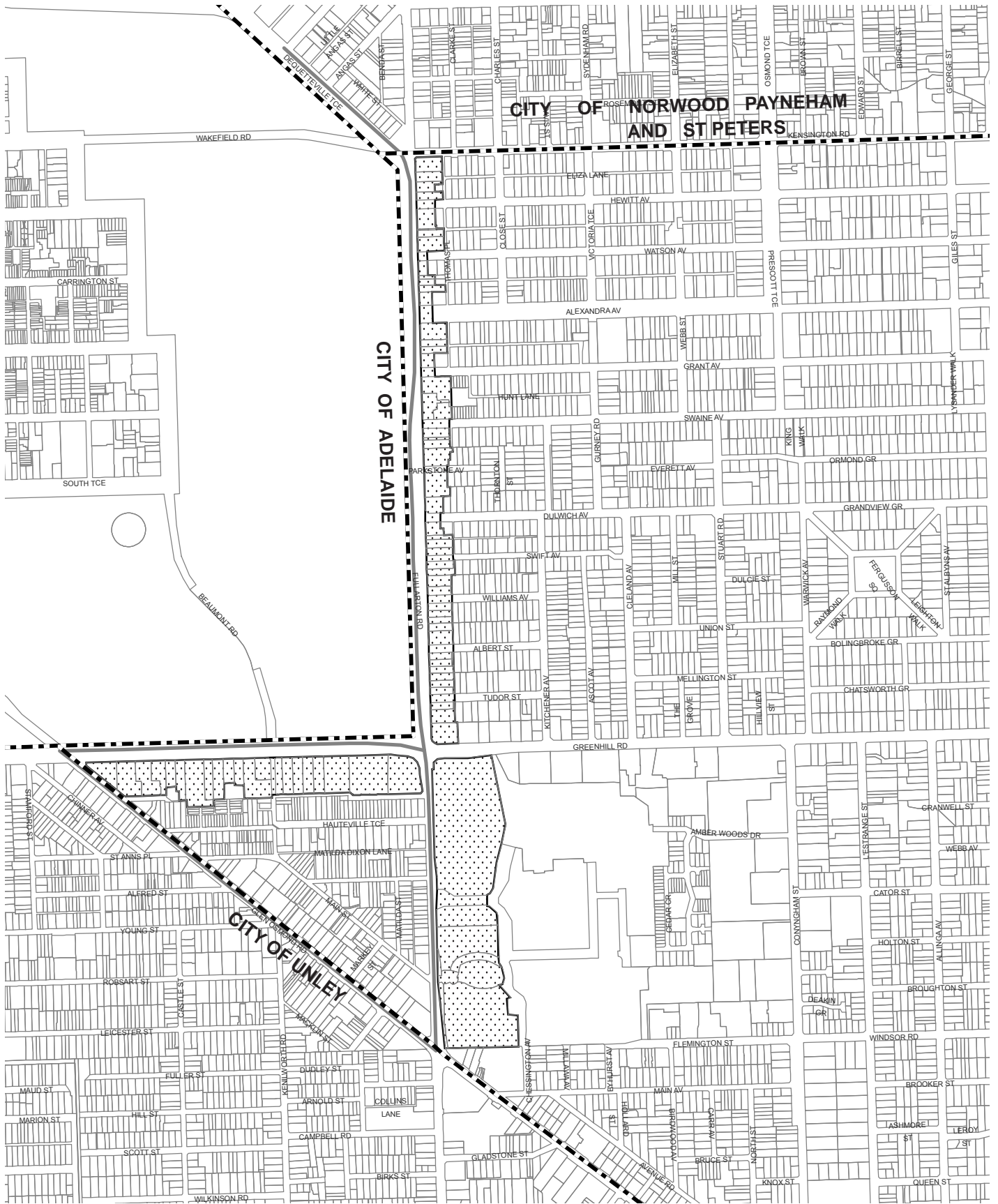


Scale 1:12000



# BURNSIDE (CITY) NOISE AND AIR EMISSIONS MAP Bur/1 (Overlay 4)

Consolidated - 19 December 2017



CITY OF NORWOOD PAYNEHAM AND ST PETERS

CITY OF ADELAIDE

CITY OF UNLEY



Scale 1:12000

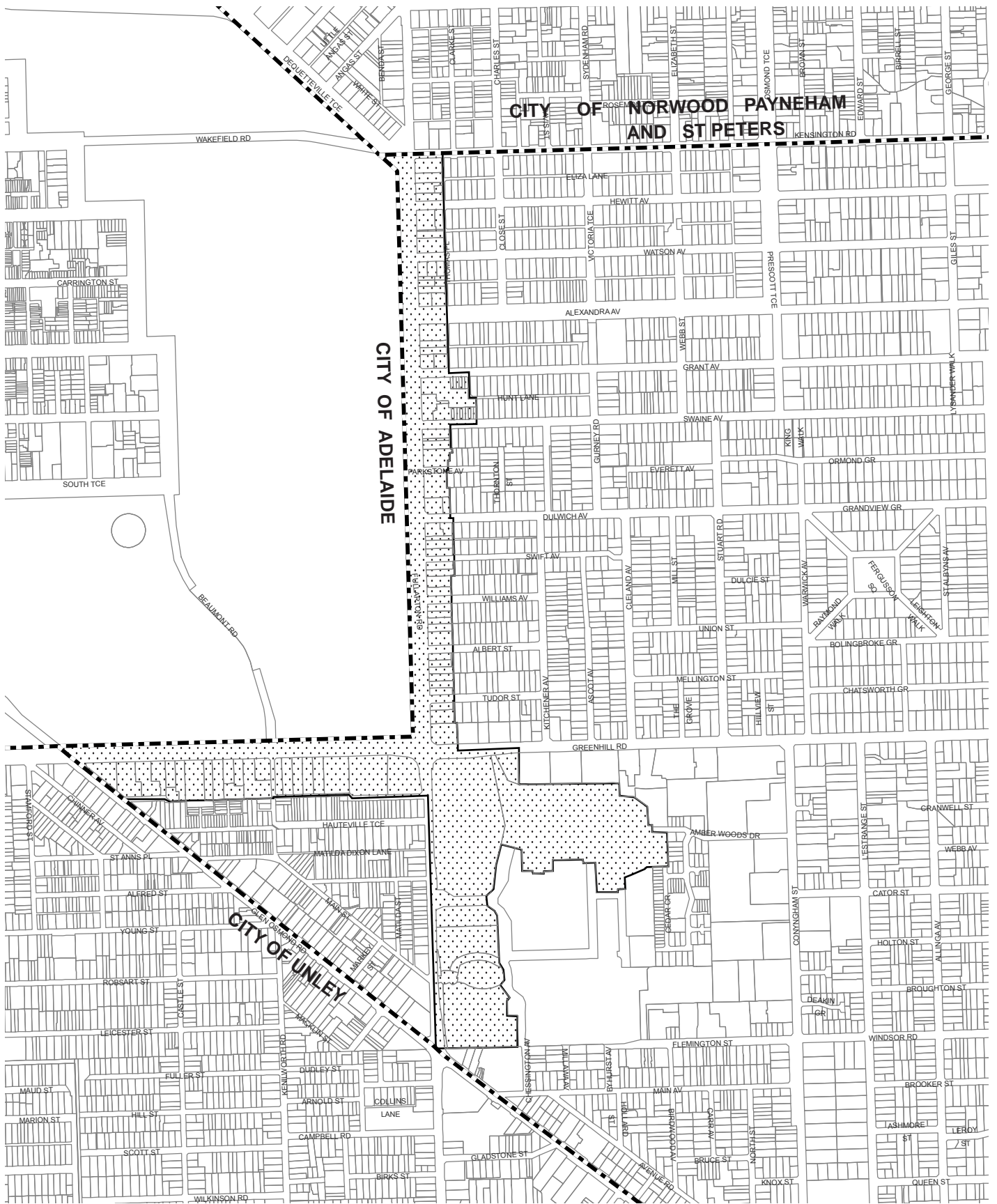


-  Designated Area
-  Strategic Roads
-  Development Plan Boundary

# BURNSIDE (CITY) STRATEGIC TRANSPORT ROUTES MAP Bur/1 (Overlay 5)

Consolidated - 19 December 2017





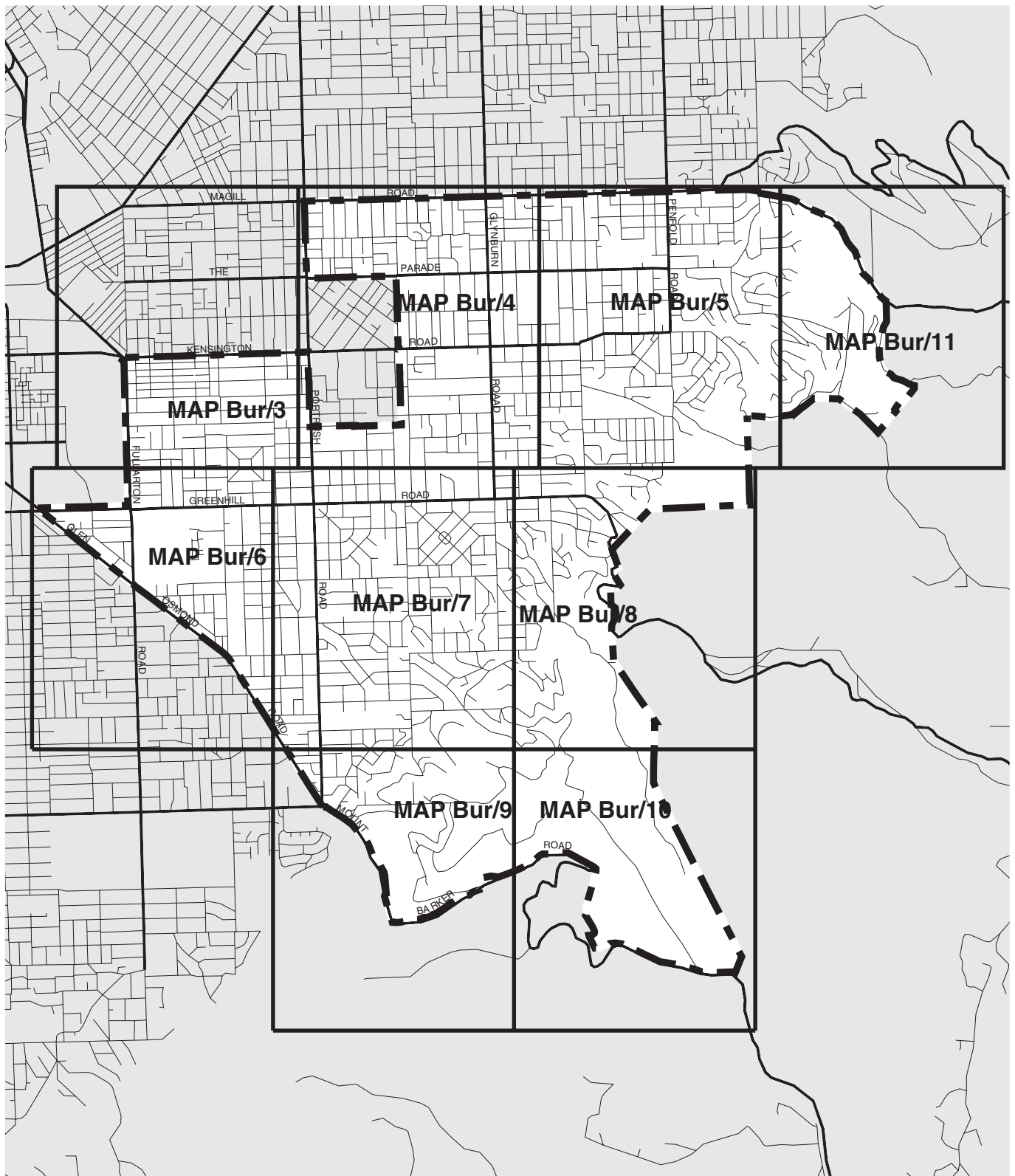
Scale 1:12000



Designated Area within which Affordable Housing applies  
 Development Plan Boundary

# BURNSIDE (CITY) AFFORDABLE HOUSING MAP Bur/1 (Overlay 6)

Consolidated - 19 December 2017



For the purposes of the Development Plan unless otherwise clearly indicated, the zone/policy area boundaries depicted on or intended to be fixed by Maps Bur/3 to Bur/20 inclusive shall be read as conforming in all respects (as the case may require) to the land division boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said zone/policy area boundaries are shown or otherwise as indicated.



Scale 1:50000

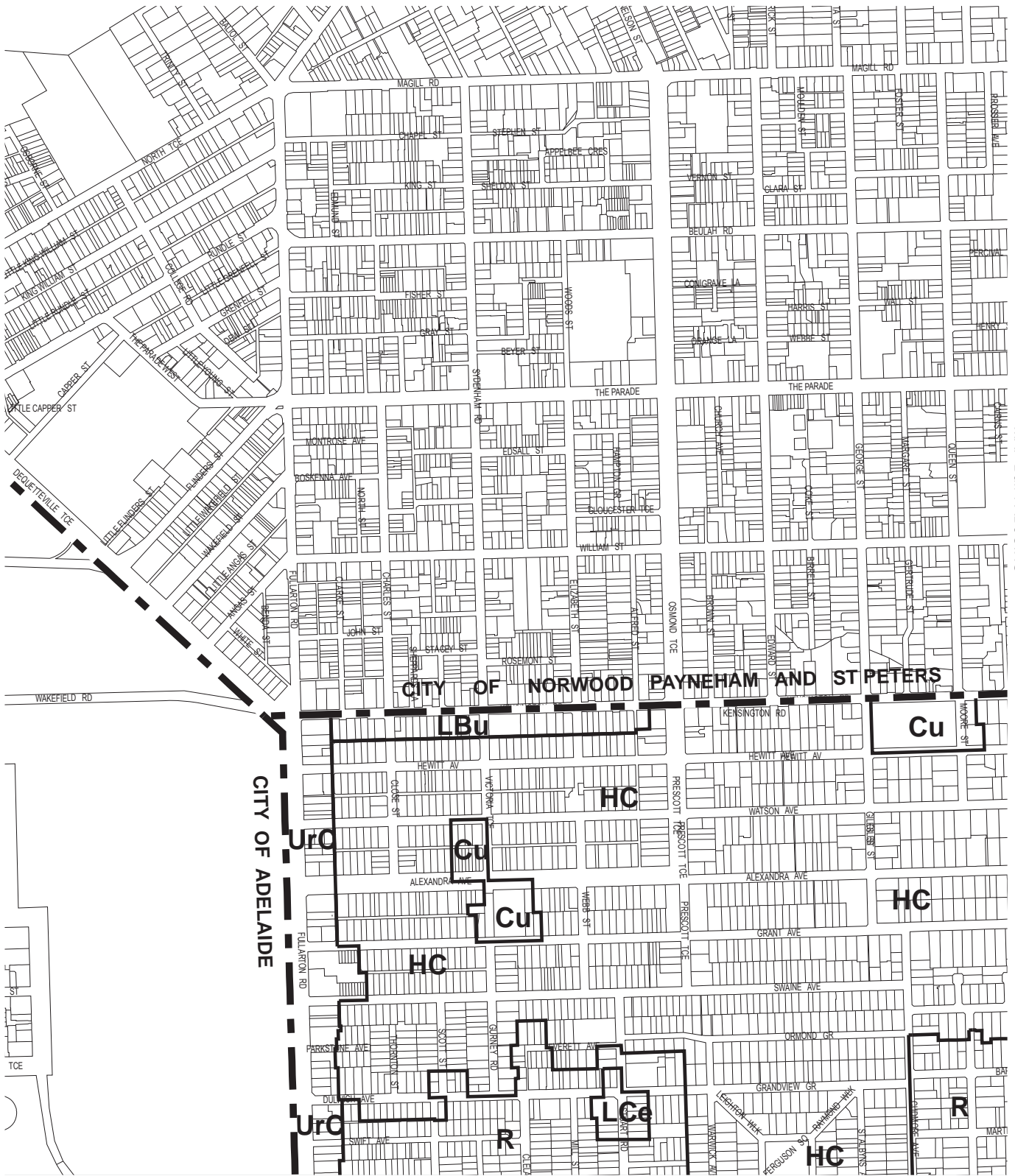


# BURNSIDE (CITY) INDEX

## MAP Bur/2

Consolidated - 19 December 2017



**— —** Development Plan Boundary



MAPS Bur/6 AND Bur/7 ADJOIN

**NOTE : For Policy Areas See MAP Bur/12**

- Cu** Community
- HC** Historic Conservation
- LBU** Local Business
- LCe** Local Centre
- R** Residential
- Urc** Urban Corridor

-  Zone Boundary
-  Development Plan Boundary



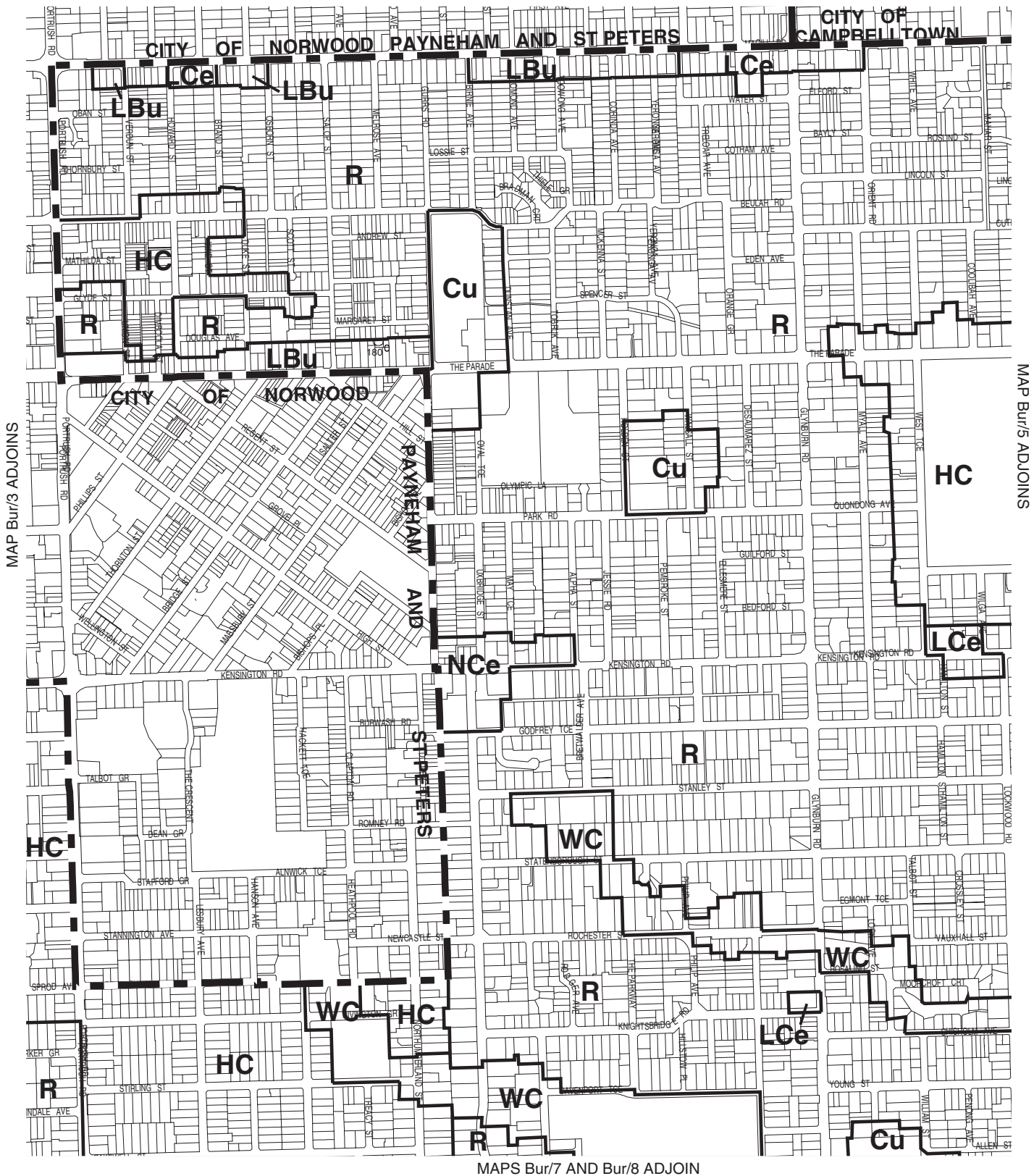
Scale 1:12000



**BURNSIDE (CITY)  
ZONES  
MAP Bur/3**

Consolidated - 19 December 2017





**NOTE : For Policy Areas See MAP Bur/13**

- Cu Community
- HC Historic Conservation
- LBU Local Business
- LCe Local Centre
- NCe Neighbourhood Centre
- R Residential
- WC Watercourse

- Zone Boundary
- - - Development Plan Boundary



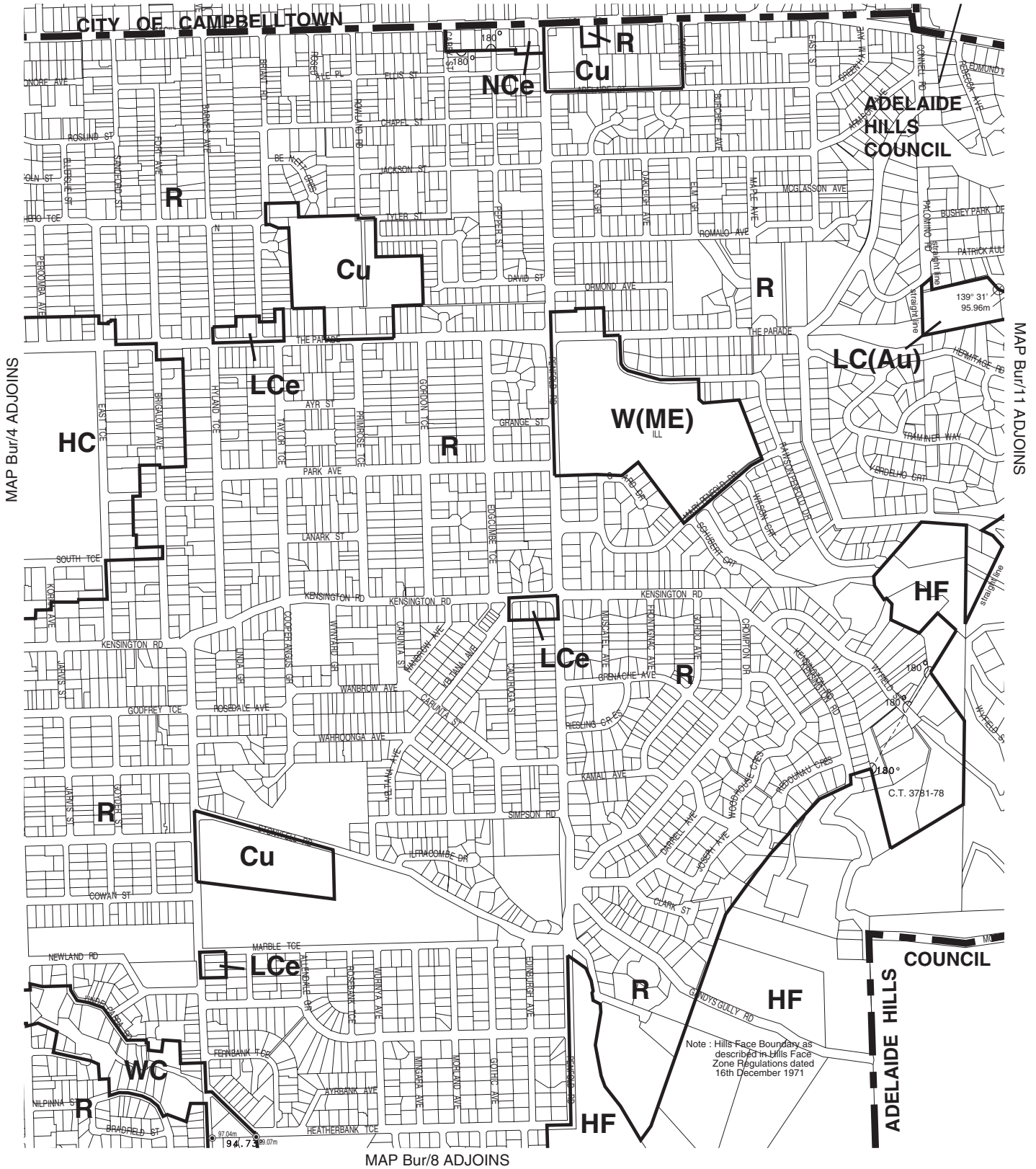
Scale 1:12000



# BURNSIDE (CITY) ZONES

## MAP Bur/4

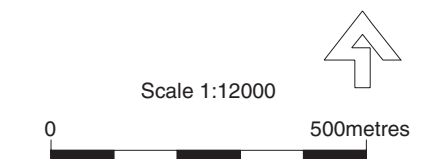
Consolidated - 19 December 2017



**NOTE : For Policy Areas See MAP Bur/14**

- Cu** Community
- HF** Hills Face
- LCe** Local Centre
- NCe** Neighbourhood Centre
- R** Residential
- W(ME)** Winery (Magill Estate)
- WC** Watercourse
- HC** Historic Conservation
- LC(Au)** Local Commercial (Auldana)

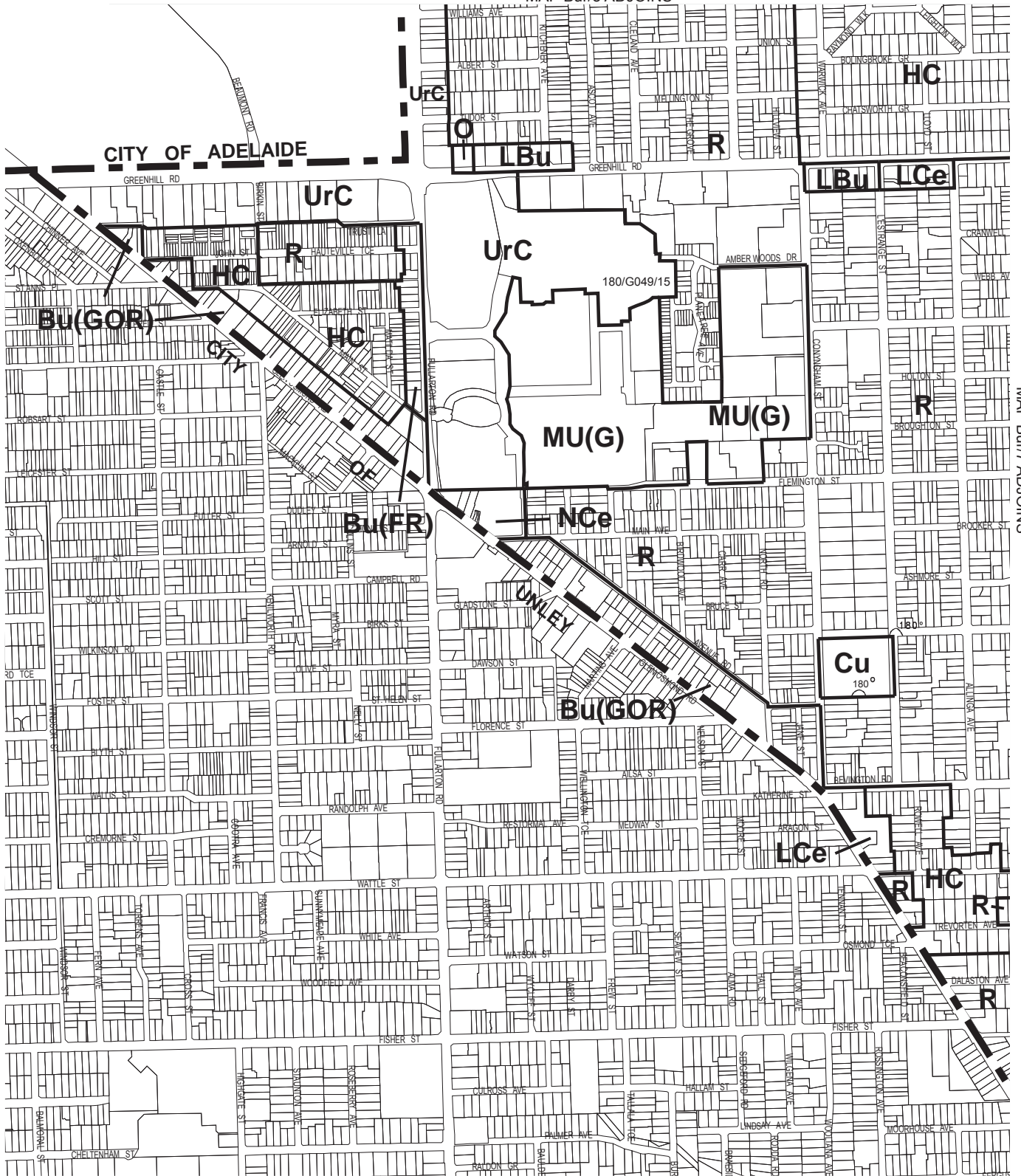
- Zone Boundary
- Development Plan Boundary



**BURNSIDE (CITY)  
ZONES  
MAP Bur/5**

Consolidated - 19 December 2017





**NOTE : For Policy Areas See MAP Bur/15**

- Bu(FR)** Business (Fullarton Road)
- Bu(GOR)** Business (Glen Osmond Road)
- Cu** Community
- HC** Historic Conservation
- LBU** Local Business
- LCe** Local Centre
- MU(G)** Mixed Uses (Glenside)
- NCE** Neighbourhood Centre
- O** Office
- R** Residential
- UrC** Urban Corridor

- Zone Boundary
- Development Plan Boundary

Scale 1:12000

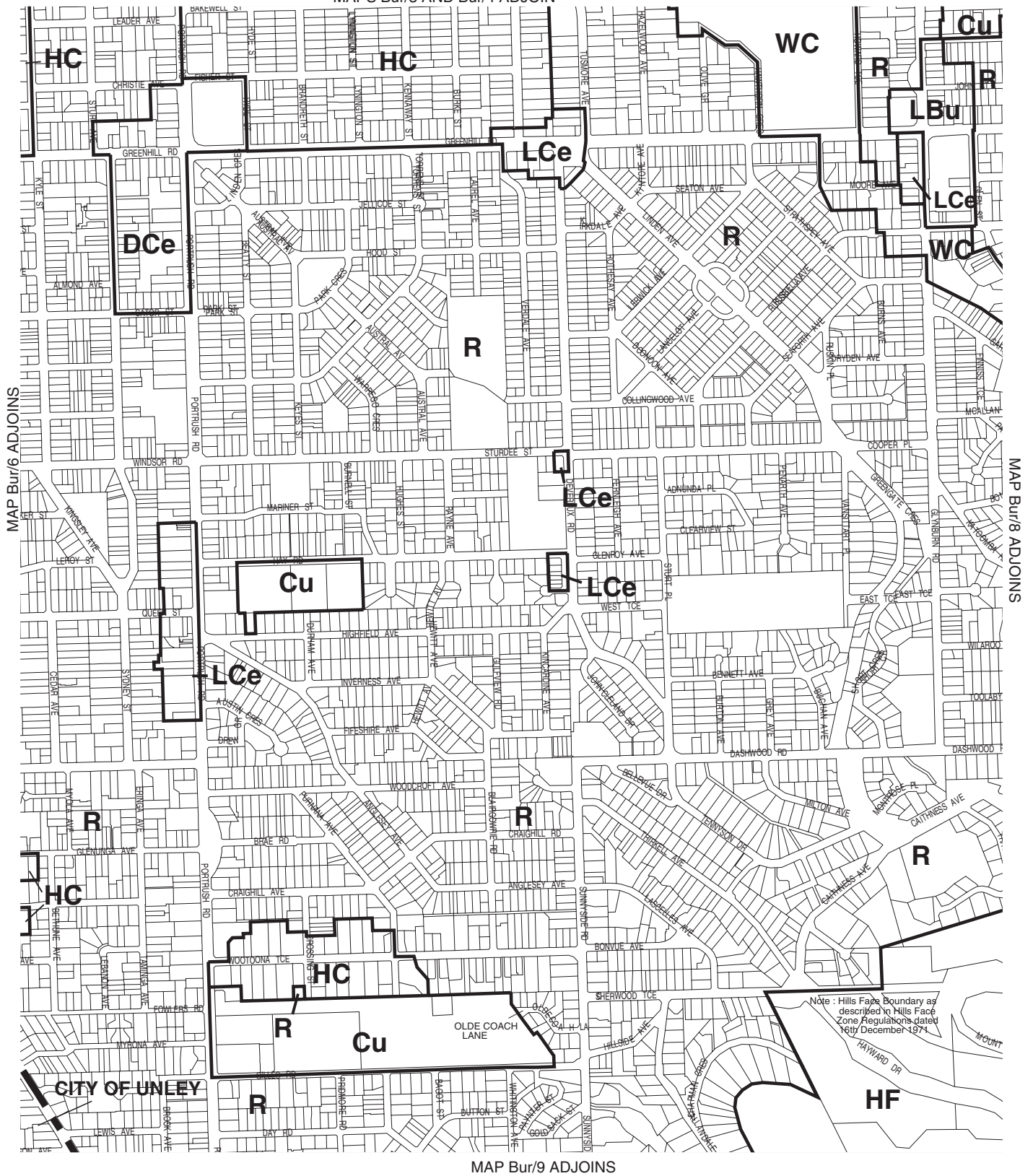


**BURNSIDE (CITY)  
ZONES**

**MAP Bur/6**



Consolidated - 19 December 2017

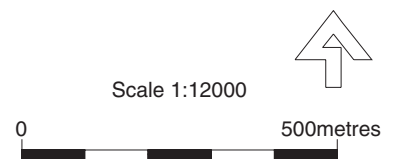
MAPS Bur/3 AND Bur/4 ADJOIN



**NOTE : For Policy Areas See MAP Bur/16**

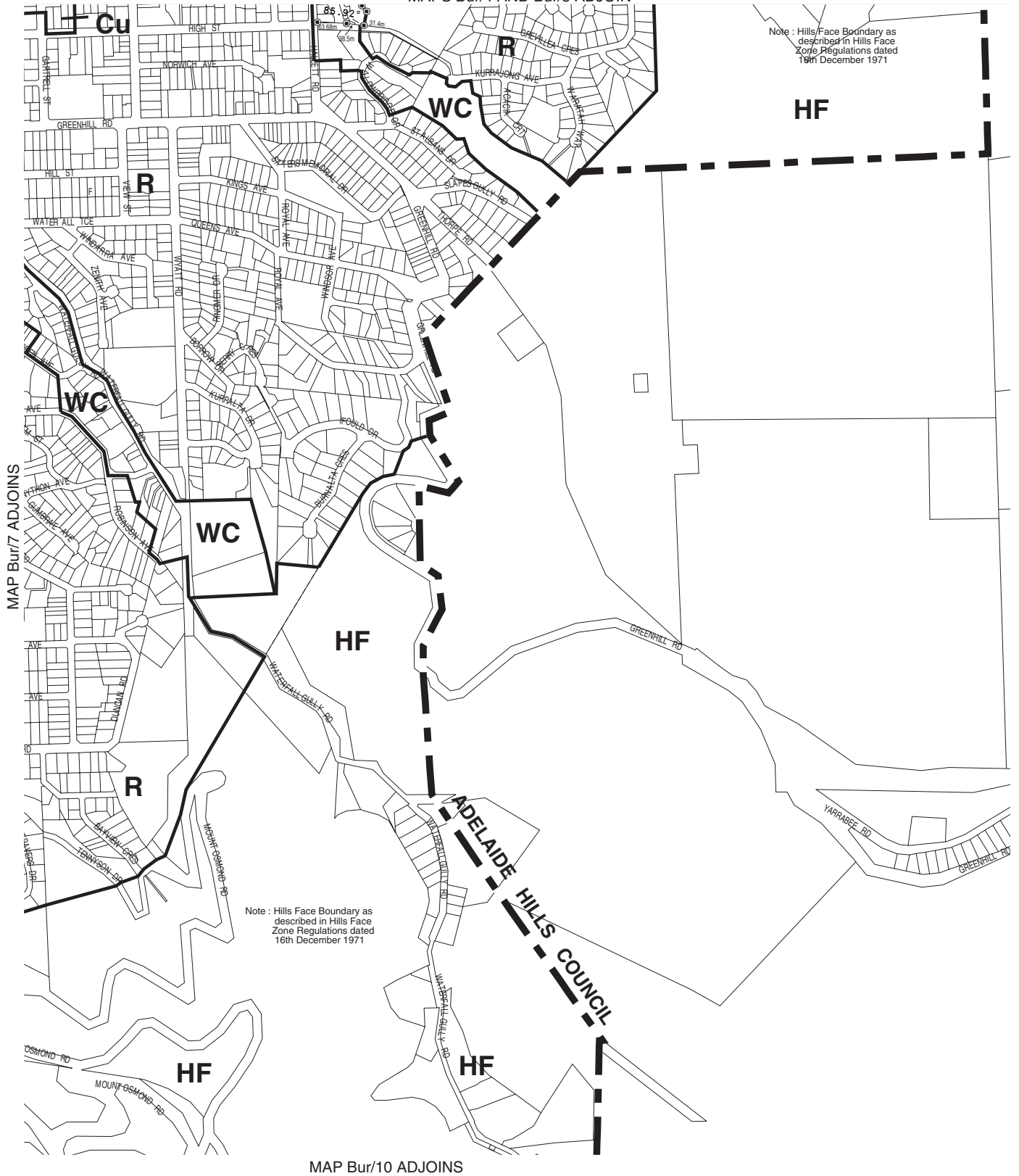
- Cu Community
- DCE District Centre
- HC Historic Conservation
- HF Hills Face
- LBU Local Business
- LCe Local Centre
- R Residential
- WC Watercourse

-  Zone Boundary
-  Development Plan Boundary




**BURNSIDE (CITY)  
ZONES  
MAP Bur/7  
Consolidated - 19 December 2017**

MAPS Bur/4 AND Bur/5 ADJOIN



**NOTE : For Policy Areas See MAP Bur/17**

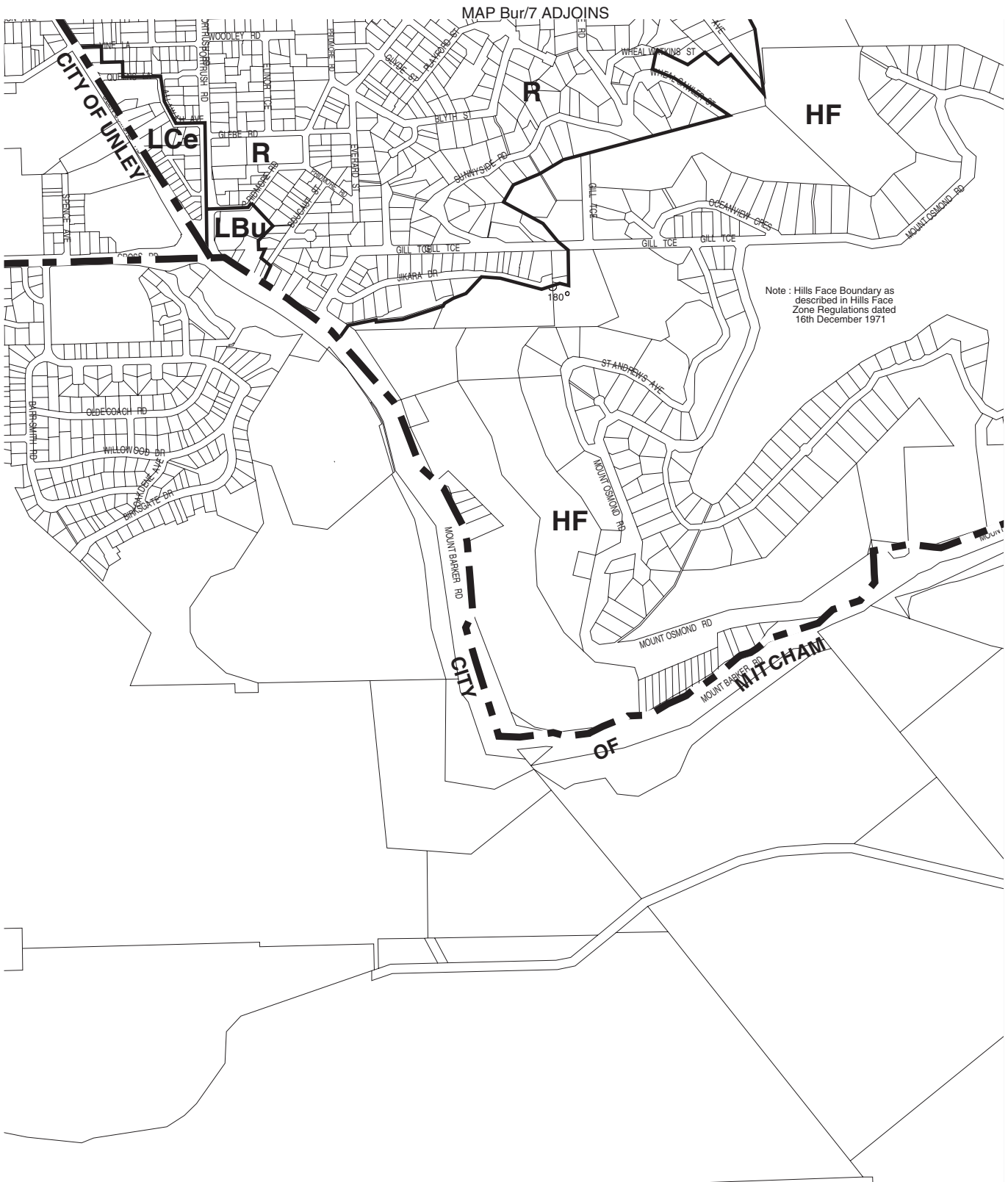
- Cu** Community
- HF** Hills Face
- R** Residential
- WC** Watercourse

-  Zone Boundary
-  Development Plan Boundary



**BURNSIDE (CITY)  
ZONES  
MAP Bur/8**  
Consolidated - 19 December 2017





MAP Bur/7 ADJOINS

MAP Bur/10 ADJOINS

Note : Hills Face Boundary as described in Hills Face Zone Regulations dated 16th December 1971

**NOTE : For Policy Areas See MAP Bur/18**

- HF Hills Face
- LBu Local Business
- LCe Local Centre
- R Residential

- Zone Boundary
- · · Development Plan Boundary

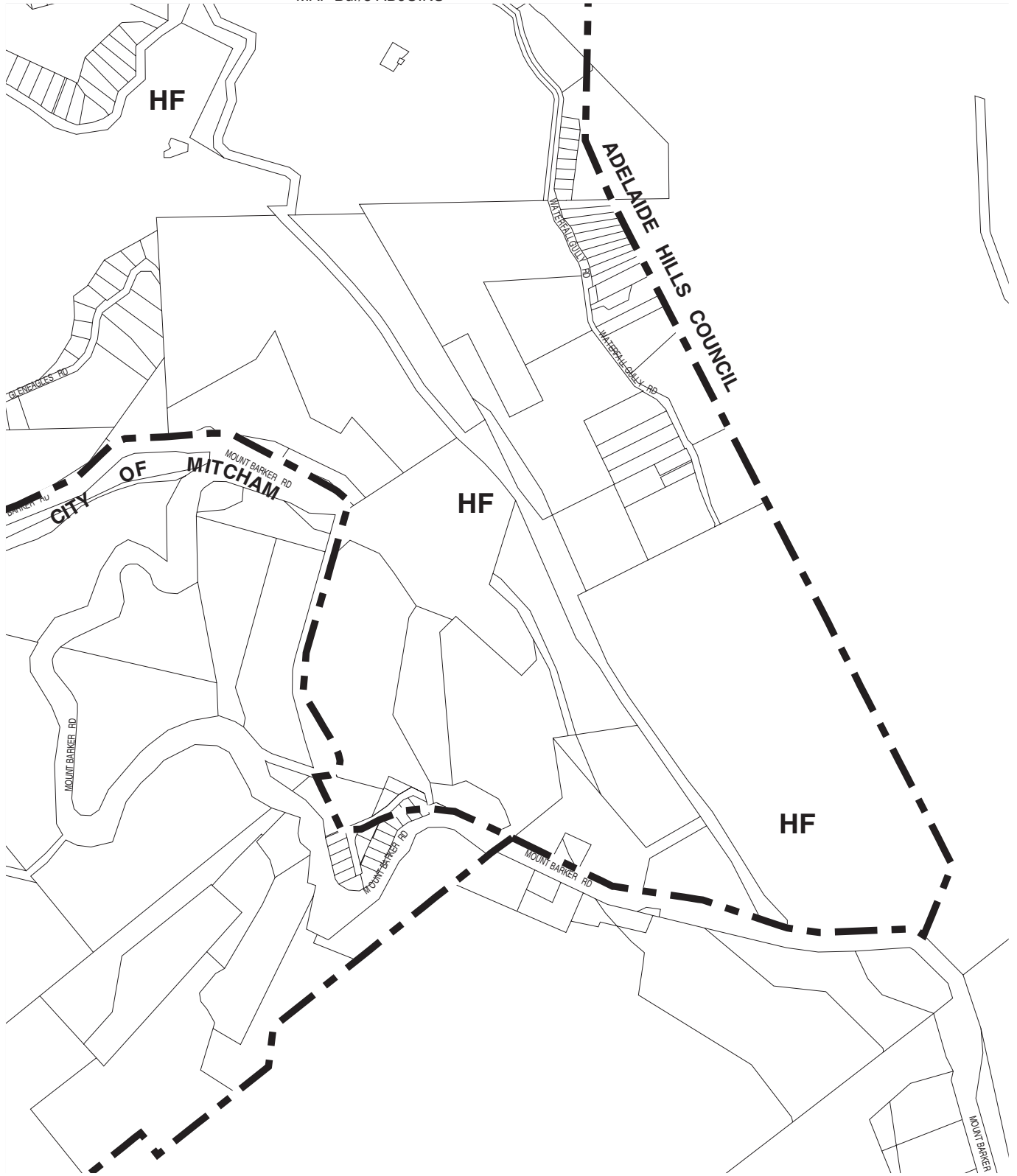


Scale 1:12000



**BURNSIDE (CITY)  
ZONES  
MAP Bur/9**

Consolidated - 19 December 2017



**NOTE : For Policy Areas See MAP Bur/19**  
 HF Hills Face



Scale 1:12000

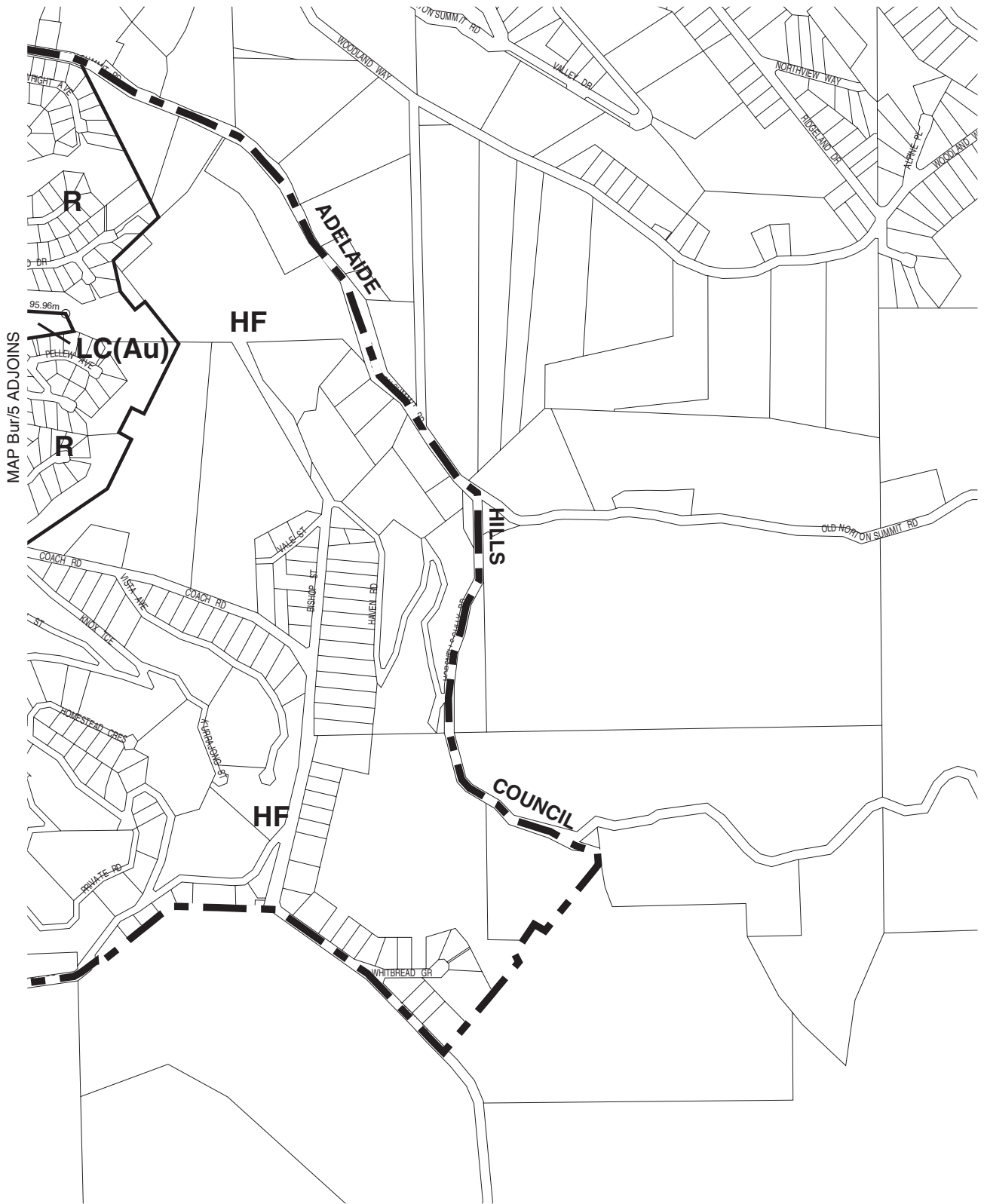


# BURNSIDE (CITY) ZONES

## MAP Bur/10

Consolidated - 19 December 2017

-  Zone Boundary
-  Development Plan Boundary



**NOTE : For Policy Areas See MAP Bur/20**

HF Hills Face  
 LC(Au) Local Commercial (Auldana)  
 R Residential

— Zone Boundary  
 - - - Development Plan Boundary

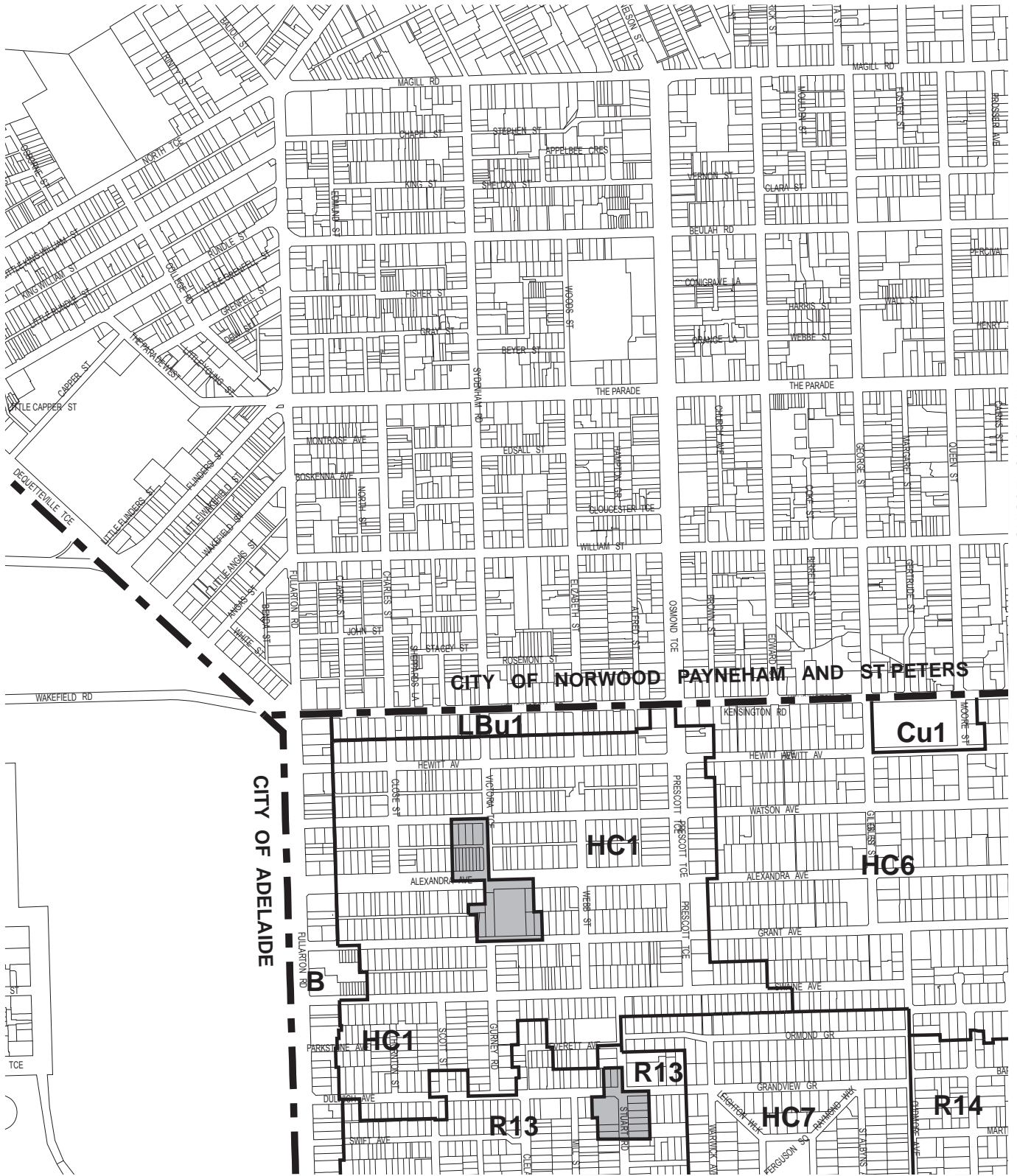
Scale 1:12000



# BURNSIDE (CITY) ZONES

**MAP Bur/11**

Consolidated - 19 December 2017



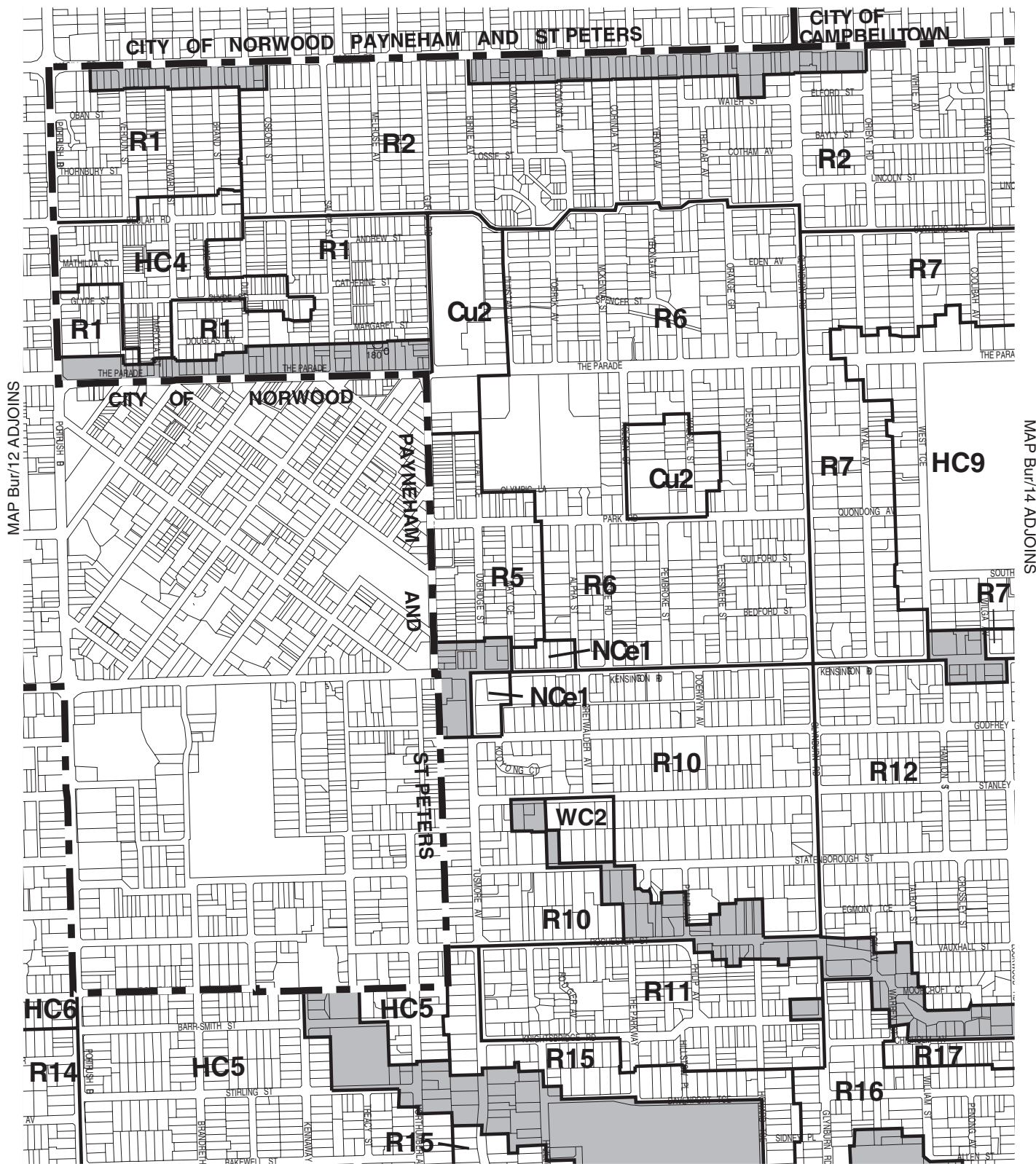
- Cu1** Community Area 1
- HC1** Historic Conservation Area 1 Rose Park
- HC6** Historic Conservation Area 6 Toorak Gardens (North)
- HC7** Historic Conservation Area 7 Toorak Gardens (Fergusson Square)
- LBu1** Local Business Area 1
- R13** Residential Area 13 Dulwich
- R14** Residential Area 14 Toorak Gardens (South-East)
- B** Boulevard

- Policy Area Boundary
- Development Plan Boundary
- Not in a Policy Area



**BURNSIDE (CITY)**  
**POLICY AREAS**  
**MAP Bur/12**  
 Consolidated - 19 December 2017





MAPS Bur/16 AND Bur/17 ADJOIN

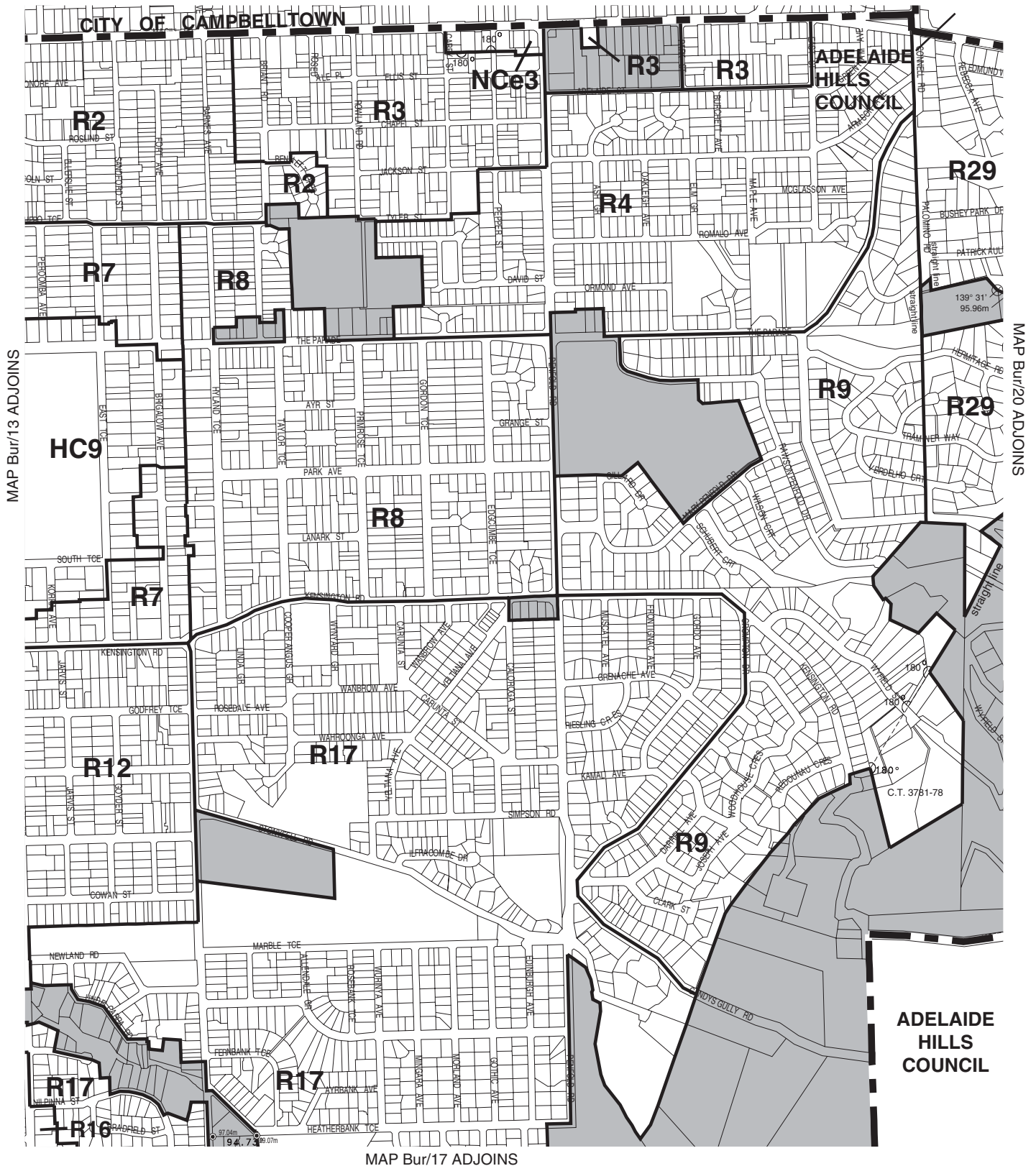
- Cu2** Community Area 2
- HC5** Historic Conservation Area 5 Tusmore
- HC6** Historic Conservation Area 6 Toorak Gardens (North)
- HC9** Historic Conservation Area 9 Kensington Gardens (Reserve)
- HC4** Historic Conservation Area 4 Beulah Park
- Nce1** Neighbourhood Centre Area 1
- R1** Residential Area 1 Greater Beulah Park
- R10** Residential Area 10 Leabrook (North)
- R11** Residential Area 11 Leabrook (South)
- R12** Residential Area 12 Erindale
- R14** Residential Area 14 Toorak Gardens (South-East)
- R15** Residential Area 15 First Creek
- R16** Residential Area 16 Burnside (North)
- R2** Residential Area 2 Northern
- R17** Residential Area 17 Ferguson

- R5** Residential Area 5 Kensington Park (South West)
- R6** Residential Area 6 Greater Kensington Park
- R7** Residential Area 7 Greater Kensington Gardens
- WC2** Watercourse Area 2 Coopers Brewery

- Policy Area Boundary
- Development Plan Boundary
- Not in a Policy Area



**BURNSIDE (CITY)  
POLICY AREAS  
MAP Bur/13**  
Consolidated - 19 December 2017



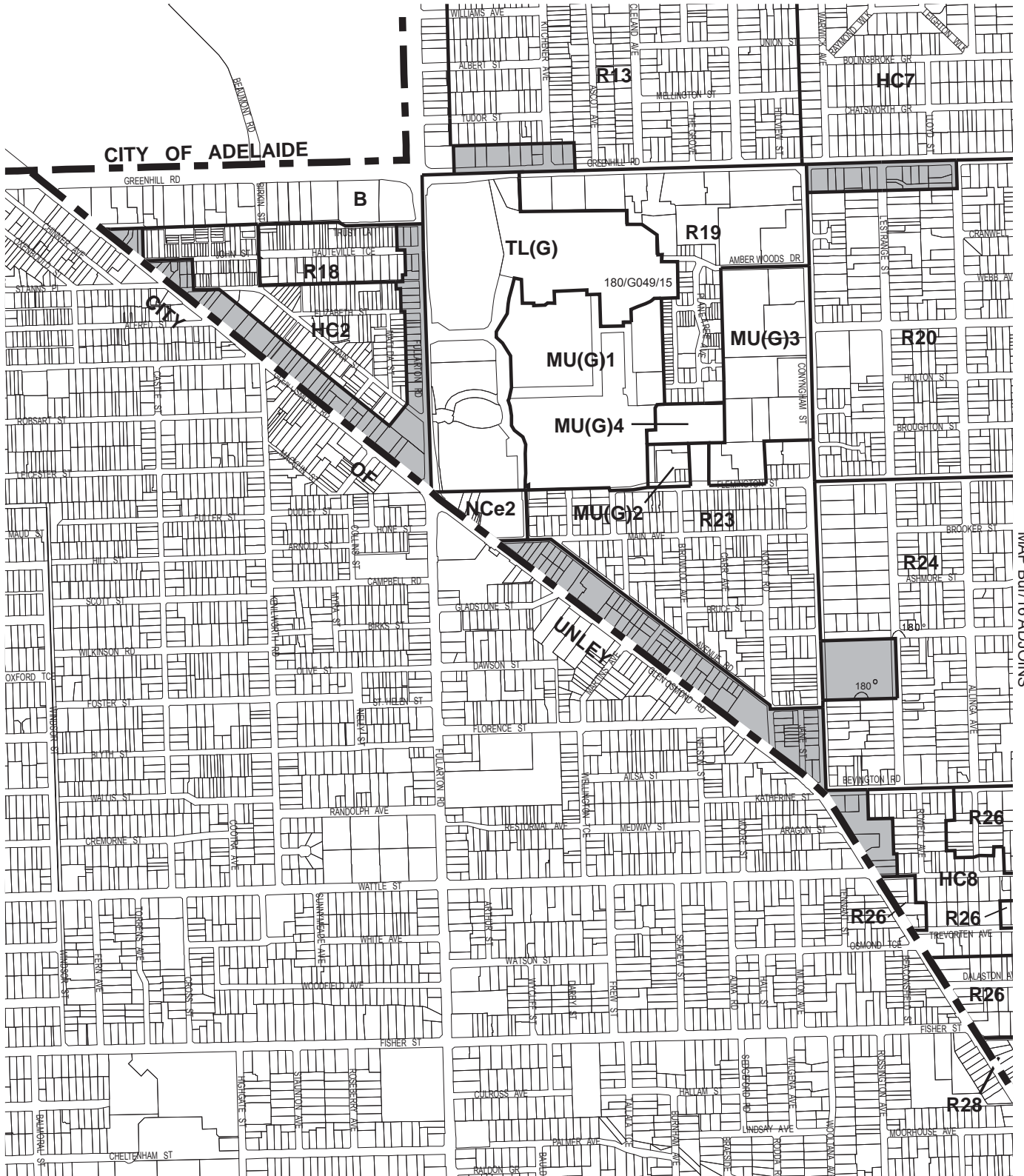
- NCe3** Neighbourhood Centre Area 3
- R12** Residential Area 12 Erindale
- R16** Residential Area 16 Burnside (North)
- R2** Residential Area 2 Northern
- R17** Residential Area 17 Ferguson
- R3** Residential Area 3 Magill (Chapel)
- R4** Residential Area 4 Magill (Romalo)
- R7** Residential Area 7 Greater Kensington Gardens
- R8** Residential Area 8 Rosslyn Park
- R9** Residential Area 9 Northern Foothills
- HC9** Historic Conservation Area 9 Kensington Gardens (Reserve)
- R29** Residential Area 29 Skye and Auldana

- Policy Area Boundary
- Development Plan Boundary
- Not in a Policy Area

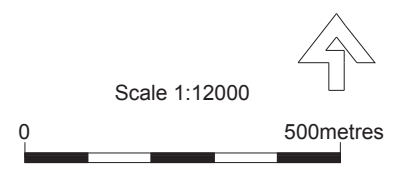


**BURNSIDE (CITY)**  
**POLICY AREAS**  
**MAP Bur/14**  
 Consolidated - 19 December 2017

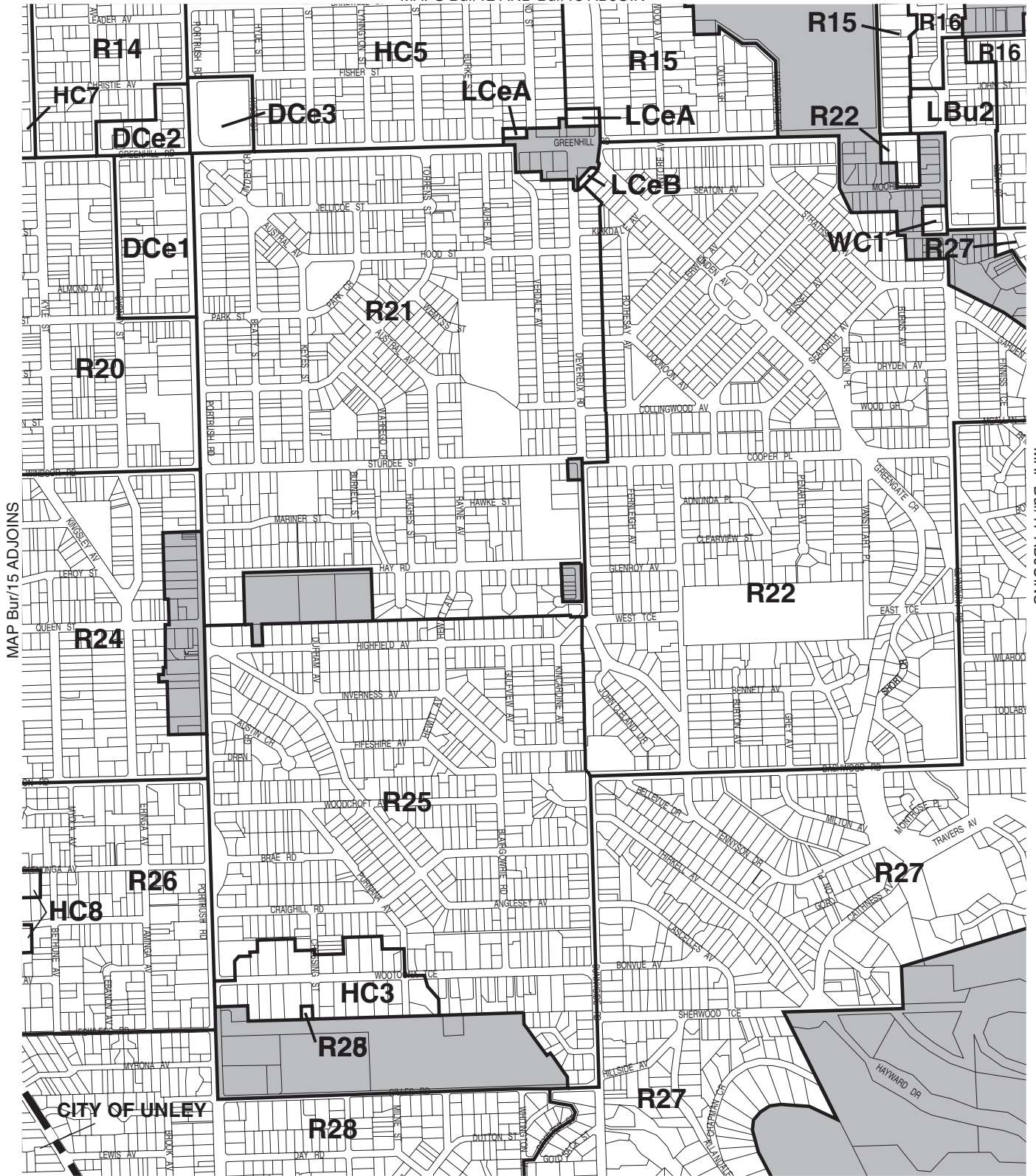




- B** Boulevard
  - HC2** Historic Conservation Area 2 Eastwood
  - HC7** Historic Conservation Area 7 Toorak Gardens (Fergusson Square)
  - HC8** Historic Conservation Area 8 Glenunga Park
  - MU(G)1** Mixed Use (Glenside) Area 1
  - MU(G)2** Mixed Use (Glenside) Area 2
  - MU(G)3** Mixed Use (Glenside) Area 3
  - MU(G)4** Mixed Use (Glenside) Area 4
  - NCe2** Neighbourhood Centre Area 2
  - R13** Residential Area 13 Dulwich
  - R18** Residential Area 18 Eastwood
  - R19** Residential Area 19 Glenside (West)
  - R20** Residential Area 20 Glenside (Village)
  - R23** Residential Area 23 Frewville
  - R24** Residential Area 24 Glenunga (North)
  - R26** Residential Area 26 Glenunga (South)
  - R28** Residential Area 28 Glen Osmond
  - TL(G)** Transit Living (Glenside)
- Policy Area Boundary  
 Development Plan Boundary  
 Not in a Policy Area



**BURNSIDE (CITY)  
POLICY AREAS  
MAP Bur/15**  
Consolidated - 19 December 2017



MAP Bur/15 ADJOINS

MAP Bur/17 ADJOINS

MAP Bur/18 ADJOINS

- DCe1 District Centre Area 1
- DCe2 District Centre Area 2
- DCe3 District Centre Area 3
- HC3 Historic Conservation Area 3 St George's (Wootoona Tce)
- HC5 Historic Conservation Area 5 Tusmore
- HC7 Historic Conservation Area 7 Toorak Gardens (Fergusson Square)
- HC8 Historic Conservation Area 8 Glenunga Park
- LBU2 Local Business Area 2
- LCaA Local Centre Area A
- LCaB Local Centre Area B
- R14 Residential Area 14 Toorak Gardens (South-East)
- R15 Residential Area 15 First Creek
- R16 Residential Area 16 Burnside (North)
- R20 Residential Area 20 Glenside (Village)
- R21 Residential Area 21 Linder Park
- R22 Residential Area 22 Beaumont Common
- R24 Residential Area 24 Glenunga (North)
- R25 Residential Area 25 St Georges
- R26 Residential Area 26 Glenunga (South)
- R27 Residential Area 27 Southern Foothills
- R28 Residential Area 28 Glen Osmond
- WC1 Watercourse Area 1 Glynburn Road

- Policy Area Boundary
- Development Plan Boundary

Not in a Policy Area

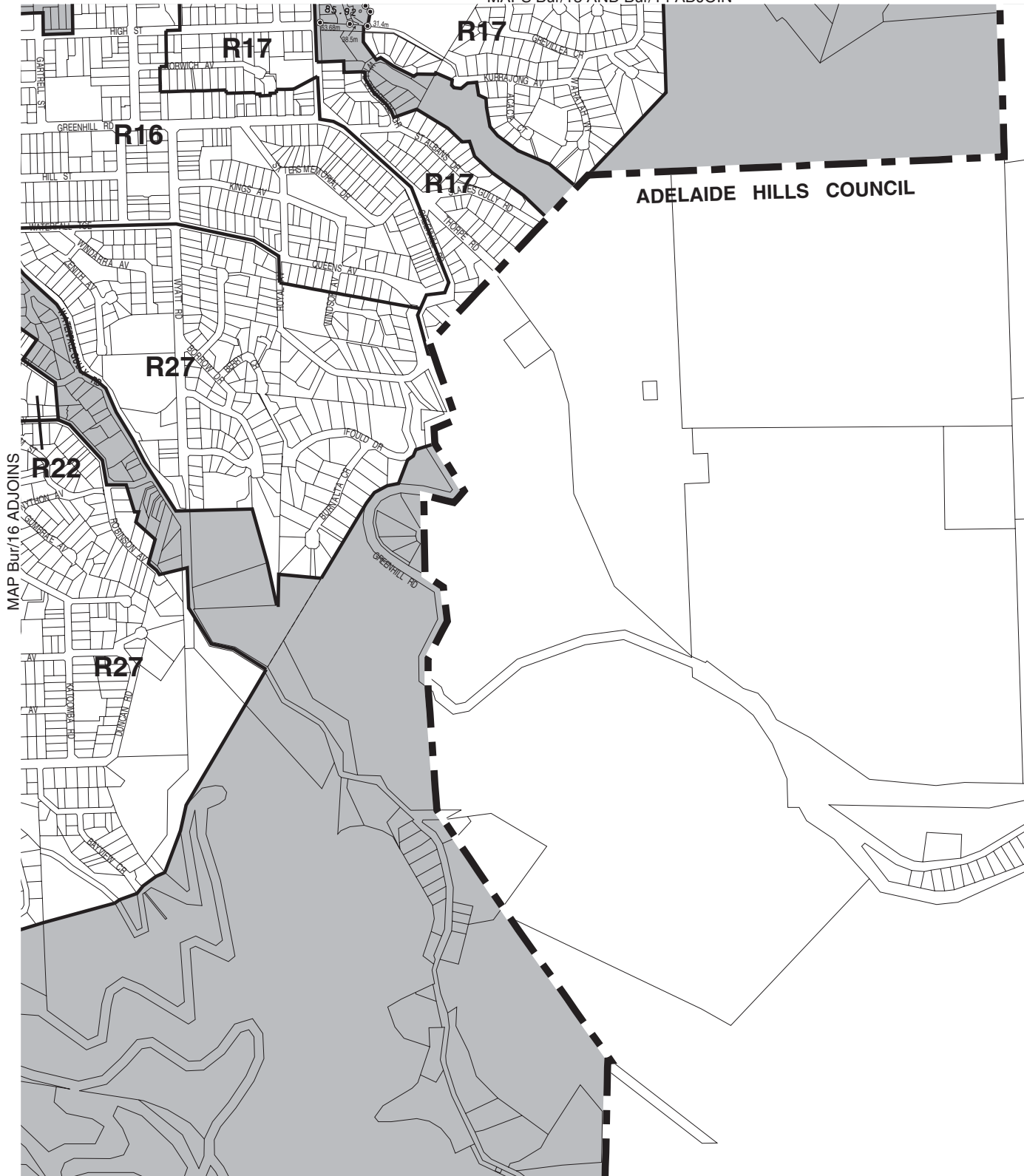
Scale 1:12000



# BURNSIDE (CITY) POLICY AREAS MAP Bur/16




Consolidated - 19 December 2017





MAP Bur/19 ADJOINS

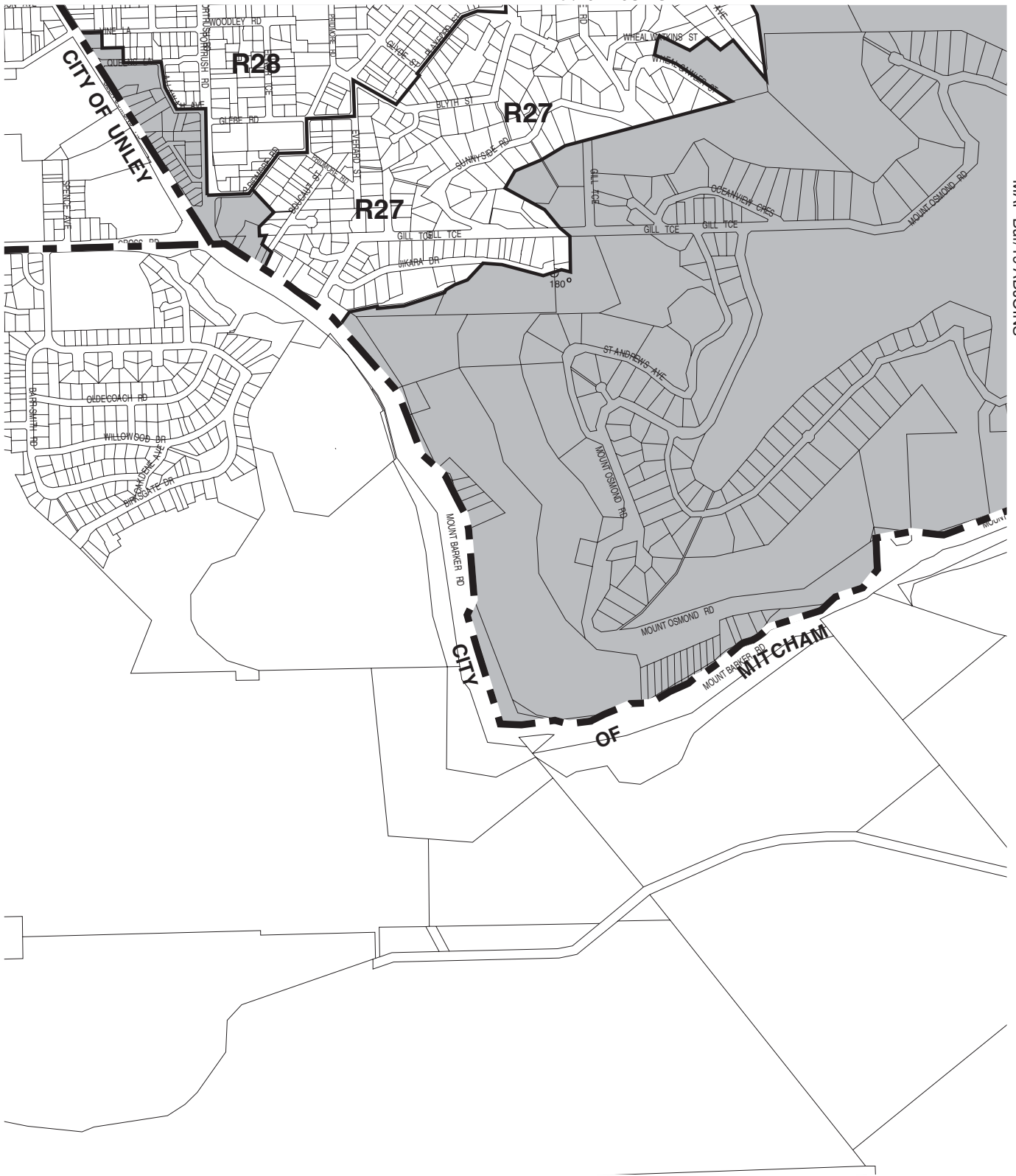
- R16** Residential Area 16 Burnside (North)
- R17** Residential Area 17 Ferguson
- R22** Residential Area 22 Beaumont Common
- R27** Residential Area 27 Southern Foothills

-  Policy Area Boundary
-  Development Plan Boundary
-  Not in a Policy Area




Scale 1:12000

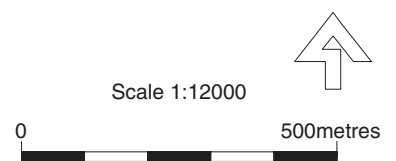


**BURNSIDE (CITY)**  
**POLICY AREAS**  
**MAP Bur/17**  
 Consolidated - 19 December 2017



**R27** Residential Area 27 Southern Foothills  
**R28** Residential Area 28 Glen Osmond

-  Policy Area Boundary
-  Development Plan Boundary
-  Not in a Policy Area



**BURNSIDE (CITY)**  
**POLICY AREAS**  
**MAP Bur/18**  
 Consolidated - 19 December 2017



Policy Area Boundary  
 Development Plan Boundary  
 Not in a Policy Area

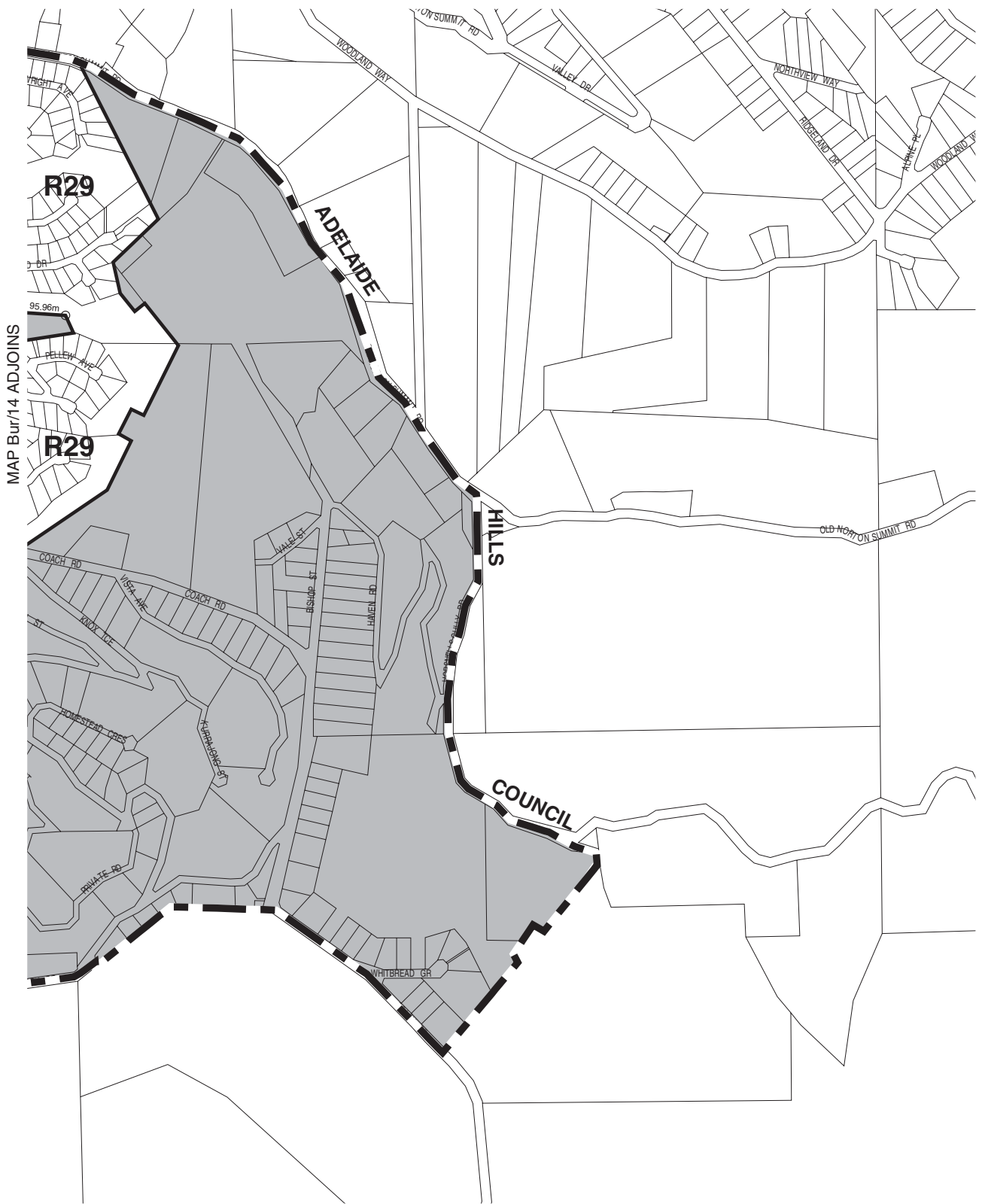


Scale 1:12000



**BURNSIDE (CITY)  
 POLICY AREAS  
 MAP Bur/19**

Consolidated - 19 December 2017






**R29** Residential Area 29 Skye and Auldana



Scale 1:12000



-  Policy Area Boundary
-  Development Plan Boundary
-  Not in Policy Area

**BURNSIDE (CITY)  
POLICY AREAS  
MAP Bur/20**

Consolidated - 19 December 2017